

# DEVELOPMENT REVIEW BOARD REPORT



Meeting Date: February 3, 2022  
General Plan Element: *Character and Design*  
General Plan Goal: *Foster quality design that enhances Scottsdale as a unique southwestern desert community.*

## ACTION

**Vi at Cavasson**  
**41-DR-2021**

Request for approval of a site plan, landscape plan and building elevations for a new 1- to 4-story residential healthcare facility consisting of 230 minimal care units and 97 specialized care beds totaling approximately 525,000 square feet on a +/- 11.2-acre site.

## SUMMARY

### Staff Recommendation

Approve, subject to the attached stipulations (Attachment #6)

### Items for Consideration

- Conformance with Development Review Board Criteria – staff confirms
- Integration of Sensitive Design Principles – staff confirms
- Shared access from Miller Road with the project to the north
- Public comment received (land use, not design related)

## BACKGROUND

**Location:** 7620 E. Cavasson Boulevard  
(Northeast corner of 76th Street & Cavasson Boulevard)

**Zoning:** Planned Community District, Planned Airpark Core (P-C PCP)

### Adjacent Uses

North: Vacant, zoned P-C PCP (multi-family project proposed, 24-DR-2021)

East: Vacant, zoned P-C PCP

South: Vacant, zoned P-C PCP

West: Vacant, zoned P-C



### Property Owner

CC-Development Group, Inc.

### Applicant

Michael Kolejka, Orcutt Winslow  
(602) 214-6609

### Architect/Designer

Orcutt Winslow

### Engineer

Hubbard Engineering

## DEVELOPMENT PROPOSAL

---

The applicant proposes a residential healthcare facility, consisting of both minimal care and specialized care, provided in one main building and two smaller “villa” buildings for minimal care residents. Building heights range from single-story to four-story. Surface parking is primarily for employees and guests. Most of the resident parking is provided in a sub-grade garage. There are two primary points of access proposed: one from Miller Road that is shared with the project to the north, and another from Cavasson Boulevard. A third subordinate access point is proposed off Claret Boulevard at the northeast corner of the site. All landscaping and pedestrian improvements are provided on-site. Streetscape improvements were previously installed by the master developer. One primary common area is proposed that will include a pool, paths, ramadas, a pool house and landscaping. Smaller pockets of open space are proposed elsewhere on the site, one of which will be a secure area for specialized care residents.

### Development Review Board Criteria

Staff confirms that the development proposal generally meets the applicable Development Review Board Criteria. For a detailed analysis of the Criteria, please see Attachment #4.

### Sustainability

The City of Scottsdale promotes the goal of sustainability through the incorporation of appropriate design considerations in the development of the built environment. This development proposal incorporates several design elements that align with the City’s goal of sustainability including recessed windows, exaggerated roof overhangs and use of low water use plant species. Additionally, high-performance windows are being utilized to mitigate internal solar heat gain.

## STAFF RECOMMENDED ACTION

---

Staff recommends that the Development Review Board approve the Vi at Cavasson development proposal per the attached stipulations, finding that the Character and Design Element of the General Plan and Development Review Board Criteria have been met.

RESPONSIBLE DEPARTMENT	STAFF CONTACT
Planning and Development Services Current Planning Services	Greg Bloemberg Project Coordination Liaison 480-312-4306 <a href="mailto:gbloemberg@ScottsdaleAZ.gov">gbloemberg@ScottsdaleAZ.gov</a>

## APPROVED BY

---



---

Greg Bloemberg, Report Author

---

1/19/2022

---

Date



---

Brad Carr, AICP, LEED-AP, Planning & Development Area Manager  
Development Review Board Liaison  
Phone: 480-312-7713      Email: bcarr@scottsdaleaz.gov

---

1/23/2022

---

Date



---

Randy Grant, Executive Director  
Planning, Economic Development, and Tourism  
Phone: 480-312-2664      Email: rgrant@scottsdaleaz.gov

---

1/26/2022

---

Date

## ATTACHMENTS

---

1. Context Aerial
2. Close-up Aerial
3. Applicant's Narrative
4. Development Review Board Criteria Analysis
5. Development Information
6. Stipulations / Zoning Ordinance Requirements
7. Combined Context Aerial and Site Plan
8. Site Plan
9. Open Space Plan
10. Landscape Plans
11. Refuse Plan
12. Circulation Plan
13. Building Elevations
14. Perspectives
15. Materials and Colors Board
16. Exterior Lighting Site Plans
17. Exterior Lighting Cutsheets
18. City Notification Map



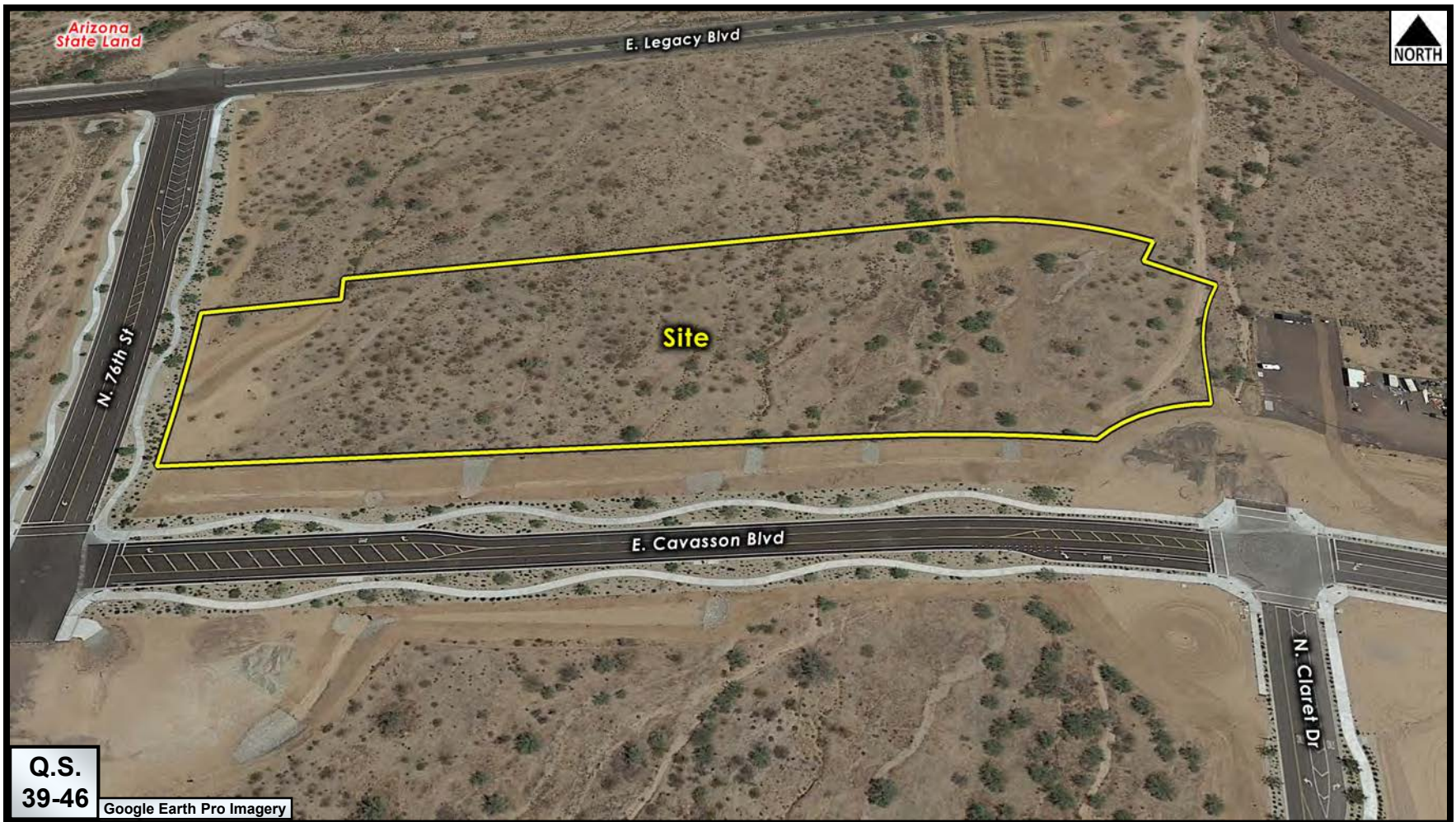
Q.S.  
39-46

Google Earth Pro Imagery

LOOP  
101

Context Aerial

41-DR-2021



Close-up Aerial

41-DR-2021

## Vi at Cavasson

### **Development Review Board Project Narrative**

NEC Miller Rd. & Cavasson Blvd.  
Scottsdale, AZ 85255  
511-PA-2021

Date: September 16, 2021  
O/W Job #: 2021\_165

**ATTACHMENT #3**

**TABLE OF CONTENTS**

<b>Title / Cover Page .....</b>	<b>1</b>
<b>Principals and Development Team .....</b>	<b>3</b>
<b>Purpose and Intent .....</b>	<b>4</b>
<b>Site Conditions and Location .....</b>	<b>5</b>
<b>Design Concept .....</b>	<b>6</b>
<b>Development Plan .....</b>	<b>6</b>
<b>Development Review Board Criteria .....</b>	<b>9</b>
<b>Scottsdale's Sensitive Design Principles. ....</b>	<b>12</b>

## PRINCIPALS AND DEVELOPMENT TEAM

### DEVELOPER

Classic Residence Management Limited Partnership, dba Vi  
John Hoover  
233 South Wacker Drive, Suite 8400  
Chicago, IL 60606  
(312) 803-8800

### ARCHITECT

Orcutt Winslow  
Michael Kolejka, AIA  
2929 North Central Avenue, 11<sup>th</sup> Floor  
Phoenix, Arizona 85012  
(602) 214-6609

### CIVIL ENGINEER

Hubbard Engineering  
Michael Wolf  
1201 South Alma School Road, Suite 12000  
Mesa, AZ 85210  
(480) 892-7051

### LAND USE ATTORNEY

Berry Riddel, LLC  
Michele Hammond  
6750 East Camelback Road, Suite 100  
Scottsdale, AZ 85251  
(480) 385-2727

### LANDSCAPE ARCHITECT

Dig Studio  
Brandon Sobiech  
600 North 4<sup>th</sup> Street, Suite D  
Phoenix, AZ 85004  
(480) 347-0590

### ELECTRICAL ENGINEER

IMEG / MSA Engineering Consultants  
Brett Casperson 7878 North 16<sup>th</sup> Street, Suite 140  
Phoenix, AZ 85020  
(602) 943-8424

### PURPOSE AND INTENT

The proposed Vi at Cavasson will be a new, upscale residential health care facility located on Lot 4 of the Cavasson master development in North Scottsdale. Situated on the northeast corner of Miller Road and Cavasson Boulevard, the 11.2 net acre site will feature the latest in luxury senior living. Offering minimal care (independent living) and specialized care (personal care and directed care), Vi at Cavasson will offer a highly sought-after lifestyle in one of Scottsdale's fastest growing areas.

The development will include a four-story main building located in the west and center portions of the site. In addition, two four-story villa buildings are proposed at the northeast and southeast corners of the site. Approximately 234 resident parking stalls will be offered in a below grade parking garage while additional staff and visitor spaces will be provided via 153 on grade parking stalls yielding a total of 387 parking stalls on site.

230 minimal care units will be featured in both the main and villa buildings. Additionally 91 specialized care units will be featured in the western portion of the main building. This will yield a total of 321 residential healthcare facility units. As part of the 91 specialized care units, personal care will offer 67 beds and directed care will offer 30 beds totaling 97 beds. Thus the combined minimal care units and specialized care beds totals 327 units/beds. The conversion factor approved by the City in April 2020, is 1 residential health care facility units/beds = 0.59 traditional dwelling units for the purposes of subtracting from the approved land use budget for Cavasson.

Required parking includes 0.7 stalls for each specialized care bed and 1.25 parking stalls for each minimal care dwelling unit.

This equates to the following:

230 minimal care units x 1.25 parking stalls/unit:	288 stalls
<u>97 beds specialized care x 0.7 parking stalls/bed:</u>	<u>68 stalls</u>
Total parking required:	356 stalls

Minimal care (independent living) units will be featured in both the four-story main and villa buildings. Specialized care (personal care) will be located on the southwest corner of the main building and will be three-stories in height. The one-story specialized care (directed care) building will be positioned at the northwest corner of the main building. Vi at Cavasson will feature high-quality amenities including a variety of resident dining experiences, fitness, activity, and life-long learning programs.

These common amenities will be provided for all three of the residential program areas: minimal care and both levels of specialized care. Most amenities serve the minimal care residents and will be located on the ground floor of the main building along with a single-story club house. This free-standing club house will be positioned between the main and villa buildings. The club house will also serve the swimming pool/spa area central to the minimal care units.

Vi at Cavasson will feature several outdoor living/activity amenities to complement the interior offerings. Common amenities will include wellness concierge, telemedicine, rehabilitation services, physical therapy, massage, occupational therapy, stretching/yoga, and similar services. These common use areas will support a lifestyle transition from minimal care to specialized care in a continuum like Vi Senior Living's other two communities located in Scottsdale.

Maximum building height is expected to be no higher than 60 feet to the top of the highest building element. The main building will articulate across its façade providing variation in building height, proximity to the adjacent streets, and massing. The proposed architecture will complement the existing Nationwide campus while offering a desert modern image that is attractive to the next generation of senior residents. Materials and building design will exude grace, timeless character, and offer an inviting atmosphere.

### **SITE CONDITIONS & LOCATION**

The Property lies within the Nationwide Cavasson development located on the north side of Arizona SR-101 between Miller and Hayden Roads. The proposed senior living community will be located on approximately 11.2 acres along the north side of Cavasson Boulevard between Miller Road and Claret Road. The Cavasson master development is identified as a mixed-use community of multi-family residential, retail, office, and related uses. There is a need for people-oriented land uses, pedestrian-friendly design, dynamic streetscapes, gathering places, and building massing that complements the surrounding built environment. This proposal meets the criteria for compatible development as outlined in the General Plan and Cavasson development standards, as will be elaborated throughout this narrative.

#### **Current Conditions**

The general location for the Cavasson Development between the Loop 101 (SR-101) on the south and Legacy Boulevard to the north and between the Miller Road Alignment to the west and Hayden Road to the east. The subject site specifically is located along the north side of Cavasson Boulevard between Miller Road to the west and Claret Drive to the east. The parcel is part of Assessor's Parcel No. 212-31-120W (the "Property"). The full site encompasses 490,871 net square feet (11.2 net acres) and 590,580 gross square feet (13.5 gross acres). The Property is currently undeveloped open desert with minimal vegetation consisting of creosote bushes along with palo verde and mesquite trees. The surrounding zoning and uses include:

North:	Residences at Grayhawk (P-C zoning). Multi-family residential.
East:	Claret Drive (P-C zoning). Retail and commercial uses.
South:	Cavasson Boulevard (P-C zoning). Retail, commercial uses.
West:	Miller Road (PCD zoning). Vacant land.

## DESIGN CONCEPT

### Overall Design approach/character

The Development Plan seeks to maximize the potential of this key, undeveloped site with an iconic, pedestrian friendly, residential health care facility that is economically viable and provides the community with a much-needed senior community. The proposed uses include minimal care, and two levels of specialized care (personal care and directed care) units with support services and common amenities.

The architectural character of the residential health care facility will be contemporary in detail and material. The modern composition will include a grounded base for the first floor and volumetric elements along the upper two to three floors of the buildings. Landscape and hardscape on the Property provide connectivity to the existing and planned development.

An internal roadway runs parallel to the north edge of the site, serving as the staff/support vehicular corridor within the project. The main entry for residential health care facility is served off Cavasson Boulevard for the minimal care units. The entry for the specialized care (personal and directed care) is provided from Miller Road. Multiple outdoor courtyards and gardens are provided to serve each of the three care levels. A large common use garden with pool and clubhouse, 9-hole championship putting course, bocci, walking paths, and other resident amenities are provided on the east side of the main building. With the variety of common outdoor uses, this amenity space will be activated at all times of the day, maintaining a vibrant and safe atmosphere.

Additionally, a formal outdoor living room is proposed on the north side of the main building. Two garden spaces are proposed on the south side of the main building, one for outdoor dining and the other for the specialized care (personal care) program. Finally, a secure memory garden will be provided for the specialized care (directed care) program located near the northwest portion of the site.

The design strategies, high quality materials, and pronounced architectural expression will create an iconic project that enhances the Cavasson master development's economic and cultural presence. The project will also adhere to sustainable building practices.

## DEVELOPMENT PLAN

The residential health care facility component of the project consists of a four-story building atop one level of below-grade parking with convenient open spaces provided on-grade. The residential health care facility has a mixture of one-bedroom, and two-bedroom minimal care units with a variety of floor plans. All units will have access to the highly amenitized development. The 230 minimal care unit will be provided in the main four-story building and in two four-story villas buildings located on the eastern portion of the site. The specialized care (personal care) facility will consist of a three-story building located in the southwest portion of the site. This program area will provide 67 beds. They will be predominately one-bedroom but will include six two-bedroom specialized care units. The specialized care (directed care) facility will consist of a single-story building located in the northwest portion of the site. This program will feature private studio units.

The below grade parking structure is screened from street view by the fact that it is below the ground level. The south side of the project along Cavasson Boulevard houses minimal care and specialized care (personal care) units with individual patios accessed from each unit, not from the public right of way. Several common area amenities are located near the main entry from Cavasson Boulevard and include reception, administrative and marketing offices, and dining venues with bar. The east side along Claret Drive features two minimal care buildings, each four stories in height.

Between the three minimal care buildings is a single-story clubhouse that features an outside swimming pool, lap pool, spa, pool deck, and bocci courts. A club room, golf simulator, snack bar, and billiards room are located on the west and center portions of the building. Lockers, restrooms, and support functions are located on the east portion of the club house. Nestled in among the two minimal care buildings and clubhouse will be a nine-hole championship putting course, walking trail, outdoor seating, fire pits, and elegant landscaping. These amenities will be used by the minimal care residents, guests, and staff.

The north side of the site will feature two minimal care, four-story buildings, service drive, loading/deliveries area, and the single-story specialized care (directed care) facility. A large secure garden will be located on the north side of the center portion of the main building.

Finally, the west side along Miller Road will feature the single-story specialized care (directed care) facility, main entry for the specialized care program, and three-story specialized care (personal care) facility.

### Parking

The proposed development will not feature large swaths of surface parking. Instead, parking is spread throughout the Property both at grade, mostly on the north side, with most of the parking in an underground structure. This provides convenience and security for residents, visitors, and staff. The minimal care resident garage is fully below grade. Minimal care guest parking is provided in surface spaces near the main entry from Cavasson Boulevard. The specialized care facility guest parking will be on the west side accessible from Miller Road. Staff parking will be located along the north property line while guest parking for the two east minimal care buildings will be via small parking lots on the southeast and northeast portions of the site.

### Pedestrian & Public Realm

The entire site is designed with the pedestrian in mind. The goal is to create an inviting and comfortable pedestrian connection with shade and interest connecting the minimal care facility to the adjacent retail, hotel, and related uses. 8.0' wide concrete sidewalks have recently been constructed within the Miller Road, Cavasson Blvd., and Claret Drive right of ways by the master developer. The site will add new connections to these existing sidewalks at each of the drive entrances to the site. A master planned community park will be located on the southeast corner of the site to provide a comfortable pedestrian connection to the rest of the Cavasson master development. This site will connect to this park with accessible sidewalks to join the proposed park sidewalk being constructed by the master developer.

### Landscaping / Hardscaping

Landscaping shall be consistent with the City of Scottsdale DS&PM, and Article X *Landscaping Requirements* of the City of Scottsdale Zoning Ordinance. Specifically, the project is part of the Cavasson master development with streetscape plantings of large, canopied trees including palo verde, mesquite, and similar desert trees to provide shade for the pedestrian traffic and to effectively ground the architecture. The community plaza/park at the northwest corner of Claret Drive and Cavasson Boulevard welcomes the public and serves as a comfortable space for everyday uses, gatherings, and special events. Date palms, mesquite, ash, and an assortment of accents and seasonal flowering shrubs define the flora of the promenade and combine with colorful planter pots, seating opportunities and stone site walls to create a dynamic setting. The internal landscape has a strong visual connection to the public realm while offering pedestrian amenities in a more intimate atmosphere. Lush internal plantings that include sub-tropicals such as aloes, palm varieties, bougainvillea and grasses lend a feeling of a calm streetscape that provides pedestrians with the perfect "urban oasis".

Hardscape and landscape design will provide a visual, strengthening the streetscape palette along Miller Road, Cavasson Boulevard and Claret Drive. This will further enhance the overall site development. The palette references both the Cavasson master development landscape standards and the Streetscape Design Guidelines for the City of Scottsdale. Taking from recently completed developments within the Cavasson master development, the right-of-way landscape palette will draw from desert museums, ironwoods, tecomas, desert spoon, red yucca, new gold lantana, sages, and additional accent and ground cover plantings. A new 8'-0" meandering

sidewalk has been constructed along Miller Road, Cavasson Boulevard and Claret Drive, allowing for a strong landscape buffer providing pedestrian safety with clear separation from oncoming traffic.

With the emphasis on residential health care facility programming throughout the remainder of the site, the landscape material is appropriate for both private and public settings. It helps create strong visual connections to the public realm. The proposed palette will be low water use, low maintenance, support erosion control, and will be strategically designed to define spaces, create barriers, and support circulation and shade as needed. Hybrid mesquites will serve as a standard parking peninsulas and drive lane species and be supported with complementary understory plantings. Hardscape patterns utilizing concrete and pavers will provide wayfinding, highlight nodes and areas for gathering, and provide visual impact throughout the site.

#### DEVELOPMENT REVIEW BOARD CRITERIA CONFORMANCE

In considering any application for development, the Development Review Board shall be guided by the following criteria (Zoning Ordinance Sec. 1.904):

1. The Board shall examine the design and theme of the application for consistency with the design and character components of the applicable guidelines, development standards, Design Standards and Policies Manual, master plans, character plan and General Plan.

**Response:** Vi at Cavasson will comply with the applicable guidelines, development standards, Design Standards & Policies Manual, Greater Airpark Character Area Plan ("GACAP"), and General Plan.

The proposal is consistent with the General Plan Land Use Map and the GACAP designation, which identifies the Property as Airpark Mixed Use – Residential. The proposal is supportive of the desired values defined in the General Plan and GACAP. The community vision is supported by this proposal, and the development will promote the achievement of many long-term goals outlined in the City's General Plan and GACAP as the proposed development will help fulfill the growing demand for residential health care in Scottsdale, allowing residents to age in place.

The proposed project meets the need for a broader range of minimal and specialized care in this area of the city. The demographic is rising and the need for these services will increase with that change. The proposed development addresses this need with a range of goals including the integration of high quality, vibrant architecture, and innovative site planning, creating pedestrian presence with ground level activity, and providing a needed senior care facility for a growing demographic.

2. The architectural character, landscaping and site design of the proposed development shall:

- a. Promote a desirable relationship of structures to one another, to open spaces and topography, both on the site and in the surrounding neighborhood:

**Response:** The new residential health care facility will be compatible with the newly constructed and/or planned office, retail, hospitality, and multi-family developments within the Cavasson master development. The proposed design also responds to the more intense location at the center of the Cavasson master development. The relationship to the proposed Grayhawk multifamily development to the north will be buffered with landscape screening, and sizable setbacks.

Massing strategies for the residential health care facility will respond directly to the scale and context of the surrounding proposed developments. The portion of the development that abuts Miller Road, Cavasson Boulevard and Claret Drive stays in character with the density and scale appropriate for the Cavasson master development. Building size steps up appropriately from the west to the east. The basis of design is a high-quality aesthetic that respects the proposed Cavasson master development context, while maintaining a timeless appeal for the project.

- b. Avoid excessive variety and monotonous repetition:

**Response:** The overall massing of the building coupled with appropriate use of materials, creates strong visual imagery all the way around the development. The project materials are varied but relate to the existing and planned uses of the surrounding Cavasson master development.

- c. Recognize the unique climatic and other environmental factors of this region to respond to the Sonoran Desert environment, as specified in the Sensitive Design Principles;

**Response:** Please see the Scottsdale Sensitive Design Principles Conformance section found in the following section.

- d. Conform to the recommendations and guidelines in the Environmentally Sensitive Lands (ESL) Ordinance, in the ESL Overlay District; and

**Response:** Not applicable.

- e. Incorporate unique or characteristic architectural features, including building height, size, shape, color, texture, setback or architectural details, in the Historic Property Overlay District.

**Response:** Not applicable.

3. Ingress, egress, internal traffic circulation, off-street parking facilities, loading and service areas and pedestrian ways shall be so designed as to promote safety and convenience.

**Response:** Miller Road, Cavasson Blvd., and Claret Drive frontages will provide a high-quality visual streetscape experience and enhanced pedestrian comfort appropriate for these roadways. The right of way sidewalks and associated landscaping are being installed as part of the Cavasson master development but will be modified to accommodate this Project. The streetscape includes plantings of native trees and gentle meandering sidewalks.

The subject site is located along three roadways and perfectly situated to take advantage of multimodal transportation. Perimeter improvements already installed by the master developer will greatly improve the sidewalk and right of way infrastructure.

The subject site and proposed development represent a prime example of appropriate development consistent with the Cavasson master development goals. The project can tap into the existing utility infrastructure and improved facilities as warranted. Minimal care resident parking will be located under the proposed buildings limiting the number of surface parking spaces.

Minimal care residents will access the site via the main entry along Cavasson Boulevard and park under the proposed buildings in a secure parking garage. Visitors to the minimal care facility will also enter the site from Cavasson Boulevard and park near the main entry at designated visitor parking spaces.

Specialized care visitors and guests will enter the site via Miller Road accessing the designated entry and guest parking areas on the west side of the site.

4. If provided, mechanical equipment, appurtenances and utilities, and their associated screening shall be integral to the building design.

**Response:** All mechanical equipment, appurtenances and utilities will be fully screened and/or incorporated in the building design.

5. Within the Downtown Area, building and site design shall....

**Response:** Not applicable.

6. The location of artwork provide in accordance with the Cultural Improvement Program or Public Art Program shall address the following criteria....

**Response:** Not applicable.

### SCOTTSDALE'S SENSITIVE DESIGN PRINCIPLES

The Character and Design Element of the General Plan states that "Development should respect and enhance the unique climate, topography, vegetation, and historical context of Scottsdale's Sonoran Desert environment, all of which are considered amenities that help sustain our community and its quality of life." The City has established a set of design principles, known as the Scottsdale's Sensitive Design Principles, to reinforce the quality of design in our community. The following Sensitive Design Principles are fundamental to the design and development of the Property.

1. The design character of any area should be enhanced and strengthened by new development.

**Response:** The proposed development of this Property will improve the undeveloped site by helping to diversify the overall Cavasson master development. The site is designed with a pedestrian-oriented focus, enabling convenient walkability within the Vi development, which provides an important amenity for residents.

2. Development, through appropriate siting and orientation of buildings, should recognize and preserve established major vistas, as well as protect natural features.

**Response:** The residential health care facility will provide views of the McDowell Mountains to the east and Phoenix Mountains to the south. The proximity of several community parks throughout the Cavasson master development will enable the proposed facility to serve visitors to these public amenities.

3. Development should be sensitive to existing topography and landscaping.

**Response:** The site is an existing undeveloped parcel of land within the Cavasson master development. The four major buildings proposed will have their finish floor elevations sited to minimize grading. The underground parking garage will assist in mitigating the natural topography that runs from the high point at the northeast corner to the low point near the southwest corner. All landscaping will consist of low-water use desert adapted landscaping materials. Respecting the Southwest's climate conditions, a variety of native materials and sizes will be integrated to create a layering effect to help mitigate the urban heat island effect.

4. Development should protect the character of the Sonoran Desert by preserving and restoring natural habitats and ecological processes.

**Response:** To the extent possible, the development will preserve and restore natural habitats and ecological processes through the inclusion of water conscious landscaping. New landscaping materials will contribute to the urban habitat for wildlife and improved air quality. Also, desert adapted plants will be able to withstand the variations of the local climate and as they mature, they should become self-sustaining relative to water demand. See the landscape plan for proposed plant varieties.

5. The design of the public realm, including streetscapes, parks, plazas and civic amenities, is an opportunity to provide identity to the community and to convey its design expectations.

**Response:** The street frontage of the Property incorporates design principles that respond to the pedestrian experience and provide safe and pleasant connections to the adjacent parcels within the Cavasson master development. The design features a significant landscaping setback, which will provide shade over the existing sidewalk and create a buffer between the residential health care facility and adjacent streets.

6. Developments should integrate alternative modes of transportation, including bicycles and bus access, within the pedestrian network that encourage social contact and interaction within the community.

**Response:** The proposed residential health care facility allows for pedestrian synergy between buildings and amenities designed in a community setting. On-site residents and staff will be able to use on-site dining, activity, exercise, and educational opportunities. The project is appropriately scaled to take advantage of the numerous alternative modes of transportation available in the Cavasson master development.

7. Development should show consideration for the pedestrian by providing landscaping and shading elements as well as inviting access connections to adjacent developments.

**Response:** The proposed development will incorporate design elements that respect human-scale, providing shade and shelter through building, site, and landscape design. The landscaping of the site is intended to provide a desert-lush, pedestrian friendly, shaded environment.

8. Buildings should be designed with a logical hierarchy of masses.

**Response:** This Property is located adjacent to existing and future office, retail, hospitality, and multifamily residential developments of varying heights. The proposed building massing and architectural character considerations create appropriate transitions to surrounding development though both land use and building character. The primary building massing is oriented in the center of the Property and incorporates one, three, and four-story elements. Given the diverse range of land uses that will ultimately surround the Property, the proposal represents an appropriate fit for the existing/planned context.

