

# DEVELOPMENT REVIEW BOARD REPORT



Meeting Date: August 17, 2023  
General Plan Element: *Character and Design*  
General Plan Goal: *Foster quality design that enhances Scottsdale as a unique southwestern desert community.*

## ACTION

<b>Avalon Mammoth (Bank)</b> <b>43-DR-2022</b>	Request for approval of the site plan, building elevations, and landscape plans for the redevelopment of an existing property into a new 4,445 square foot, free-standing bank with drive-thru, on a +/- 1.11-acre site.
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## SUMMARY

### Staff Recommendation

Approve, subject to the attached stipulations (Attachment #6)

### Key Issues

- None

### Items for Consideration

- Conformance with Development Review Board Criteria – staff confirms
- Integration of Sensitive Design Principles – staff confirms
- No community input received as of the date of this report

## BACKGROUND

**Location:** 14900 N Pima Rd

**Zoning:** Central Business (C-2)

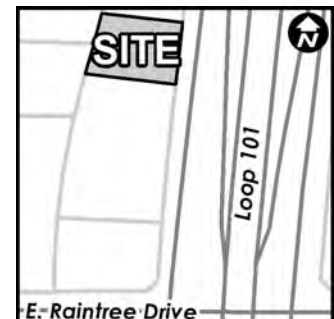
### Adjacent Uses

North: Single-story commercial restaurant: (C-3)

East: Multi-story office: (C-2)

South: Single-story multi-tenant commercial: (C-2)

West: Single-story multi-tenant commercial: (PCP/AMU PSD)



### Property Owner

Avalon Development, LLC

### Applicant

William Whittington, Avalon Development  
(505) 401-3984

### Architect/Designer

Bowman Consulting Group

### Engineer

Bowman Consulting Group

## DEVELOPMENT PROPOSAL

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The proposal is for a new single-story US Bank with a drive-thru, covering 4,445 sf with a maximum proposed height of twenty-four (24) feet. The color and materials of this proposal are harmonious with the surrounding buildings. Proposed materials feature EIFS, composite metal panels, and natural stone. The site is accessible from shared drives from 87<sup>th</sup> Street and Pima Road (101 Freeway frontage road), with parking on the south and west sides of the building. The drive-thru will wrap around the building, exiting into the western parking lot. Landscaped open space will be updated to add Palo Verde trees, shrubs, and groundcover to the existing landscaping.

### Significant Updates to Development Proposal Since Initial Submittal

During staff review of the development proposal, comments were provided to the applicant to update the development proposal which resulted in the following updates:

- Revised and more detailed landscape refreshing.
- Revised elevations to stronger reflect design guidelines' preference for: desert-appropriate colors, more prominent featuring of masonry products, building design variety and visual interest, and more expansive drive-thru shade cover.

### Development Review Board Criteria

Staff confirms that the development proposal generally meets the applicable Development Review Board Criteria. For a detailed analysis of the Criteria, please see Attachment #4.

## STAFF RECOMMENDED ACTION

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Staff recommends that the Development Review Board approve the Avalon Mammoth (Bank) development proposal per the attached stipulations, finding that the Character and Design Element of the General Plan and Greater Airpark Character Area Plan and Development Review Board Criteria have been met.

### RESPONSIBLE DEPARTMENTS

**Planning and Development Services**  
Current Planning Services

### STAFF CONTACTS

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Casey Steinke  
Planner  
480-312-2611    csteinke@ScottsdaleAZ.gov

## APPROVED BY

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Casey Steinke, Report Author

8/9/23

Date



Brad Carr, AICP, LEED-AP, Planning & Development Area Manager  
Development Review Board Liaison  
Phone: 480-312-7713    Email: bcarr@scottsdaleaz.gov

8/9/2023

Date

## **ATTACHMENTS**

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1. Context Aerial
2. Close-up Aerial
3. Applicant's Narrative
4. Development Review Board Criteria Analysis
5. Development Information
6. Stipulations / Zoning Ordinance Requirements
7. Site Plan
8. Open Space Plan
9. Landscape Plan
10. Building Elevations (color)
11. Perspectives
12. Materials and Colors Board
13. Exterior Photometrics Plan
14. Exterior Lighting Cutsheets
15. Zoning Map
16. Community Involvement



Q.S.  
34-48

Google Earth Pro Imagery

Context Aerial

43-DR-2022





Close-up Aerial

43-DR-2022



November 30, 2022

City of Scottsdale  
Planning and Development Services  
7447 East Indian School Road  
Suite 105  
Scottsdale, AZ 85251

**RE: Development Review Board Narrative for Project 1320 – PA - 2021**

Dear Madam or Sir:

We are submitting a Development Review Board application for the above referenced parcel. The proposed use is a bank with a drive thru. The property is zoned C-2 and financial institutions are a permitted use in the C-2 zone. The site is located north of the northeast corner of 87<sup>th</sup> Street and Raintree Road. There is an existing shared access on 87<sup>th</sup> Street and an existing shared access from Pima Road which will provide the circulation for this site. The existing building will be demolished to allow for construction of the bank facility. We offer the following response to section 1.904 of the zoning ordinance, Development Review Board criteria:

1. The site is consistent with the guidelines, standards and plans of the City of Scottsdale. The property is zoned commercial and a financial institution is a permitted use.
2. The architectural, landscaping and site design:
  - A. Promote a desirable relationship of structures by closely matching the existing adjacent commercial uses.
  - B. Avoid excessive variety and monotonous repetition by closely matching the existing adjacent uses and by providing building elevations with an alternating ridgeline.
  - C. Recognize the Sonoran Desert environment by using colors complimentary to the area
  - D. Are not located within an ESL area but will provide landscaping to reflect native desert materials.
  - E. Are not located in the historic overlay district but will work with the city to maintain consistency with the existing area.
3. The site will utilize existing shared access drives on both 87<sup>th</sup> Street and Pima Road. These drives are shared by the adjacent commercial uses to the north and south. The site is designed so that internal traffic can connect to either road with all parking located off street. Pedestrian connectivity is also maintained between the adjacent commercial uses.
4. Any rooftop mechanical equipment will be screened by the parapet wall which is integral to the building design.
5. The site is not located within the Downtown area.
6. Artwork has not been required for this site.

Thank you for your consideration of this request and please contact me at 480-559-8368 if you have any questions.

Respectfully submitted,  
**Bowman Consulting Group**

A handwritten signature in black ink, appearing to read "Jeff Rybarczyk".

Jeffrey Rybarczyk, PE  
Senior Project Manager

## DEVELOPMENT REVIEW BOARD CRITERIA ANALYSIS

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Per Section 1.904. of the Zoning Ordinance, in considering any application for development, the Development Review Board shall be guided by the following criteria:

1. The Board shall examine the design and theme of the application for consistency with the design and character components of the applicable guidelines, development standards, Design Standards and Policies Manual, master plans, character plan and General Plan.
  - *The applicant states that the site is consistent with the guidelines, standards and plans of the City of Scottsdale. The property is zoned commercial and a financial institution is a permitted use.*
  - *Staff finds that the General Plan Land Use Element designates the property as Mixed-Use Neighborhoods, which emphasizes human-scale development in growth areas with access to multiple nodes of transit. The Greater Airpark Character Area is a main regional employment and business core. The Airpark is also a growth area, defined by the General Plan as locations most appropriate for development focus, and will best accommodate future growth, new development, revitalization, and redevelopment. Staff finds the proposed building and site design to be in conformance with the applicable development standards of the Zoning Ordinance, the General Plan, and the City's Commercial Design Guidelines.*
2. The architectural character, landscaping and site design of the proposed development shall:
  - a. Promote a desirable relationship of structures to one another, to open spaces and topography, both on the site and in the surrounding neighborhood;
  - b. Avoid excessive variety and monotonous repetition;
  - c. Recognize the unique climatic and other environmental factors of this region to respond to the Sonoran Desert environment, as specified in the Sensitive Design Principles;
  - d. Conform to the recommendations and guidelines in the Environmentally Sensitive Lands (ESL) Ordinance, in the ESL Overlay District; and
  - e. Incorporate unique or characteristic architectural features, including building height, size, shape, color, texture, setback or architectural details, in the Historic Property Overlay District.
  - *The applicant states the architectural, landscaping and site design:*
    - *Promote a desirable relationship of structures by closely matching the existing adjacent commercial uses.*
    - *Avoid excessive variety and monotonous repetition by closely matching the existing adjacent uses and by providing building elevations with an alternating ridgeline.*
    - *Recognize the Sonoran Desert environment by using colors complimentary to the area.*
    - *Are not located within an ESL area but will provide landscaping to reflect native desert materials.*
    - *Are not located in the historic overlay district but will work with the city to maintain consistency with the existing area.*
  - *Staff finds the proposed development promotes a suitable relationship to existing structures in the surrounding area and embodies the goals of city design guidelines. The proposal is to raze the existing building, which will be replaced by a smaller single building with a relatively similar footprint and orientation. Window glazing, revised per staff comments, along with the shade canopies are responsive to climatic elements of the desert. The proposed building design style utilizes a variety of materials and canopies to minimize monotonous repetition.*

*The site is not located within the ESL Overlay District nor the Historic Preservation Overlay District.*

3. Ingress, egress, internal traffic circulation, off-street parking facilities, loading and service areas and pedestrian ways shall be designed as to promote safety and convenience.
  - *The applicant states the site will utilize existing shared access drives on both 87<sup>th</sup> Street and Pima Road. These drives are shared by the adjacent commercial uses to the north and south. The site is designed so that internal traffic can connect to either road with all parking located off-street. Pedestrian connectivity is also maintained between the adjacent commercial uses.*
  - *Staff finds the ingress, egress, internal traffic circulation, and pedestrian ways have been designed to promote safety and convenience. Access to the site remains unchanged from the previous layout.*
4. If provided, mechanical equipment, appurtenances and utilities, and their associated screening shall be integral to the building design.
  - *The applicant states any rooftop mechanical equipment will be screened by the parapet wall which is integral to the building design.*
  - *Staff finds the proposed building design accounts for adequate rooftop screening via parapets.*
5. Within the Downtown Area, building and site design shall:
  - a. Demonstrate conformance with the Downtown Plan Urban Design & Architectural Guidelines;
  - b. Incorporate urban and architectural design that address human scale and incorporate pedestrian-oriented environment at the street level;
  - c. Reflect contemporary and historic interpretations of Sonoran Desert architectural traditions, by subdividing the overall massing into smaller elements, expressing small scale details, and recessing fenestrations;
  - d. Reflect the design features and materials of the urban neighborhoods in which the development is located; and
  - e. Incorporate enhanced design and aesthetics of building mass, height, materials and intensity with transitions between adjacent/abutting Type 1 and Type 2 Areas, and adjacent/abutting Type 2 Areas and existing development outside the Downtown Area.
  - *This criterion is not applicable.*
6. The location of artwork provided in accordance with the Cultural Improvement Program or Public Art Program shall address the following criteria:
  - a. Accessibility to the public;
  - b. Location near pedestrian circulation routes consistent with existing or future development or natural features;
  - c. Location near the primary pedestrian or vehicular entrance of a development;
  - d. Location in conformance with Design Standards and Policies Manual for locations affecting existing utilities, public utility easements, and vehicular sight distance requirements; and
  - e. Location in conformance to standards for public safety.
  - *This criterion is not applicable.*



# DEVELOPMENT INFORMATION

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## Zoning History

The site was annexed into the City in 1962 (Ord. #165) and zoned to the Single-family Residential (R1-35) zoning designation. Since initial zoning of the site, it has been rezoned to the Industrial Park (I-1) district in 1970 via case 5-ZN-1998 (Ord #3146).

## Community Involvement

With the submittal of the application, staff notified all property owners within 750 feet of the site. In addition, the applicant has been in communication with property owners surrounding the site. As of the publishing of this report, staff has not received any community input regarding the application.

## Context

Located immediately west of the AZ-101 freeway, approximately 700 feet north of Raintree Drive, the site is situated in an area devoted mainly to commercial retail and office uses. Recently, a new multi-family development was constructed generally west of the subject site (The Aston Scottsdale (AKA Alta Raintree)). The land was largely vacant until the early 2000s when the current mix of buildings began construction.