9. The design of the built environment should respond to the desert environment.

**Response:** The proposed development will utilize a variety of desert appropriate textures and building finishes, incorporate architectural elements that provide solar shading and overhangs, and celebrate the Southwest climate by creating abundant outdoor living spaces and amenities for its residents. Building materials and finishes will include stone, architectural composite metal panels, stucco or EIFS, metal accents, and insulated glazing.

**10. Developments should strive to incorporate sustainable and healthy building practices and products.**

**Response:** The pedestrian connectivity and recreational opportunities near the site are secondary amenities for the residents and reduce vehicle trips. Sustainable strategies that minimize environmental impact and reduce energy consumption, will be emphasized. These sustainable building practices may include, but are not limited to:

Sustainable location & transportation efficiencies include:

- Reduced parking footprint
- Providing minimum requirements, without over parking.

*Sustainable site measures include:*

- Stormwater protection plan for mitigation of stormwater contamination on surrounding areas during construction.
- Within the project provide recreational, fitness facilities, and swimming pool.
- Landscape lighting will also be limited to LED, low wattage adjustable fixtures ground mounted at the drip line of trees, pedestrian path lights for low level planting areas, and tree mounted dangling down lights in select locations.
- Featured accent stone walls to be illuminated from adjustable flush-to-grade fixtures that are aimed at the wall to minimize spill light into the night sky.
- Humidity sensing, computer-controlled drip irrigation system.
- Underground storage tanks will be used to retain the first flush of the site.
- Walkable Site: Continuous sidewalks or equivalent all-weather routes for walking on the project site serve all functional building entrances and connect them to public sidewalks.

*Water efficiency techniques include:*

- Use water efficient (low flow) plumbing fixtures including faucets and showers.
- Utilize bottle fillers along with drinking fountains to minimize plastic bottle waste.
- Drip irrigation system with wind and rain sensors (smart controllers).
- Individual emitters per plant to minimize water waste and keep weeds controlled.

*Sustainable Energy & Atmosphere Measures include:*

- Integrative Design Process with Energy model to review Whole Building Energy Use.
- Provide double pane low E glass for all windows and doors.
- Maximize the use of LED light fixtures throughout interior common areas.
- Minimize air infiltration for residential building efficiency but allow for resident control of their environment.
- Provide hot water with a central water system that can be fueled by gas rather than less efficient, smaller unit water heaters. Manifold the water heaters together to allow for system maintenance and repairs.
- Provide residential air handling units with remote return air to minimize internal unit noise.

- Supplemental lighting will be provided on walkways from bollards that are dark sky compliant.
- Use of Energy Star appliances (refrigerators, dishwasher, and clothes washer.)

*Sustainable Material & Resource Techniques include:*

- Provide multiple opportunities for recycling of resident waste including glass and paper.
- The buildings will be constructed with sustainable wood framing materials, which promote healthier buildings.
- Typical construction practices on the site may involve methods designed to preserve resources, such as excessive wood and other unused products, limiting waste.

*Indoor Environmental Quality Enhancements include:*

- Avoid the use of high VOC Paint and glues.
- Eliminate-smoking in the building and avoid near building entrances.
- Provide constant low-volume exhaust fan to introduce fresh air.
- Provide “machine room less” elevators they are more efficient and do not require heavyplunger oil for operation.
- Unit windows will provide views external to the project, minimizing focus on other units, for privacy and quality of views.
- No or low-mercury lighting systems (LED only no CFL).

**11. Landscape design should respond to the desert environment by utilizing avariety of mature landscape materials indigenous to the arid region.**

**Response:** Context appropriate, mature arid-region plant materials will be utilized with the development of the Property. The “Cavasson” character will be upheld through the careful selection of plant materials in terms of scale, density, and arrangement. The range of plant materials will include, but not limited to, Palo Verde trees, Date Palms, Oleanders,hybrid Mesquites and various flowering shrubs to name a few.

**12. Site design should incorporate techniques for efficient water use by providingdesert adapted landscaping and preserving native plants.**

**Response:** The proposed development will maintain a water conscious plant palette and incorporate salvaged native plants (see landscape plan). Context appropriate desert adapted materials will be utilized with the development of the Property, consistent with the established vegetative pattern along Miller Road, Cavasson Boulevard, and Claret Drive. The landscape, hardscape and associated site features will complement the Cavasson master site landscape palette.

13. The extent and quality of lighting should be integrally designed as part of the built environment.

**Response:** Lighting will be designed in a manner that is respectful of the surrounding context and will respect the City's dark sky policies with fully shielded fixtures, while maintaining safety for future residents, and in conformance with City lighting standards. A lighting plan has been submitted with the DRB application.

14. Signage should consider the distinctive qualities and character of the surrounding context in terms of size, color, location and illumination.

**Response:** Project identification will be contextually appropriate and processed under a separate approval and permit process.

**END OF NARRATIVE**

## DEVELOPMENT REVIEW BOARD CRITERIA ANALYSIS

---

Per Section 1.904. of the Zoning Ordinance, in considering any application for development, the Development Review Board shall be guided by the following criteria:

- 1. The Board shall examine the design and theme of the application for consistency with the design and character components of the applicable guidelines, development standards, Design Standards and Policies Manual, master plans, character plan and General Plan.**
  - *The applicant states that the proposed development is supportive of the desired values defined in the General Plan and the Greater Airpark Character Area Plan (GACAP). It is also supportive of the community's vision by responding to the growing demand for residential healthcare in Scottsdale, allowing residents to age in place. The proposed development addresses the need with a range of goals including integration of high quality, vibrant architecture and innovative site planning, creating a pedestrian presence and ground level activity.*
  - *Staff analysis: The proposed development contributes to what is already becoming a vibrant mixed-use development (Cavasson) that includes office, retail and travel accommodations; consistent with the Airpark Mixed-Use – Residential (AMU-R) designation of the GACAP. From a design perspective, the project provides a pedestrian-oriented setting that includes numerous pathways and open space areas, and the building design utilizes a variety of textures and materials to provide visual interest (Goal CD 1). Geometric shapes and planer differentiation, and varying building heights also contribute to the visual interest, further promoting the overall character of the Cavasson development (Policy CD 1.3).*
- 2. The architectural character, landscaping and site design of the proposed development shall:**
  - a. Promote a desirable relationship of structures to one another, to open spaces and topography, both on the site and in the surrounding neighborhood;**
  - b. Avoid excessive variety and monotonous repetition;**
  - c. Recognize the unique climatic and other environmental factors of this region to respond to the Sonoran Desert environment, as specified in the Sensitive Design Principles;**
  - d. Conform to the recommendations and guidelines in the Environmentally Sensitive Lands (ESL) Ordinance, in the ESL Overlay District; and**
  - e. Incorporate unique or characteristic architectural features, including building height, size, shape, color, texture, setback or architectural details, in the Historic Property Overlay District.**
  - *The applicant states that the massing strategies for this project will respond directly to the scale and context of the surrounding development (existing and proposed). Building size steps up appropriately from the west to the east. The basis of design is a high-quality aesthetic that respects the proposed Cavasson master development context. Overall massing coupled with appropriate use of materials creates strong visual imagery, and materials are varied but related to the existing theme anticipated for the rest of the Cavasson project. Finally, the relationship to the proposed Grayhawk multifamily project to the north (24-DR-2021) will be buffered with landscape screening and sizeable setbacks.*
  - *Staff analysis: The combination of large pockets of open space and a strong streetscape provide a pleasant setting for residents of the project and sufficient buffering of what is a large project from surrounding streets and properties. Varying building heights (1-, 3- and 4-story) as well as varying setbacks from the street minimize monotony, while still maintaining a consistent design theme. Finally, the use of exaggerated roof overhangs and deep recesses*

*provides protection from solar heat gain; and proposed colors are generally responsive to the surrounding desert context, consistent with the Sensitive Design Principles.*

**3. Ingress, egress, internal traffic circulation, off-street parking facilities, loading and service areas and pedestrian ways shall be designed as to promote safety and convenience.**

- *The applicant states that the three street frontages abutting this project will provide a high-quality visual streetscape experience and enhanced pedestrian comfort appropriate for the roadways. The site is perfectly situated to take advantage of multimodal transportation. Perimeter improvements already installed by the master developer will greatly improve the pedestrian experience. Parking for minimal care residents is proposed in a sub-grade garage to limit excessive surface parking*
- *Staff analysis: Vehicular circulation is primarily limited to perimeter areas of the project, effectively separating the vehicles from the active and passive open space areas where residents will gather and circulate. Instead of multiple refuse enclosure scattered throughout the development, refuse collection is proposed to be centrally located in a dedicated service area at the north end of the building, eliminating any potential for conflict between service vehicles and residents. Refuse will be collected by maintenance personnel and transported to compactors in the service area.*

**4. If provided, mechanical equipment, appurtenances and utilities, and their associated screening shall be integral to the building design.**

- *The applicant states that all mechanical equipment, appurtenances and utilities will be fully screened with materials integral to the building design.*
- *Staff confirms*

**5. Within the Downtown Area, building and site design shall:**

- Demonstrate conformance with the Downtown Plan Urban Design & Architectural Guidelines;**
  - Incorporate urban and architectural design that address human scale and incorporate pedestrian-oriented environment at the street level;**
  - Reflect contemporary and historic interpretations of Sonoran Desert architectural traditions, by subdividing the overall massing into smaller elements, expressing small scale details, and recessing fenestrations;**
  - Reflect the design features and materials of the urban neighborhoods in which the development is located; and**
  - Incorporate enhanced design and aesthetics of building mass, height, materials and intensity with transitions between adjacent/abutting Type 1 and Type 2 Areas, and adjacent/abutting Type 2 Areas and existing development outside the Downtown Area.**
- *This criterion is not applicable.*

**6. The location of artwork provided in accordance with the Cultural Improvement Program or Public Art Program shall address the following criteria:**

- Accessibility to the public;**
- Location near pedestrian circulation routes consistent with existing or future development or natural features;**
- Location near the primary pedestrian or vehicular entrance of a development;**

- d. Location in conformance with Design Standards and Policies Manual for locations affecting existing utilities, public utility easements, and vehicular sight distance requirements; and
- e. Location in conformance to standards for public safety.
  - *This criterion is not applicable.*

# DEVELOPMENT INFORMATION

---

## Zoning History

The site was annexed into the City in 1963 (Ord. #169) and assigned R1-43 zoning. The site was owned by the State prior to this proposal and was rezoned to P-C in 1988 as part of the Core North master plan. In 2002, the Core North area was renamed Crossroads East and the development plan was amended (19-ZN-2002). Most recently, the site was part of a privately initiated rezoning encompassing approximately 130 acres (Cavasson) of the 1,000-acre Crossroads East master plan (19-ZN-2002#6). The Cavasson site as a whole, including the subject site, is zoned P-C PCP.

## Community Involvement

With the submittal of the application, staff notified all property owners within 750 feet of the site and the site is posted with the require signage. In addition, the applicant has been in communication with property owners surrounding the site. To date, staff has received one written comment related to the proposed land use.

## Context

Presently, the project site is surrounded by vacant parcels. The parcels to the north, east and south will eventually be developed as part of the overall Cavasson project. A multi-family development of similar intensity and density is proposed on the parcel north of the subject site (24-DR-2021). Land to the west is still owned by the State but will eventually be sold to a private developer.

## Project Data

- Existing Use: Vacant
- Proposed Use: Residential Healthcare Facility
- Parcel Size: 590,580 square feet (13.5 acres of gross land area)  
490,871 square feet (11.2 acres of net land area)
- Residential Building Area: 525,213 square feet
- Other Building Area: 107,224 square feet (sub-grade garage)
- Building Height Allowed: 84 feet (inclusive of rooftop appurtenances; 19-ZN-2002#6)
- Building Height Proposed: 54 feet (inclusive of rooftop appurtenances)
- Parking Required: 356 spaces
- Parking Provided: 386 spaces (238 garage, 148 surface)
- Open Space Required: 63,588 square feet (25% of net lot area; 19-ZN-2002#6)
- Open Space Provided: 111,618 square feet / 2.56 acres
- Density Allowed: 40 dwelling units per acre
- Density Proposed: 23.78 dwelling units per acre

**Stipulations for the  
Development Review Board Application:  
Vi at Cavasson  
Case Number: 41-DR-2021**

These stipulations are intended to protect the public health, safety, welfare, and the City of Scottsdale.

**APPLICABLE DOCUMENTS AND PLANS:**

1. Except as required by the Scottsdale Revised Code (SRC), the Design Standards and Policies Manual (DSPM), and the other stipulations herein, the site design and construction shall substantially conform to the following documents:
  - a. Architectural elements, including dimensions, materials, form, color, and texture shall be consistent with the building elevations provided by Orcutt Winslow, with a city staff date of 12/13/2021.
  - b. The location and configuration of all site improvements shall be consistent with the site plan provided by Orcutt Winslow, with a city staff date of 12/13/2021
  - c. Landscape improvements, including quantity, size, and location shall be installed to be consistent with the preliminary landscape plan provided by Dig Studio, with a city staff date of 12/13/2021.
  - d. The case drainage report provided by Hubbard Engineering and accepted in concept by the Stormwater Management Department.
  - e. The water and sewer basis of design report submitted by Hubbard Engineering and approved as noted by the Water Resources Department.
  - f. The Cavasson – Phase 3 Preliminary Plat submitted by Hubbard Engineering, with a city staff date of 11/29/2021

**RELEVANT CASES:**

**Ordinance**

- A. At the time of review, the applicable Zoning case for the subject site was: 19-ZN-2002#6.

**ARCHAEOLOGICAL RESOURCES:**

**Ordinance**

- B. Any development on the property is subject to the requirements of Scottsdale Revised Code, Chapter 46, Article VI, Section 46-134 - Discoveries of archaeological resources during construction.

**ARCHITECTURAL DESIGN:**

**DRB Stipulations**

2. All exterior window glazing shall be recessed a minimum of fifty (50) percent of the wall depth, including glass windows within any tower/clerestory elements. The amount or recess shall be

measured from the face of the exterior wall to the face of the glazing, exclusive of external detailing. With the final plan submittal, the developer shall provide head, jamb and sill details clearly showing the amount of recess for all window types.

3. All exterior doors shall be recessed a minimum of thirty (30) percent of the wall depth, the amount of recess shall be measured from the face of the exterior wall to the face of the glazing, exclusive of external detailing. With the final plan submittal the developer shall provide head, jamb and sill details clearly showing the amount of recess for all door types.

**SITE DESIGN:**

**Ordinance**

- C. Prior to issuance of any building permit for the development project, a subdivision plat in conformance with the Cavasson – Phase 3 Preliminary Plat submitted by Hubbard Engineering, with a city staff date of 11/29/2021, shall be recorded with its associated improvements permitted for construction.
- D. Prior to issuance of any building permit for the development project, the property owner shall submit plans and receive approval to construct all refuse enclosures in conformance with approved refuse plan with a staff date of January 6, 2022.

**DRB Stipulations**

4. All drive aisles shall have a minimum width of twenty-four (24) feet.

**LANDSCAPE DESIGN:**

**Ordinance**

- E. The property owner shall obtain approval of a Salvage/Native Plant Plan Application and obtain a permit to removed or destroy any protected species.

**DRB Stipulations**

5. Prior to the issuance of any building permit for the development project, the property owner shall submit landscape improvement plans that demonstrate how the salvaged vegetation from the site will be incorporated into the design of the landscape improvements.
6. Landscape pots and/or raised landscape planters, with a minimum of 36 inches in diameter, a sufficient depth to support the root system of the plants located in the pots/planters, and an automatic irrigation system, shall be provided in any plaza area and pedestrian nodes that are shown on the site plan.

**EXTRIOR LIGHTING:**

**Ordinance**

- F. All exterior luminaires mounted eight (8) feet or higher above finished grade, shall be directed downward.
- G. Any exterior luminaire with a total initial lumen output of greater than 1600 lumens shall have an integral lighting shield.
- H. Any exterior luminaire with a total initial lumen output of greater than 3050 lumens shall be directed downward and comply with the Illuminating Engineering Society of North America (IES) requirements for full cutoff.

**DRB Stipulations**

7. All exterior luminaires shall meet all IES requirements for full cutoff and shall be aimed downward and away from property line except for sign and landscape lighting.
8. Incorporate the following parking lot and site lighting into the project's design:
  - a. The maintained average horizontal luminance level, at grade on the site, shall not exceed 2.0 foot-candles. All exterior luminaires shall be included in this calculation.
  - b. The maintained maximum horizontal luminance level, at grade on the site, shall not exceed 8.0 foot-candles. All exterior luminaires shall be included in this calculation.
  - c. The initial vertical luminance at 6-foot above grade, along the entire property line shall not exceed 1.0 foot-candles. All exterior luminaires shall be included in this calculation.
  - d. All exterior lighting shall have a color temperature of 3,000 Kelvin or less.
  - e. The total lumen per luminaire shall not exceed 24,000 lumens.

**AIRPORT:**

**DRB Stipulations**

9. With the construction document submittal, the property owner shall submit an FAA FORM 7460-1 to the FAA for any proposed structures, appurtenances and/or individual construction cranes that penetrate the 100:1 slope. The elevation of the highest point of those structures, including the appurtenances, must be detailed on the FAA form 7460-1 submittal. The property owner shall provide Aviation staff a copy of the FAA determination letter prior to building permit issuance.
10. With the construction document submittal, the property owner shall submit an aircraft noise and overflight disclosure notice that is to be provided to occupants, potential homeowners, employees and/or students. The disclosure form shall be in a form acceptable to the Scottsdale Aviation Director, prior to the issuance of any building permit, not including a native plant permit.

**STREET DEDICATIONS:**

**Ordinance**

- I. Prior to the issuance of any building permit for the development project, the property owner shall make the following fee simple right-of-way dedications to the City of Scottsdale: right-of-way dedications per the Cavasson – Phase 3 Preliminary Plat submitted by Hubbard Engineering, with a city staff date of 11/29/2021.

**STREET INFRASTRUCTURE:**

**Ordinance**

- J. All street infrastructure improvements shall be constructed in accordance with this City of Scottsdale (COS) Supplement to MAG Specifications and Details, and the Design Standards and Policies Manual.
- K. Prior to the issuance of any building permit for the development project, the property owner shall submit and obtain approval of civil construction documents to construct the following improvements: all improvements per the Cavasson – Phase 3 Preliminary Plat submitted by Hubbard Engineering, with a city staff date of 11/29/2021.

**DRB Stipulations**

11. All public sidewalks shall be integral colored concrete to match Davis, San Diego Buff.
12. All curb ramps for public and pedestrian sidewalks that intersect public and private streets, or driveways that intersect public and private streets, shall have truncated domes that are colored to match Frazee Western Reserve (8617N) color, or Sherman Williams (SW7055) Enduring Bronze (246-C7).

**WATER AND WASTEWATER:**

**Ordinance**

- L. Prior to the issuance of any building permit for the development project, the property owner shall submit and obtain approval of civil construction documents to construct the following improvements: all improvements per the Cavasson – Phase 3 Preliminary Plat submitted by Hubbard Engineering, with a city staff date of 11/29/2021.

**DRAINAGE AND FLOOD CONTROL:**

**DRB Stipulations**

13. With the civil construction document submittal, the property owner shall submit a final drainage report that demonstrates consistency with the DSPM and the case drainage report accepted in concept by the Stormwater Manager or designee.
14. All headwalls and drainage structures shall be integrally colored concrete to blend with the color of the surrounding natural desert.

**EASEMENTS DEDICATIONS:**

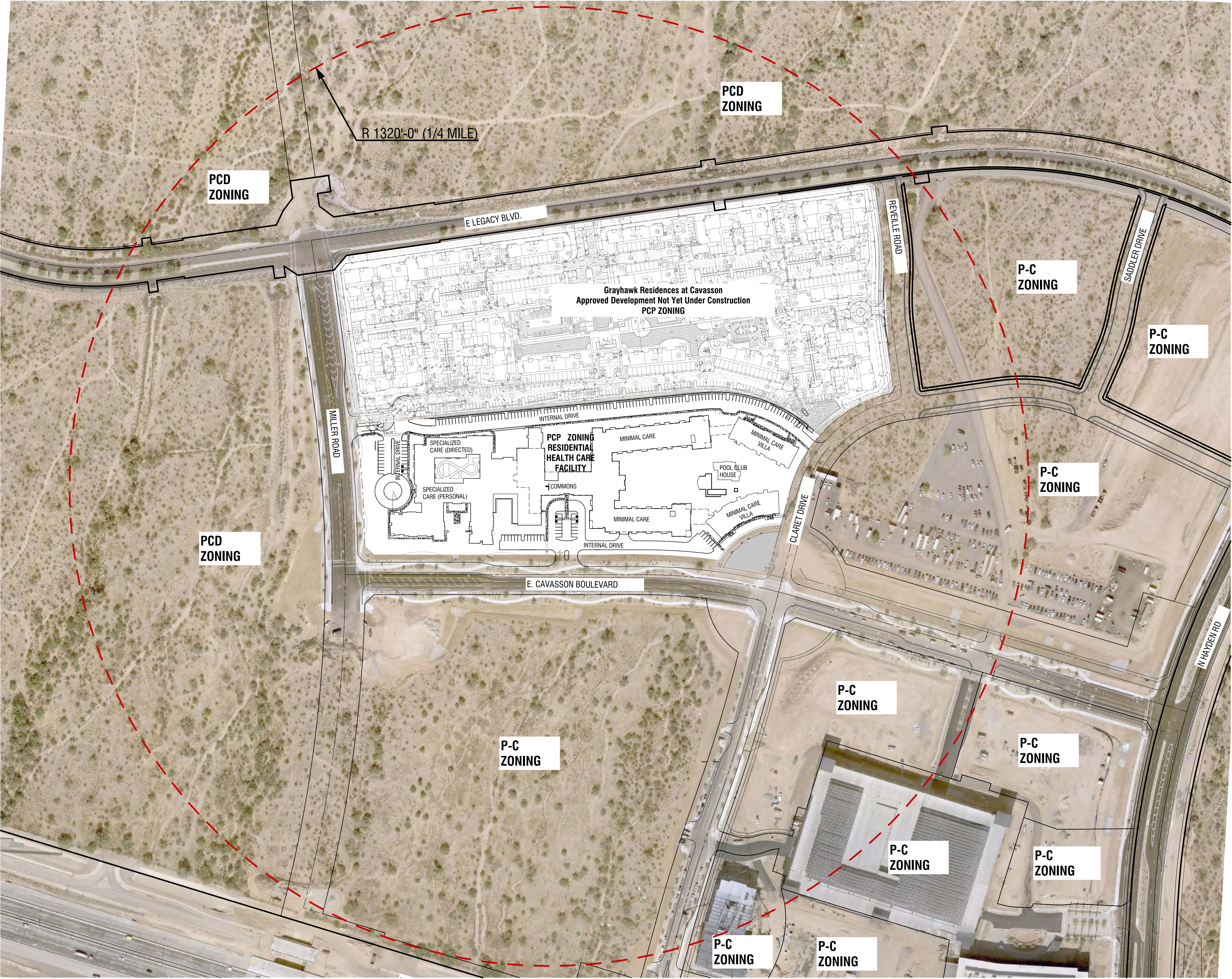
**DRB Stipulations**

15. Prior to the issuance of any building permit for the development project, the property owner shall dedicate the following easements to the City of Scottsdale on a final plat or map of dedication:
  - a. A sight distance easement, in conformance with figures 5.3-26 and 5.3-27 of Section 5.3 of the DSPM, where a sight distance triangle(s) cross on to the property
  - b. A continuous Public Non-Motorized Access Easement to the City of Scottsdale to contain any portion of the public sidewalk in locations where the sidewalk crosses on to the lot
  - c. A Public Access Easement to the City of Scottsdale to contain the shared driveway at N. Miller Road
  - d. An Avigation Easement over the entire project site

**ADDITIONAL ITEMS:**

**DRB Stipulations**

16. Flagpoles, if provided, shall be one-piece conical tapered design and shall not exceed 36 feet in height.
17. Project signage shall be submitted for separate review and approval.



CONTEXT AERIAL

NOT TO SCALE



# Vi at Cavasson

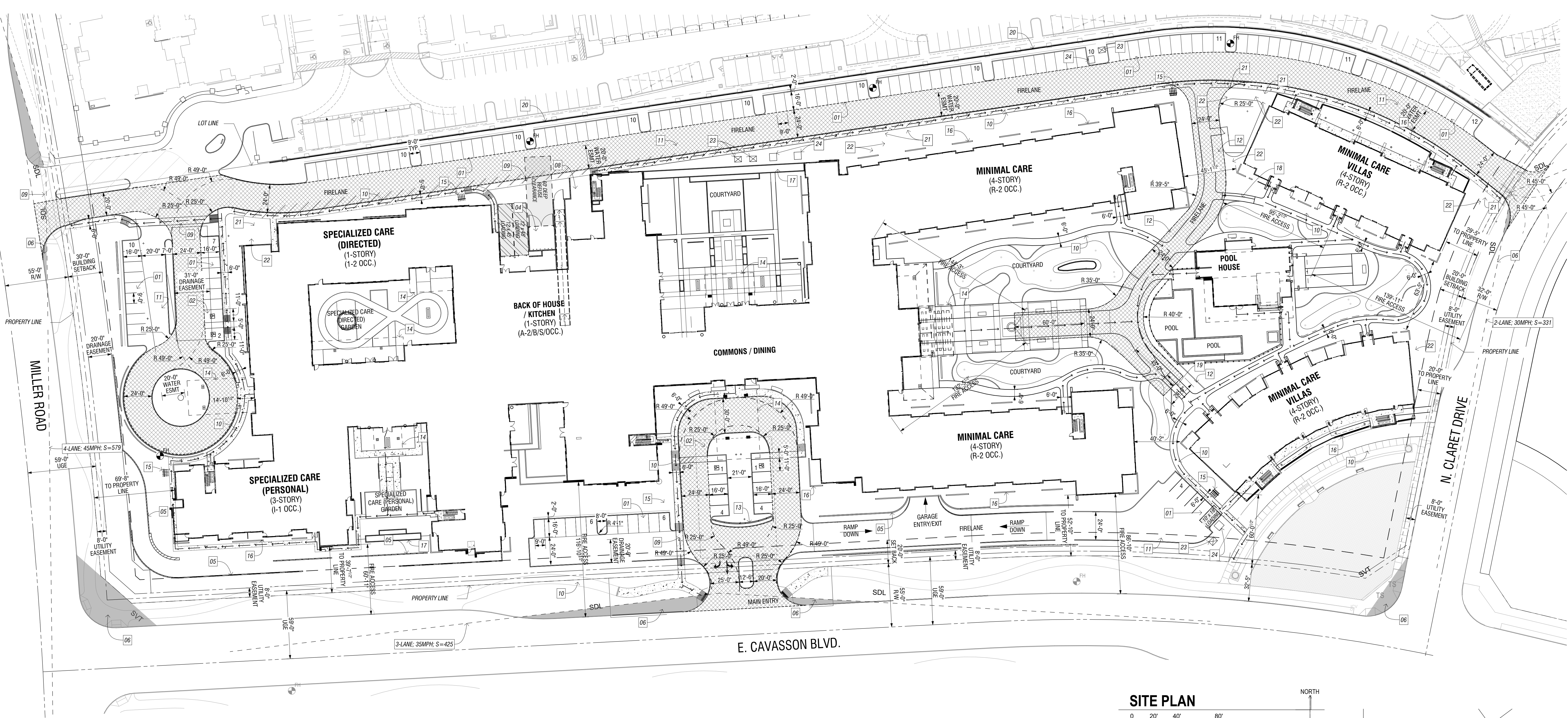
NE corner Miller Rd. and Cavasson Blvd. Scottsdale AZ 85255

ATTACHMENT #7

orcutt|winslow

ARCHITECTURE PLANNING INTERIOR DESIGN

Context Aerial Plan  
A-03



DEVELOPMENT DATA:

PROJECT DESCRIPTION:

A four-story residential health care facility with minimal and specialized care (directed and personal care) units. In addition, a below grade parking structure

ZONING:

PCD PCP (Planned Community District, Planned Airpark Core) per the Crossroads East Master Plan, Planning Unit V (Cavasson)

SITE LOT AREA:

GROSS LOT AREA: 590,580 SF or 13.5 acres  
NET LOT AREA: 490,871 SF or 11.2 acres

SITE DENSITY NOTE:

The conversion factor approved by the City in April 2020, is 1 residential health care units / beds = 0.59 traditional dwelling unit for the purposes of subtracting from the approved land use budget for Cavasson

REQUIRED: Max. 40 D.U./Acre (Gross)  
PROVIDED: 23.78 D.U./Acre (Gross)

UNIT MIX:			
SPECIALIZED CARE / PERSONAL CARE (SC/PC)			
	Units	Units/Beds	
One-Bedroom	55	55 beds	
Two-Bedroom	6	12 beds	
TOTAL SC/PC UNITS / BEDS	61	67 beds	
SPECIALIZED CARE / DIRECTED CARE (SC/DC)			
One-Bedroom	30	30 beds	
TOTAL SC/DC UNITS / BEDS	30	30 beds	
TOTAL SPECIALIZED CARE	91	97 beds	
MINIMAL CARE (MC)			
Studios	2	2 units	
One-Bedroom	36	36 units	
One-Bedroom+Den	44	44 units	
Two-Bedroom	74	74 units	
Two-Bedroom+Den	10	10 units	
Two-Bedroom+Den Corner	16	16 units	
Two-Bedroom+Den N. Villa	24	24 units	
Two-Bedroom+Den S. Villa	16	16 units	
Two-Bedroom+Den S. End Villa	8	8 units	
TOTAL MINIMAL CARE	230	230 units	
TOTAL DEVELOPMENTS	321 Units	327 Units/Beds	

PARKING:

REQUIRED:  
SPECIALIZED CARE:  
0.7 STALL PER BED

67 PERSONAL CARE BEDS  
30 DIRECTED CARE BEDS  
97 SPECIALIZED CARE BEDS

0.7 x 97 BEDS: 68 STALLS

MINIMAL CARE FACILITIES:  
1.25 STALLS PER UNIT

1.25 x 230 UNITS: 288 STALLS

TOTAL REQUIRED: 356 STALLS

PROVIDED:

GARAGE PARKING: 238 STALLS  
SURFACE PARKING: 148 STALLS

TOTAL PROVIDED: 386 STALLS

LOADING/UNLOADING AREAS:

REQUIRED:

MULTI-FAMILY (151-400) 2 AREAS (45LX12W)

PROVIDED:

MULTI-FAMILY (321) 2 AREAS (45LX12W)  
10X18 PARKING SPACE 1 STALL  
TOTAL PROVIDED 3 AREAS/STALL

ACCESSIBLE PARKING REQUIRED:

4% OF PROVIDED  
0.04 x 386:

ACCESSIBLE PARKING: 13 STALLS  
ACCESSIBLE VAN PARKING: 3 STALLS

ACCESSIBLE PARKING PROVIDED:

ACCESSIBLE PARKING (SURFACE): 4 STALLS  
ACCESSIBLE PARKING (GARAGE): 9 STALLS

VAN PARKING (GARAGE): 3 STALLS

TOTAL PROVIDED: 16 STALLS

ACCESSORY PARKING:

GOLF CART: 5 STALLS  
MOTORCYCLE: 4 STALLS

TOTAL PROVIDED: 9 STALLS

KEYNOTES

- 9'x16' Parking space with 2' overhang, typical.
- 11'x18' plus 5' aisle accessible parking space
- Parking island
- Trash compactor
- Retaining Wall
- Sight visibility triangles per AASHTO geometric design of highway and streets
- 6' sidewalk, typical
- Generator inside screen wall
- Striping for pedestrian route
- 5'+ wide concrete sidewalk
- Asphalt paving
- Fire lane integrated into landscaping
- 4" stone entry wall
- Trellis above
- Bike rack
- 6" stone screen wall, refer to building elevations
- Ramp
- ADA ramp
- Existing perimeter wall
- Water meter
- Backflow preventor
- Transformer
- Switching cabinet

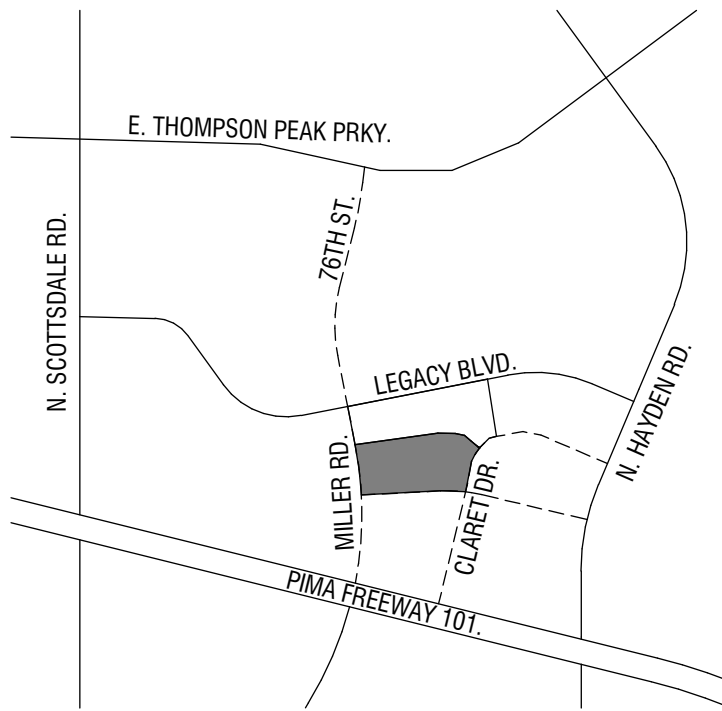
SITE PLAN LEGEND

- FH FIRE HYDRANT
- ACCESSIBLE PATH OF EGRESS
- ACCESSIBLE PARKING
- FIRE LANE WITH EMERGENCY VEHICLE ACCESS EASEMENT (EVAE)
- CROSS ACCESS EASEMENT (CAE)
- ACCESSIBLE RAMP
- FIRE TRUCK TURNING RADIUS

SITE PLAN

0 20' 40' 80'  
SCALE: 1" = 40'

NORTH



Vicinity Map

NOT TO SCALE

NORTH

Vi at Cavasson

NE corner Miller Rd. and Cavasson Blvd. Scottsdale AZ 85255

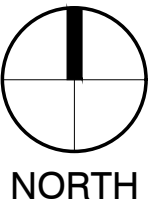
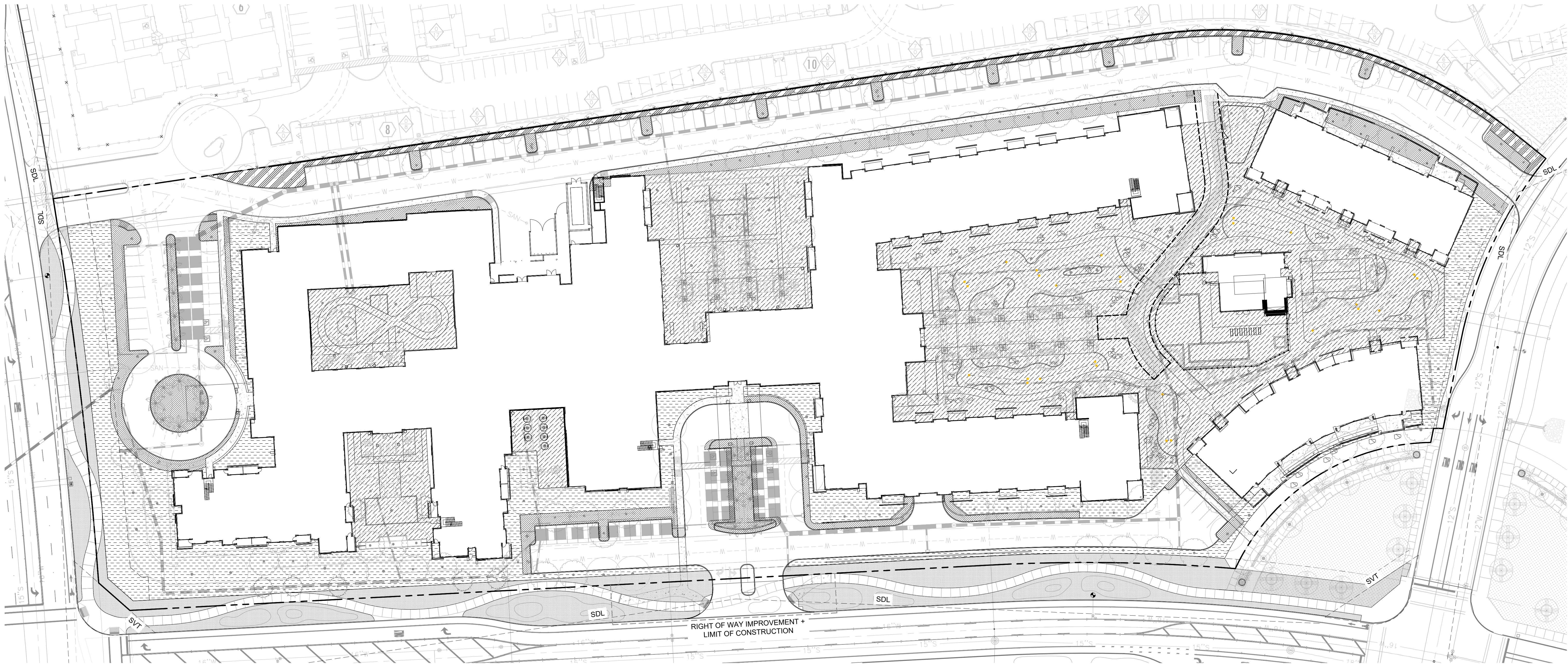
ATTACHMENT #8

orcutt|winslow

ARCHITECTURE PLANNING INTERIOR DESIGN

Site Plan

A-04



0 20' 40' 80'  
SCALE: 1" = 40'-0"

VI AT CAVASSON

PROJECT INFORMATION  
GROSS LOT AREA: 490,871 SF  
NET LOT AREA: 254,235 SF  
PARKING LOT AREA:

OPEN SPACE REQUIRED: 63,588 SF (25% OF NET AREA)  
OPEN SPACE PROVIDED: 111,618 SF

- FRONT YARD 50% OF REQUIRED (OPEN SPACE): 31,799 SF (50% OF REQ. OPEN SPACE)
- FRONT YARD PROVIDED: 143,141 SF

- BUFFER: NOT REQUIRED

PARKING LOT LANDSCAPE REQUIRED (15% OF TOTAL PARKING LOT AREA): 67,400 SF  
PARKING LOT LANDSCAPE PROVIDED: 16,600 SF

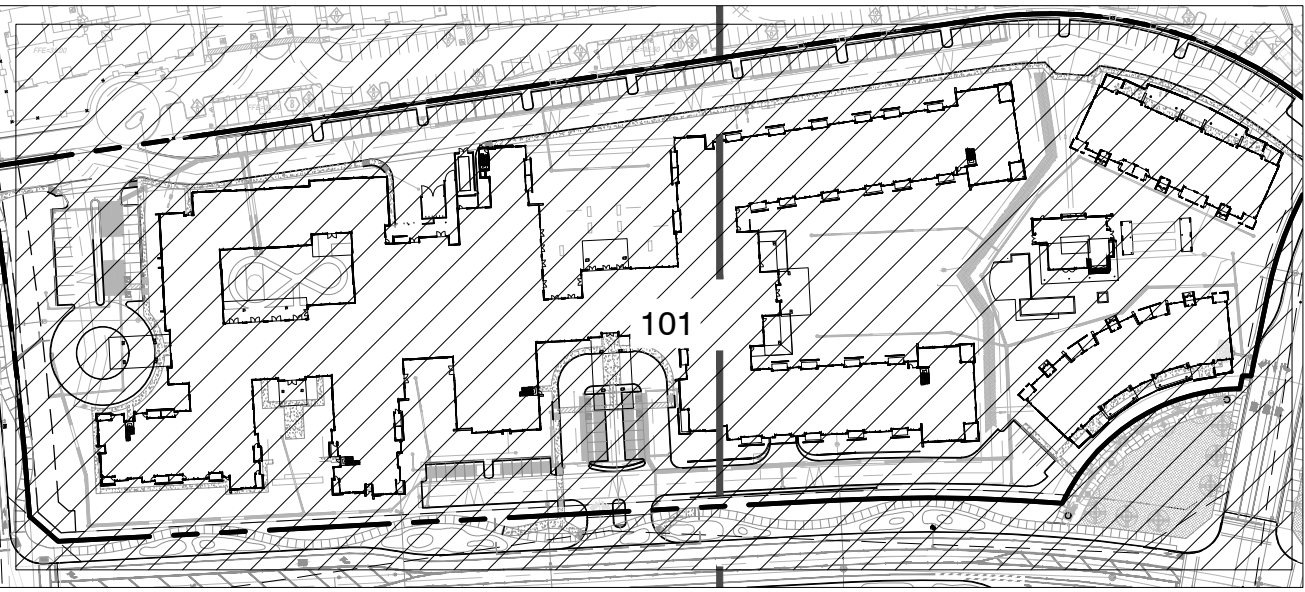
RIGHT OF WAY LANDSCAPE AREA: EXISTING

LANDSCAPE ZONE	
SYMBOL	DESCRIPTION
	RIGHT OF WAY AREA
	FRONT YARD LANDSCAPE AREA
	PARKING LOT LANDSCAPE AREA
	OPEN SPACE
NOT REQ.	INTERIOR OPEN SPACE
NOT REQ.	PERIMETER BUFFER

LAYOUT LEGEND

SYMBOL	DESCRIPTION
	STREET SIGN BY CIVIL
	EXISTING STREET LIGHT TO REMAIN
	PARCEL LINE
	LIMIT OF WORK
	PUBLIC UTILITY EASEMENT (PUE)
	RIGHT OF WAY (ROW)
	CENTER LINE (ROADWAY)
	MATCHLINE

KEY MAP:



Vi Living  
**Vi at Cavasson**

NEC MILLER RD. AND CAVASSON BLVD. SCOTTSDALE, ARIZONA 85255

orcutt|winslow

ARCHITECTURE PLANNING INTERIOR DESIGN

**Dig**  
Studio

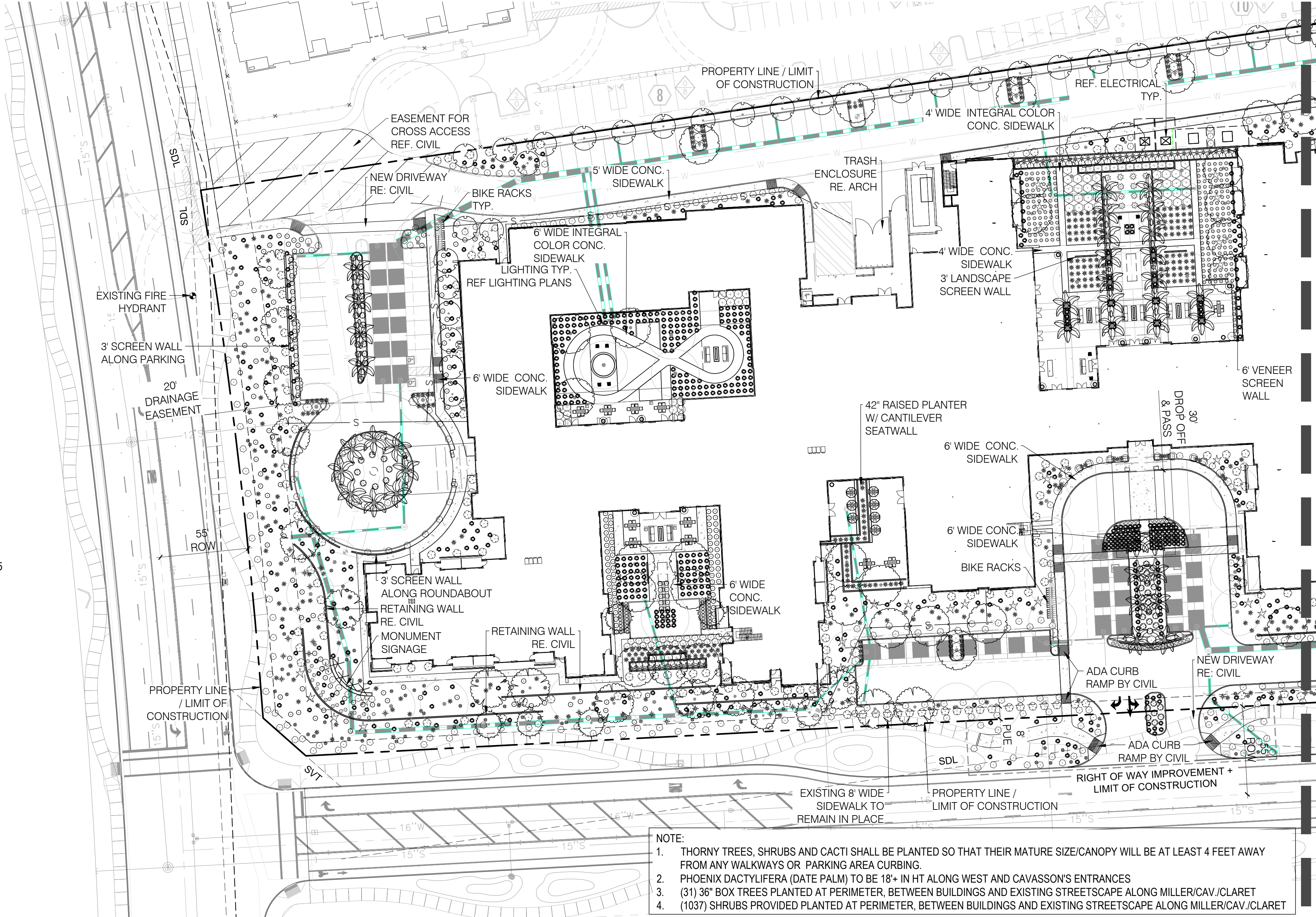
OPEN SPACE  
PLAN

OSP101

CITY OF SCOTTSDALE PLANTING NOTES

- AREAS OF DECOMPOSED GRANITE (IF YOUR IN A ELSO AREA, DELETE THE "DECOMPOSED GRANITE" AND PUT "SALVAGED DESERT SURFACE SOIL") WITHOUT PLANT MATERIALS/GROUNDCOVERS SHALL NOT EXCEED DIMENSIONS OF MORE THAN 7 FEET IN ANY ONE DIRECTION, MEASURED BETWEEN PLANT CANOPIES AND/OR COVERAGE.
- A MINIMUM OF 50 PERCENTAGE (UNLESS OTHERWISE STIPULATED BY THE DEVELOPMENT REVIEW BOARD, AND/OR THE ZONING ORDINANCE REQUIREMENTS) OF THE PROVIDED TREES SHALL BE MATURE TREES, PURSUANT TO THE CITY OF SCOTTSDALE'S ZONING ORDINANCE ARTICLE X, SECTION 10.301, AS DEFINED IN THE CITY OF SCOTTSDALE'S ZONING ORDINANCE ARTICLE III, SECTION 3.100.
- A SINGLE TRUNK TREE'S CALIPER SIZE, THAT IS TO BE EQUAL TO OR LESS THAN 4-INCHES, SHALL BE DETERMINED BY UTILIZING THE SMALLEST DIAMETER OF THE TRUNK 6-INCHES ABOVE FINISHED GRADE ADJACENT TO THE TRUNK. A TREE'S CALIPER SIZE, FOR SINGLE TRUNK TREES THAT ARE TO HAVE A DIAMETER GREATER THAN 4-INCHES, SHALL BE DETERMINED BY UTILIZING THE SMALLEST DIAMETER OF THE TRUNK 12-INCHES ABOVE FINISHED GRADE ADJACENT TO THE TRUNK. A MULTIPLE TRUNK TREE'S CALIPER SIZE IS MEASURED AT 6" ABOVE THE LOCATION THAT THE TRUNK SPLITS ORIGINATES, OR 6" ABOVE FINISHED GRADE IF ALL TRUNKS ORIGINATE FROM THE SOIL.
- AREA WITHIN THE SIGHT DISTANCE TRIANGLES IS TO BE CLEAR OF LANDSCAPING, SIGNS, OR OTHER VISIBILITY OBSTRUCTIONS WITH A HEIGHT GREATER THAN 1.5 FEET. TREES WITHIN THE SIGHT TRIANGLE SHALL HAVE A SINGLE TRUNK AND A CANOPY THAT BEGINS AT 8 FEET IN HEIGHT UPON INSTALLATION. ALL HEIGHTS ARE MEASURED FROM NEAREST STREET LINE ELEVATION.
- NO TURF AREAS ARE TO BE PROVIDED.
- RETENTION/DETENTION BASINS SHALL BE CONSTRUCTED SOLELY FROM THE APPROVED CIVIL PLANS. ANY ALTERATION OF THE APPROVED DESIGN (ADDITIONAL FILL, BOULDERS, ETC.) SHALL REQUIRE ADDITIONAL FINAL PLANS STAFF REVIEW AND APPROVAL.
- ALL RIGHTS-OF-WAY ADJACENT TO THIS PROPERTY SHALL BE LANDSCAPED AND MAINTAINED BY THE PROPERTY OWNER.
- PRIOR TO THE ESTABLISHMENT OF WATER SERVICE, NON-RESIDENTIAL PROJECTS WITH AN ESTIMATED ANNUAL WATER DEMAND OF TEN (10) ACRE-FEET OR MORE SHALL SUBMIT A
- CONSERVATION PLAN IN CONFORMANCE WITH SECTIONS 49-245 THROUGH 49-248 OF THE CITY CODE TO THE WATER CONSERVATION OFFICE.
- TURF SHALL BE LIMITED TO THE MAXIMUM AREA SPECIFIED IN SECTIONS 49-245 THROUGH 49-248 OF THE CITY CODE AND SHALL BE SHOWN ON LANDSCAPE PLANS SUBMITTED AT THE TIME OF FINAL PLANS.
- NO LIGHTING IS APPROVED WITH THE SUBMITTAL.
- THE APPROVAL OF THESE PLANS RECOGNIZE THE CONSTRUCTION OF A LOW VOLTAGE SYSTEM AND DOES NOT AUTHORIZE ANY VIOLATION OF THE CURRENT CITY OF SCOTTSDALE ADOPTED ELECTRICAL CODE.
- THE LANDSCAPE SPECIFICATION SECTION(S) OF THESE PLANS HAVE NOT REVIEWED AND SHALL NOT BE PART OF THE CITY OF SCOTTSDALE'S APPROVAL.
- ALL SIGNS REQUIRE SEPARATE PERMITS AND APPROVALS.
- NEW LANDSCAPING, INCLUDING SALVAGED PLANT MATERIAL, AND LANDSCAPING INDICATED TO REMAIN, WHICH IS DESTROYED, DAMAGED, OR EXPIRES DURING CONSTRUCTION SHALL BE REPLACED WITH LIKE SIZE, KIND, AND QUANTITY PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY / LETTER OF ACCEPTANCE TO THE SATISFACTION OF THE INSPECTION SERVICES STAFF.
- ALL REVEGETATED NAOS SHALL BE WATERED FOR 3 YEARS. AT THE END OF 3 YEARS, THE IRRIGATION SYSTEMS TO THE REVEGETATED NAOS SHALL BE PERMANENTLY DISCONNECTED.
- NO IRRIGATION SHALL BE PROVIDED TO UNDISTURBED NATURAL AREA OPEN SPACE (NAOS) AREAS.
- PROVIDE THE NATURAL AREA OPEN SPACE (NAOS) AND LIMITS OF CONSTRUCTION (LOC) PROTECTION PROGRAM ON THE PLANS:

- NATURAL AREA OPEN SPACE (NAOS) AND LIMITS OF CONSTRUCTION (LOC) PROTECTION PROGRAM:
- NO BUILDING, GRADING, OR CONSTRUCTION ACTIVITY SHALL ENCROACH INTO AREAS DESIGNATED AS NAOS, OR OUTSIDE THE DESIGNATED LIMITS OF CONSTRUCTION ENVELOPE.
  - ALL NAOS AND AREA OUTSIDE OF THE LOC SHALL BE PROTECTED FROM DAMAGE PRIOR TO, AND DURING CONSTRUCTION BY THE FOLLOW METHODS:
    - A REGISTERED LAND SURVEYOR SHALL STAKE ALL NAOS AND LOC DISTURBANCE BASED ON THIS EXHIBIT.
    - + THREE (3) FOOT TALL STEEL REBAR, OR CITY OF SCOTTSDALE INSPECTION SERVICES APPROVED SIMILAR, SHALL BE SET ALONG THE NAOS AND LOC, AND CONNECTED WITH GOLD ROPING BY THE CONTRACTOR PRIOR TO ANY CLEARING OR GRADING.
    - ALL CACTUS SUBJECT TO THE CITY OF SCOTTSDALE'S NATIVE PLANT ORDINANCE DIRECTLY ADJACENT, WITHIN TWO FEET, OF THE NAOS AND LOC LINE SHALL BE FENCED WITH WIRE FENCING TO PREVENT DAMAGE.
    - THE CONTRACTOR SHALL MAINTAIN THE STAKING, ROPING, AND FENCING INTACT DURING THE DURATION OF THE CONSTRUCTION ACTIVITY.
  - THE CONTRACTOR SHALL REMOVE STAKING, ROPING, AND FENCING AFTER RECEIPT OF THE LETTER OF ACCEPTANCE/CERTIFICATE OF OCCUPANCY FROM THE CITY OF SCOTTSDALE FOR ALL CONSTRUCTION WORK.



1 LANDSCAPE PLAN  
40 SCALE

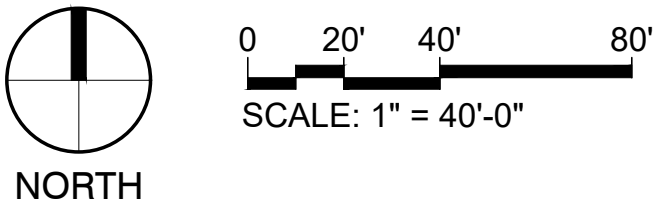
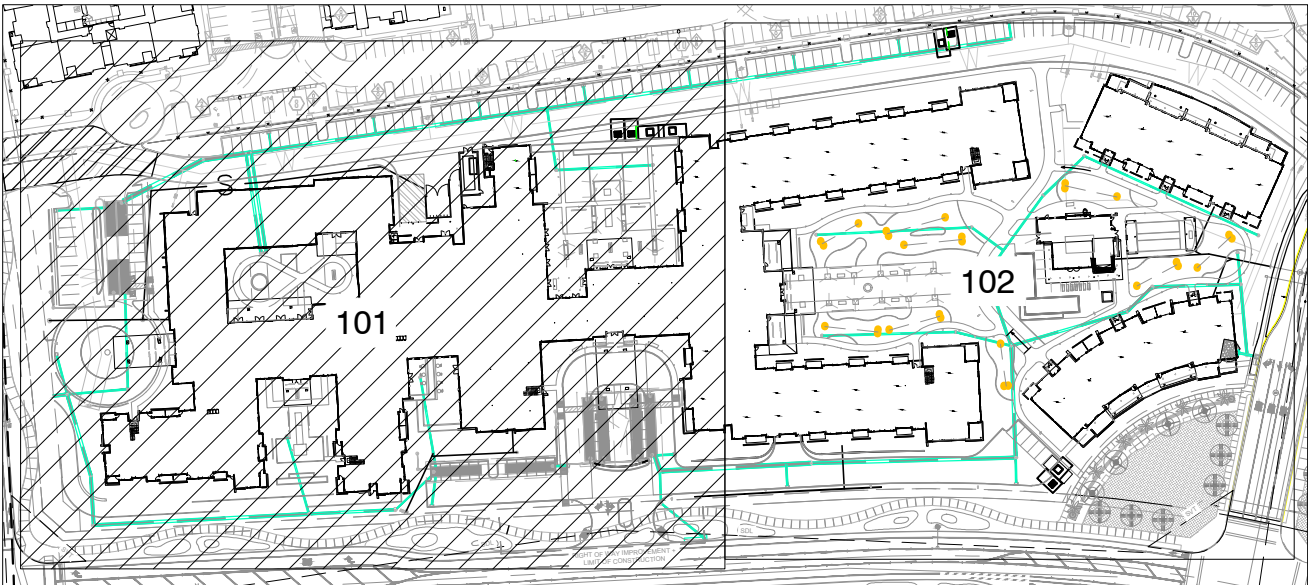
DEVELOPMENT SUMMARY TABLE

GROSS LOT AREA	490,871 SF
NET LOT AREA	254,235 SF
REQUIRED OPEN SPACE:	63,588 SF
OPEN SPACE PROVIDED:	111,618 SF
LANDSCAPE AREA ON SITE:	148,566 SF
LANDSCAPE AREA ON RIGHT-OF-WAY:	N/A - EXISTING
PARKING LOT LANDSCAPING REQUIRED:	67,400 SF
PARKING LOT LANDSCAPING PROVIDED:	16,600 SF

LAYOUT LEGEND

SYMBOL	DESCRIPTION
	STREET SIGN BY CIVIL
	EXISTING STREET LIGHT TO REMAIN
	PARCEL LINE
	LIMIT OF WORK
	PUBLIC UTILITY EASEMENT (PUE)
	RIGHT OF WAY (ROW)
	CENTER LINE (ROADWAY)
	MATCHLINE

KEY MAP:



PLANT SCHEDULE		
TREES	BOTANICAL / COMMON NAME	SIZE
	CERCIDIUM X 'AZT' AZT THORNLESS PALO VERDE	24" BOX, 1.25" CAL
	CERCIDIUM X 'AZT' AZT THORNLESS PALO VERDE	36" BOX, 2" CAL
	CHILOPSIS LINEARIS DESERT WILLOW	36" BOX, 2" CAL
	PHOENIX DACTYLIFERA DATE PALM	24" BOX
	PROSOPIS ALBA ARGENTINE MESQUITE	36" BOX, 2" CAL
	SALVAGE # REF. INVENTORY LIST	VARIES
	SOPHORA SECUNDIFLORA TEXAS MOUNTAIN LAUREL	36" BOX, 2" CAL
SHRUBS	BOTANICAL / COMMON NAME	SIZE
	ABUTILON PALMERI INDIAN MALLOW	5 GAL
	AGAVE AMERICANA CENTURY PLANT	5 GAL
	AGAVE VILMORINIANA OCTOPUS AGAVE	5 GAL
	BERLANDIERA LYRATA LYRELEAF GREENEYES	5 GAL
	DASYLIRON LONGISSIMUM TOOTHLESS DESERT SPOON	5 GAL
	FOUQUIERIA SPLENDENS OCOTILLO	5 SPEARS
	HESPERALOE PARVIFLORA BRAKELIGHTS RED YUCCA	5 GAL
	JUSTICIA CALIFORNICA CHUPAROSA	5 GAL
	LEUCOPHYLLUM FRUTESCENS TEXAS SAGE	5 GAL
	MACHAERANTHERA TANACETIFOLIA TAHOKA DAISY	5 GAL
	MUHLENBERGIA CAPILLARIS PINK MUHLY GRASS	5 GAL
	MUHLENBERGIA RIGIDA 'NASHVILLE' TM PURPLE MUHLY	5 GAL
	PORTULACARIA AFRA ELEPHANT BUSH	5 GAL
	ROSMARINUS OFFICINALIS 'IRENE' TM IRENE TRAILING ROSEMARY	5 GAL
	SALVIA CHAMAEDRYOIDES MEXICAN BLUE SAGE	5 GAL
	SALVIA GREGGII AUTUMN SAGE	5 GAL
	SALVIA LEUCOPHYLLA PURPLE SAGE	5 GAL
	YUCCA GLORIOSA RECURVIFOLIA 'WALBRISTAR' BRIGHT STAR SPANISH DAGGER	5 GAL