## Project Data

• Existing Use:	Multi-tenant Commercial Retail
• Proposed Use:	Financial Institution
• Parcel Size:	48,399 square feet / 1.11 acres (net)
• Commercial Building Area:	4,445 square feet
• Floor Area Ratio Allowed:	.80
• Floor Area Ratio Provided:	.09
• Building Height Allowed:	36 feet (exclusive of rooftop appurtenances)
• Building Height Proposed:	24 feet 4 inches (inclusive of rooftop appurtenances)
• Parking Required:	18 spaces
• Parking Provided:	36 spaces
• Open Space Required:	7,220 square feet
• Open Space Provided:	7,382 square feet
• Frontage Open Space Required:	3,691 square feet
• Frontage Open Space Provided:	4,265 square feet

**Stipulations for the  
Development Review Board Application:  
Avalon Mammoth (Bank)  
Case Number: 43-DR-2022**

These stipulations are intended to protect the public health, safety, welfare, and the City of Scottsdale.

**APPLICABLE DOCUMENTS AND PLANS:**

1. Except as required by the Scottsdale Revised Code (SRC), the Design Standards and Policies Manual (DSPM), and the other stipulations herein, the site design and construction shall substantially conform to the following documents:
  - a. Architectural elements, including dimensions, materials, form, color, and texture shall be constructed to be consistent with the building elevations submitted by RSP Architects, with a city staff date of 6/22/23.
  - b. The location and configuration of all site improvements shall be consistent with the site plan submitted by Bowman Consulting Group, with a city staff date of 6/22/23.
  - c. Landscape improvements, including quantity, size, and location shall be installed to be consistent with the preliminary landscape plan submitted by TJM & Associates , with a city staff date of 6/22/23
  - d. The case drainage report submitted by “Bowman” and accepted in concept by the Stormwater Management Department of the Planning and Development Services.

**RELEVANT CASES:**

**Ordinance**

- A. At the time of review, the applicable Zoning, case for the subject site was: 5-ZN-1998.

**ARCHAEOLOGICAL RESOURCES:**

**Ordinance**

- B. Any development on the property is subject to the requirements of Scottsdale Revised Code, Chapter 46, Article VI, Section 46-134 - Discoveries of archaeological resources during construction.

**ARCHITECTURAL DESIGN:**

**DRB Stipulations**

2. All exterior window glazing shall be recessed a minimum of fifty (50) percent of the wall depth, including glass windows within any tower/clerestory elements. The amount or recess shall be measured from the face of the exterior wall to the face of the glazing, exclusive of external detailing. With the final plan submittal, the developer shall provide head, jamb and sill details clearly showing the amount of recess for all window types.
3. All exterior doors shall be recessed a minimum of thirty (30) percent of the wall depth, the amount of recess shall be measured from the face of the exterior wall to the face of the glazing, exclusive of

external detailing. With the final plan submittal the developer shall provide head, jamb and sill details clearly showing the amount of recess for all door types.

**SITE DESIGN:**

**DRB Stipulations**

4. All drive aisles that are fire lanes shall have a width of twenty-four (24) feet.
5. All drive-thru lanes shall provide a minimum of 120 feet of queuing distance.

**LANDSCAPE DESIGN:**

**Ordinance**

6. Final landscape plans shall demonstrate that decomposed granite or similar material around the mature form of a specimen plant, tree canopy, or groups of plants, shall not exceed seven (7) feet in any direction, including landscape areas fronting to N. Pima Road frontage road.

**EXTRIOR LIGHTING:**

**DRB Stipulations**

7. No fixture shall be mounted higher than twenty (20) feet. (City of Scottsdale Exterior Lighting Policy and DSPM)
8. All exterior lighting shall have a Kelvin temperature of 3000 or less. (City of Scottsdale Exterior Lighting Policy)
9. The maintained maximum horizontal luminance level, at grade under the ATM drive-thru canopy, shall not exceed 7.5-foot candles. All exterior luminaires under the canopy shall be included in this calculation. (City of Scottsdale Gas Station and Convenience Store Design Guidelines)
10. The maintained maximum horizontal luminance level within a 10-foot radius extending for a total of 180 degrees and measured from the center face of the ATM, shall not exceed 15-foot candles. All exterior luminaires under the canopy shall be included in this calculation. (City of Scottsdale Exterior ATM and Bank Drive-Thru Lighting Guidelines)

**AIRPORT:**

**DRB Stipulations**

11. **Sec. 5-354. - General requirements.** The owner of new development (and natural growth and construction equipment associated with new development), to be located within the twenty-thousand-foot radius of the Scottsdale Airport, that penetrates the 100:1 slope from the nearest point of the runway shall submit to the FAA the appropriate forms for FAA review. See FAA Form 7460-1. Before final plan approval, the owner shall submit the FAA response to FAA Form 7460-1.
12. **Sec. 5-355. - Fair disclosure requirements.** As recommended by the FAA Part 150 Noise Compatibility Study, each owner of property located in the areas labeled AC-1, shall make fair disclosure to each purchaser. If a development is subject to Covenants, Conditions and Restrictions (CC&Rs), the owner shall include the disclosure in the CC&Rs.

**STREET INFRASTRUCTURE:**

**Ordinance**

- C. All street infrastructure improvements shall be constructed in accordance with this City of Scottsdale (COS) Supplement to MAG Specifications and Details, and the Design Standards and Policies Manual.

**WATER AND WASTEWATER:**

**Ordinance**

- D. All water and wastewater infrastructure improvements shall be constructed in accordance with this City of Scottsdale (COS) Supplement to MAG Specifications and Details, and the Design Standards and Policies Manual.

**DRB Stipulations**

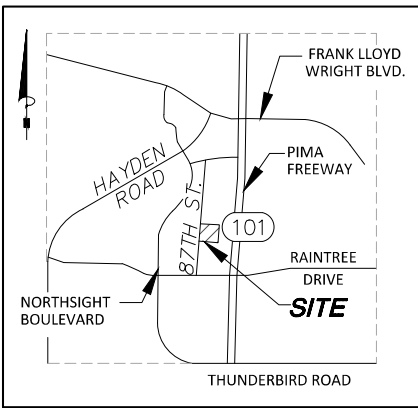
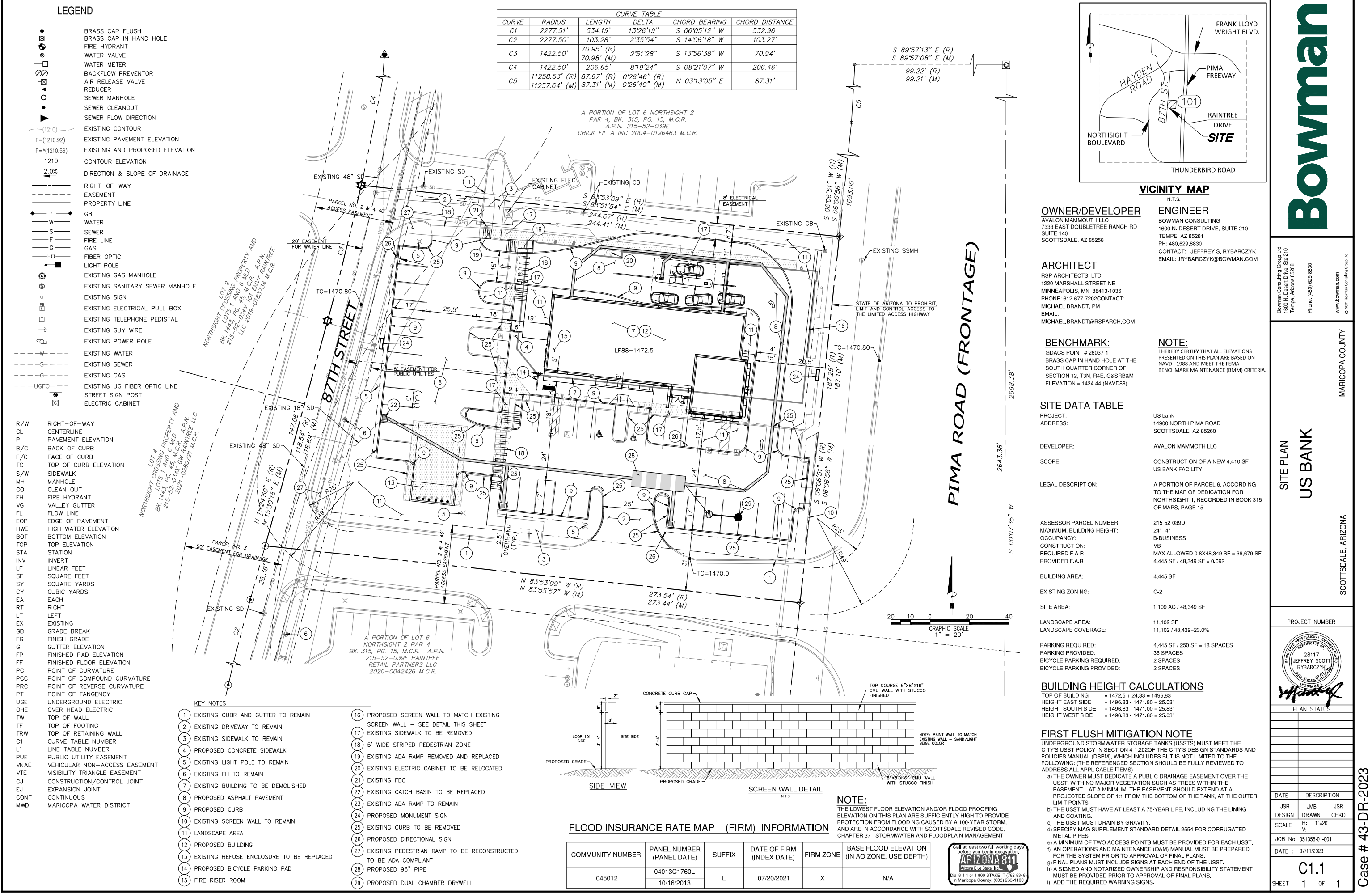
13. Existing water and sewer service lines to this site shall be utilized, or shall be disconnected at the main pursuant to the Water Resources Department requirements.

**DRAINAGE AND FLOOD CONTROL:**

**DRB Stipulations**

14. With the civil construction document submittal, the property owner shall submit a final drainage report that demonstrates consistency with the DSPM and the case drainage report accepted in concept by the Stormwater Manager or designee.





OWNER/DEVELOPER  
AVALON MAMMOTH LLC  
7333 EAST DOUBLETREE RANCH RD  
SUITE 140  
SCOTTSDALE, AZ 85258

ENGINEER  
BOWMAN CONSULTING  
1600 N. DESERT DRIVE, SUITE 210  
TEMPE, AZ 85281  
PH: 480.629.8830  
CONTACT: JEFFREY S. RYBARCZYK  
EMAIL: JRYBARCZYK@BOWMAN.COM

ARCHITECT  
RSP ARCHITECTS, LTD.  
1220 MARSHALL STREET NE  
MINNEAPOLIS, MN 55413-1036  
PHONE: 612-577-7202  
CONTACT: MICHAEL BRANDT, PM  
EMAIL: MICHAEL.BRANDT@RSPARCH.COM

BENCHMARK:  
GDACS POINT # 26037-1  
BRASS CAP IN HAND HOLE AT THE  
SOUTH QUARTER CORNER OF  
SECTION 12, T3N, R4E, G&SRB&M  
ELEVATION = 1434.44 (NAVD88)

NOTE:  
I HEREBY CERTIFY THAT ALL ELEVATIONS  
PRESENTED ON THIS PLAN ARE BASED ON  
NAVD - 1988 AND MEET THE FEMA  
BENCHMARK MAINTENANCE (BMM) CRITERIA.

SITE DATA TABLE

PROJECT:	US bank
ADDRESS:	14900 NORTH PIMA ROAD SCOTTSDALE, AZ 85260
DEVELOPER:	AVALON MAMMOTH LLC
SCOPE:	CONSTRUCTION OF A NEW 4,410 SF US BANK FACILITY
LEGAL DESCRIPTION:	A PORTION OF PARCEL 6, ACCORDING TO THE MAP OF DEDICATION FOR NORTHSIGHT II, RECORDED IN BOOK 315 OF MAPS, PAGE 15
ASSESSOR PARCEL NUMBER:	215-52-039D
MAXIMUM BUILDING HEIGHT:	24' - 4"
OCCUPANCY:	B-BUSINESS
CONSTRUCTION:	VB
REQUIRED F.A.R.	MAX ALLOWED 0.8X48,349 SF = 38,679 SF
PROVIDED F.A.R.	4,445 SF / 48,349 SF = 0.092
BUILDING AREA:	4,445 SF
EXISTING ZONING:	C-2
SITE AREA:	1.109 AC / 48,349 SF
LANDSCAPE AREA:	11,102 SF
LANDSCAPE COVERAGE:	11,102 / 48,439 = 23.0%
PARKING REQUIRED:	4,445 SF / 250 SF = 18 SPACES
PARKING PROVIDED:	36 SPACES
BICYCLE PARKING REQUIRED:	2 SPACES
BICYCLE PARKING PROVIDED:	2 SPACES

BUILDING HEIGHT CALCULATIONS

TOP OF BUILDING	= 1472.5 - 24.33 = 1496.83
HEIGHT EAST SIDE	= 1496.83 - 1471.80 = 25.03'
HEIGHT SOUTH SIDE	= 1496.83 - 1471.00 = 25.83'
HEIGHT WEST SIDE	= 1496.83 - 1471.80 = 25.03'

FIRST FLUSH MITIGATION NOTE

UNDERGROUND STORMWATER STORAGE TANKS (USSTs) MUST MEET THE CITY'S USST POLICY IN SECTION 4-1.2020F. THE CITY'S DESIGN STANDARDS AND POLICIES MANUAL (DSM), WHICH INCLUDES BUT IS NOT LIMITED TO THE FOLLOWING: (THE REFERENCED SECTION SHOULD BE FULLY REVIEWED TO ADDRESS ALL APPLICABLE ITEMS)

a) THE OWNER MUST DEDICATE A PUBLIC DRAINAGE EASEMENT OVER THE USST, WITH NO MAJOR VEGETATION SUCH AS TREES WITHIN THE EASEMENT. AT A MINIMUM, THE EASEMENT SHOULD EXTEND AT A PROJECTED SLOPE OF 1:1 FROM THE BOTTOM OF THE TANK, AT THE OUTER LIMIT POINTS.

b) THE USST MUST HAVE AT LEAST A 75-YEAR LIFE, INCLUDING THE LINING AND COATING.

c) THE USST MUST DRAIN BY GRAVITY.

d) SPECIFY MAG SUPPLEMENT STANDARD DETAIL 2554 FOR CORRUGATED METAL PIPES.

e) A MINIMUM OF TWO ACCESS POINTS MUST BE PROVIDED FOR EACH USST.

f) AN OPERATIONS AND MAINTENANCE (O&M) MANUAL MUST BE PREPARED FOR THE SYSTEM PRIOR TO APPROVAL OF FINAL PLANS.

g) FINAL PLANS MUST INCLUDE SIGNS AT EACH END OF THE USST.

h) A SIGNED AND NOTARIZED OWNERSHIP AND RESPONSIBILITY STATEMENT MUST BE PROVIDED PRIOR TO APPROVAL OF FINAL PLANS.

i) ADD THE REQUIRED WARNING SIGNS.

Bowman

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Tempe, Arizona 85288  
Phone: (480) 625-8830  
www.bowman.com  
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MARICOPA COUNTY

SITE PLAN  
US BANK

SCOTTSDALE, ARIZONA

PROJECT NUMBER

28117  
JEFFREY SCOTT  
RYBARCZYK  
Professional Engineer  
Arizona State License # 17170  
2020

PLAN STATUS

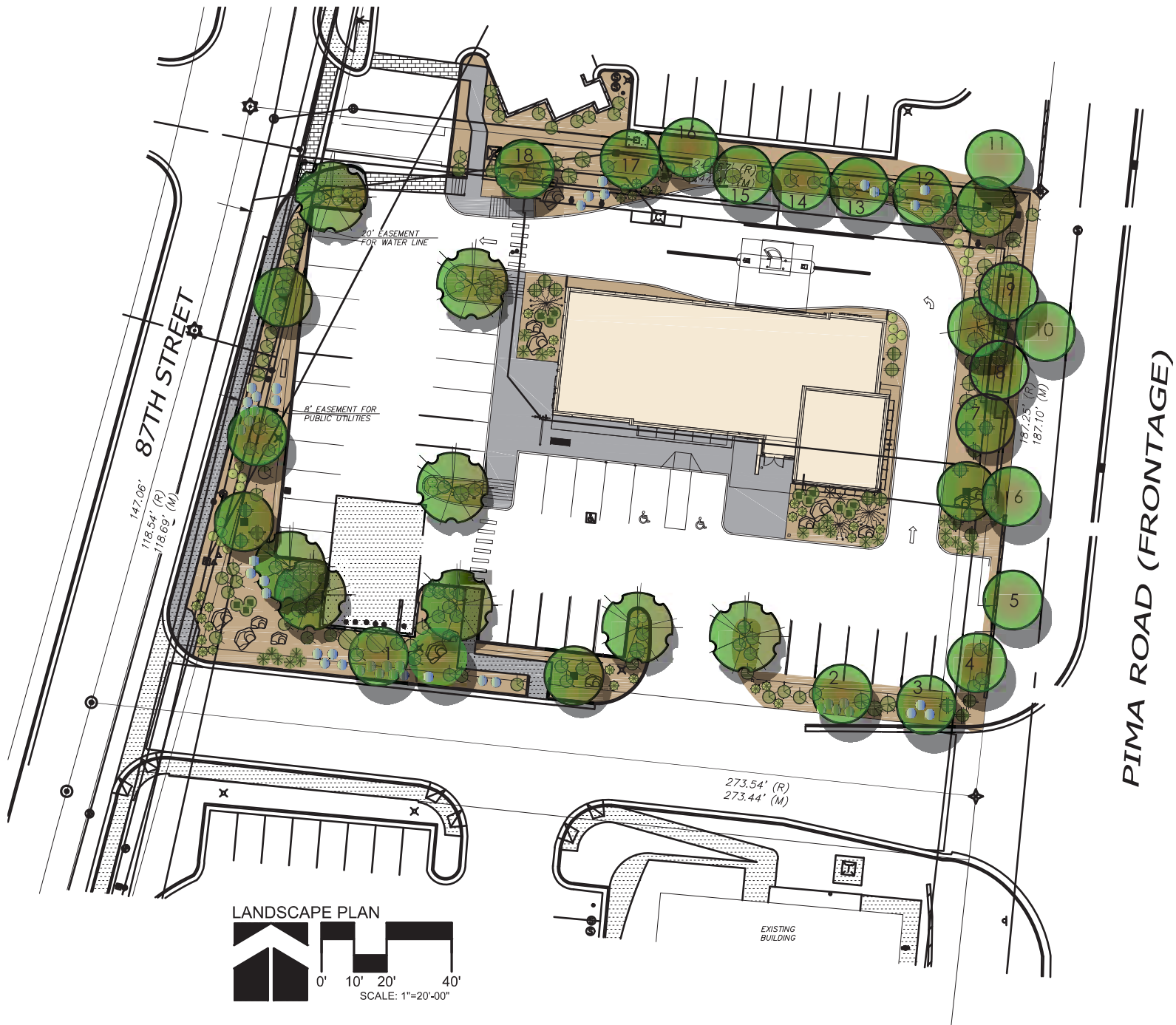
DATE	DESCRIPTION
JSR	JMB
DESIGN	DRAWN
CHKD	CHKD
SCALE	H: 1"=20'
V:	
JOB No.	051355-01-001
DATE	07/11/2023

C1.1  
SHEET 1 OF 1

Case # 43-DR-2023







### LANDSCAPE LEGEND

- CERCIDIUM 'HYBRID'  
DESERT MUSEUM PALO VERDE  
24" BOX (8)
- EXISTING TREE  
PROTECT FROM  
CONSTRUCTION
- ACACIA STENOPHYLLA  
SHOESTRING ACACIA  
24" BOX (5)
- PROSOPIS 'RIO-SALADO'  
HYBRID THORNLESS MESQUITE  
24" BOX (11)
- FOUQUIERIA SPLENDENS  
OCOTILLO  
10 CANE MIN. 7' MIN. (3)
- LEUCOPHYLLUM FRUTESCENS  
'GREEN CLOUD'  
5 GALLON (35)
- EXISTING SHRUB  
PROTECT FROM  
CONSTRUCTION
- TECOMA 'ORANGE JUBILEE'  
ORANGE JUBILEE  
5 GALLON (2)
- DASYLIRON WHEELERII  
DESERT SPOON  
5 GALLON (21)
- PACHYCEREUS MARGINATUS  
MEXICAN FENCE POST  
3-STALK GROUPING (2.5', 2', 1' TALL) (7)
- ECHINOCACTUS GRUSONII  
GOLDEN BARREL CACTUS  
10" ROUND (MATCHING) (29)
- EUPHORBIA RESINIFERA  
MOROCCAN MOUND  
5 GALLON (23)
- LANTANA MONTEVIDENSIS  
'GOLD MOUND'  
1 GALLON (37)
- CONVOVULUS CNEORUM  
BUSH MORNING GLORY  
5 GALLON (43)
- 3'x3'x3' SURFACE SELECT  
GRANITE BOULDER (BURY 1/3)  
MINIMUM 2000lbs EACH (16)
- 1/2" MINUS MADISON GOLD  
DECOMPOSED GRANITE  
2" DEPTH IN ALL LANDSCAPE AREAS

### CITY OF SCOTTSDALE LANDSCAPE NOTES:

AN AUTOMATIC IRRIGATION SYSTEM WILL BE  
INSTALLED GUARANTEEING 100% COVERAGE TO ALL  
LANDSCAPE AREAS.

ALL LANDSCAPE AREAS WILL BE TOP-DRESSED WITH  
A 2" DEPTH OF DECOMPOSED GRANITE.

PROVIDE 8% SLOPE AWAY FROM WALK OR CURB FOR  
5' ALONG ALL STREETS.

ALL RIGHT OF WAYS ADJACENT TO THIS PROPERTY  
SHALL BE LANDSCAPED AND MAINTAINED BY THE  
PROPERTY OWNER

ANY EXISTING LANDSCAPE MATERIALS INCLUDING  
TREES DAMAGED OR DESTROYED AS A RESULT OF  
THIS CONSTRUCTION SHALL BE REPLACED, TO THE  
SATISFACTION OF CITY STAFF, WITH LIKE KIND AND  
SIZE PRIOR TO RECEIVING A CERTIFICATE OF  
OCCUPANCY.

AREAS WITHIN THE SIGHT DISTANCE TRIANGLES IS TO BE  
CLEAR OF LANDSCAPING, SIGNS, OR OTHER VISIBILITY  
OBSTRUCTIONS WITH A HEIGHT GREATER THAN 1'-6".  
TREES WITHIN THE SAFETY TRIANGLE SHALL HAVE A  
CANOPY THAT BEGINS AT 8 FEET IN HEIGHT UPON  
INSTALLATION. ALL HEIGHTS ARE MEASURED FROM  
NEAREST STREET LINE ELEVATION.

ALL RIGHT-OF-WAY ADJACENT TO THIS PROPERTY  
SHALL BE LANDSCAPED AND MAINTAINED BY THE  
PROPERTY OWNER.

ALL SLOPES ON SITE ARE 4:1 MAX

NO TURF AREAS ARE TO BE PROVIDED.

SEE ARCHITECTURAL SITE PLAN FOR SETBACK DIMENSIONS.

SEE ARCHITECTURAL FOR SITE LIGHTING LOCATIONS. SEE  
ELECT. DRAWINGS FOR ALL LIGHTING SPECIFICATIONS.

SEE ARCHITECTURAL FOR SITE WALL ELEVATIONS, COLORS

SEE CIVIL DRAWINGS FOR ALL RETENTION AREAS, SECTIONS,  
AND SLOPE RATIOS.

SEE ARCHITECTURAL FOR BIKE RACK DETAILS.