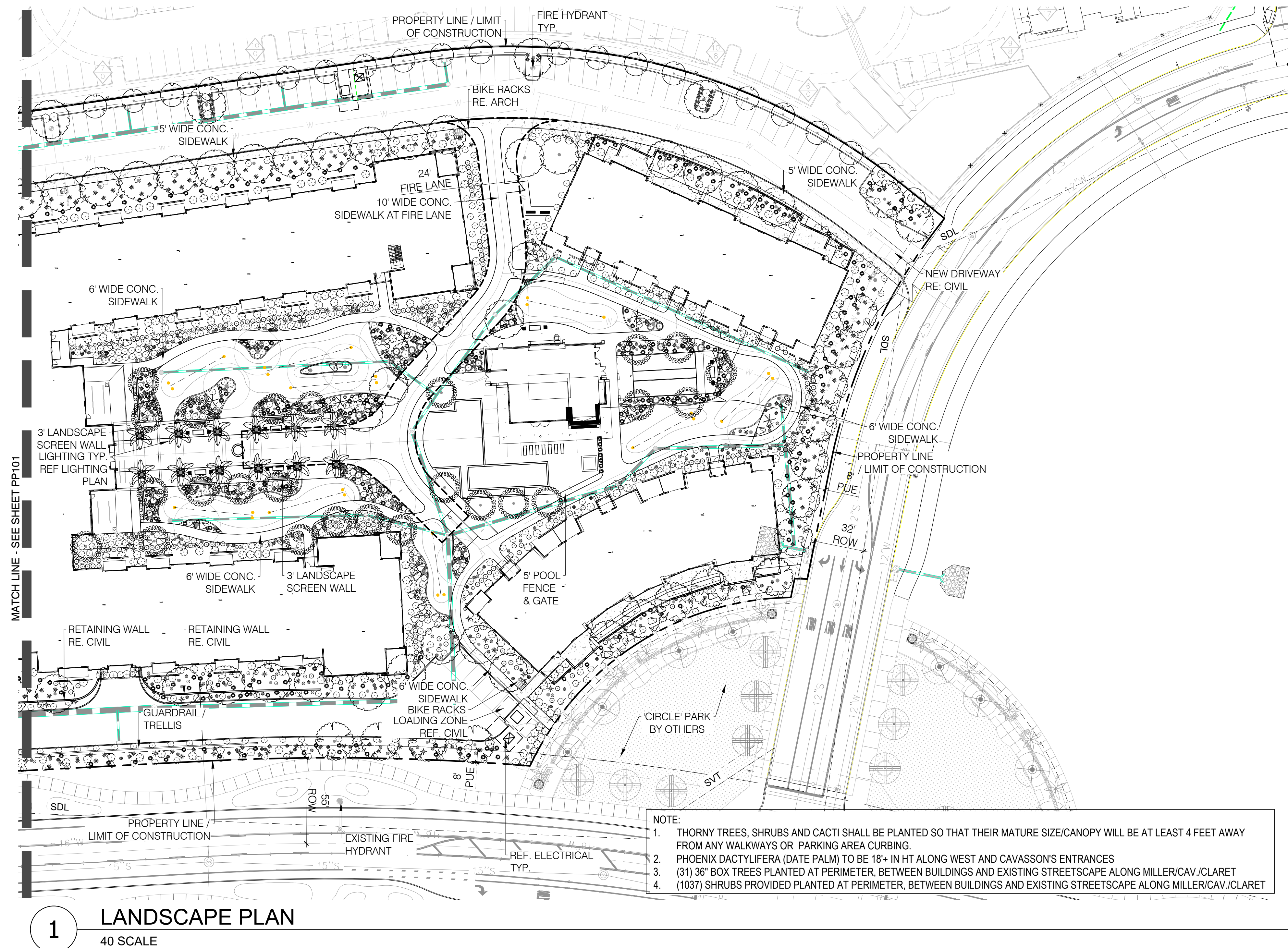
Vi Living  
Vi at Cavasson

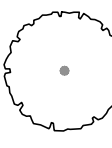
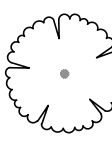
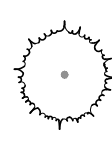

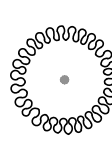

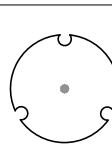


















NEO MILLER RD. AND CAVASSON BLVD. SCOTTSDALE, ARIZONA 85255

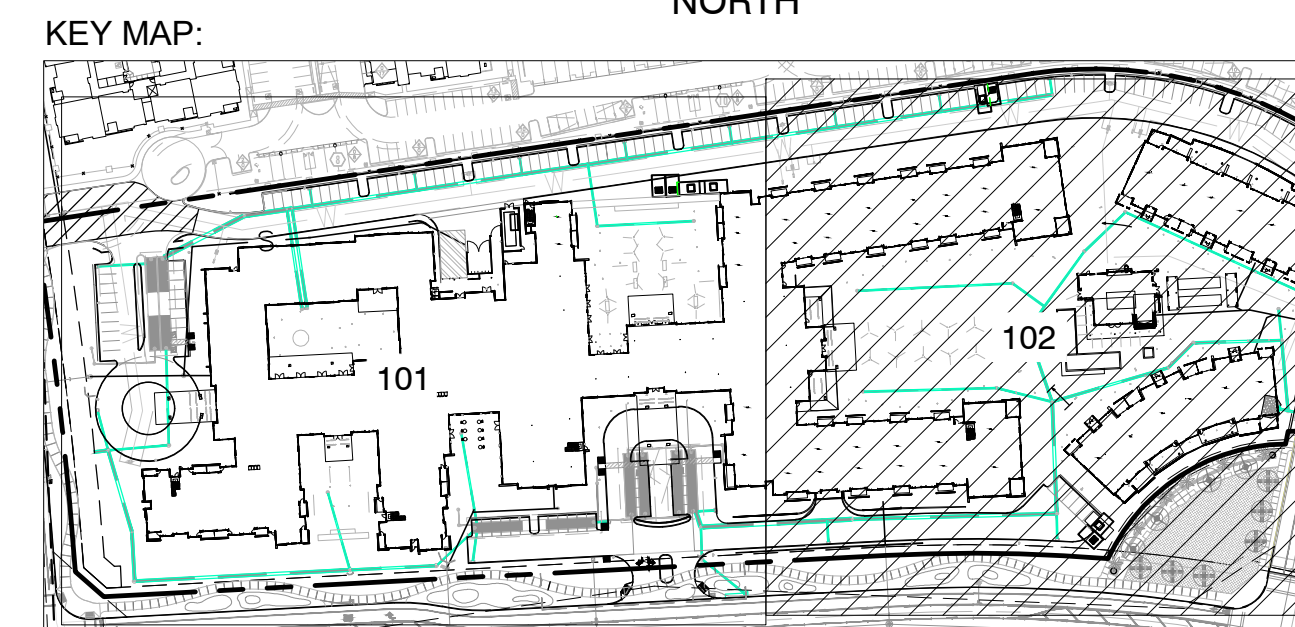
orcutt | winslow  
ARCHITECTURE PLANNING INTERIOR DESIGN

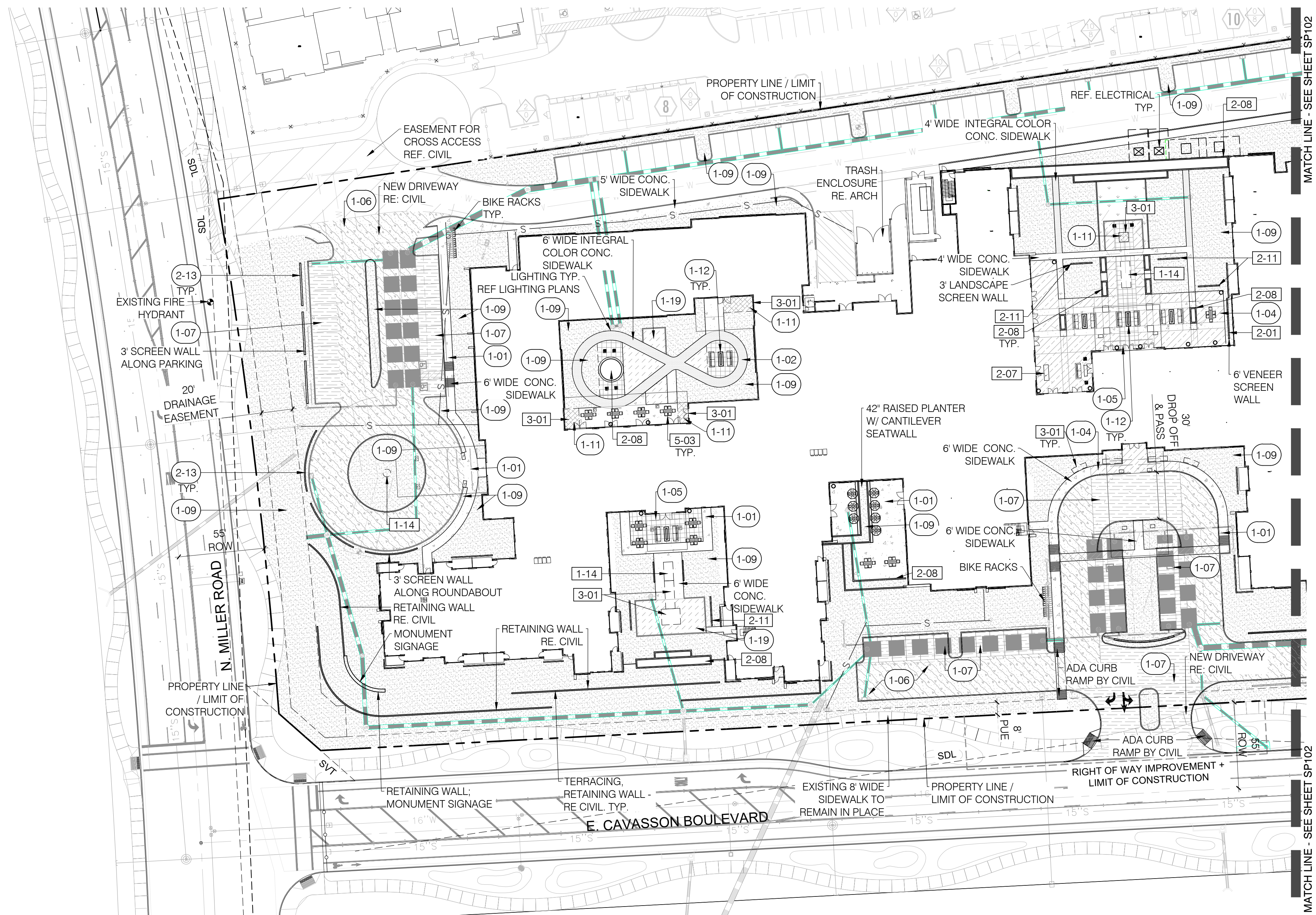
Dig  
Studio

PLANTING  
PLAN  
PP101



PLANT SCHEDULE		
TREES	BOTANICAL / COMMON NAME	SIZE
	CERCIDIUM X 'AZT' AZT THORNLESS PALO VERDE	24" BOX, 1.25" CAL
	CERCIDIUM X 'AZT' AZT THORNLESS PALO VERDE	36" BOX, 2" CAL
	CHIOPSIS LINEARIS DESERT WILLOW	36" BOX, 2" CAL
	PHOENIX DACTYLIFERA DATE PALM	24" BOX
	PROSOPIS ALBA ARGENTINE MESQUITE	36" BOX, 2" CAL
	SALVAGE # REF. INVENTORY LIST	VARIABLES
	SOPHORA SECUNDIFLORA TEXAS MOUNTAIN LAUREL	36" BOX, 2" CAL
SHRUBS	BOTANICAL / COMMON NAME	SIZE
	ABUTILON PALMERI INDIAN MALLOW	5 GAL
	AGAVE AMERICANA CENTURY PLANT	5 GAL
	AGAVE VILMORINIANA OCTOPUS AGAVE	5 GAL
	BERLANDIERA LYRATA LYRELEAF GREENEYES	5 GAL
	DASYLIRION LONGISSIMUM TOOTHLESS DESERT SPOON	5 GAL
	FOUQUIERIA SPLENDENS OCOTILLO	5 SPEARS
	HESPERALOE PARVIFLORA BRAKELIGHTS RED YUCCA	5 GAL
	JUSTICIA CALIFORNICA CHUPAROSA	5 GAL
	LEUCOPHYLLUM FRUTESCENS TEXAS SAGE	5 GAL
	MACHAERANTHERA TANACETIFOLIA TAHOKA DAISY	5 GAL
	MUHLENBERGIA CAPILLARIS PINK MUHLY GRASS	5 GAL
	MUHLENBERGIA RIGIDA 'NASHVILLE' TM PURPLE MUHLY	5 GAL
	PORTULACARIA AFRA ELEPHANT BUSH	5 GAL
	ROSMARINUS OFFICINALIS 'IRENE' TM IRENE TRAILING ROSEMARY	5 GAL
	SALVIA CHAMAEDRYOIDES MEXICAN BLUE SAGE	5 GAL
	SALVIA GREGGII AUTUMN SAGE	5 GAL
	SALVIA LEUCOPHYLLA PURPLE SAGE	5 GAL
	YUCCA GLORIOSA RECURVIFOLIA 'WALBRISTAR' BRIGHT STAR SPANISH DAGGER	5 GAL





REFERENCE NOTES SCHEDULE		
1 - PAVING & SURFACING: DIVISION 32		
CODE	DESCRIPTION	DETAIL
1-01	CONCRETE PAVEMENT	
1-02	INTEGRAL COLOR CONCRETE	
1-03	CONCRETE TURNDOWN	
1-04	PEDESTRIAN PAVERS TYPE A	
1-05	PORCELAIN PAVERS	
1-06	VEHICULAR CONCRETE	
1-07	VEHICULAR PERMEABLE PAVERS TYPE A	
1-08	LANDSCAPE BOULDER	
1-09	DECOMPOSED GRANITE	
1-10	DESERT PAVEMENT	
1-11	STACKED STONE	
1-12	CIP FIRE PIT	
1-13	ARTIFICIAL TURF - RANGE	
1-14	WATER FEATURE	
1-15	NEGATIVE EDGE POOL	
1-16	LAP POOL	
1-17	POOL DECK PAVING	
1-18	POOL COPING	
1-19	ARTIFICIAL TURF - LAWN	
1-20	ARTIFICIAL TURF - PUTT	
1-21	STABILIZED DECOMPOSED GRANITE W/ GEOGRID	/
1-22	GRASS PAVE	/
2 - WALLS & FENCES: DIVISION 32		
CODE	DESCRIPTION	DETAIL
2-01	6' HT SCREEN WALL	
2-02	CMU RETAINING WALL	
2-03	DOG PARK FENCE	
2-04	POOL FENCE	
2-05	POOL GATE	
2-06	CIP PLANTER W/ FENCE & SEATWALL	
2-07	CMU BARTOP ISLAND	
2-08	CIP PLANTER	
2-09	DOG PARK GATE	
2-10	WATER WALL FEATURE	
2-11	3' LANDSCAPE WALL	
3 - METALS: DIVISION 05		
CODE	DESCRIPTION	DETAIL
3-01	RAISED STEEL PLANTER	
5 - FURNISHINGS: DIVISION 32		
CODE	DESCRIPTION	DETAIL
5-01	POOL CHAISE LOUNGE	
5-03	TABLES AND ARMED CHAIRS	
5-04	BOCCIE COURT	

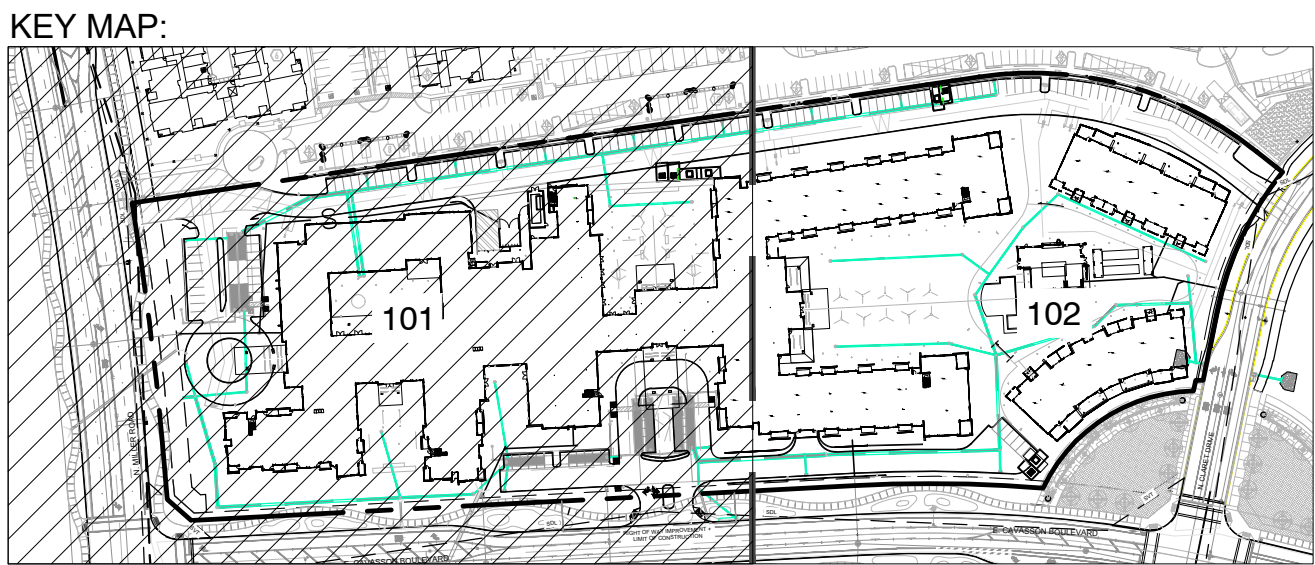
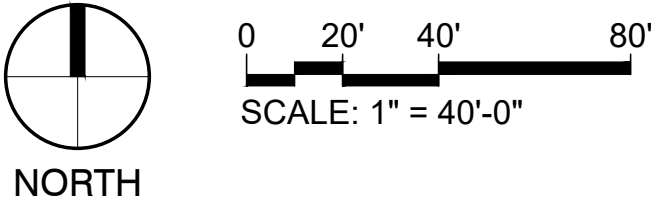
ADDITIONAL NOTES:

- 40 BIKE PARKING PROVIDED.

LAYOUT LEGEND

SYMBOL	DESCRIPTION
	STREET SIGN BY CIVIL
	EXISTING STREET LIGHT TO REMAIN
	PARCEL LINE
	LIMIT OF WORK
	PUBLIC UTILITY EASEMENT (PUE)
	RIGHT OF WAY (ROW)
	CENTER LINE (ROADWAY)
	MATCHLINE

1 HARDSCAPE PLAN  
40 SCALE

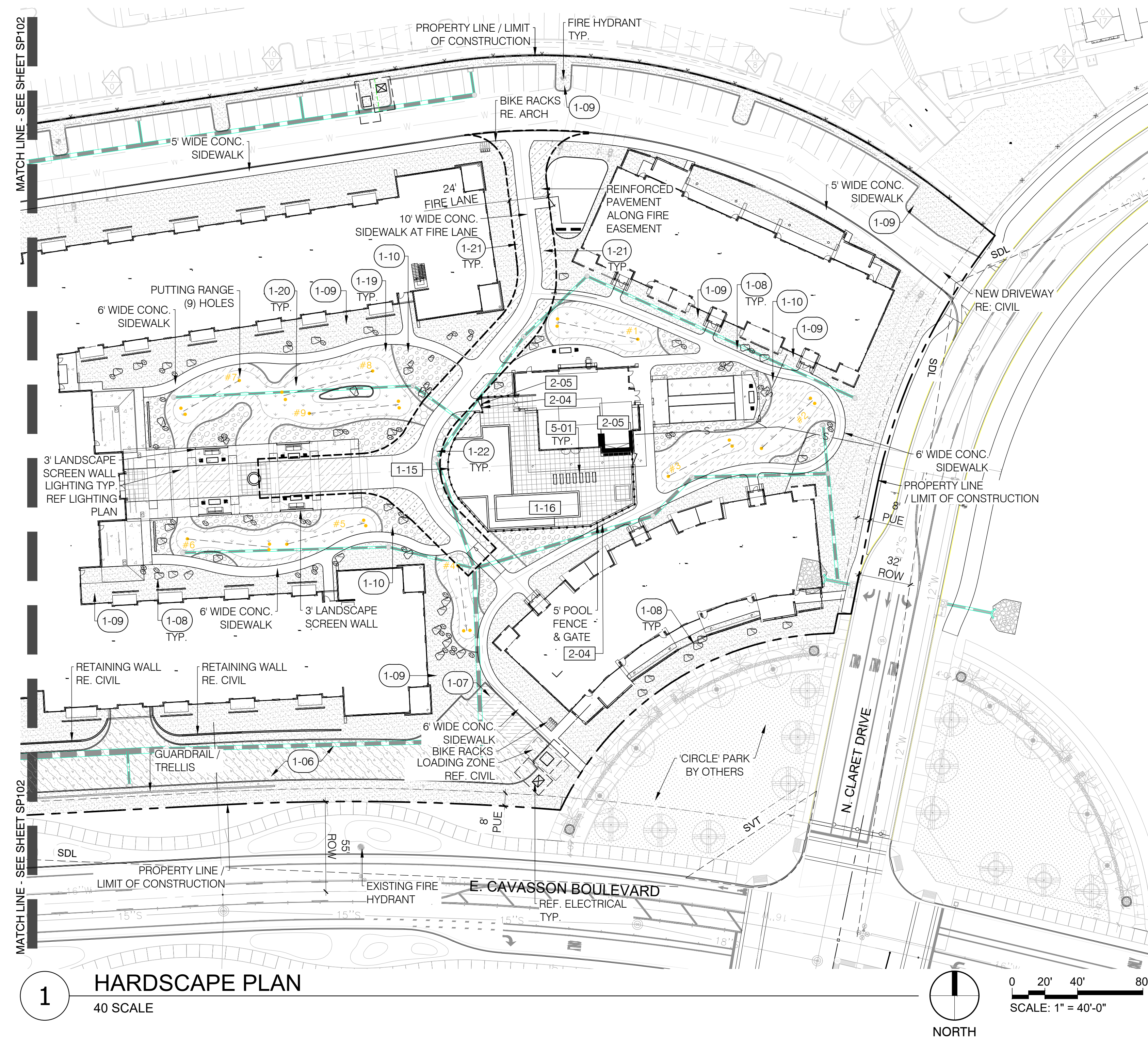


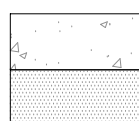
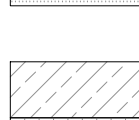
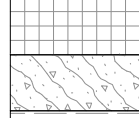

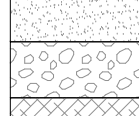
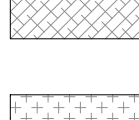

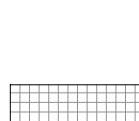
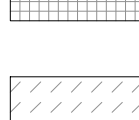
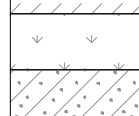
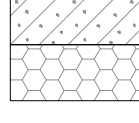











Vi Living  
**Vi at Cavasson**  
NEC MILLER RD. AND CAVASSON BLVD. SCOTTSDALE, ARIZONA 85255

orcutt | winslow  
ARCHITECTURE PLANNING INTERIOR DESIGN

**Dig**  
Studio

HARDSCAPE  
PLAN  
SP101


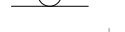








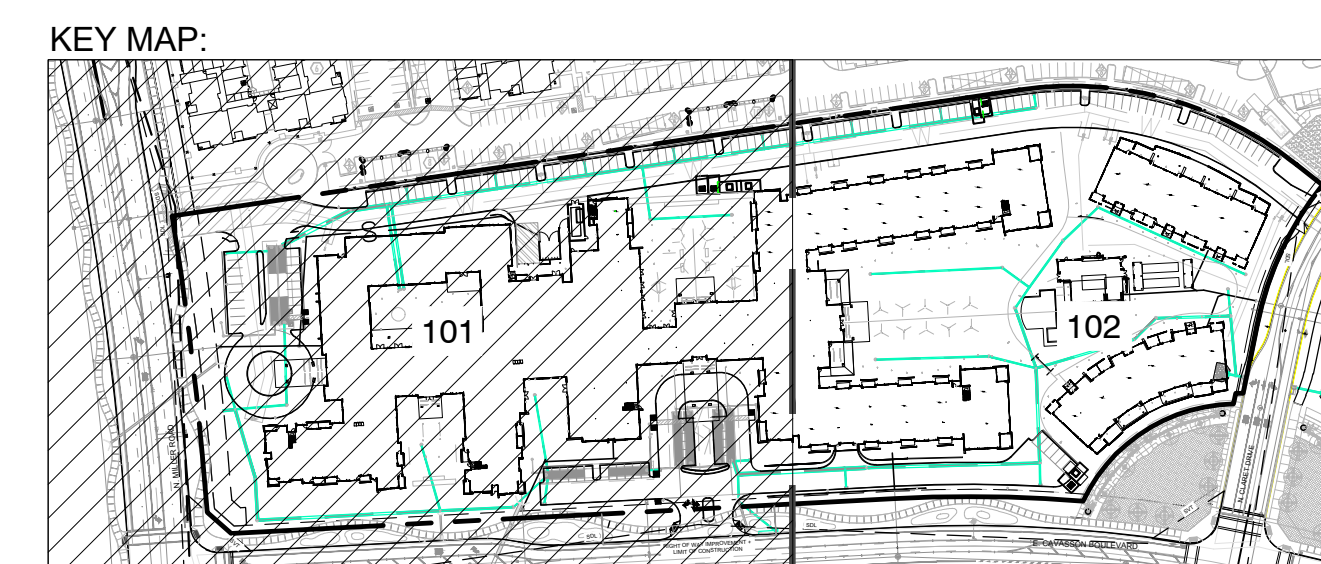
REFERENCE NOTES SCHEDULE			
		1 - PAVING & SURFACING: DIVISION 32	
	CODE	DESCRIPTION	DETAIL
	1-01	CONCRETE PAVEMENT	
	1-02	INTEGRAL COLOR CONCRETE	
	1-03	CONCRETE TURNDOWN	
	1-04	PEDESTRIAN PAVERS TYPE A	
	1-05	PORCELAIN PAVERS	
	1-06	VEHICULAR CONCRETE	
	1-07	VEHICULAR PERMEABLE PAVERS TYPE A	
	1-08	LANDSCAPE BOULDER	
	1-09	DECOMPOSED GRANITE	
	1-10	DESERT PAVEMENT	
	1-11	STACKED STONE	
	1-12	CIP FIRE PIT	
	1-13	ARTIFICIAL TURF - RANGE	
	1-14	WATER FEATURE	
	1-15	NEGATIVE EDGE POOL	
	1-16	LAP POOL	
	1-17	POOL DECK PAVING	
	1-18	POOL COPING	
	1-19	ARTIFICIAL TURF - LAWN	
	1-20	ARTIFICIAL TURF - PUTT	
	1-21	STABILIZED DECOMPOSED GRANITE W/ GEOGRID	/
	1-22	GRASS PAVE	/
		2 - WALLS & FENCES: DIVISION 32	
	CODE	DESCRIPTION	DETAIL
	2-01	6" HT SCREEN WALL	
	2-02	CMU RETAINING WALL	
	2-03	DOG PARK FENCE	
	2-04	POOL FENCE	
	2-05	POOL GATE	
	2-06	CIP PLANTER W/ FENCE & SEATWALL	
	2-07	CMU BARTOP ISLAND	
	2-08	CIP PLANTER	
	2-09	DOG PARK GATE	
	2-10	WATER WALL FEATURE	
	2-11	3" LANDSCAPE WALL	
		3 - METALS: DIVISION 05	
	CODE	DESCRIPTION	DETAIL
	3-01	RAISED STEEL PLANTER	
		5 - FURNISHINGS: DIVISION 32	
	CODE	DESCRIPTION	DETAIL
	5-01	POOL CHAISE LOUNGE	
	5-03	TABLES AND ARMED CHAIRS	
	5-04	BOCCE COURT	

ADDITIONAL NOTES:

- 40 BIKE PARKING PROVIDED.

## LAYOUT LEGEND

<u>SYMBOL</u>	<u>DESCRIPTION</u>
	STREET SIGN BY CIVIL
	EXISTING STREET LIGHT TO REMAIN
	PARCEL LINE
	LIMIT OF WORK
	PUBLIC UTILITY EASEMENT (PUE)
	RIGHT OF WAY (ROW)
	CENTER LINE (ROADWAY)
	MATCHLINE



Vi Living  
**Vi at Cavasson**  
NEC MILLER RD. AND CAVASSON BLVD. SCOTTSDALE, ARIZONA 85255

orcutt | winslow

ARCHITECTURE PLANNING INTERIOR DESIGN



**Dig**  
Studio

# HARDSCAPE PLAN SP101



1 MEMORY CARE COURTYARD - SITE ELEMENTS  
NTS



2 ASSISTED LIVING COURTYARD - SITE ELEMENTS  
NTS



3 POOL & CLUBHOUSE - SITE ELEMENTS  
NTS



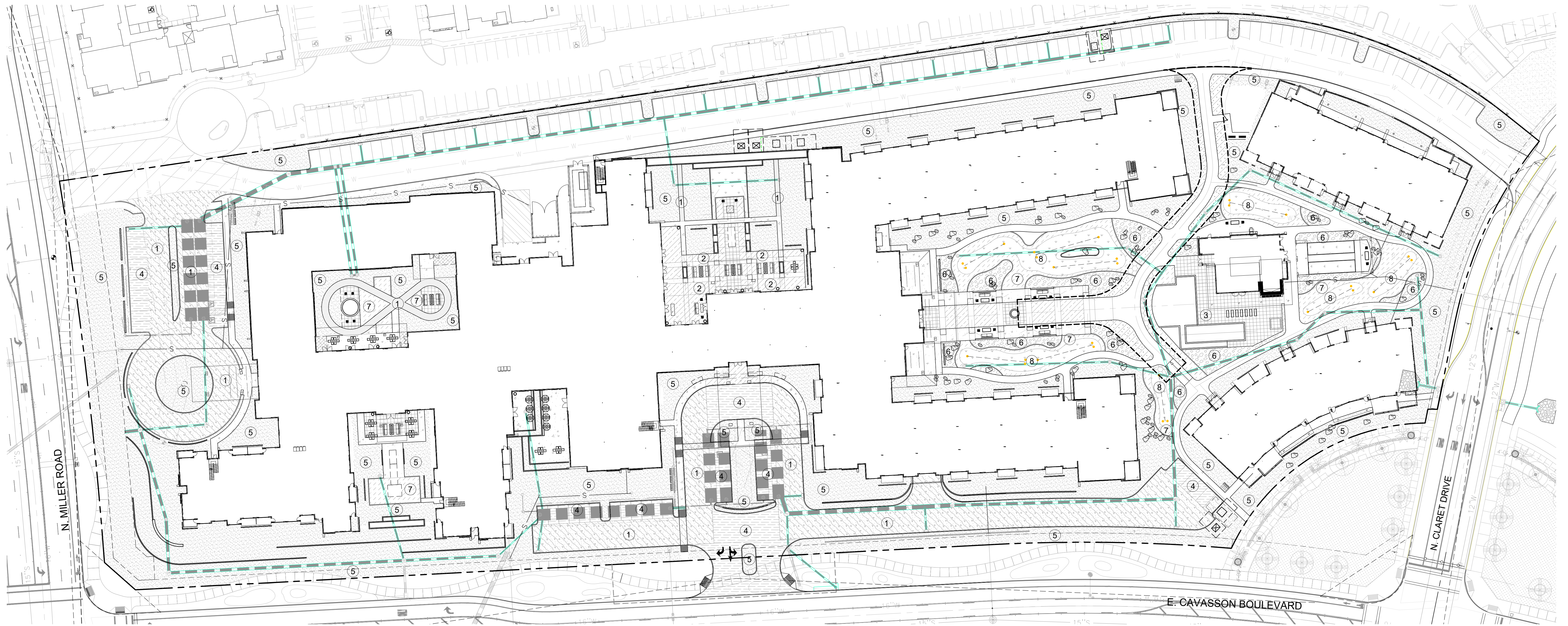
4 MAIN ENTRY  
NTS



5 WEST ENTRY  
NTS



6 CENTRAL SPINE - SITE ELEMENTS  
NTS



(1) '1'-02" INTEGRAL COLOR CONCRETE PEDESTRIAN & VEHI  
SUPPLIER: DAVIS COLOR  
COLOR: SAN DIEGO BUFF



(2) '1'-04" PEDESTRIAN PAVERS  
SUPPLIER: UNILOCK 'BRUSSELS BLOCK'  
COLOR: COLOR TO MATCH NATIONWIDE'S ENTRY



(3) '1'-05" PORCELAIN PAVERS (CARPETS, DECK, COPING)  
SUPPLIER: BELGARD  
COLOR: SILVERLAKE



(4) '1'-07" VEHICULAR PERMEABLE PAVER  
SUPPLIER: UNILOCK  
COLOR: SMOOTH-RIVER



(5) '1'-09" DECOMPOSED GRANITE  
SUPPLIER: ROCK PROS USA  
COLOR: 1" - 3" SCREENED EXPRESS GOLD



(6) '1'-10" DESERT PAVEMENT  
SUPPLIER: ROCK PROS USA  
COLOR: 3-6" RIP RAP, ASH.



(7) '1'-19" ARTIFICIAL TURF - LAWN  
SUPPLIER: SYNLAWN  
COLOR: ST. AUGUSTINE



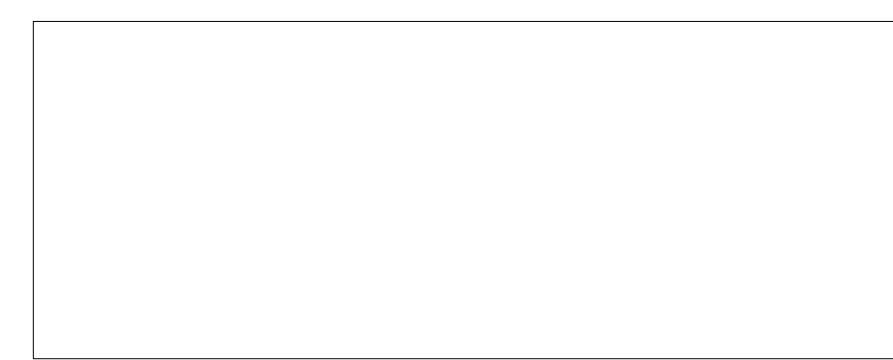
(8) '1'-20" ARTIFICIAL TURF - PUTT  
SUPPLIER: SYNLAWN  
COLOR: PRECISION PUTT - PER SPEC



(9) STONE (SCREEN, RETAINING, PLANTER WALLS &  
LANDSCAPE STACK STONE  
SUPPLIER: CEDAR CREEK STONE  
COLOR: COYOTE HILLS SAW CUT



DC RANGE COBBLE - STONE WALL MATERIAL  
FOR FREE-STANDING STONE WALLS AT  
SOUTH WEST CORNER OF VI LIVING SITE



NOT IN USE



NOT IN USE

Vi Living  
**Vi at Cavasson**

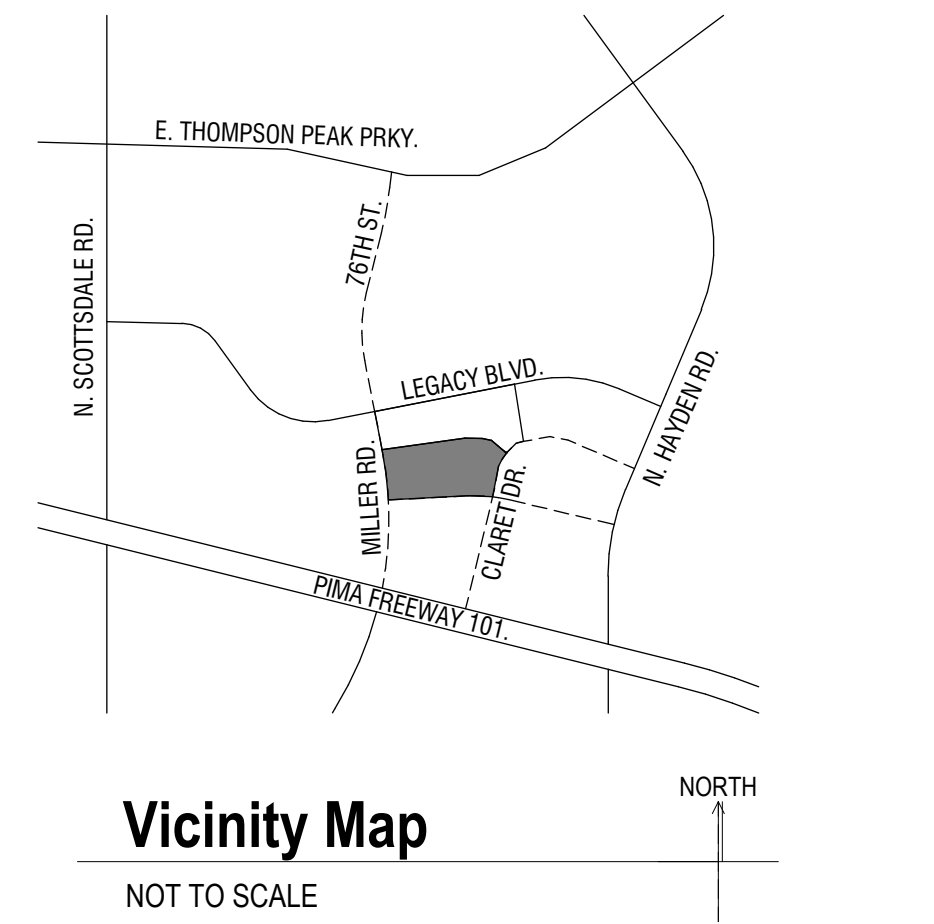
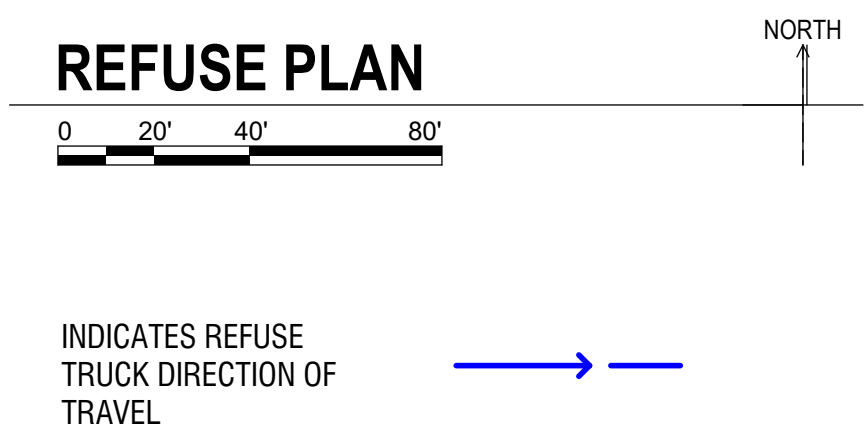
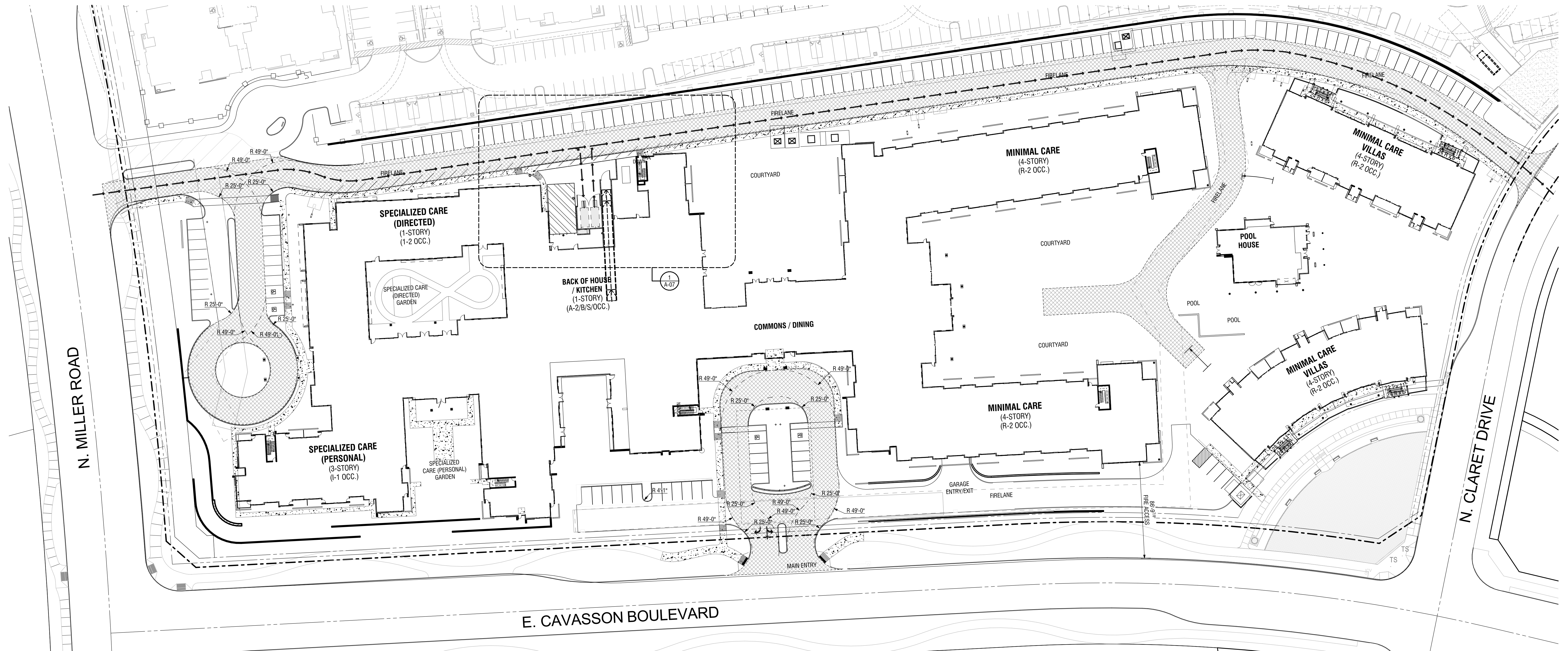
NEC MILLER RD. AND CAVASSON BLVD. SCOTTSDALE, ARIZONA 85255

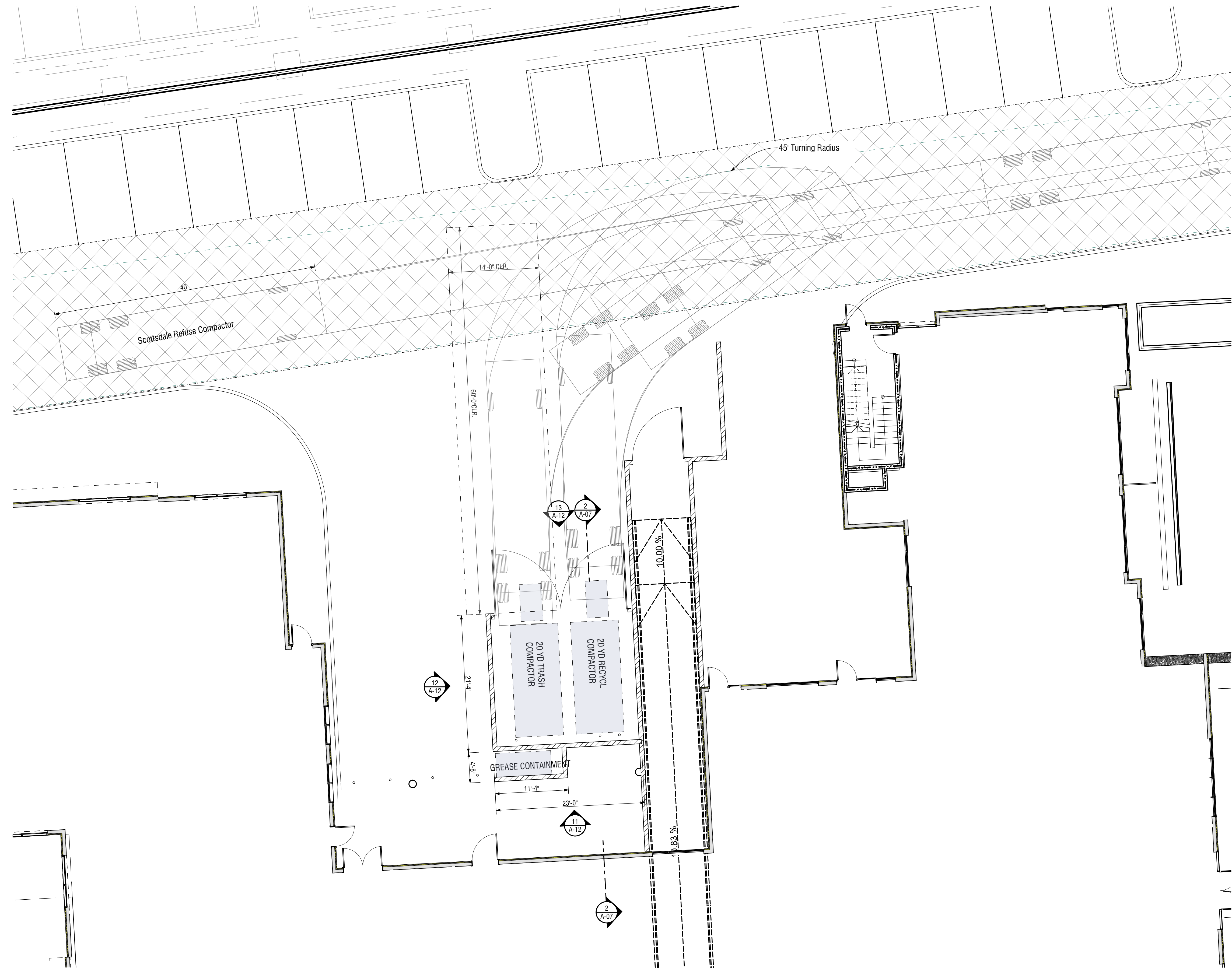
orcutt|winslow

ARCHITECTURE PLANNING INTERIOR DESIGN

**Dig**  
Studio

MATERIALS  
BOARD  
LM100





1 ENLARGED REFUSE PLAN  
SCALE: 1/8" = 1'-0"

40
6.07 24.58 4.429
Scottsdale Refuse Compactor
Overall Length
Overall Width
Overall Body Height
Min Body Ground Clearance
Track Width
Lock-to-lock time
Wall to wall Turning Radius
40 ft
8.169 ft
8.725ft
1.397ft
8.169 ft
4.00s
45ft

**TRASH COMPACTOR CALCS:**

Total building area: 525,213 sf

1 enclosure for each 20,000 sf  
525,213/ 20,000= 27 enclosures  
Total required 27 enclosures

1 enclosure shall not exceed 4 cubic yards  
27 enclosures x 4 cubic yards per enclosure:108 cubic yards

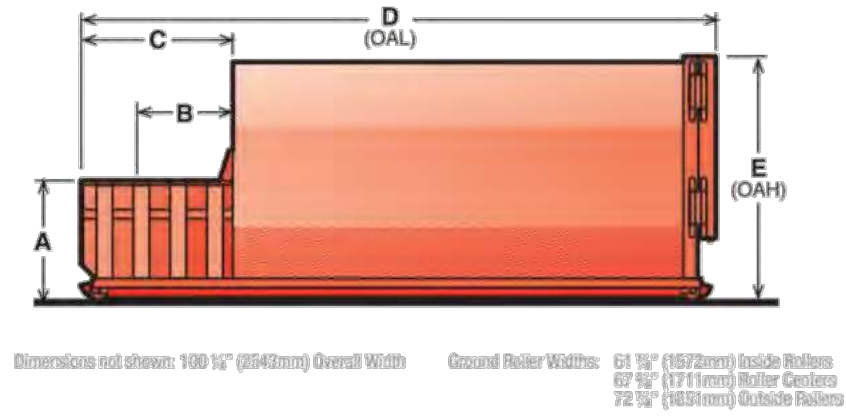
Compaction rate: 3:1  
108 cubic yards / 3 = 36 cubic yards  
Total required compactor: 36 cubic yards

Refuse provided:  
One 20 cubic yards trash compactor  
One 20 cubic yards recycling compactor  
Total provided compactor: 40 cubic yards

Model: Marathon RJ 250 SC

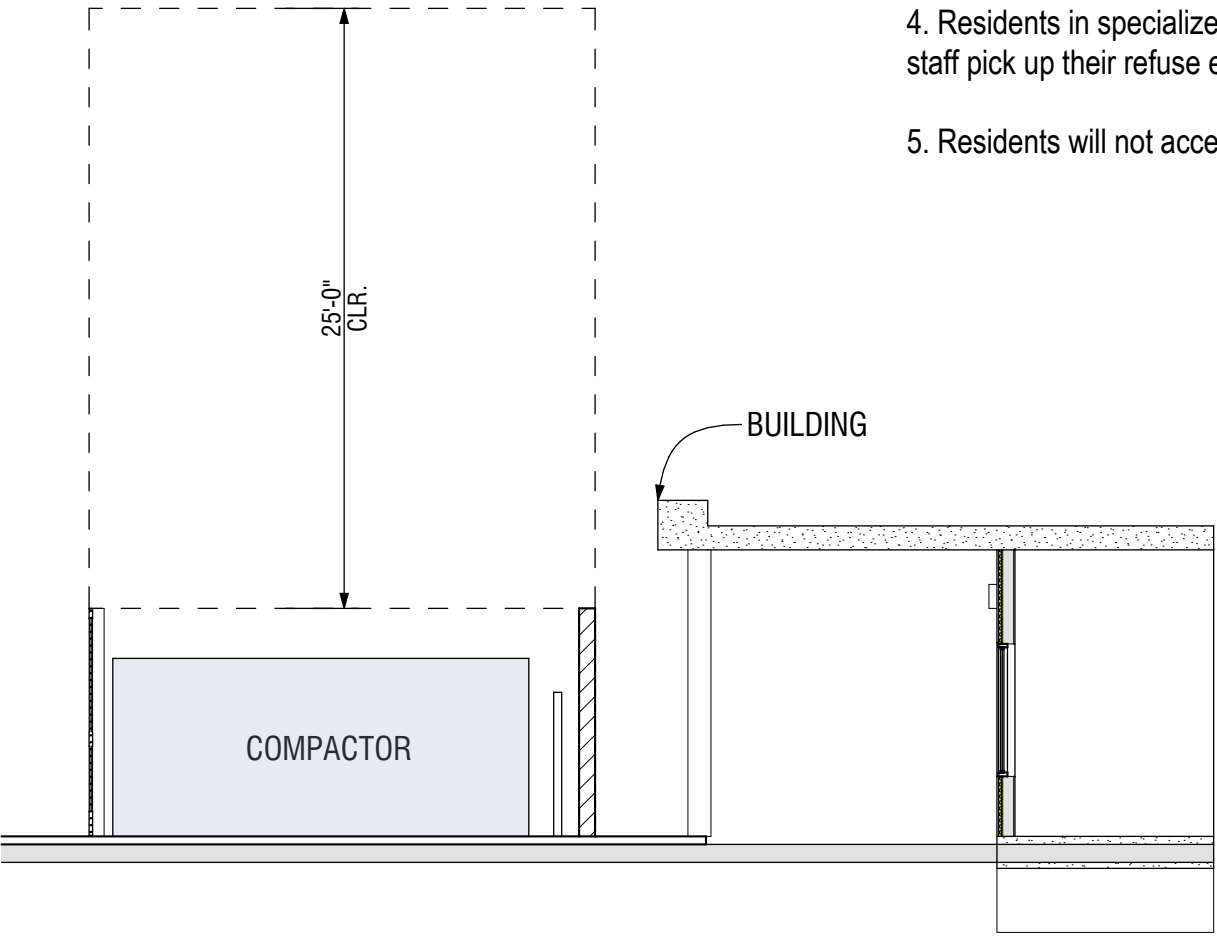
SJ-250SC	A	B	C	D	E	Classic Weight	Utility Weight
15 Cu. Yd.	48"	43 1/4"	67"	177"	89"	8,860 lbs.	8,360 lbs.
20 Cu. Yd.	48"	43 1/4"	67"	208"	92"	9,500 lbs.	8,860 lbs.
25 Cu. Yd.	48"	43 1/4"	67"	214"	104"	10,000 lbs.	9,700 lbs.
30 Cu. Yd.	48"	43 1/4"	67"	240"	104"	10,600 lbs.	9,715 lbs.
34 Cu. Yd.	48"	43 1/4"	67"	268"	104"	11,100 lbs.	10,100 lbs.
38 Cu. Yd.	48"	43 1/4"	67"	299 1/2"	104"	11,700 lbs.	N/A

Pictures and mechanical diagrams in this literature are illustrative only and may not be to scale. Specifications are subject to change without notice in order to accommodate improvements to the equipment. Certified in accordance with ANSI standard Z43.2, all applicable OSHA regulations. Products must be used only by trained operators in accordance with the Operator Manual, as well as applicable regulations, laws, and ANSI standards.

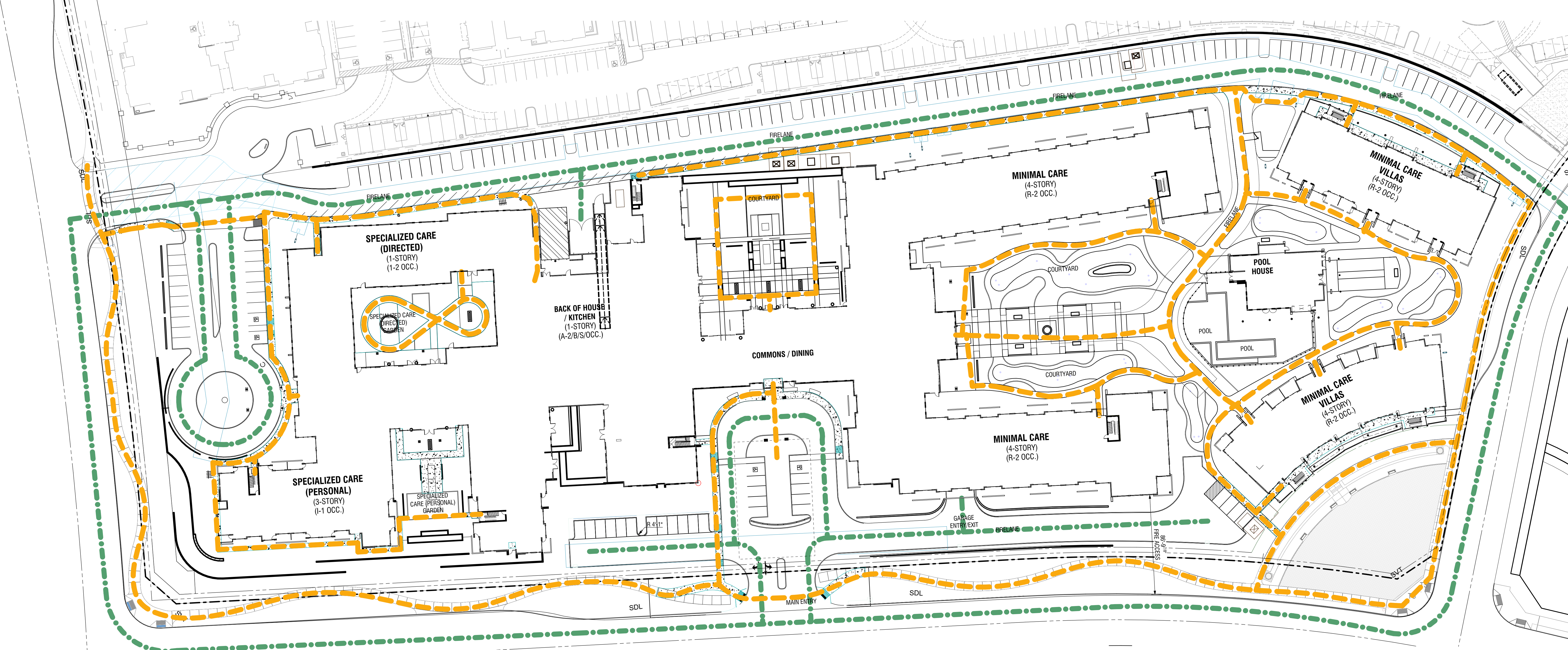


Dimensions not shown: 100 1/4" (2540mm) Overall Width Overall Roller Width: 69 1/4" (1762mm) Inside Rollers 69 1/4" (1771mm) Roller Centers 72 1/4" (1830mm) Outside Rollers

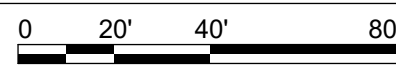
- REFUSE NOTES:**
- Proposed development includes two 20 cubic yards compactors, one for trash and one for recycling.
  - The developer will contract for third party pick up of the compacted recycling and waste.
  - Residents in the minimal care wings will use recycling and trash chutes that will deliver refuse to the parking garage level where maintenance staff will pick up the refuse and transport it to the compactors.
  - Residents in specialized care (directed & personal care) will have staff pick up their refuse each day and deliver it to the compactors.
  - Residents will not access the trash compactor area