ALL SIGNS REQUIRE SEPARATE APPROVALS & PERMITS.

"SETBACK ALL SPRAY & STREAM TYPE IRRIGATION HEADS 1'-0"  
FROM BACK OF CURB OR SIDEWALK TO REDUCE OVER SPRAY".

A MINIMUM 50 PERCENTAGE (UNLESS OTHERWISE STIPULATED BY  
THE DEVELOPMENT REVIEW BOARD, and/or THE ZONING ORDINANCE  
REQUIREMENTS) OF THE PROVIDED TREES SHALL BE MATURE  
TREES, PURSUANT TO THE CITY OF SCOTTSDALE'S ZONING  
ORDINANCE ARTICLE X, SECTION 10.301, AS DEFINED IN THE CITY OF  
SCOTTSDALE'S ZONING ORDINANCE ARTICLE III, SECTION 3.100.

A SINGLE TRUNK TREE'S CALIPER SIZE, THAT IS TO BE EQUAL TO OR  
LESS THAN 4-INCHES, SHALL BE DETERMINED BY UTILIZING THE  
SMALLEST DIAMETER OF THE TRUNK 6-INCHES ABOVE FINISHED  
GRADE ADJACENT TO THE TRUNK.

A TREE CALIPER SIZE, FOR SINGLE TRUNK TREES WHICH HAVE A DIAMETER  
GREATER THAN 4-INCHES, SHALL BE DETERMINED BY UTILIZING THE SMALLEST  
SMALLEST DIAMETER OF THE TRUNK 12-INCHES ABOVE FINISHED GRADE  
ADJACENT TO THE TRUNK.

A MULTI TRUNK TREE'S CALIPER SIZE IS MEASURED AT 6-INCHES ABOVE THE  
LOCATION THAT THE TRUNK SPLITS ORIGINATES, OR 6-INCHES ABOVE  
FINISHED GRADE OF ALL TRUNKS ORIGINATE FROM THE SOIL.

RETENTION/DETENSION BASINS SHALL BE CONSTRUCTED SOLELY  
FROM THE APPROVED CIVIL PLANS. ANY ALTERATION OF THE  
APPROVED DESIGN (ADDITIONAL FILL, BOULDERS, ECT.) SHALL  
REQUIRE ADDITIONAL FINAL PLANS STAFF REVIEW AND APPROVAL

NO LIGHTING IS APPROVED WITH THE SUBMITTAL

THE LANDSCAPE SPECIFICATION SECTION(S) OF THESE PLANS HAVE  
NOT REVIEWED AND SHALL NOT BE A PART OF THE CITY OF  
SCOTTSDALE'S APPROVAL.

NEW LANDSCAPING, INCLUDING SALVAGED PLANT MATERIAL, AND  
LANDSCAPING INDICATED TO REMAIN, WHICH IS DESTROYED, DAMAGED,  
OR EXPIRES DURING CONSTRUCTION SHALL BE REPLACED WITH LIKE  
SIZE, KIND, AND QUALITY PRIOR TO THE ISSUANCE OF THE CERTIFICATE  
OF OCCUPANCY / LETTER OF ACCEPTANCE TO THE SATISFACTION OF  
THE INSPECTION SERVICES STAFF.

THORNY TREES, SHRUBS AND CACTI SHALL BE  
PLANTED SO THAT THEIR MATURE SIZE / CANOPY WILL  
BE AT LEAST 4 FEET AWAY FROM ANY WALKWAYS OR  
PARKING AREA CURBING.

THORNY TREES, SHRUBS AND CACTI SHALL BE PLANTED  
SO THAT THEIR MATURE SIZE/CANOPY WILL BE AT LEAST  
4 FEET AWAY FROM ANY WALKWAYS OR PARKING AREA CURBING.

LANDSCAPE PLAN		
APPROVED		
CITY OF SCOTTSDALE		
CASE NUMBER	APPROVED	DATE
CONSTRUCTION AND INSTALLATION SHALL BE IN ACCORDANCE WITH THIS PLAN AND ANY AND ALL DEVIATIONS WILL REQUIRE REAPPROVAL. LANDSCAPE INSTALLATION TO BE APPROVED BY CITY OF SCOTTSDALE INSPECTION SERVICES BEFORE CERT. OF OCCUPANCY IS ISSUED.		

Case No: XX - DR - 2022

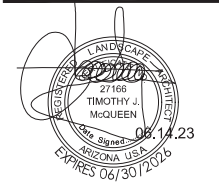
Attachment 9



T.J. McQUEEN & ASSOCIATES, INC.  
LANDSCAPE ARCHITECTURE  
URBAN DESIGN  
SITE PLANNING  
10450 N. 74th Street, Suite 120  
Scottsdale, AZ 85258  
P: (602) 855-8320  
F: (602) 855-8320  
EMAIL: timmcqueen@tmja.net

US BANK  
14900 NORTH PIMA ROAD  
SCOTTSDALE, ARIZONA

NUMBER	REVISION	DATE



SHEET TITLE:	LANDSCAPE
ISSUE DATE:	06.14.23
DRAWN BY:	STAFF
CHECKED BY:	TJMCQ
PROJECT No.:	22383
SHEET:	La.01

GENERAL NOTES - EXTERIOR ELEVATIONS

- A. SEE SHEET A301 FOR DOOR SCHEDULE AND WINDOW TYPES.  
B. SEE SHEET A401 FOR EXTERIOR MATERIAL SCHEDULE.  
C. SEE SHEET A201 FOR EXTERIOR SOFFIT FINISH AND HEIGHT INFORMATION.  
D. SEE EXTERIOR ELEVATIONS FOR CONTROL JOINT LOCATIONS. CONTRACTOR SHALL PROVIDE ADDITIONAL CONTROL JOINTS TO COMPLY WITH MAXIMUM SPACING REQUIREMENTS IN SPECIFICATIONS AND NATIONAL MASONRY INSTITUTE. PROVIDE A CONTROL JOINT AT ALL MASONRY REINFORCED CORNERS.  
E. ALL EXPOSED STRUCTURE SHALL BE GALVANIZED AND PAINTED PT-10 (U.N.O.).  
F. ALL EXTERIOR SIGNAGE BY STATUS TO BE ISSUED UNDER SEPARATE PACKAGE.  
G. SEE SHEET A001 FOR ADDITIONAL SITE INFORMATION, TRASH ENCLOSURE ELEVATIONS, DETAILS AND FINISHES.  
H. ALL BANK EQUIPMENT INFORMATION TO BE PROVIDED BY CONVERGINT TECHNOLOGIES. CONTACT INFORMATION IS PROVIDED ON COVER SHEET 0000.  
I. FOR INFORMATION ON WINDOW FILM SEE SHEET 201.

KEYNOTES - EXTERIOR ELEVATIONS

NO.	DESCRIPTION
1	FIRE DEPARTMENT CONNECTION. SEE PLUMBING.
2	THRU-WALL ATM WITH SHROUD BY OTHERS. G.C. TO CONTACT US BANK EQUIPMENT VENDOR (CONVERGINT) TO OBTAIN CUTSHEETS AND VERIFY EQUIPMENT DIMENSIONS.
3	ENTRY CANOPY
4	METAL CAP FLASHING
5	ALUMINUM STOREFRONT MULLIONS TO MATCH SHEET METAL FLASHING COLOR.
6	SCUPPER
7	KNOX KEY BOX - 4400 OR 4200 SERIES.
8	BUILDING IDENTIFICATION NUMBER - SEE SPEC.
9	6" CONCRETE CURB - SEE STRUCTURAL. CURB TO RECEIVE HAND RUBBED FINISH, EXPOSED FACE.
10	BRICK SOLDIER COURSE
11	WALL WASH LIGHT FIXTURE - SEE ELECTRICAL
12	SECURITY CAMERA - SEE MEP FOR POWER SUPPLY - VERIFY LOCATION IN FIELD WITH GC
13	DRIVE-THRU CANOPY
14	OVERFLOW SCUPPER MATCH DRIVE THRU CANOPY COLOR.
15	FORMED METAL COLUMN ENCLOSURE
16	THRU-WALL OVERFLOW LAMBS TONGUE
17	BOLLARDS
18	IRRIGATION BACKFLOW PREVENTER - SEE PLUMBING
19	BRONZE BY OTHERS
20	BRICK ROWLOCK COURSE
21	4" DEEP x 1/2" THICK WOOD FINS - SUPPORTED BY (3) FIXED 1-1/2" DIAMETER PIPES.

EXTERIOR ELEVATION LEGEND

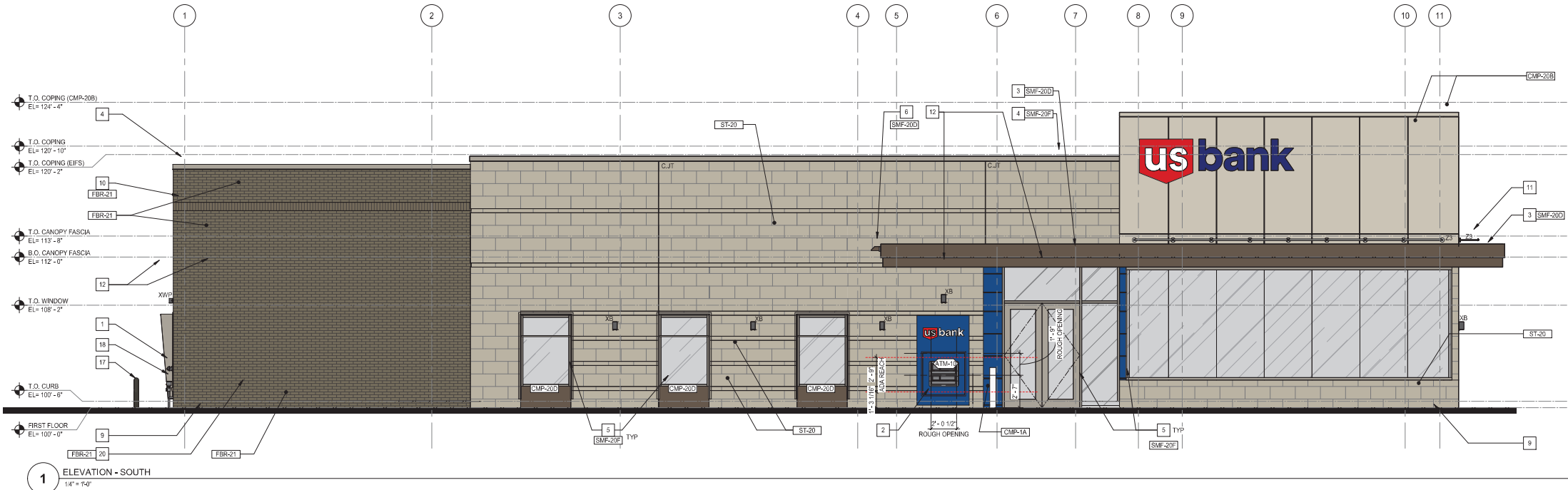
C.JT - CONTROL JOINT

LIGHT FIXTURE SCHEDULE

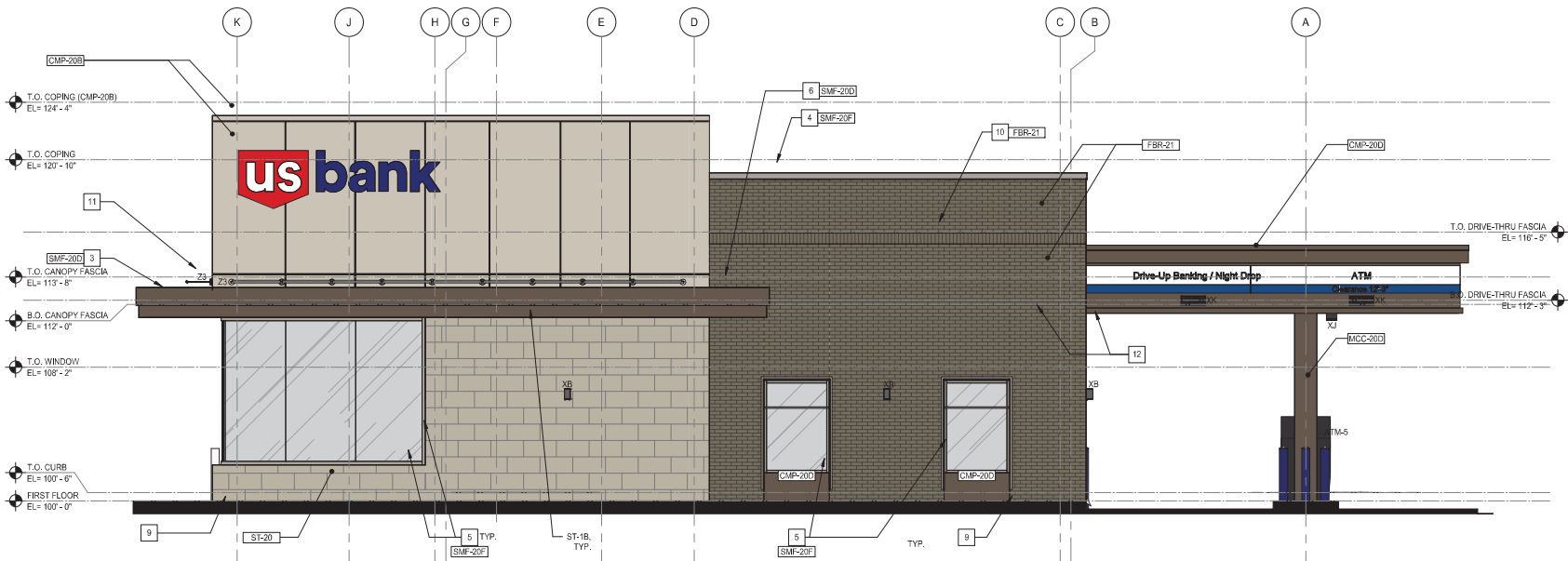
<b>LIGHT 'XA' - UNDER CANOPY LIGHT</b>	<b>LIGHT 'XB' - WALL SCONCE</b>	<b>LIGHT 'XP' - ATM CANOPY LIGHT</b>
MANUFACTURER: BEGA	MANUFACTURER: BEGA	MANUFACTURER: BEGA
STYLE: RECESSED CEILING DOWNLIGHT	STYLE: WALL LUMINAIRE	STYLE: RECESSED
MODEL: BEGA 24 814K35-BLK	MODEL: BEGA 22 591-K35-BLK	MODEL: 24 814
SIZE: 6" SQUARE	SIZE: W 4 3/8" X L 5 5/8" X H 7 1/2"	LAMP: LED
LAMP: LED	LAMP: LED	MOUNTING: RECESSED
DIMMING: 0-10V	DIMMING: 0-10V	MOUNTING: 5-2" WALL MOUNT
MOUNTING: RECESSED	MOUNTING: WALL	FINISH: WHITE
COLOR TEMP: 3500 K	COLOR TEMP: 3500 K	MODEL: S15-R03MA-H-02-M-0D-0-840-00
VOLTAGE: 120-277V AC	VOLTAGE: 120-277V AC	SIZE: 24" CANTILEVER
		LAMP: LED
		VOLTAGE: 120-277V AC

<b>LIGHT 'XMP' - WALL PACK</b>	<b>LIGHT 'XK' - EXTERIOR STOP GO LIGHT</b>
MANUFACTURER: BEGA	MANUFACTURER: SIGNAL TECH
STYLE: WALL LUMINAIRE	STYLE: STOP GO LIGHTS
MODEL: BEGA 22 389-K35-BLK	FINISH: DURANODIC BRONZE FINISH
SIZE: W 8 1/2" X L 4" X H 4 3/8"	MODEL: TCL718GR-100
LAMP: LED	SIZE: 7 1/4 X 18" W X 2.5" D
DIMMING: 0-10V	LAMP: LED
MOUNTING: WALL	VOLTAGE: 120-277V AC
COLOR TEMP: 3500K	
VOLTAGE: 120-277V AC	

<b>LIGHT 'Z3' - 3'-0" WALL MOUNT</b>
MANUFACTURER: BEGA
STYLE: ELLIPTICAL
MODEL: S15-R03MA-H-02-M-0D-0-840-00
FINISH: WHITE
SIZE: 24" CANTILEVER
LAMP: LED
VOLTAGE: 120-277V AC



1 ELEVATION - SOUTH  
1/4" = 1'-0"



2 ELEVATION - EAST  
1/4" = 1'-0"

EXTERIOR MATERIAL BOARD

<b>EBUS</b> MFR: DRYVIT COLOR: 103 NATURAL WHITE	<b>CMP-200</b> COMPOSITE METAL PANEL MFR: REYNOLDS (PAC-CLAD) COLOR: MEDIUM BRONZE	<b>CMP-1A</b> COMPOSITE METAL PANEL MFR: REYNOLDS (PAC-CLAD) COLOR: AWARD BLUE
<b>CMP-20B</b> COMPOSITE METAL PANEL MFR: REYNOLDS (PAC-CLAD) COLOR: LAMESTONE	<b>FBR-21</b> FACE BRICK MFR: ENDICOTT BRICK COLOR: LIGHT GRAY BLEND	<b>MCC-20D</b> FORMED METAL COLUMN COVERS MFR: PAC-CLAD COLOR: MEDIUM BRONZE
<b>MP-31</b> METAL SOFFIT PANEL MFR: CERTANTEES COLOR: BAZA WALNUT	<b>MCSS-1B</b> METAL SOFFIT PANEL MFR: CERTANTEES COLOR: BAZA WALNUT	<b>SMF-20D</b> SHEET METAL FLASHING MFR: PAC-CLAD COLOR: MEDIUM BRONZE
<b>SMF-20F</b> SHEET METAL FLASHING MFR: PAC-CLAD COLOR: CHAMPAGNE METALLIC	<b>ST-20</b> NATURAL STONE MFR: VALDERS STONE AND MARBLE COLOR: VALDERS BUFF	<b>ST-20</b> * 12" HIGH x 24" WIDE <b>ST-20A</b> * 8" HIGH x 24" WIDE <b>ST-20B</b> * 6" HIGH x 24" WIDE <b>ST-20C</b> * 4" HIGH x 24" WIDE

NOT FOR  
CONSTRUCTION  
05/08/2023

Project For



FRANK LLOYD WRIGHT  
BOULEVARD  
AND HIGHWAY 101  
(RAINTREE)

14900 N Pima Rd,  
Scottsdale, AZ 85260

Project No. 14853F778A

Drawn By MSC

Checked By DC, MB

Date 04/21/2023

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Sheet Issues / Revisions

No.	Date	Description

EXTERIOR ELEVATIONS

A401



GENERAL NOTES - EXTERIOR ELEVATIONS

- A. SEE SHEET A301 FOR DOOR SCHEDULE AND WINDOW TYPES.  
B. SEE SHEET A401 FOR EXTERIOR MATERIAL SCHEDULE.  
C. SEE SHEET A201 FOR EXTERIOR SOFFIT FINISH AND HEIGHT INFORMATION.  
D. SEE EXTERIOR ELEVATIONS FOR CONTROL JOINT LOCATIONS.  
CONTRACTOR SHALL PROVIDE ADDITIONAL CONTROL JOINTS TO COMPLY WITH MAXIMUM SPACING REQUIREMENTS IN SPECIFICATIONS AND NATIONAL MASONRY INSTITUTE. PROVIDE A CONTROL JOINT AT ALL MASONRY REINFORCED CORNERS.  
E. ALL EXPOSED STRUCTURE SHALL BE GALVANIZED AND PAINTED PT-10 U.N.O.  
F. ALL EXTERIOR SIGNAGE BY STRATUS TO BE ISSUED UNDER SEPARATE PACKAGE.  
G. SEE SHEET A001 FOR ADDITIONAL SITE INFORMATION, TRASH ENCLOSURE ELEVATIONS, DETAILS AND FINISHES.  
H. ALL BANK EQUIPMENT INFORMATION TO BE PROVIDED BY CONVEGINT TECHNOLOGIES. CONTACT INFORMATION IS PROVIDED ON COVER SHEET 0000.  
I. FOR INFORMATION ON WINDOW FILM SEE SHEET 0201.

KEYNOTES - EXTERIOR ELEVATIONS

NO.	DESCRIPTION
1	FIRE DEPARTMENT CONNECTION - SEE PLUMBING.
2	THRU-WALL ATM WITH SHOULDER BY OTHERS. G.C. TO CONTACT US BANK EQUIPMENT VENDOR (CONVEGINT) TO OBTAIN OUTSHEETS AND VERIFY EQUIPMENT DIMENSIONS.
3	ENTRY CANOPY
4	METAL CAP FLASHING
5	ALUMINUM STOREFRONT MULLIONS TO MATCH SHEET METAL FLASHING
6	SCUPPER
7	KNOX KEY BOX - 440X OR 4200 SERIES.
8	BUILDING IDENTIFICATION NUMBER - SEE SPEC.
9	1" CONCRETE CURB - SEE STRUCTURAL. CURB TO RECEIVE HAND RUBBED FINISH, EXPOSED FACE.
10	BRICK SOLDIER COURSE
11	WALL WASH LIGHT FIXTURE - SEE ELECTRICAL.
12	SECURITY CAMERA - SEE MEP FOR POWER SUPPLY - VERIFY LOCATION IN FIELD WITH GC.
13	DRIVE-THRU CANOPY
14	OVERFLOW SCUPPER. MATCH DRIVE-THRU CANOPY COLOR.
15	FORMED METAL COLUMN ENCLOSURE.
16	THRU-WALL OVERFLOW LAMBS TONGUE
17	BOLLARDS
18	IRIGATION BACKFLOW PREVENTER - SEE PLUMBING
19	SIGNAGE BY OTHERS
20	BRICK ROWLOCK COURSE
21	4" DEEP x 1/2" THICK WOOD FINS - SUPPORTED BY (3) FIXED 1-1/2" DIAMETER PIPES.

EXTERIOR ELEVATION LEGEND

CJT - CONTROL JOINT

LIGHT FIXTURE SCHEDULE

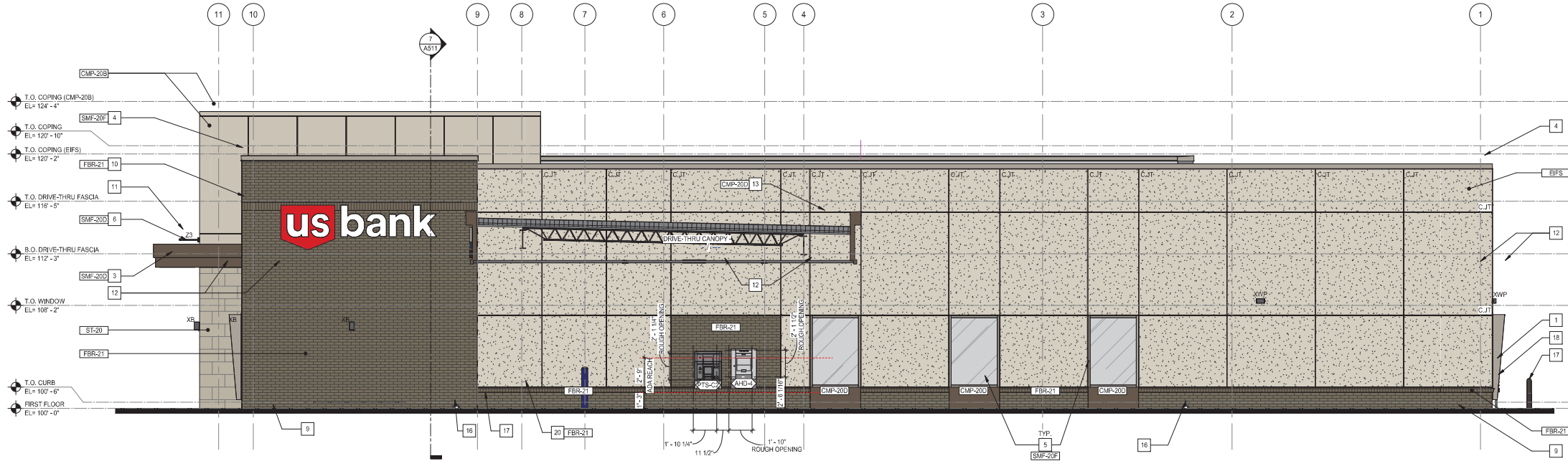
LIGHT X1A - UNDER CANOPY LIGHT	
MANUFACTURER:	BEGA
STYLE:	RECESSED CEILING DOWNLIGHT
MODEL:	BEGA 24 814-35-BLK
SIZE:	6" SQUARE
LAMP:	LED
DIMMING:	0-10V
MOUNTING:	RECESSED
COLOR TEMP:	3500 K
VOLTAGE:	120-277V AC
LIGHT X2B - WALL SCENE	
MANUFACTURER:	BEGA
STYLE:	WALL LUMINAIRE
MODEL:	BEGA 22 3914-35-BLK
SIZE:	W 4 3/8" X L 5" X H 7 1/2"
LAMP:	LED
DIMMING:	0-10V
MOUNTING:	WALL
COLOR TEMP:	3500 K
VOLTAGE:	120-277V AC
LIGHT X3P - WALL PACK	
MANUFACTURER:	BEGA
STYLE:	WALL LUMINAIRE
MODEL:	BEGA 22 3914-35-BLK
SIZE:	W 8 1/2" X L 4" X H 4 3/8"
LAMP:	LED
DIMMING:	0-10V
MOUNTING:	WALL
COLOR TEMP:	3500K
VOLTAGE:	120-277V AC
LIGHT X4C - EXTERIOR STOP GO LIGHT	
MANUFACTURER:	SIGNAL TECH
STYLE:	STOP GO LIGHTS
FINISH:	DURANCO BRONZE FINISH
MODEL:	TCL718GR-100
SIZE:	7"H X 18"W X 2.5"D
LAMP:	LED
VOLTAGE:	120-277V AC