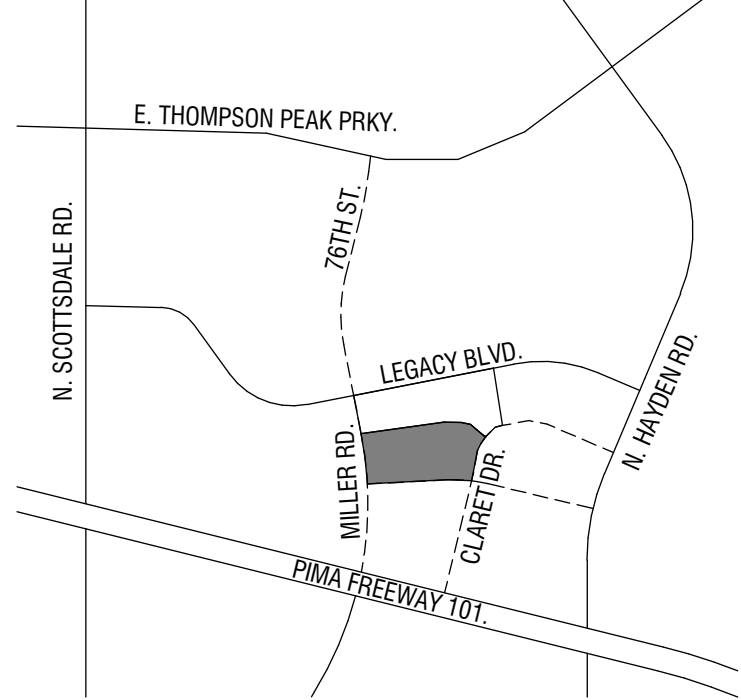
2 SECTION AT COMPACTOR



CIRCULATION PLAN



- PEDESTRIAN PATH (dashed orange line)
- VEHICULAR PATH (dotted green line)



Vicinity Map

NOT TO SCALE



Vi at Cavasson

NE corner Miller Rd. and Cavasson Blvd. Scottsdale AZ 85255



**A Overall Elevation - South**  
0 20' 40' 80'  
SCALE: 1" = 40'



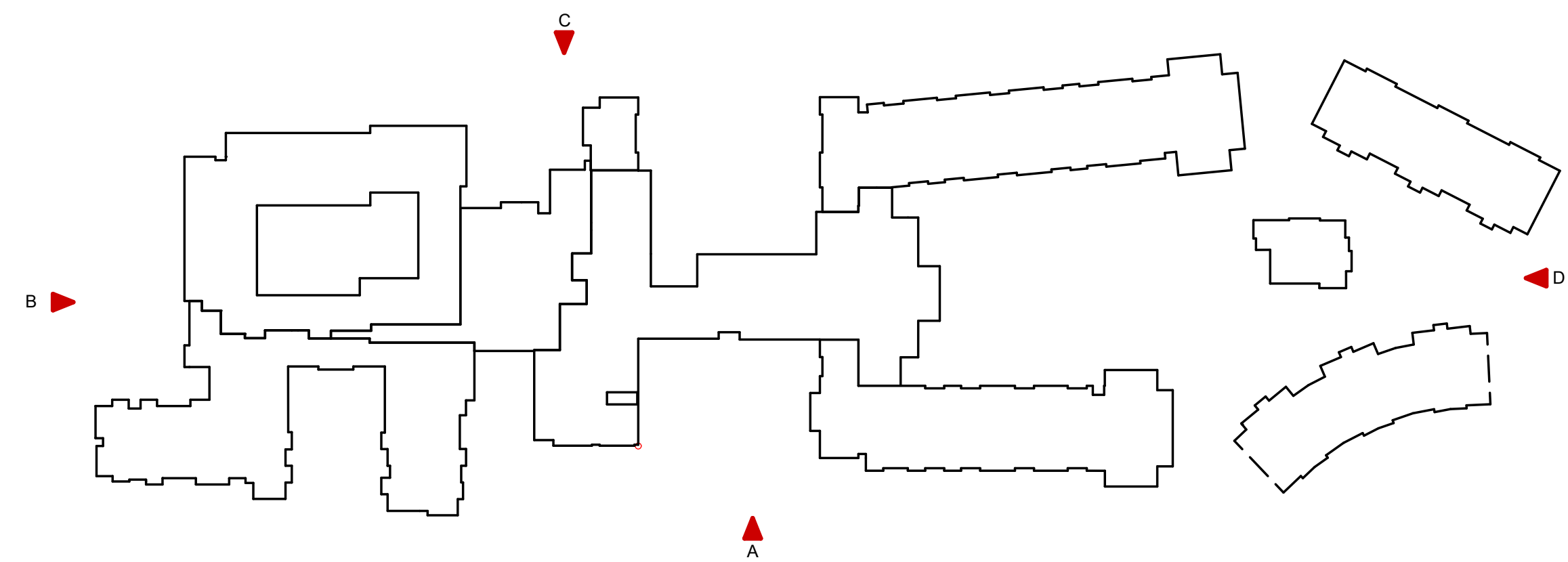
**B Overall Elevation - West**  
0 20' 40' 80'  
SCALE: 1" = 40'



**C Overall North Elevation**  
0 20' 40' 80'  
SCALE: 1" = 40'



**D Overall East Elevation**  
0 20' 40' 80'  
SCALE: 1" = 40'



Elevation Material Legend

- 1

EIFS, fine sand finish, color 1  
PPG14-28  
Aldabra  
LRV 36
- 2

EIFS, fine sand finish, color 2  
PPG1000-6  
Thunderstruck  
LRV 18
- 3

EIFS, fine sand finish, color 3  
PPG16-23  
Tampico Brown  
LRV 11
- 4

EIFS with decorative reveals,  
smooth metallic finish  
color 4 PPG14-03 Seagull  
LRV 73
- 5

Aluminum Storefront  
Color: Dark Bronze
- 6

Pre-finished clear anodized  
Aluminum Panel
- 7

Pre-finished Metal Panel  
Old Country Millwork  
K5: Rustic Metal Finishes  
Old Sierra Rust
- 8

Stone Veneer  
Cedar Creek Stone  
Coyote Hills Saw Cut 3"
- 9

3" EIFS with Horizontal 1"  
deep groove pattern to match  
Villa stair screening
- 10

Alumaboard or Similar battens  
with powder-coated wood  
grain look, color Hazelnut  
brown
- 11

Powdercoated steel railing and  
metal fascia, color to match  
clear anodized aluminum
- 12

Roof Top Equipment screen,  
Direct applied EIFS, Typ.  
Color PPG 1000-6  
Thunderstruck. LRV 18
- 13

Residential Window  
Aluminum  
Color: Dark Bronze
- 14

Exterior Wall-Mounted  
Light Fixture



**A** Minimal Care North Villa - South Elevation

0 4' 8' 16'

SCALE: 1/8" = 1'-0"



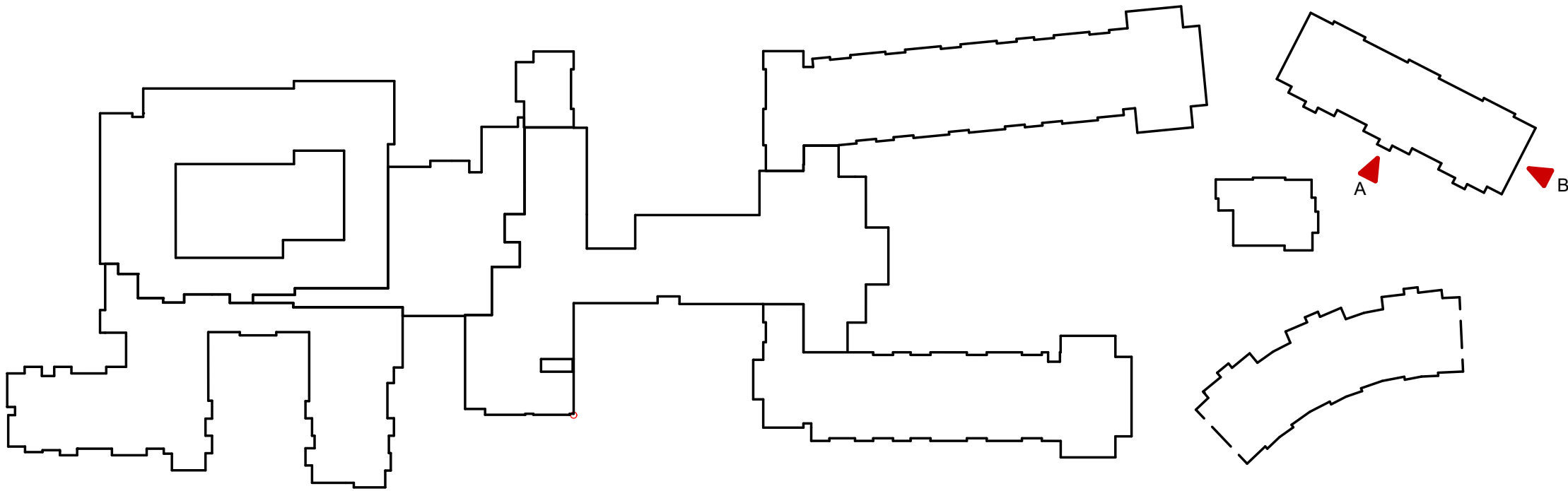
**B** Minimal Care North Villa - East Elevation

0 4' 8' 16'

SCALE: 1/8" = 1'-0"

Elevation Material Legend

- 1 EIFS, fine sand finish, color 1  
PPG14-28  
Aldabra  
LRV 36
- 2 EIFS, fine sand finish, color 2  
PPG1000-6  
Thunderstruck  
LRV 18
- 3 EIFS, fine sand finish, color 3  
PPG16-23  
Tampico Brown  
LRV 11
- 4 EIFS with decorative reveals,  
smooth metallic finish  
color 4 PPG14-03 Seagull  
LRV 73
- 5 Aluminum Storefront  
Color: Dark Bronze
- 6 Pre-finished clear anodized  
Aluminum Panel
- 7 Pre-finished Metal Panel  
Old Country Millwork  
K5: Rustic Metal Finishes  
Old Sierra Rust
- 8 Stone Veneer  
Cedar Creek Stone  
Coyote Hills Saw Cut 3"
- 9 3" EIFS with Horizontal 1"  
deep groove pattern to match  
Villa stair screening
- 10 Alumaboard or Similar battens  
with powder-coated wood  
grain look, color Hazelnut  
brown
- 11 Powdercoated steel railing and  
metal fascia, color to match  
clear anodized aluminum
- 12 Roof Top Equipment screen,  
Direct applied EIFS, Typ.  
Color PPG 1000-6  
Thunderstruck. LRV 18
- 13 Residential Window  
Aluminum  
Color: Dark Bronze
- 14 Exterior Wall-Mounted  
Light Fixture



Vi at Cavasson

NE corner Miller Rd. and Cavasson Blvd. Scottsdale AZ 85255

orcutt|winslow

ARCHITECTURE PLANNING INTERIOR DESIGN

Building Elevations -  
Minimal Care North  
Villas  
A-51

Elevation Material Legend

- 1

EIFS, fine sand finish, color 1  
PPG14-28  
Aldabra  
LRV 36
- 2

EIFS, fine sand finish, color 2  
PPG1000-6  
Thunderstruck  
LRV 18
- 3

EIFS, fine sand finish, color 3  
PPG16-23  
Tampico Brown  
LRV 11
- 4

EIFS with decorative reveals,  
smooth metallic finish  
color 4 PPG14-03 Seagull  
LRV 73
- 5

Aluminum Storefront  
Color: Dark Bronze
- 6

Pre-finished clear anodized  
Aluminum Panel
- 7

Pre-finished Metal Panel  
Old Country Millwork  
K5: Rustic Metal Finishes  
Old Sierra Rust
- 8

Stone Veneer  
Cedar Creek Stone  
Coyote Hills Saw Cut 3"
- 9

3" EIFS with Horizontal 1"  
deep groove pattern to match  
Villa stair screening
- 10

Alumaboard or Similar battens  
with powder-coated wood  
grain look, color Hazelnut  
brown
- 11

Powdercoated steel railing and  
metal fascia, color to match  
clear anodized aluminum
- 12

Roof Top Equipment screen,  
Direct applied EIFS, Typ.  
Color PPG 1000-6  
Thunderstruck. LRV 18
- 13

Residential Window  
Aluminum  
Color: Dark Bronze
- 14

Exterior Wall-Mounted  
Light Fixture



**A** Minimal Care North Villa - North Elevation

0 4' 8' 16'

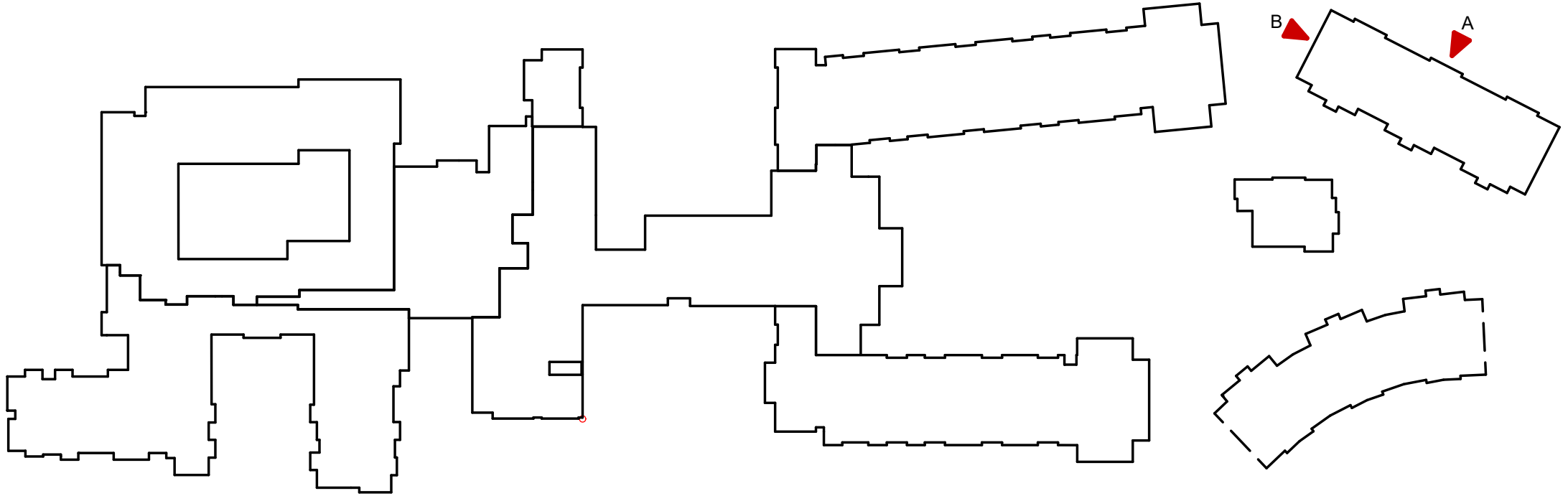
SCALE: 1/8" = 1'-0"



**B** Minimal Care North Villa - West Elevation

0 4' 8' 16'

SCALE: 1/8" = 1'-0"



Vi at Cavasson

NE corner Miller Rd. and Cavasson Blvd. Scottsdale AZ 85255

orcutt|winslow

ARCHITECTURE PLANNING INTERIOR DESIGN

Building Elevations -  
Minimal Care North  
Villas  
A-52



**A** Minimal Care South Villa - South Elevation

0 4' 8' 16'  
SCALE: 1/8" = 1'-0"

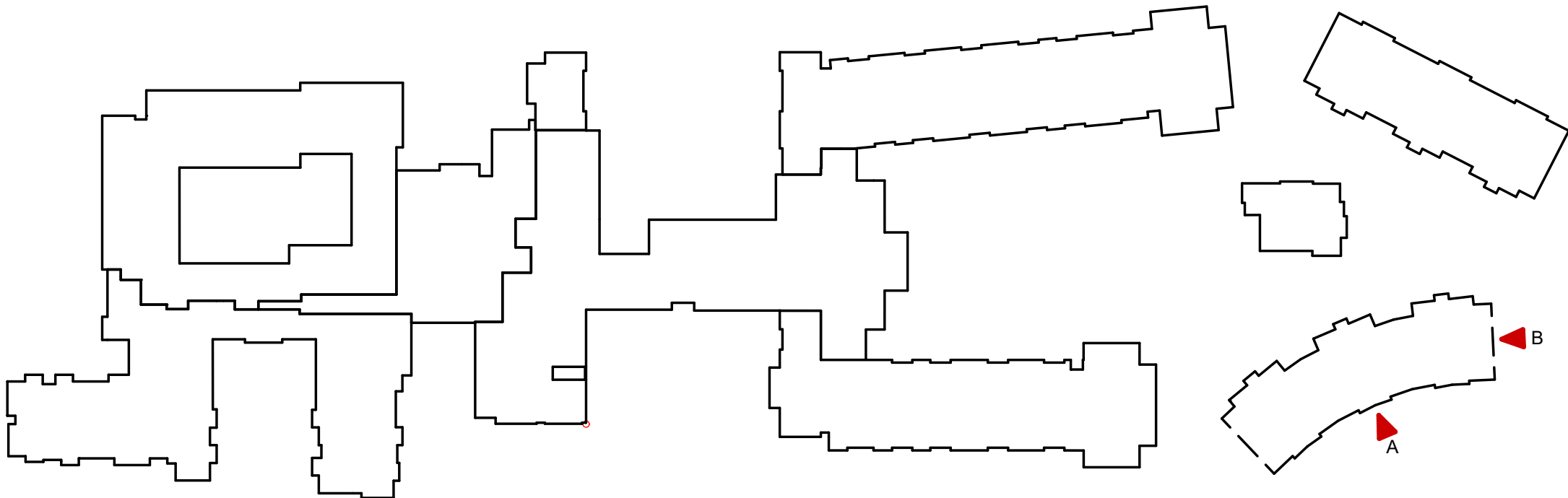


**B** Minimal Care South Villa - East Elevation

0 4' 8' 16'  
SCALE: 1/8" = 1'-0"

**Elevation Material Legend**

- 1 EIFS, fine sand finish, color 1  
PPG14-28  
Aldabra  
LRV 36
- 2 EIFS, fine sand finish, color 2  
PPG1000-6  
Thunderstruck  
LRV 18
- 3 EIFS, fine sand finish, color 3  
PPG16-23  
Tampico Brown  
LRV 11
- 4 EIFS with decorative reveals,  
smooth metallic finish  
color 4 PPG14-03 Seagull  
LRV 73
- 5 Aluminum Storefront  
Color: Dark Bronze
- 6 Pre-finished clear anodized  
Aluminum Panel
- 7 Pre-finished Metal Panel  
Old Country Millwork  
K5: Rustic Metal Finishes  
Old Sierra Rust
- 8 Stone Veneer  
Cedar Creek Stone  
Coyote Hills Saw Cut 3"
- 9 3" EIFS with Horizontal 1"  
deep groove pattern to match  
Villa stair screening
- 10 Alumaboard or Similar battens  
with powder-coated wood  
grain look, color Hazelnut  
brown
- 11 Powdercoated steel railing and  
metal fascia, color to match  
clear anodized aluminum
- 12 Roof Top Equipment screen,  
Direct applied EIFS, Typ.  
Color PPG 1000-6  
Thunderstruck. LRV 18
- 13 Residential Window  
Aluminum  
Color: Dark Bronze
- 14 Exterior Wall-Mounted  
Light Fixture



**Vi at Cavasson**

NE corner Miller Rd. and Cavasson Blvd. Scottsdale AZ 85255

**orcutt|winslow**  
ARCHITECTURE PLANNING INTERIOR DESIGN

**Building Elevations -  
Minimal Care South  
Villas  
A-53**



**A** Minimal Care South Villa - North Elevation

0 4' 8' 16'

SCALE: 1/8" = 1'-0"



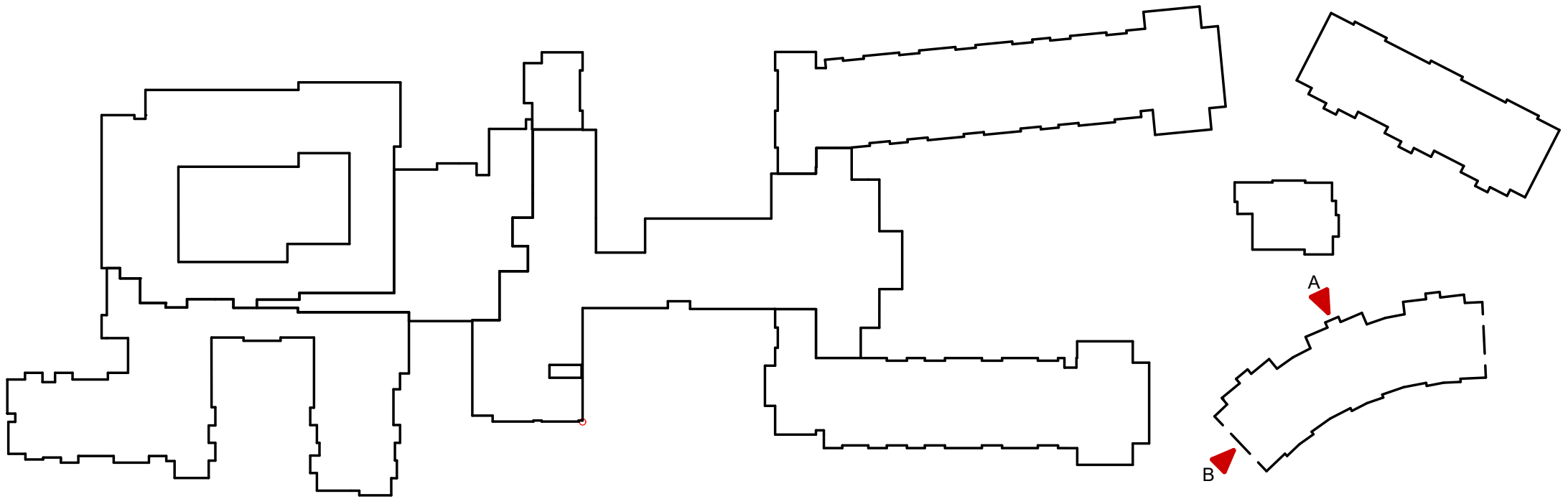
**B** Minimal Care South Villa - West Elevation

0 4' 8' 16'

SCALE: 1/8" = 1'-0"

**Elevation Material Legend**

- 1 EIFS, fine sand finish, color 1  
PPG14-28  
Aldabra  
LRV 36
- 2 EIFS, fine sand finish, color 2  
PPG1000-6  
Thunderstruck  
LRV 18
- 3 EIFS, fine sand finish, color 3  
PPG16-23  
Tampico Brown  
LRV 11
- 4 EIFS with decorative reveals,  
smooth metallic finish  
color 4 PPG14-03 Seagull  
LRV 73
- 5 Aluminum Storefront  
Color: Dark Bronze
- 6 Pre-finished clear anodized  
Aluminum Panel
- 7 Pre-finished Metal Panel  
Old Country Millwork  
KS: Rustic Metal Finishes  
Old Sierra Rust
- 8 Stone Veneer  
Cedar Creek Stone  
Coyote Hills Saw Cut 3"
- 9 3" EIFS with Horizontal 1"  
deep groove pattern to match  
Villa stair screening
- 10 Alumaboard or Similar battens  
with powder-coated wood  
grain look, color Hazelnut  
brown
- 11 Powdercoated steel railing and  
metal fascia, color to match  
clear anodized aluminum
- 12 Roof Top Equipment screen,  
Direct applied EIFS, Typ.  
Color PPG 1000-6  
Thunderstruck. LRV 18
- 13 Residential Window  
Aluminum  
Color: Dark Bronze
- 14 Exterior Wall-Mounted  
Light Fixture



**Vi at Cavasson**

NE corner Miller Rd. and Cavasson Blvd. Scottsdale AZ 85255

**orcutt|winslow**  
ARCHITECTURE PLANNING INTERIOR DESIGN

**Building Elevations -  
Minimal Care South  
Villas  
A-54**

Elevation Material Legend

- 1

EIFS, fine sand finish, color 1  
PPG14-28  
Aldabra  
LRV 36
- 2

EIFS, fine sand finish, color 2  
PPG1000-6  
Thunderstruck  
LRV 18
- 3

EIFS, fine sand finish, color 3  
PPG16-23  
Tampico Brown  
LRV 11
- 4

EIFS with decorative reveals,  
smooth metallic finish  
color 4 PPG14-03 Seagull  
LRV 73
- 5

Aluminum Storefront  
Color: Dark Bronze
- 6

Pre-finished clear anodized  
Aluminum Panel
- 7

Pre-finished Metal Panel  
Old Country Millwork  
K5: Rustic Metal Finishes  
Old Sierra Rust
- 8

Stone Veneer  
Cedar Creek Stone  
Coyote Hills Saw Cut 3"
- 9

3" EIFS with Horizontal 1"  
deep groove pattern to match  
Villa stair screening
- 10

Alumaboard or Similar battens  
with powder-coated wood  
grain look, color Hazelnut  
brown
- 11

Powdercoated steel railing and  
metal fascia, color to match  
clear anodized aluminum
- 12

Roof Top Equipment screen,  
Direct applied EIFS, Typ.  
Color PPG 1000-6  
Thunderstruck. LRV 18
- 13

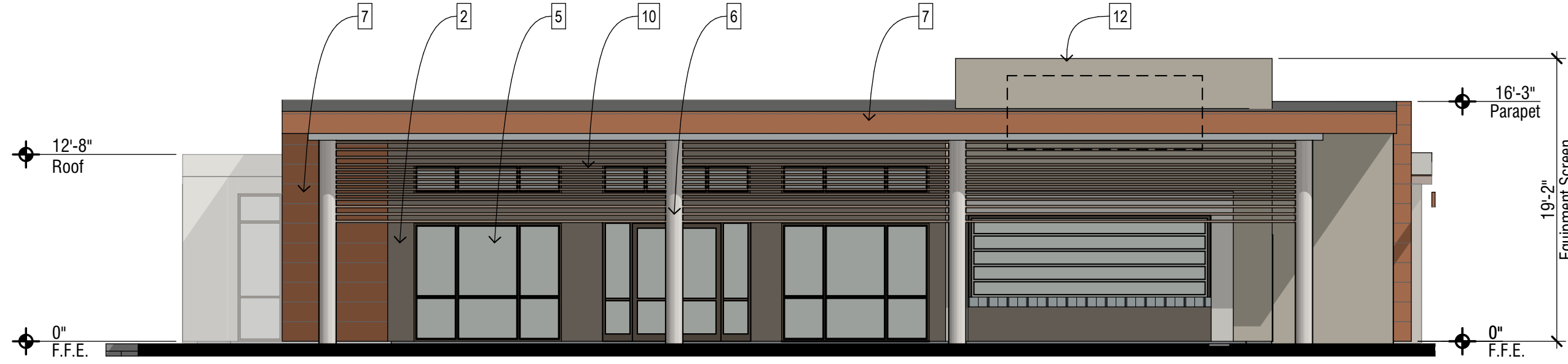
Residential Window  
Aluminum  
Color: Dark Bronze
- 14

Exterior Wall-Mounted  
Light Fixture



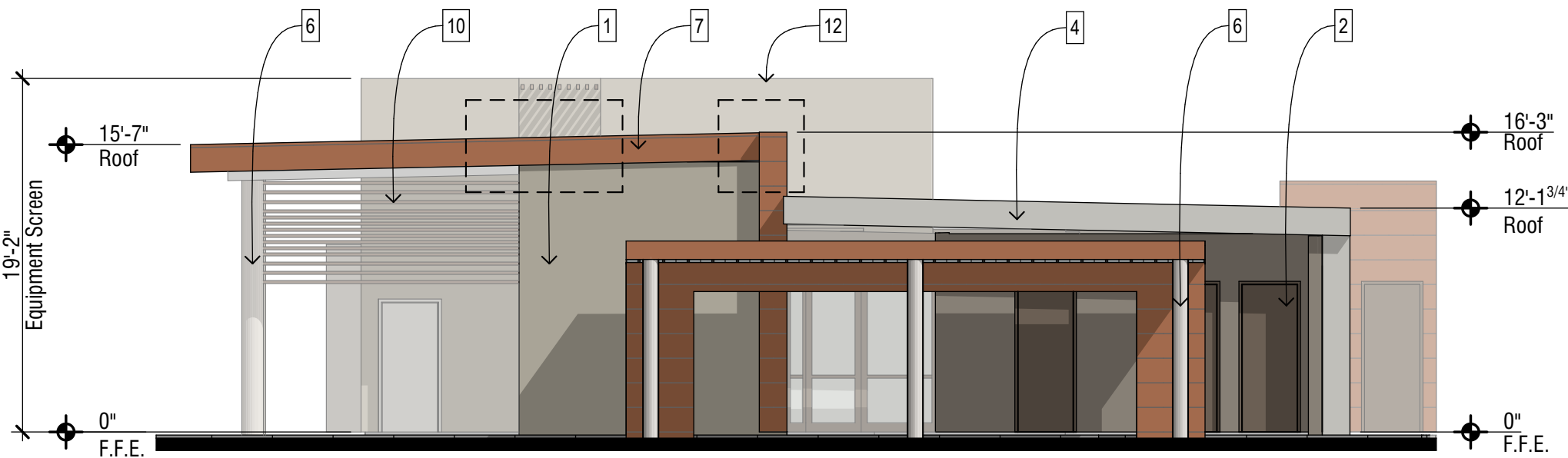
**B Clubhouse - West Elevation**

0 4' 8' 16'  
SCALE: 1/8" = 1'-0"



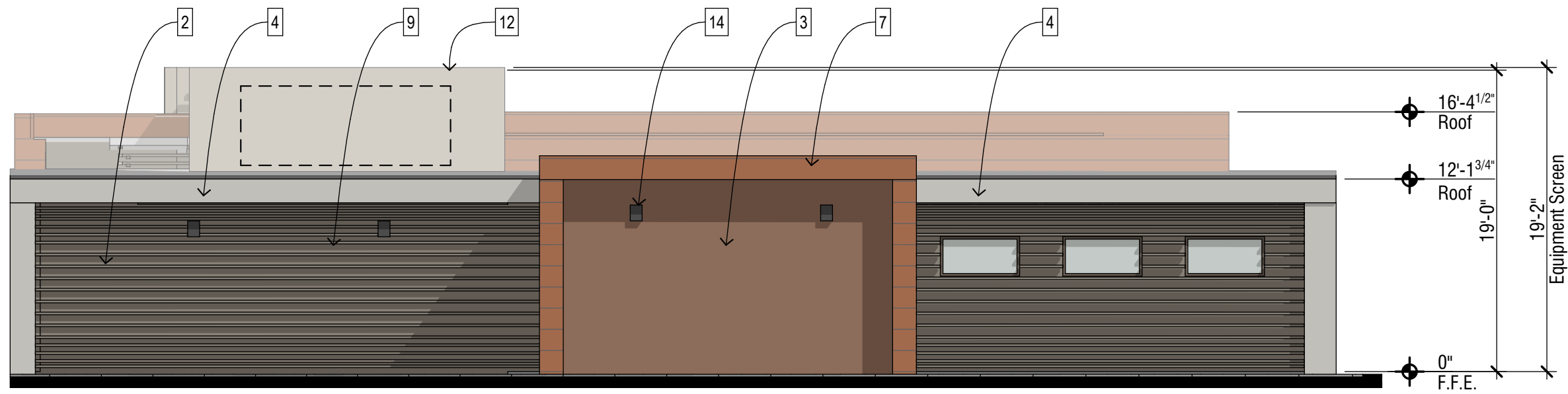
**A Clubhouse - South Elevation**

0 4' 8' 16'  
SCALE: 1/8" = 1'-0"



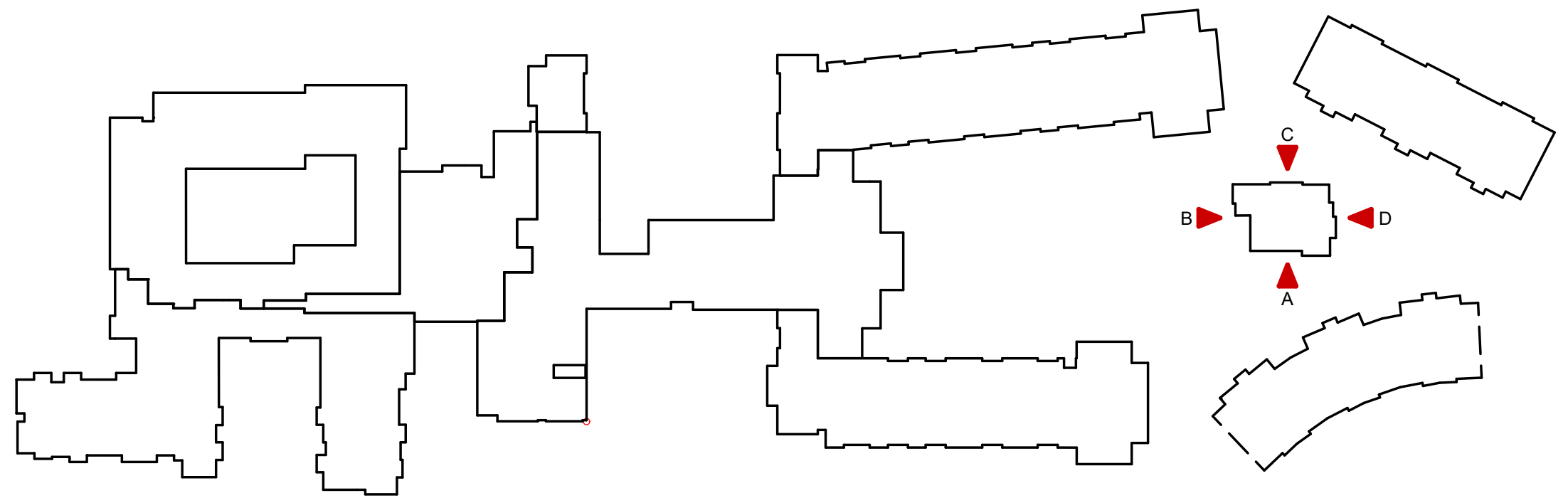
**D Clubhouse - East Elevation**

0 4' 8' 16'  
SCALE: 1/8" = 1'-0"



**C Clubhouse - North Elevation**

0 4' 8' 16'  
SCALE: 1/8" = 1'-0"



Vi at Cavasson

NE corner Miller Rd. and Cavasson Blvd. Scottsdale AZ 85255

orcutt|winslow

ARCHITECTURE PLANNING INTERIOR DESIGN

Building Elevations -  
Clubhouse

A-55



1 SOUTHWEST CORNER - LOOKING NORTHEAST  
NOT TO SCALE



2 SOUTH FACADE - LOOKING NORTH  
NOT TO SCALE

# Vi at Cavasson

NE corner Miller Rd. and Cavasson Blvd. Scottsdale AZ 85255

ATTACHMENT #14

PRELIMINARY - NOT FOR  
CONSTRUCTION

orcutt|winslow  
ARCHITECTURE PLANNING INTERIOR DESIGN

Perspectives  
A-09



1 SPECIALIZED CARE ENTRY - LOOKING SOUTHEAST  
NOT TO SCALE



2 MINIMAL CARE ENTRY - LOOKING NORTHEAST  
NOT TO SCALE

# Vi at Cavasson

NE corner Miller Rd. and Cavasson Blvd. Scottsdale AZ 85255

PRELIMINARY - NOT FOR  
CONSTRUCTION

orcutt|winslow  
ARCHITECTURE PLANNING INTERIOR DESIGN

Perspectives  
A-10



1

SOUTHEAST CORNER - LOOKING WEST  
NOT TO SCALE



2

NORTHEAST CORNER - LOOKING SOUTHWEST  
NOT TO SCALE

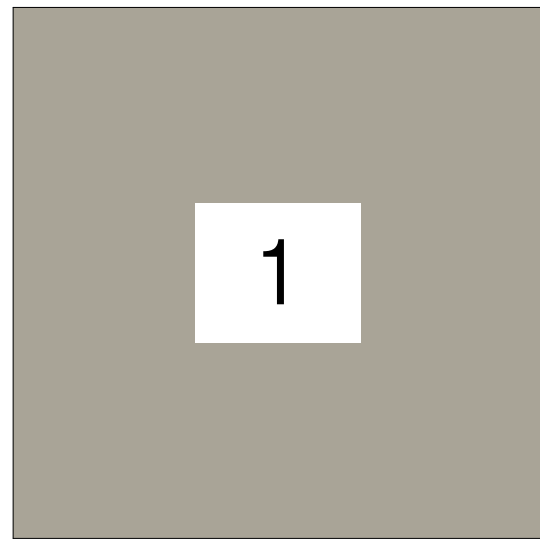
# Vi at Cavasson

NE corner Miller Rd. and Cavasson Blvd. Scottsdale AZ 85255

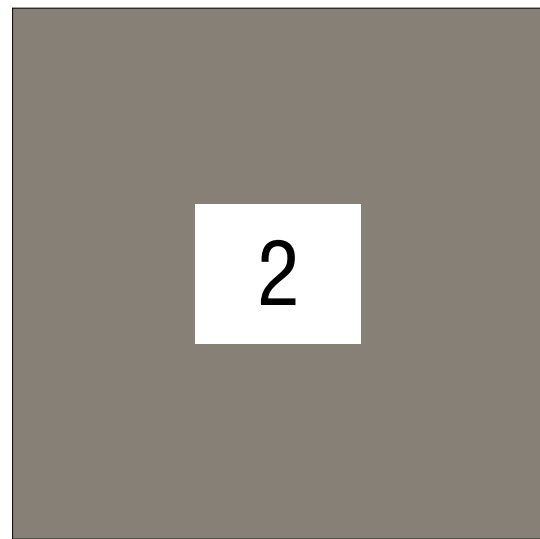
orcutt|winslow

ARCHITECTURE PLANNING INTERIOR DESIGN

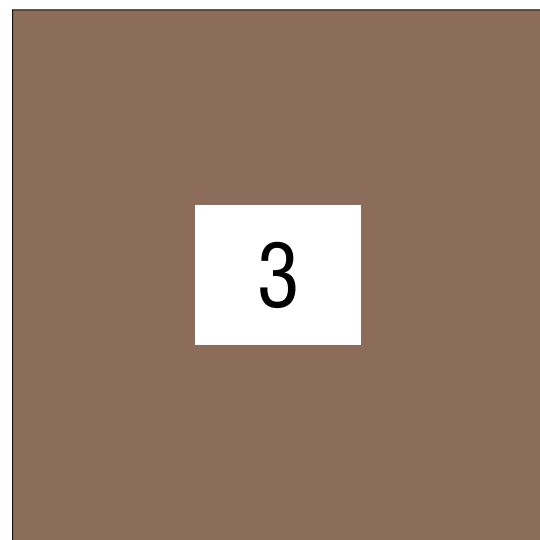
Perspectives  
A-11



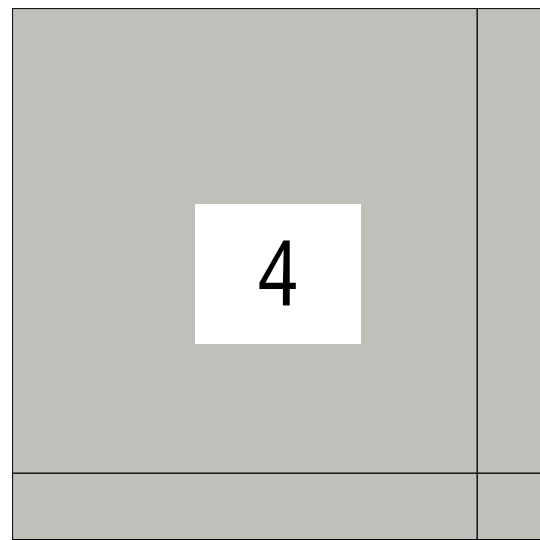
EIFS, fine sand finish, color 1  
PPG14-28  
Aldabra  
LRV 36



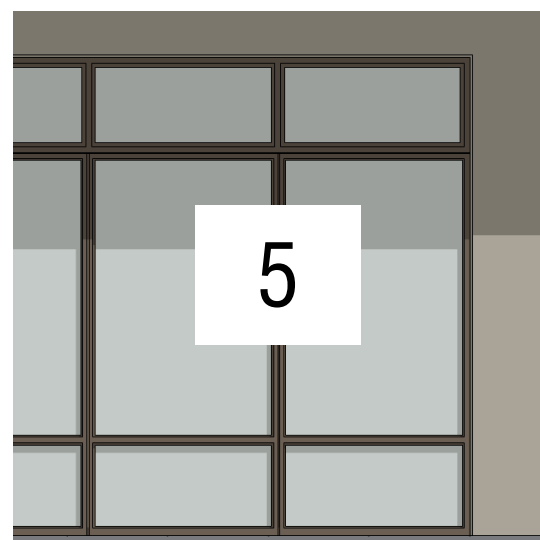
EIFS, fine sand finish, color 2  
PPG1000-6  
Thunderstruck  
LRV 18



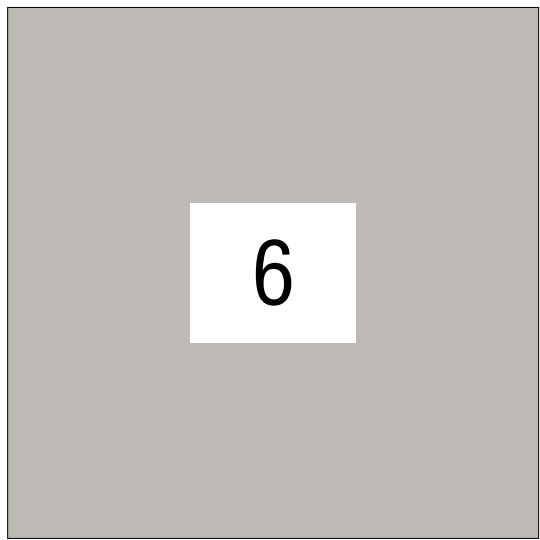
EIFS, fine sand finish, color 3  
PPG16-23  
Tampico Brown  
LRV 11



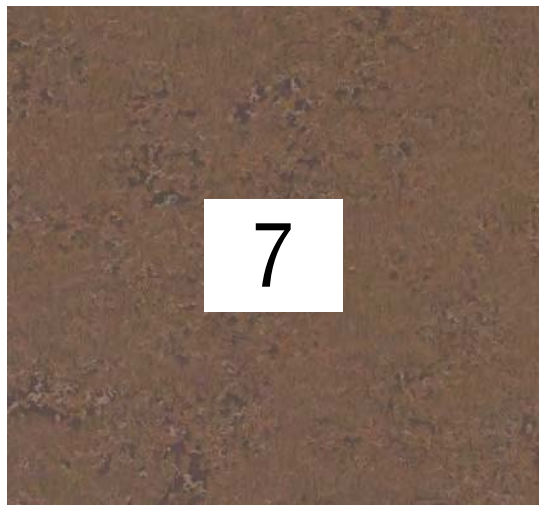
EIFS with decorative reveals,  
smooth metallic finish  
color 4 PPG14-03 Seagull  
LRV 73



Aluminum Storefront  
Color: Dark Bronze



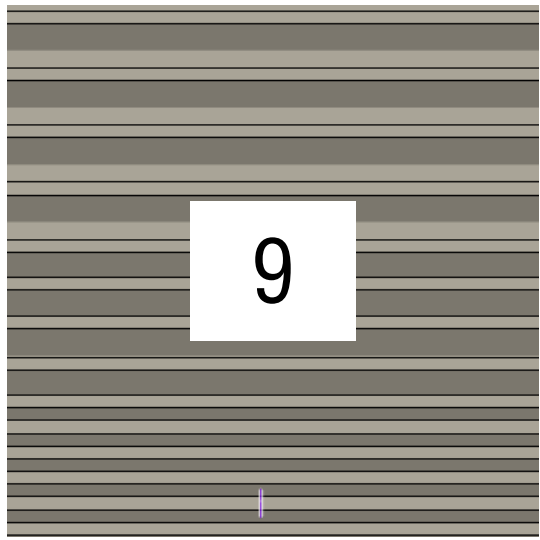
Pre-finished clear anodized  
Aluminum Panel



Pre-finished Metal Panel  
Old Country Millwork  
K5: Rustic Metal Finishes  
Old Sierra Rust



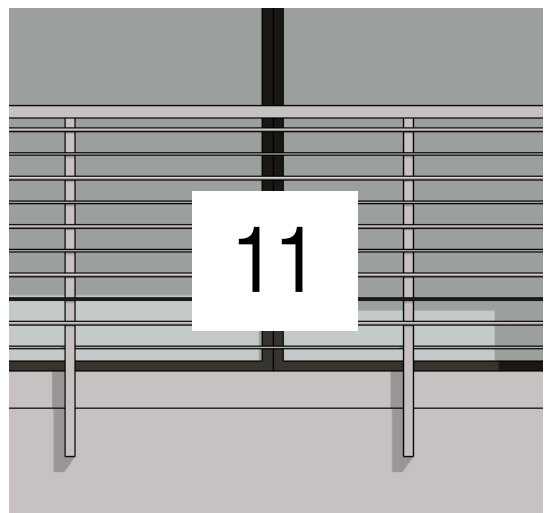
Stone Veneer  
Cedar Creek Stone  
Coyote Hills Saw Cut 3"



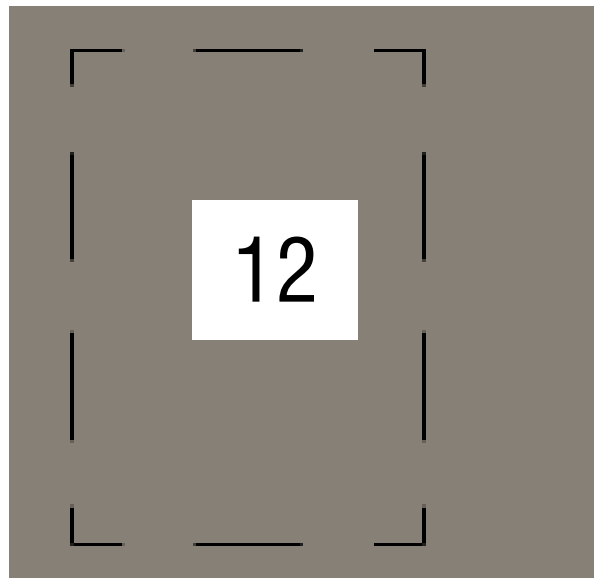
3" EIFS with Horizontal 1"  
deep groove pattern to match  
Villa stair screening



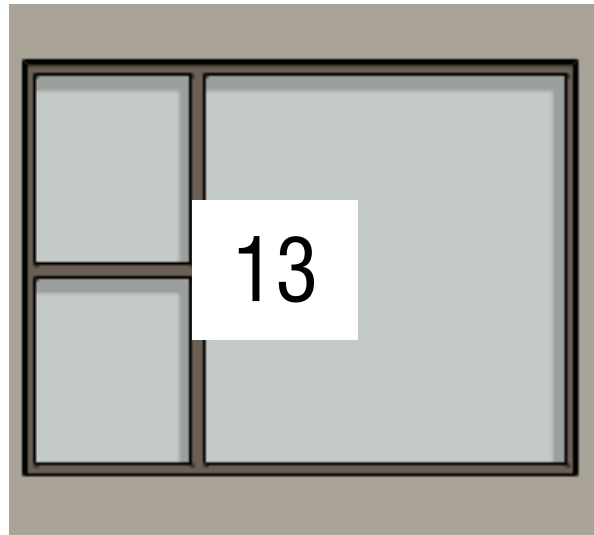
Alumaboard or Similar battens  
with powder-coated wood  
grain look, color Hazelnut  
brown



Powdercoated steel railing and  
metal fascia, color to match  
clear anodized aluminum



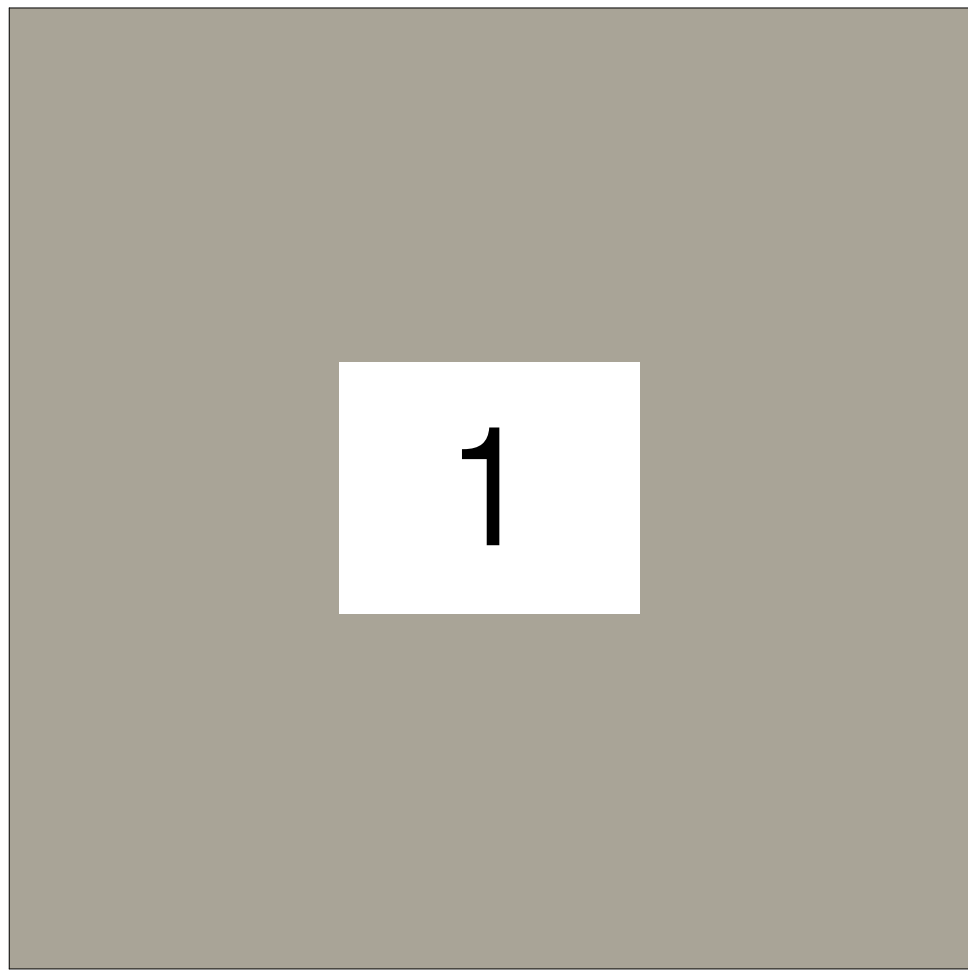
Roof Top Equipment screen,  
Direct applied EIFS, Typ.  
Color PPG 1000-6  
Thunderstruck. LRV 18



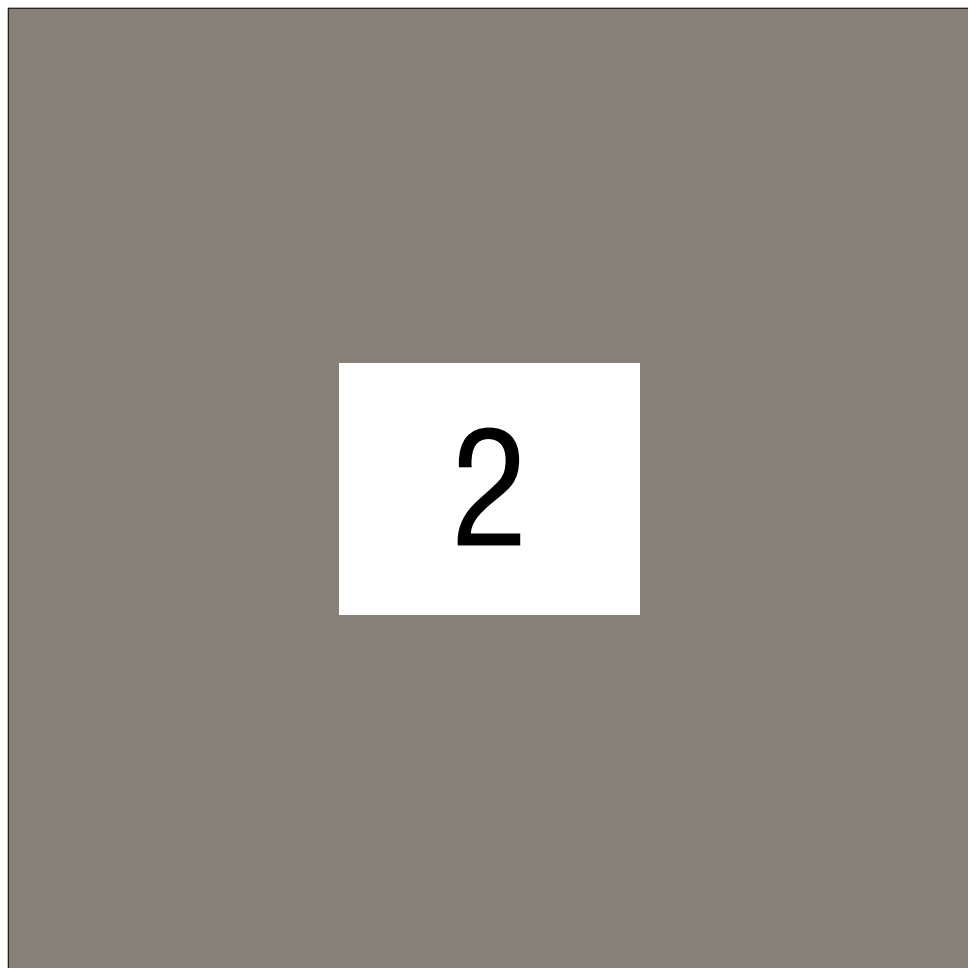
Residential Window  
Aluminum  
Color: Dark Bronze



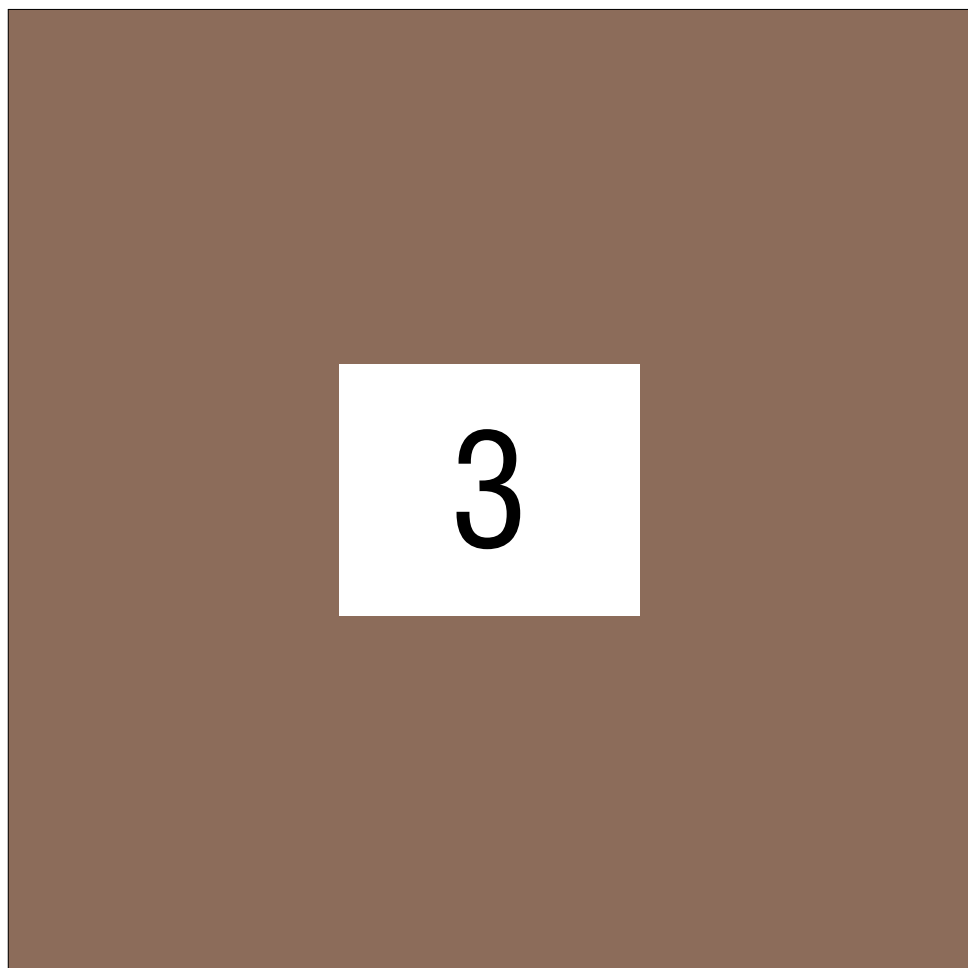
Exterior Wall-Mounted  
Light Fixture



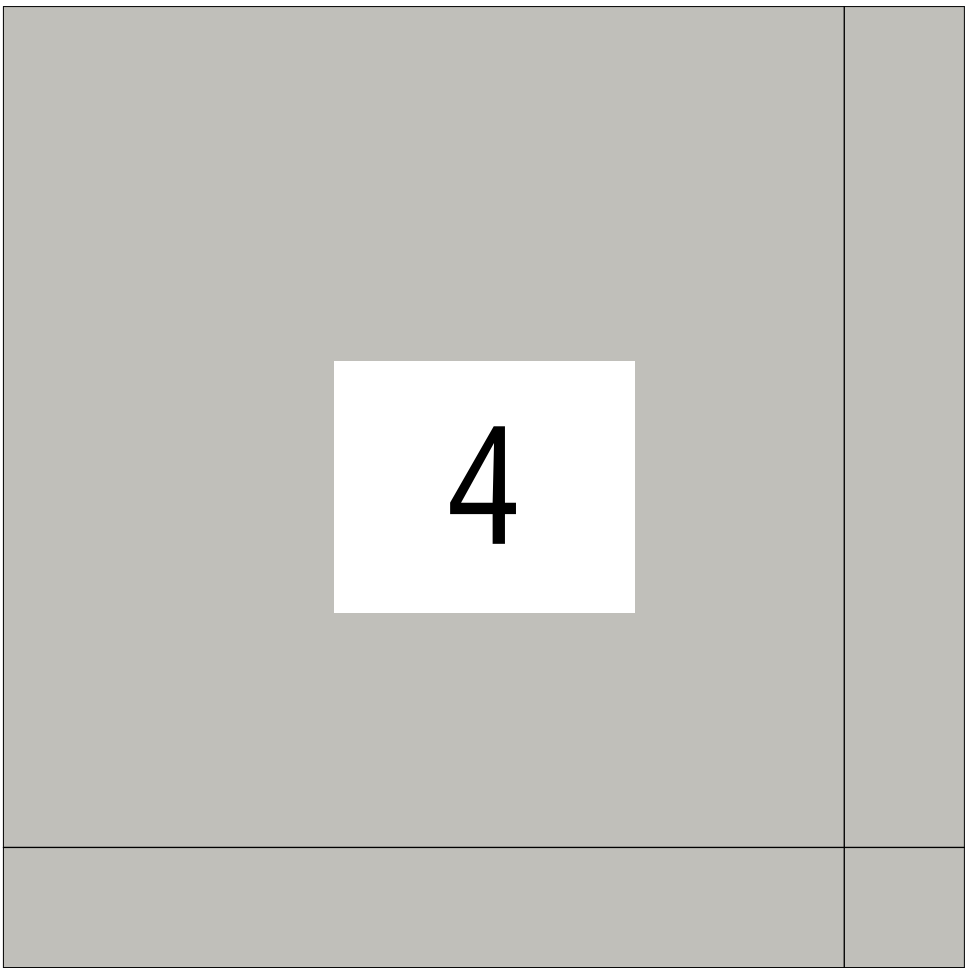
EIFS, fine sand finish, color 1  
PPG14-28  
Aldabra  
LRV 36