LIGHT X2 - ATM CANOPY LIGHT

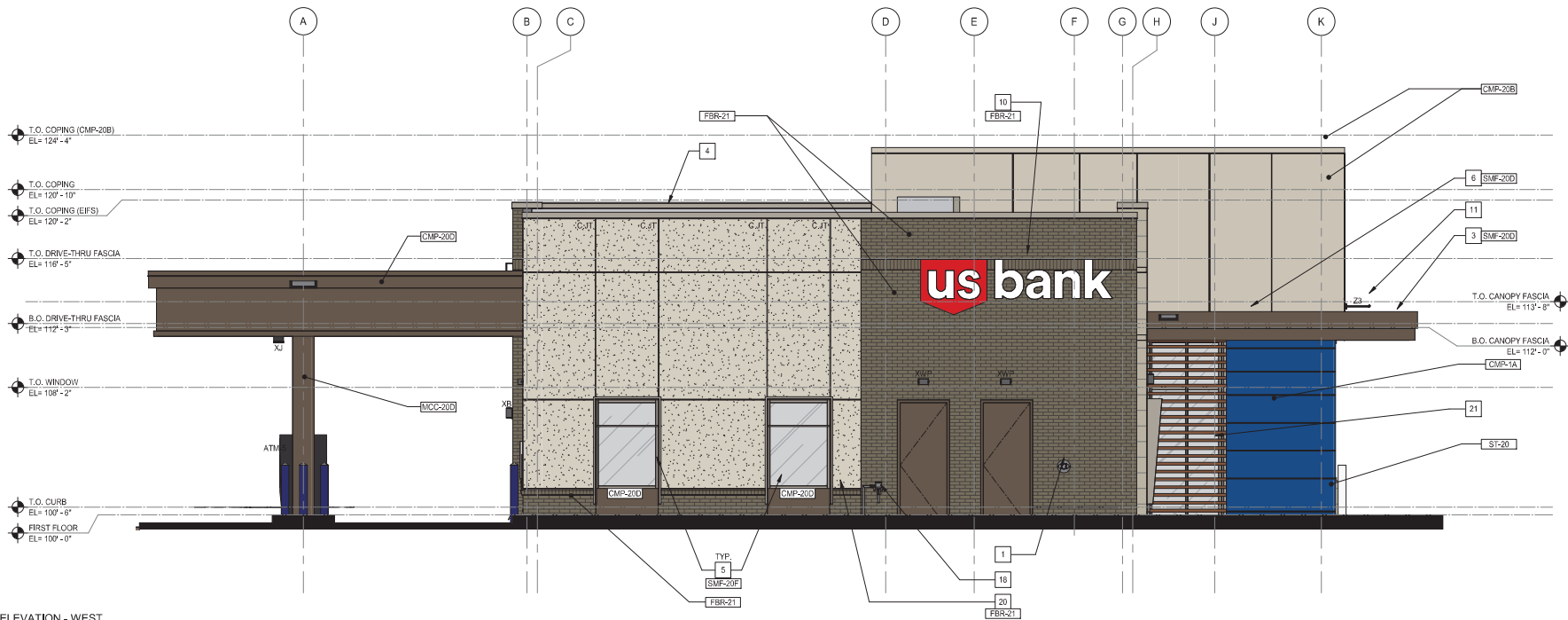
MANUFACTURER: BEGA  
STYLE: RECESSED  
MODEL: 24 814  
LAMP: LED  
MOUNTING: RECESSED  
COLOR TEMP: 3500K  
VOLTAGE: 120-277 VAC

LIGHT X3 - 3'-0" WALL MOUNT

MANUFACTURER: ELLIPTICAL  
STYLE: 3'-0" WALL MOUNT  
MODEL: WHITE  
FINISH: S151-R30M-H-02-M-00-O-840-00  
SIZE: 24" CANTILEVER  
LAMP: LED  
VOLTAGE: 120-277V AC



1 ELEVATION - NORTH  
1/4" = 1'-0"



2 ELEVATION - WEST  
1/4" = 1'-0"

EXTERIOR MATERIAL BOARD

<b>EIFS</b> MFR: DRYVIT COLOR: 103 NATURAL WHITE	<b>CMP-200</b> COMPOSITE METAL PANEL MFR: REYNOLDS / PAC-CLAD COLOR: MEDIUM BRONZE	<b>CMP-1A</b> COMPOSITE METAL PANEL MFR: REYNOLDS / PAC-CLAD COLOR: AVIANO BLUE
<b>CMP-20B</b> COMPOSITE METAL PANEL MFR: REYNOLDS / PAC-CLAD COLOR: LAMESTONE	<b>FBR-21</b> FACE BRICK MFR: ENDICOTT BRICK COLOR: LIGHT GRAY BLEND	<b>MCC-200</b> FORMED METAL COLUMN COVERS MFR: PAC-CLAD COLOR: MEDIUM BRONZE
<b>MP-01</b> METAL SOFFIT PANEL MFR: CERTANTEED COLOR: 0424 WALNUT	<b>MCS-1B</b> METAL SOFFIT PANEL MFR: CERTANTEED COLOR: 3611 LUXADOTE LIGHTHOUSE WHITE	<b>SMF-200</b> SHEET METAL FLASHING MFR: PAC-CLAD COLOR: MEDIUM BRONZE
<b>SMF-20F</b> SHEET METAL FLASHING MFR: PAC-CLAD COLOR: CHAMPAGNE METALLIC	<b>ST-20</b> NATURAL STONE MFR: VALDES STONE AND MARBLE COLOR: VALDES BLUE	<b>ST-20A</b> = 12" HIGH x 24" WIDE <b>ST-20B</b> = 8" HIGH x 24" WIDE <b>ST-20C</b> = 4" HIGH x 24" WIDE

NOT FOR  
CONSTRUCTION  
05/08/2023

Project For



FRANK LLOYD WRIGHT  
BOULEVARD  
AND HIGHWAY 101  
(RAINTREE)

14900 N Pima Rd,  
Scottsdale, AZ 85260

Project No. 14853F778A

Drawn By MSC

Checked By DC, MB

Date 04/21/2023

NOTE: The designs shown and described herein, including all technical drawings, graphics, and models, are proprietary and owned by RSP Architects. These are available for limited review and evaluation by clients, consultants, contractors, government agencies, vendors and other personnel only in accordance with the terms of the contract.

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Sheet Issues / Revisions

No.	Date	Description

EXTERIOR ELEVATIONS

A402

GENERAL NOTES - EXTERIOR ELEVATIONS

- A. SEE SHEET A301 FOR DOOR SCHEDULE AND WINDOW TYPES.  
B. SEE SHEET A401 FOR EXTERIOR MATERIAL SCHEDULE.  
C. SEE SHEET A201 FOR EXTERIOR SOFFIT FINISH AND HEIGHT INFORMATION.  
D. SEE EXTERIOR ELEVATIONS FOR CONTROL JOINT LOCATIONS. CONTRACTOR SHALL PROVIDE ADDITIONAL CONTROL JOINTS TO COMPLY WITH MAXIMUM SPACING REQUIREMENTS IN SPECIFICATIONS AND NATIONAL MASONRY INSTITUTE. PROVIDE A CONTROL JOINT AT ALL MASONRY REINFORCING CORNERS.  
E. ALL EXPOSED STRUCTURE SHALL BE GALVANIZED AND PAINTED PT-10 U.N.O.  
F. ALL EXTERIOR SIGNAGE BY STRATUS TO BE ISSUED UNDER SEPARATE PACKAGE.  
G. SEE SHEET A001 FOR ADDITIONAL SITE INFORMATION, TRASH ENCLOSURE ELEVATIONS, DETAILS AND FINISHES.  
H. ALL BANK EQUIPMENT INFORMATION TO BE PROVIDED BY CONVEGINT TECHNOLOGIES. CONTACT INFORMATION IS PROVIDED ON COVER SHEET 0000.  
I. FOR INFORMATION ON WINDOW FILM SEE SHEET 2001.

KEYNOTES - EXTERIOR ELEVATIONS

NO.	DESCRIPTION
1	FIRE DEPARTMENT CONNECTION - SEE PLUMBING.
2	THRUWALL ATM WITH SHROUD BY OTHERS. I.C. TO CONTACT US BANK EQUIPMENT VENDOR (CONVEGINT) TO OBTAIN CUTSHEETS AND VERIFY EQUIPMENT DIMENSIONS.
3	ENTRY CANOPY
4	METAL CAP FLASHING
5	ALUMINUM STOREFRONT MULLIONS TO MATCH SHEET METAL FLASHING COLOR
6	SCUPPER
7	KNOX KEY BOX - 4400 OR 4200 SERIES.
8	BUILDING IDENTIFICATION NUMBER - SEE SPEC.
9	6" CONCRETE CURB - SEE STRUCTURAL. CURB TO RECEIVE HAND RUBBED FINISH, EXPOSED FACE.
10	BRICK SOLDIER COURSE
11	WALL WASH LIGHT FIXTURE - SEE ELECTRICAL.
12	SECURITY CAMERA - SEE MEP FOR POWER SUPPLY - VERIFY LOCATION IN FIELD WITH GC
13	DRIVE-THRU CANOPY
14	OVERFLOW SCUPPER. MATCH DRIVE THRU CANOPY COLOR.
15	FORMED METAL COLUMN ENCLOSURE
16	THRUWALL OVERFLOW LAMBS TONGUE
17	ROLLARDS
18	IRRIGATION BACKFLOW PREVENTER - SEE PLUMBING
19	SIGNAGE BY OTHERS
20	BRICK ROWLOCK COURSE
21	4" DEEP x 1/2" THICK WOOD FINIS - SUPPORTED BY (3) FIXED 1-1/2" DIAMETER PIPES.