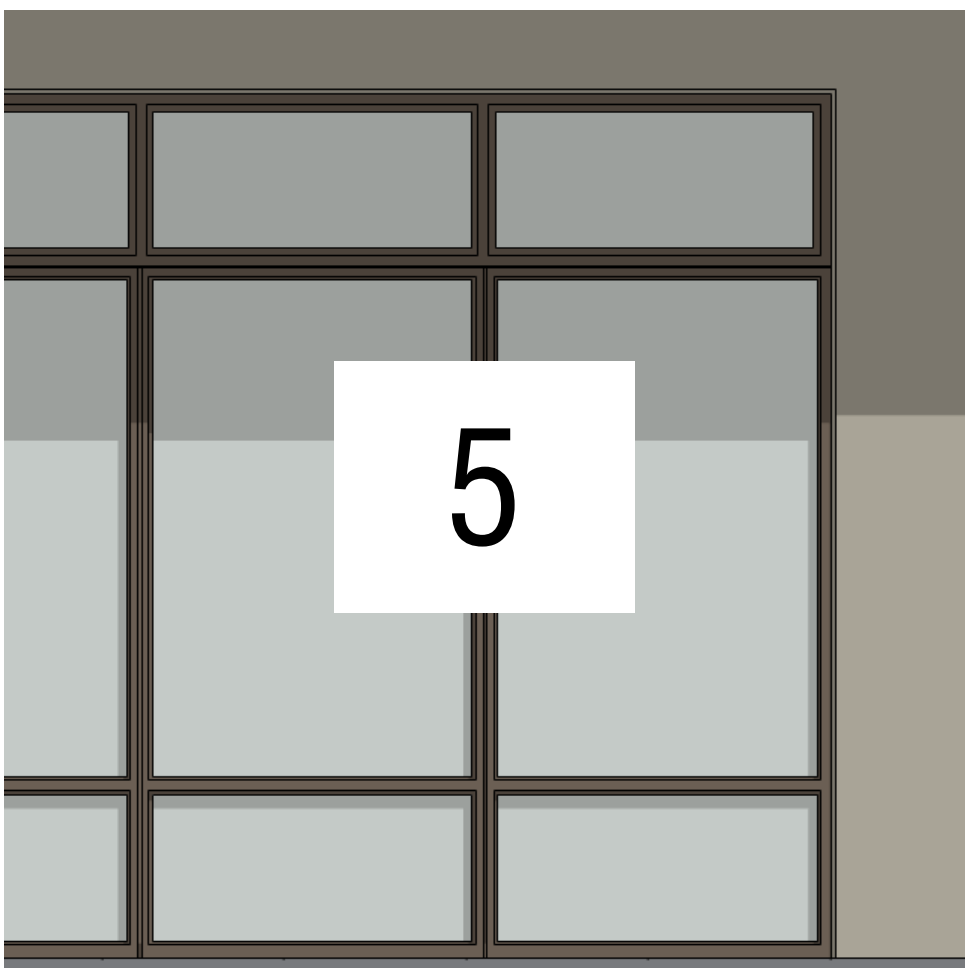
EIFS, fine sand finish, color 2  
PPG1000-6  
Thunderstruck  
LRV 18



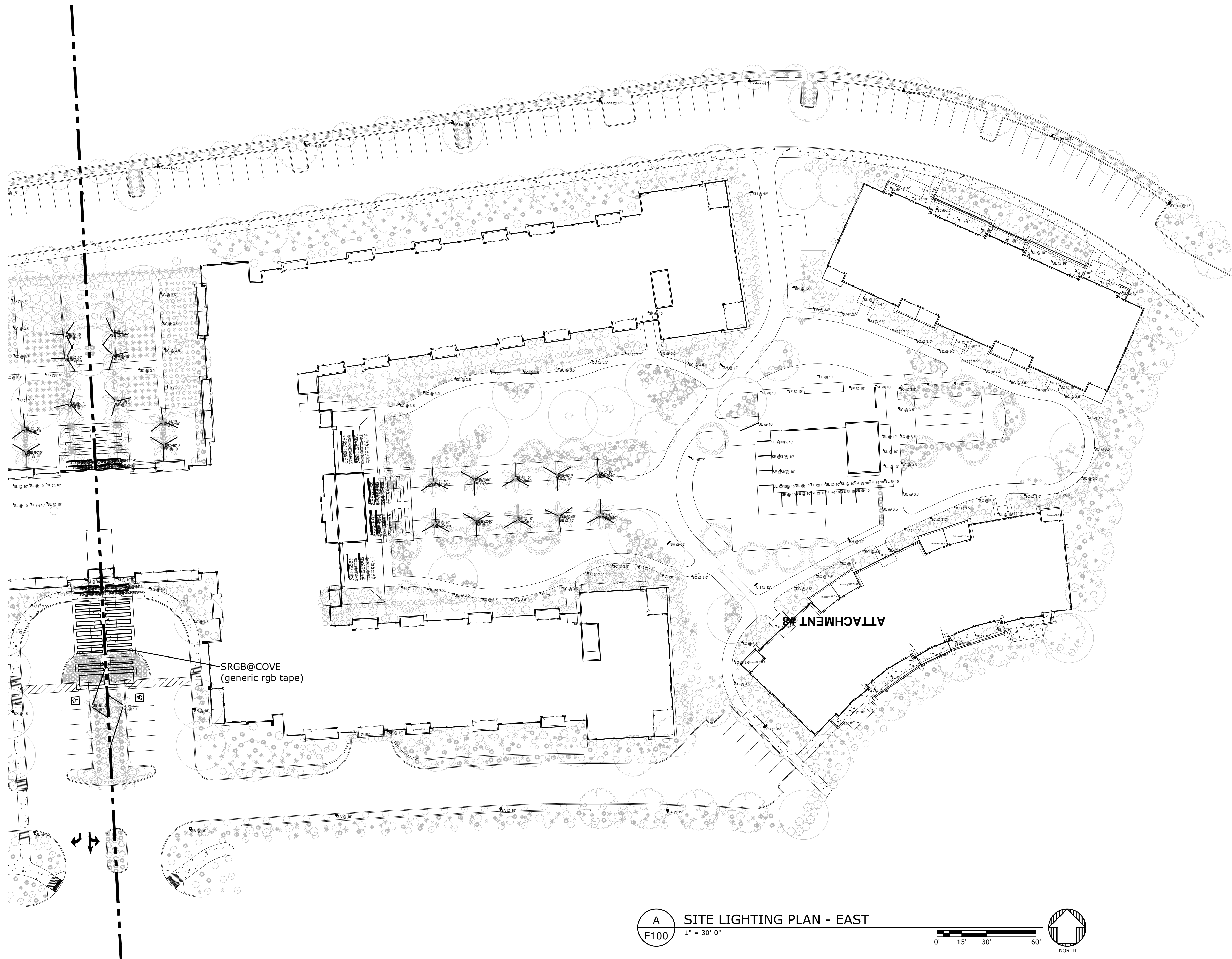
EIFS, fine sand finish, color 3  
PPG16-23  
Tampico Brown  
LRV 11



EIFS with decorative reveals,  
smooth metallic finish  
color 4 PPG14-03 Seagull  
LRV 73



Aluminum Storefront  
Color: Dark Bronze



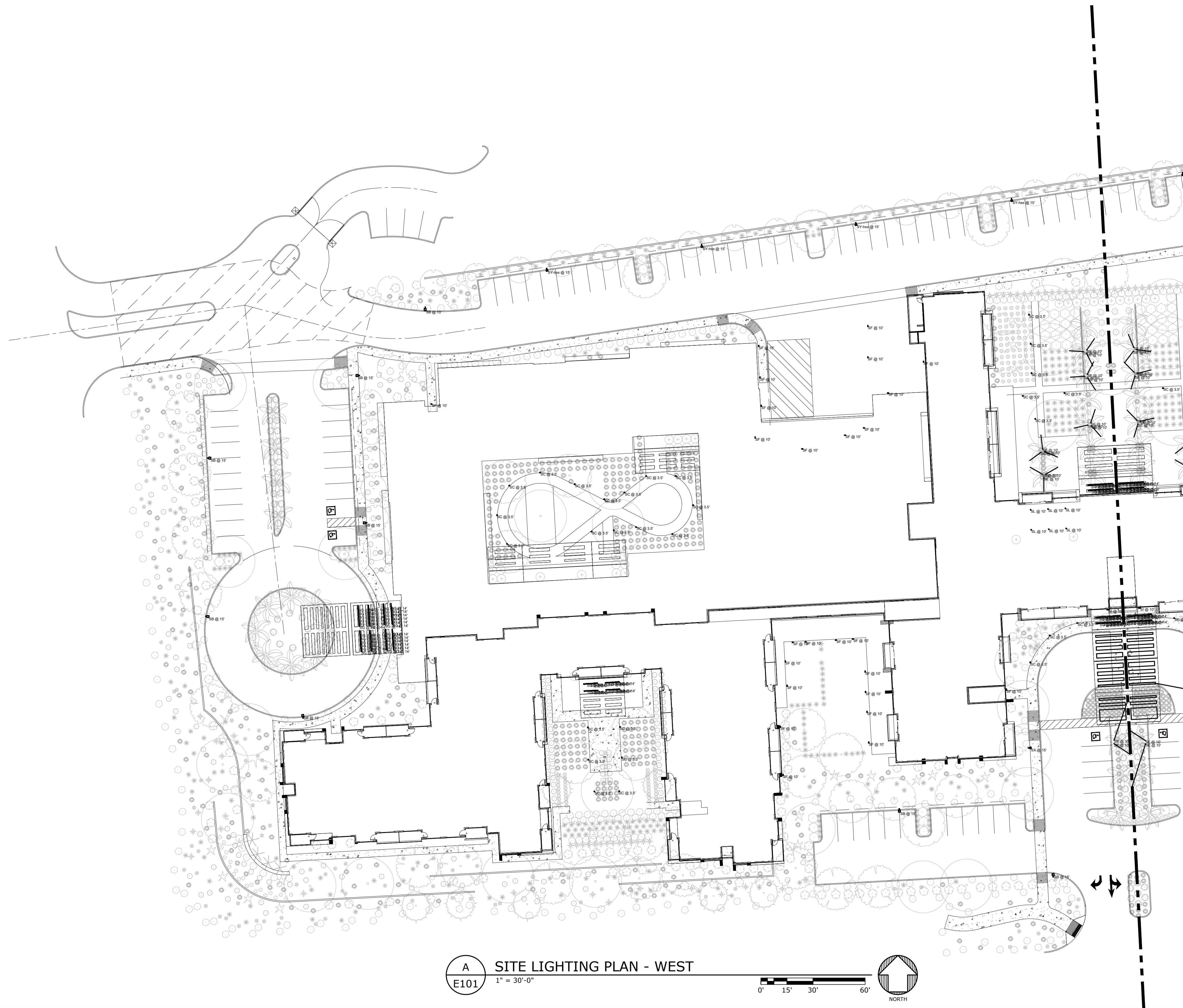
**msa**  
ENGINEERING CONSULTANTS  
**IMEG**  
7878 N 16th Street, Suite 140  
Phoenix, AZ 85020  
602.943.8424  
msa-ec.com  
A21058

Vi Living  
**Vi at Cavasson**  
NEC Miller Road and Cavasson Blvd., Scottsdale, AZ 85255

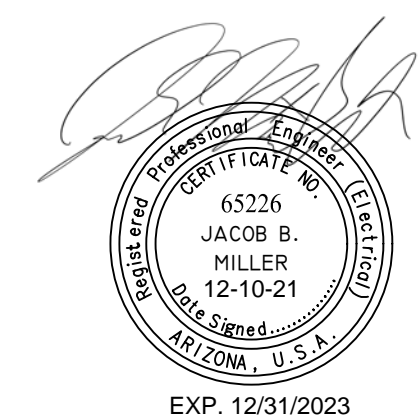
**orcutt|winslow**  
ARCHITECTURE PLANNING INTERIOR DESIGN

SITE  
LIGHTING  
PLAN - EAST  
E100

ATTACHMENT #16



A SITE LIGHTING PLAN - WEST  
E101 1" = 30'-0"



Vi Living  
**Vi at Cavasson**  
NEC Miller Road and Cavasson Blvd., Scottsdale, AZ 85255

orcutt|winslow  
ARCHITECTURE PLANNING INTERIOR DESIGN

SITE  
LIGHTING  
PLAN - WEST  
E101



Native Plant Inventory

8/26/2021

Plant #	Botanical Name	Common Name	Caliper (in)/ Height (ft)	Inventory Designation	Intended Designation	Cacti Arms	Comments
T-1	Parkinsonia florida	Blue Palo Verde	9	S	S		
T-2	Prosopis spp.	Mesquite	14	S	S		
T-3	Prosopis spp.	Mesquite	9	S	S		Leaning
T-4	Parkinsonia florida	Blue Palo Verde	9	S	S		
T-5	Oleaya tesota	Ironwood	18	S	S		Missing Limbs/Angle Specific/Fan Form
T-6	Parkinsonia florida	Blue Palo Verde	10	NS	R		Damaged / Destroyed
T-7	Parkinsonia florida	Blue Palo Verde	6	S	P		
T-8	Parkinsonia florida	Blue Palo Verde	10	S	S		
T-9	Parkinsonia florida	Blue Palo Verde	8	S	S		
T-10	Parkinsonia florida	Blue Palo Verde	9	S	S		Great Form
T-11	Parkinsonia florida	Blue Palo Verde	7	S	S		
T-12	Parkinsonia florida	Blue Palo Verde	5	S	S		
T-13	Parkinsonia florida	Blue Palo Verde	20	S	S		
T-14	Parkinsonia florida	Blue Palo Verde	20	S	S		Prune broken limbs
T-15	Parkinsonia florida	Blue Palo Verde	12	S	S		
T-16	Parkinsonia florida	Blue Palo Verde	7	S	S		Good Form
T-17	Parkinsonia florida	Blue Palo Verde	8	S	S		Good Form
T-18	Prosopis spp.	Mesquite	20	S	S		Great Form
T-19	Prosopis spp.	Mesquite	17	S	S		Beauty / Great Form
T-20	Parkinsonia florida	Blue Palo Verde	24	S	S		
T-21	Parkinsonia florida	Blue Palo Verde	20	S	S		
T-22	Parkinsonia florida	Blue Palo Verde	20	S	S		
T-23	Parkinsonia florida	Blue Palo Verde	5	S	S		
T-24	Parkinsonia florida	Blue Palo Verde	16	S	S		
T-25	Parkinsonia florida	Blue Palo Verde	10	S	S		Good Form
T-26	Parkinsonia florida	Blue Palo Verde	9	S	S		Good Form
T-27	Parkinsonia florida	Blue Palo Verde	22	S	S		Specimen Tree
T-28	Parkinsonia florida	Blue Palo Verde	14	S	S		
T-29	Parkinsonia florida	Blue Palo Verde	12	S	S		
T-30	Parkinsonia florida	Blue Palo Verde	11	S	S		
T-31	Parkinsonia florida	Blue Palo Verde	16	S	S		
T-32	Parkinsonia florida	Blue Palo Verde	14	S	S		
T-33	Parkinsonia florida	Blue Palo Verde	13	S	S		
T-34	Parkinsonia florida	Blue Palo Verde	10	S	S		
T-35	Parkinsonia florida	Blue Palo Verde	12	S	S		
T-36	Parkinsonia florida	Blue Palo Verde	5	S	S		
T-37	Parkinsonia florida	Blue Palo Verde	14	S	S		
T-38	Parkinsonia florida	Blue Palo Verde	16	S	S		
T-39	Parkinsonia florida	Blue Palo Verde	10	S	S		
T-40	Parkinsonia florida	Blue Palo Verde	7	S	S		
T-41	Parkinsonia florida	Blue Palo Verde	9	NS	R		Damaged / Destroyed
T-42	Parkinsonia florida	Blue Palo Verde	6	S	S		

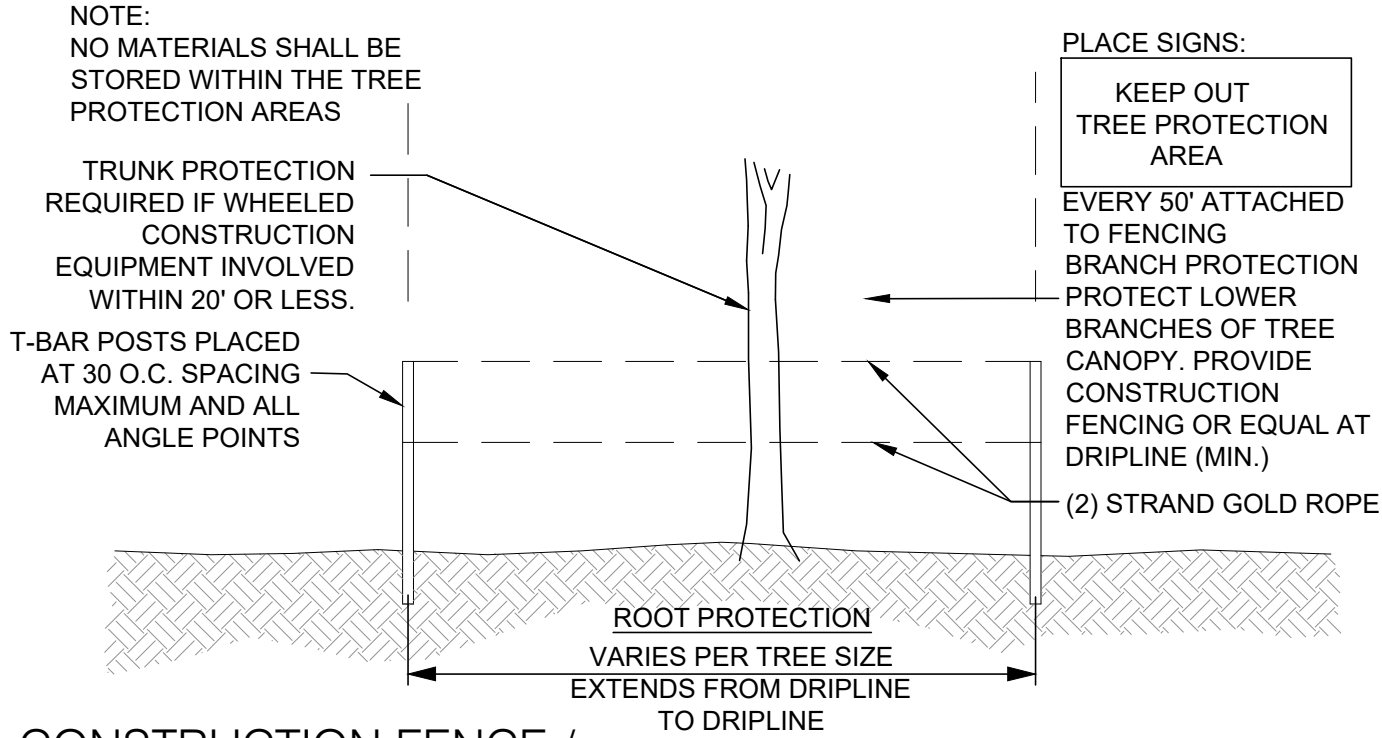
Plant #	Botanical Name	Common Name	Caliper (in)/ Height (ft)	Inventory Designation	Intended Designation	Cacti Arms	Comments
T-43	Prosopis spp.	Mesquite	22	S	S		Great Form / Prune
T-44	Parkinsonia florida	Blue Palo Verde	13	S	S		Great Form
T-45	Parkinsonia florida	Blue Palo Verde	10	S	S		Great Form
T-46	Parkinsonia florida	Blue Palo Verde	12	S	S		
T-47	Parkinsonia florida	Blue Palo Verde	7	S	S		
T-48	Parkinsonia florida	Blue Palo Verde	5	S	S		
T-49	Prosopis spp.	Mesquite	20	NS	R		Trunk Damaged / Destroy
T-50	Parkinsonia florida	Blue Palo Verde	6	S	S		
T-51	Parkinsonia microphylla	Foothills Palo Verde	5	S	S		
C-1	Carnegiea gigantea	Saguaro	6'	S	S		
C-2	Carnegiea gigantea	Saguaro	3'	S	S		
C-3	Carnegiea gigantea	Saguaro	3'	S	S		
T-52	Parkinsonia florida	Blue Palo Verde	6	S	S		
T-53	Parkinsonia florida	Blue Palo Verde	9	S	S		
T-54	Parkinsonia florida	Blue Palo Verde	10	S	S		
T-55	Parkinsonia florida	Blue Palo Verde	5	S	S		
T-56	Parkinsonia florida	Blue Palo Verde	15	S	S		
C-4	Ferocactus cylindraceus	Compass Barrell	3'	S	S		
C-5	Ferocactus cylindraceus	Compass Barrell	2'	S	S		
C-6	Ferocactus cylindraceus	Compass Barrell	2'	S	S		
C-7	Ferocactus cylindraceus	Compass Barrell	2'	S	S		
C-8	Ferocactus cylindraceus	Compass Barrell	2'	S	S		
C-9	Carnegiea gigantea	Saguaro	3'	S	S		
T-57	Parkinsonia florida	Blue Palo Verde	12	S	S		
T-58	Parkinsonia florida	Blue Palo Verde	5	S	S		
T-59	Parkinsonia florida	Blue Palo Verde	20	PIP	RIP		
C-10	Carnegiea gigantea	Saguaro	4'	S	S		
C-11	Carnegiea gigantea	Saguaro	6'	PIP	RIP		
C-12	Fouquieria splendens	Ocotillo	7'	S	S		
C-13	Pachycereus schottii	Senita Cactus	4'	S	S	7	
T-60	Parkinsonia florida	Blue Palo Verde	5	PIP	RIP		
T-61	Parkinsonia florida	Blue Palo Verde	14	PIP	RIP		
C-14	Carnegiea gigantea	Saguaro	6'	S	S		
C-15	Carnegiea gigantea	Saguaro	6'	S	S		
C-16	Carnegiea gigantea	Saguaro	8'	S	S		
C-17	Stenocereus thurberi	Organ Pipe Cactus	6'	S	S	9	
T-62	Parkinsonia florida	Blue Palo Verde	6	S	S		
C-18	Fouquieria splendens	Ocotillo	6'	S	S		
T-63	Prosopis spp.	Mesquite	20	S	S		Prune broken limbs
C-19	Carnegiea gigantea	Saguaro	4'	S	S		
C-20	Carnegiea gigantea	Saguaro	5'	S	S		
C-21	Pachycereus schottii	Senita Cactus	5'	S	S	5	
C-22	Stenocereus thurberi	Organ Pipe Cactus	5'	S	S	8	
T-64	Parkinsonia florida	Blue Palo Verde	9	S	S		
C-23	Fouquieria splendens	Ocotillo	8'	S	S		

Plant #	Botanical Name	Common Name	Caliper (in)/ Height (ft)	Inventory Designation	Intended Designation	Cacti Arms	Comments
C-24	Fouquieria splendens	Ocotillo	6'	S	S		
T-65	Parkinsonia florida	Blue Palo Verde	12	S	S		
T-66	Parkinsonia florida	Blue Palo Verde	6	S	S		
T-67	Parkinsonia florida	Blue Palo Verde	10	PIP	RIP		
T-68	Prosopis spp.	Mesquite	15	PIP	RIP		
C-25	Fouquieria splendens	Ocotillo	8'	PIP	RIP		
C-26	Carnegiea gigantea	Saguaro	5'	PIP	RIP		
C-27	Carnegiea gigantea	Saguaro	4'	PIP	RIP		Damaged
T-69	Chilopsis linearis	Desert Willow	4	PIP	RIP		
T-70	Chilopsis linearis	Desert Willow	4	PIP	RIP		
T-71	Parkinsonia	Blue Palo Verde	4	S	S		
T-72	Chilopsis linearis	Desert Willow	4	S	S		
C-28	Fouquieria splendens	Ocotillo	10'	S	S		
T-73	Chilopsis linearis	Desert Willow	4	S	S		
T-74	Parkinsonia florida	Blue Palo Verde	15	S	S		
C-29	Carnegiea gigantea	Saguaro	7'	S	S		
T-75	Prosopis spp.	Mesquite	12	S	S		
C-30	Fouquieria splendens	Ocotillo	10'	S	S		

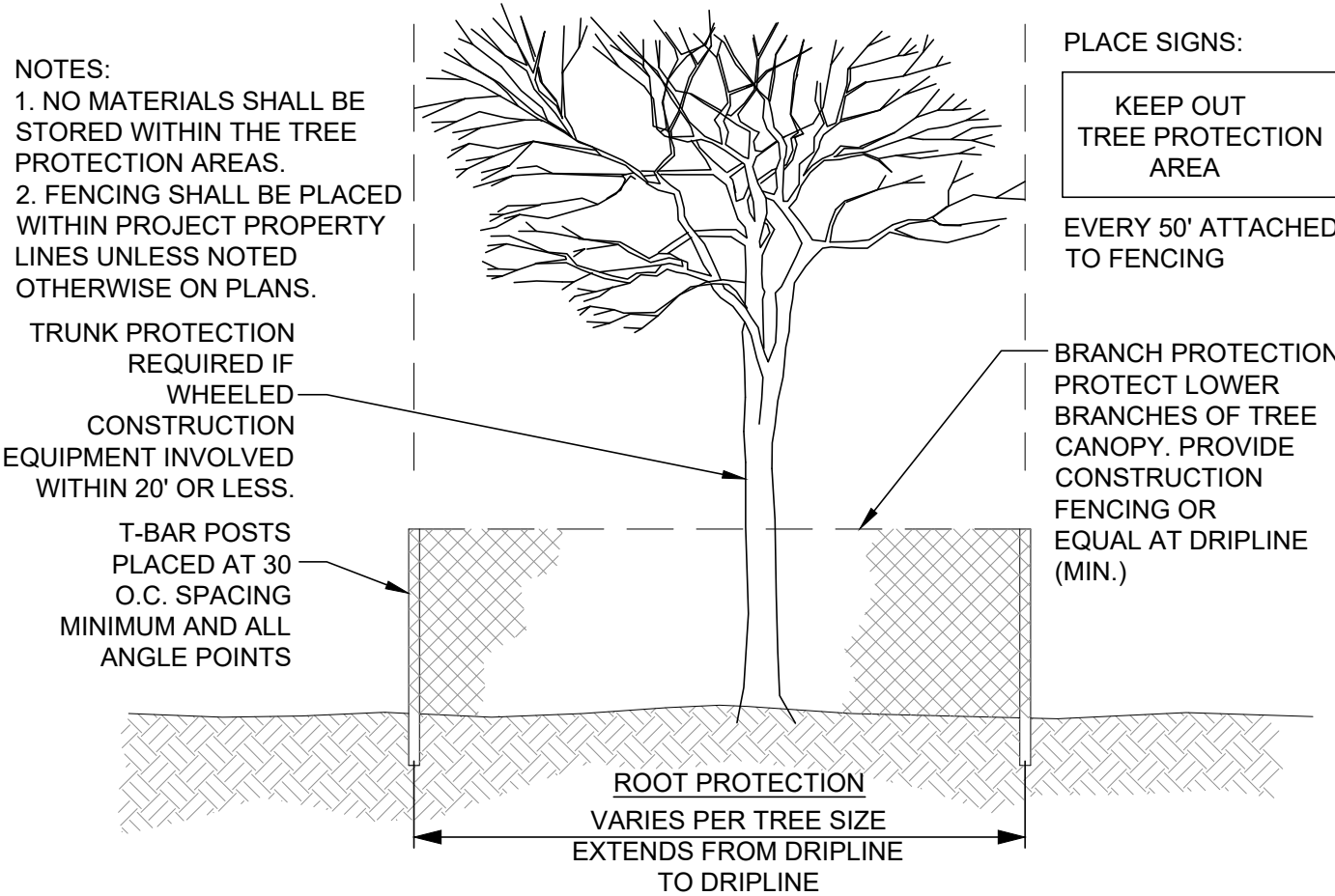
Summary	Trees	Cacti
Salvageable	72	24
Non-Salvageable	3	0
Remain-In-Place	0	6
Total	75	30

**Legend**  
S = Salvageable  
NS = Non-Salvageable  
  
RIP = Remain-In-Place  
PIP = Protect-In-Place

DETAILS



CONSTRUCTION FENCE / TREE PROTECTION LIMITS



CONSTRUCTION AREA LIMITS / TREE PROTECTION

Vi Living  
Vi at Cavasson

NEC MILLER RD. AND CAVASSON BLVD. SCOTTSDALE, ARIZONA 85255

orcutt | winslow

ARCHITECTURE PLANNING INTERIOR DESIGN

Dig  
Studio

INVENTORY  
LIST AND  
DETAILS  
IP102

# City Notifications – Mailing List Selection Map

## Vi at Cavasson



### Additional Notifications:

Interested Parties List  
Adjacent HOA's  
P&Z E-Newsletter  
Facebook  
Nextdoor.com  
City Website-Projects in the hearing process

Labels Pulled  
October 6, 2021

### Map Legend:



Site Boundary



Properties within 750-feet

Postcards: **67**

**41-DR-2021**