EXTERIOR ELEVATION LEGEND

CJT - CONTROL JOINT

LIGHT FIXTURE SCHEDULE

<b>LIGHT X14 - UNDER CANOPY LIGHT</b>	
MANUFACTURER:	BEGA
STYLE:	RECESSED CEILING DOWNLIGHT
MODEL:	BEGA 24 114-K35-BLK
SIZE:	6" SQUARE
LAMP:	LED
DIMMING:	0-10V
MOUNTING:	RECESSED
COLOR TEMP:	3500 K
VOLTAGE:	120-277V AC
<b>LIGHT X19 - WALL SCONCE</b>	
MANUFACTURER:	BEGA
STYLE:	WALL LUMINAIRE
MODEL:	BEGA 33 391-K35-BLK
SIZE:	W 4 3/8" X L 5" X H 1 1/2"
LAMP:	LED
DIMMING:	0-10V
MOUNTING:	WALL
COLOR TEMP:	3500 K
VOLTAGE:	120-277V AC
<b>LIGHT X19P - WALL PACK</b>	
MANUFACTURER:	BEGA
STYLE:	WALL LUMINAIRE
MODEL:	BEGA 22 394-K35-BLK
SIZE:	W 8 1/2" X L 4" X H 4 3/8"
LAMP:	LED
DIMMING:	0-10V
MOUNTING:	WALL
COLOR TEMP:	3500K
VOLTAGE:	120-277V AC
<b>LIGHT X20 - EXTERIOR STOP GO LIGHT</b>	
MANUFACTURER:	SIGNAL TECH
STYLE:	STOP GO LIGHTS
FINISH:	DURABRONZE BRONZE FINISH
MODEL:	TCL718GR-100
SIZE:	7" H X 18" W X 2.9" D
LAMP:	LED
VOLTAGE:	120-277V AC

LIGHT X2 - ATM CANOPY LIGHT

MANUFACTURER:	BEGA
STYLE:	RECESSED
MODEL:	24 814
LAMP:	LED
MOUNTING:	RECESSED
COLOR TEMP:	3500K
VOLTAGE:	120-277 VAC
<b>LIGHT X21 - 3'-0" WALL MOUNT</b>	
MANUFACTURER:	ELLIPTAR
STYLE:	3'-0" WALL MOUNT
FINISH:	WHITE
MODEL:	S151-203MA-HQ3M-QD-Q-840-00
SIZE:	24" CANTILEVER
LAMP:	LED
VOLTAGE:	120-277V AC

EXTERIOR MATERIAL BOARD

<b>EIFS</b> MFR: DRYVIT COLOR: 103 NATURAL WHITE	<b>CMP-200</b> COMPOSITE METAL PANEL MFR: REYNOLDS / PAC-CLAD COLOR: MEDIUM BRONZE	<b>CMP-1A</b> COMPOSITE METAL PANEL MFR: REYNOLDS / PAC-CLAD COLOR: AWARD BLUE
<b>CMP-20B</b> COMPOSITE METAL PANEL MFR: REYNOLDS / PAC-CLAD COLOR: LIMESTONE	<b>FBR-21</b> FACE BRICK MFR: ENDICOTT BRICK COLOR: LIGHT GRAY BLEND	<b>MCC-20B</b> FORMED METAL COLUMN COVERS MFR: PAC-CLAD COLOR: MEDIUM BRONZE
<b>MP-01</b> METAL SOFFIT PANEL MFR: CERTAINTEED COLOR: 8424 WALNUT	<b>MCS-1B</b> METAL SOFFIT PANEL MFR: CERTAINTEED COLOR: 3449 LUMACOTE LIGHTHOUSE WHITE	<b>SMF-20D</b> SHEET METAL FLASHING MFR: PAC-CLAD COLOR: MEDIUM BRONZE
<b>SMF-20F</b> SHEET METAL FLASHING MFR: PAC-CLAD COLOR: CHAMPAGNE METALLIC	<b>ST-20</b> NATURAL STONE MFR: VALDERS STONE AND MARBLE COLOR: VALDERS BLUFF	<b>ST-20</b> = 12" HIGH x 24" WIDE <b>ST-20A</b> = 8" HIGH x 24" WIDE <b>ST-20B</b> = 6" HIGH x 24" WIDE <b>ST-20C</b> = 4" HIGH x 24" WIDE

NOT FOR  
CONSTRUCTION  
05/08/2023

Project For



FRANK LLOYD WRIGHT  
BOULEVARD  
AND HIGHWAY 101  
(RAINTREE)

14900 N Pima Rd,  
Scottsdale, AZ 85260

Project No. 14853F778A  
Drawn By MSC  
Checked By DC, MB  
Date 04/21/2023

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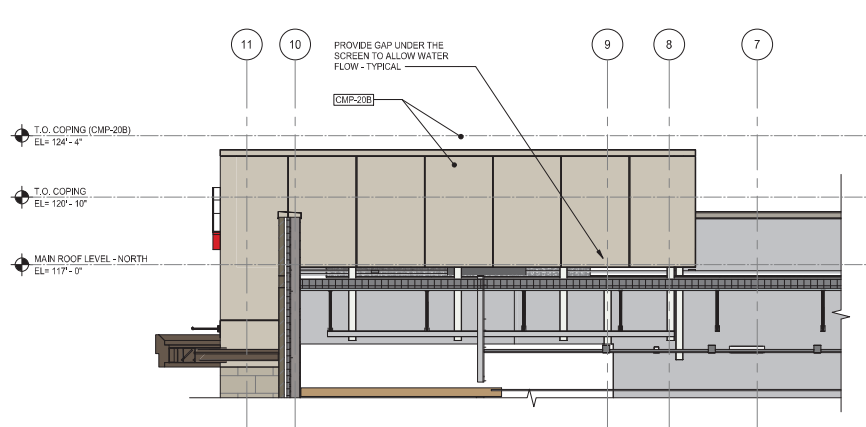
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Sheet Issues / Revisions

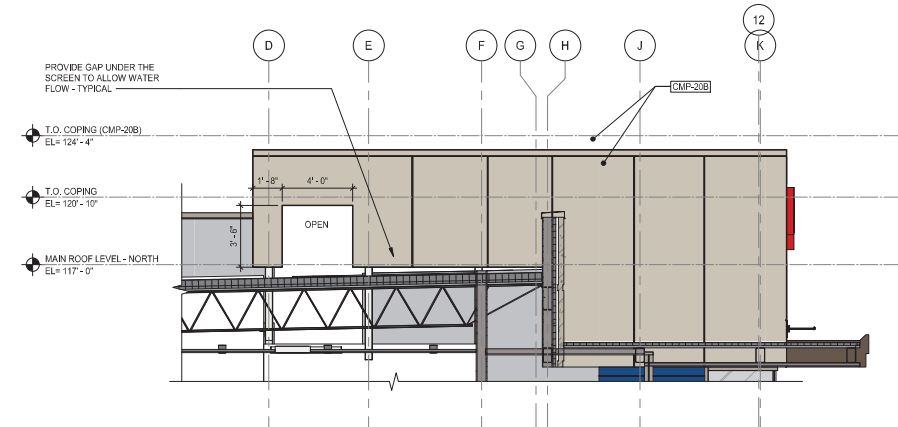
No.	Date	Description

EXTERIOR ELEVATIONS

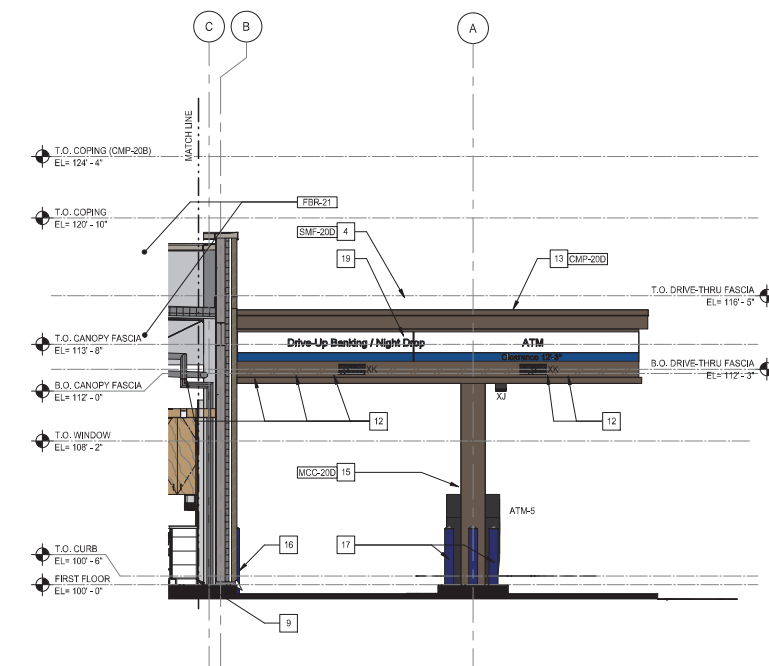
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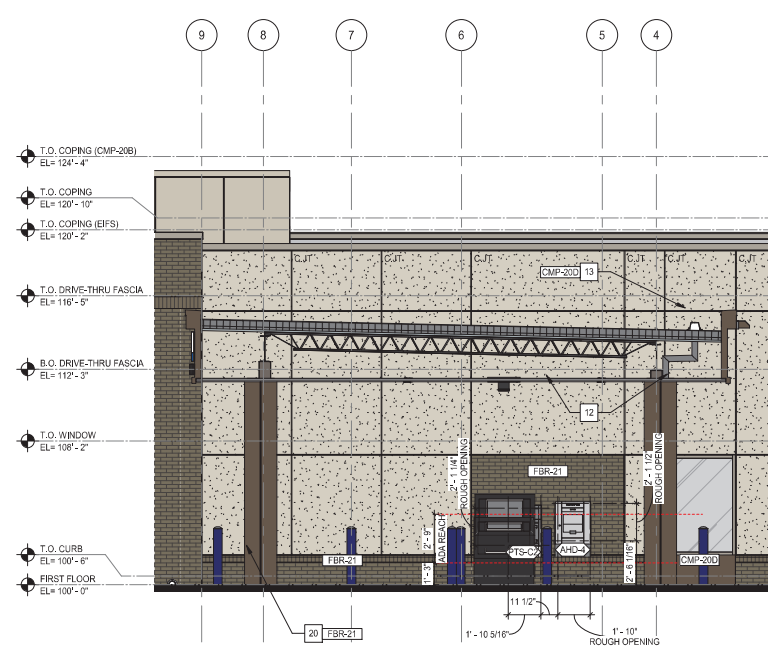
1 PENTHOUSE SCREEN ELEVATION - NORTH  
1/4" = 1'-0"



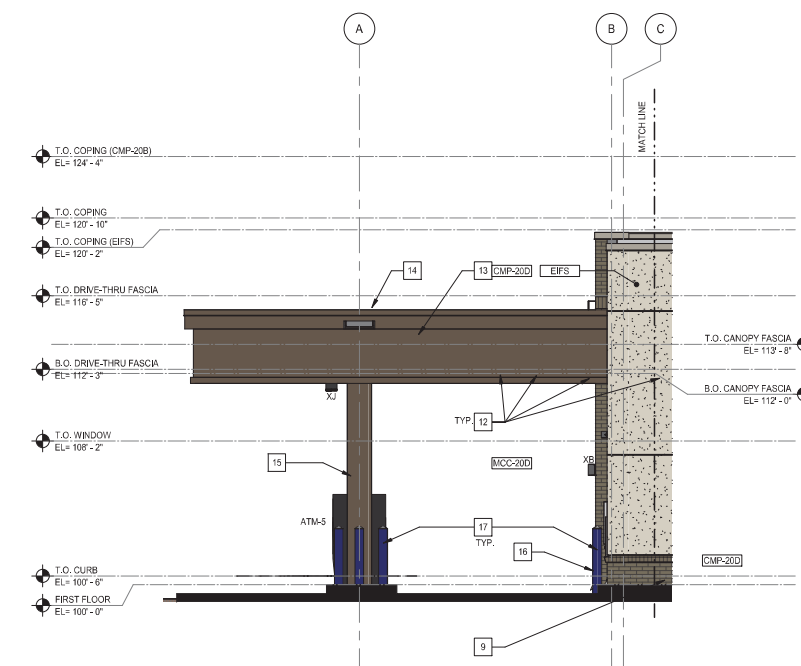
2 PENTHOUSE SCREEN ELEVATION - WEST  
1/4" = 1'-0"



3 ELEVATION - EAST\_MOUNTAIN VIEW DRIVE-THRU CANOPY  
1/4" = 1'-0"



4 ELEVATION - EAST\_MOUNTAIN VIEW DRIVE-THRU CANOPY  
1/4" = 1'-0"



5 ELEVATION - EAST\_MOUNTAIN VIEW DRIVE-THRU CANOPY  
1/4" = 1'-0"



NOT FOR  
CONSTRUCTION  
05/08/2023

Project For

**us bank**

FRANK LLOYD WRIGHT  
BOULEVARD  
AND HIGHWAY 101  
(RAINTREE)

14900 N Pima Rd,  
Scottsdale, AZ 85260

Project No. 14853F778A  
Drawn By MSC  
Checked By DC, MB  
Date 05/25/2023

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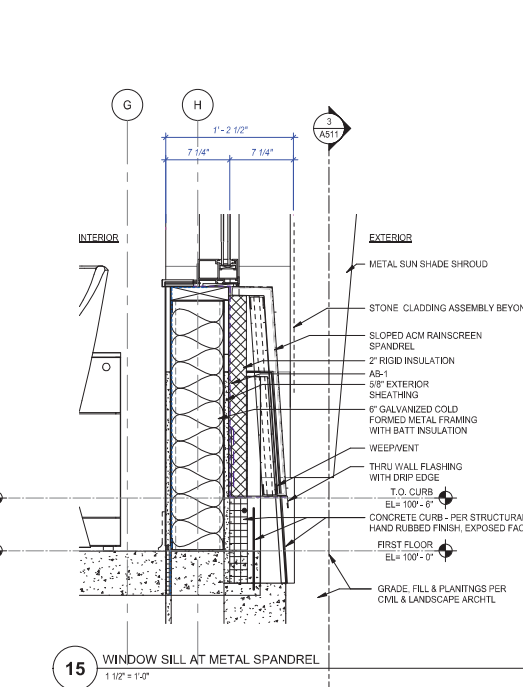
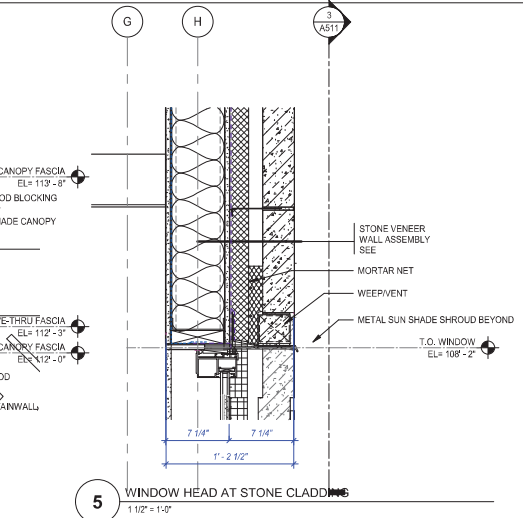
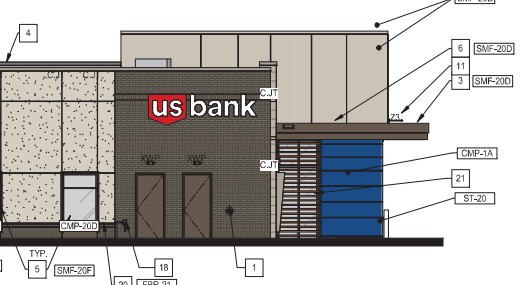
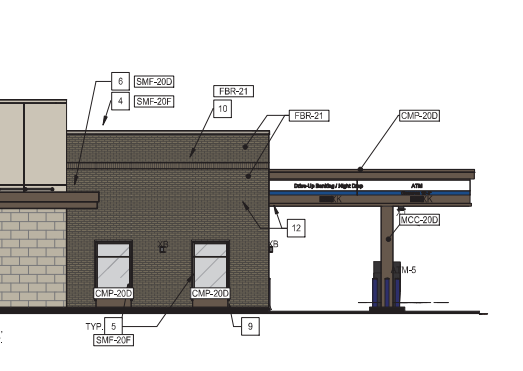
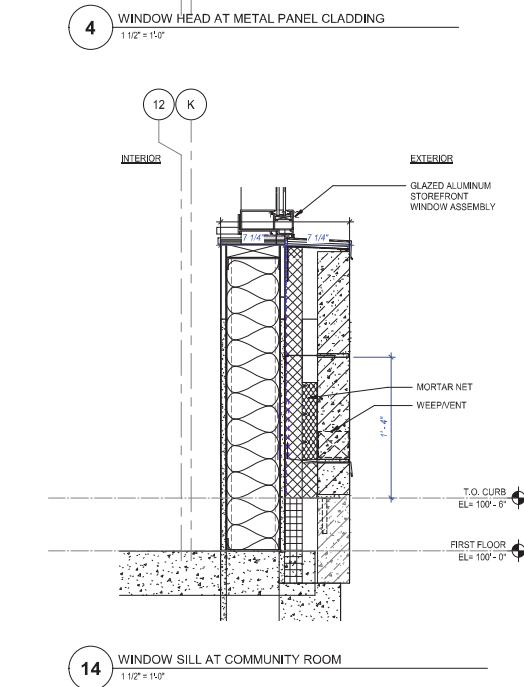
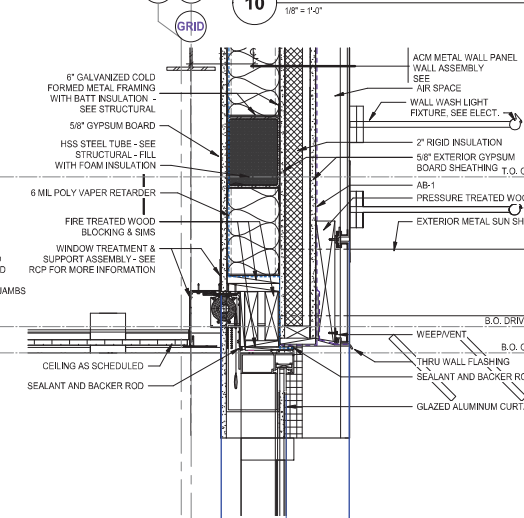
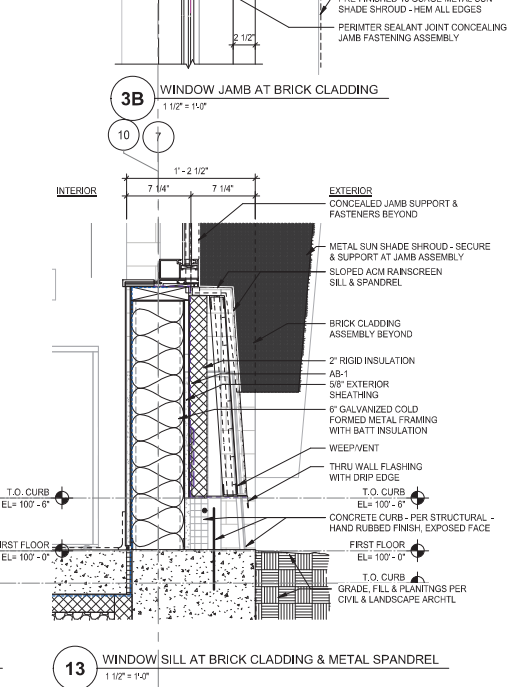
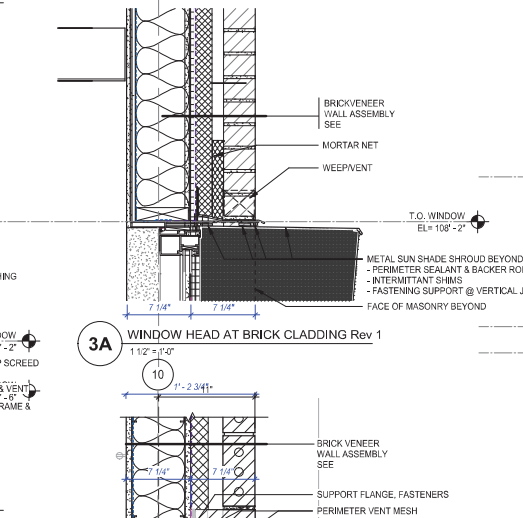
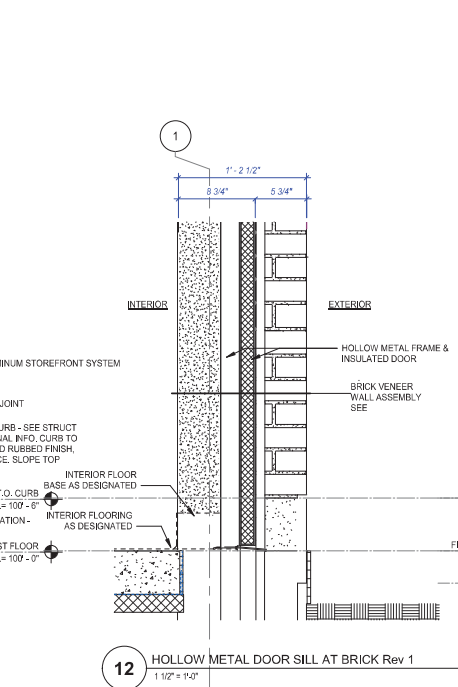
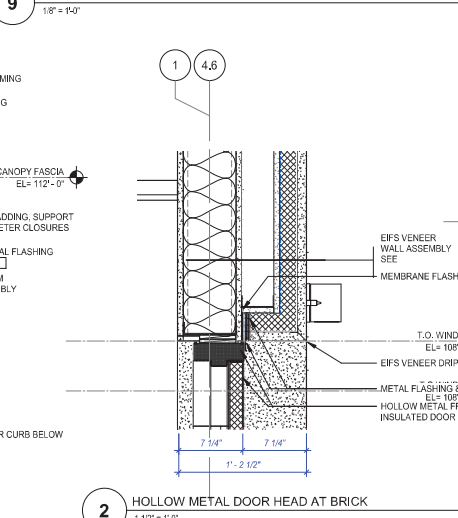
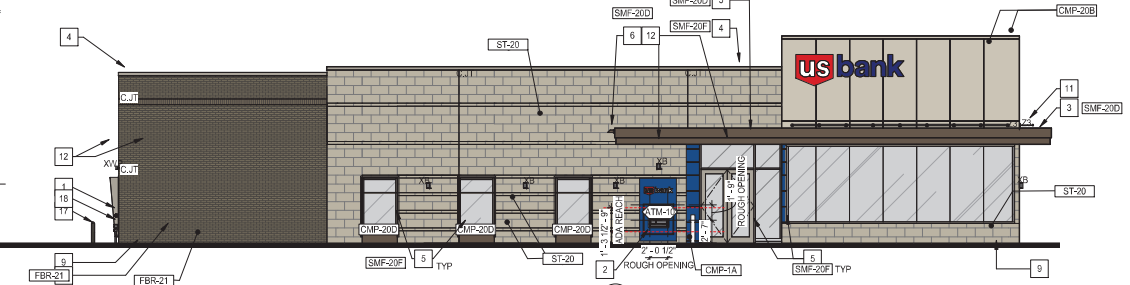
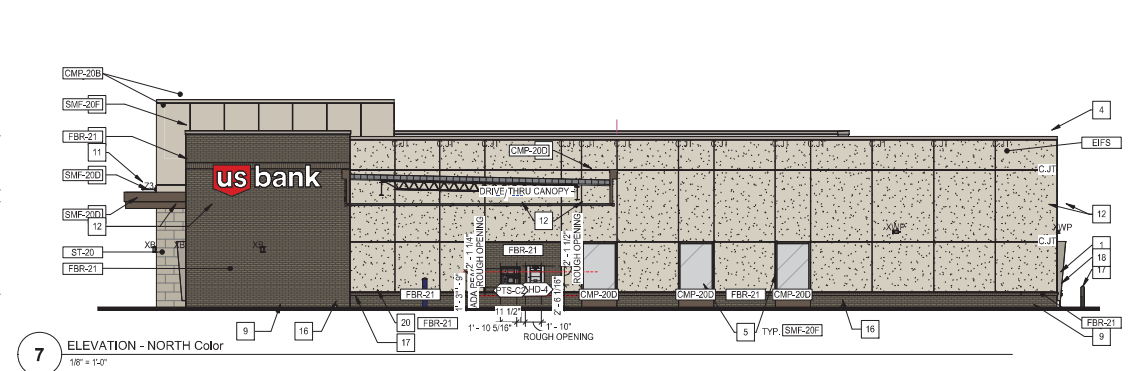
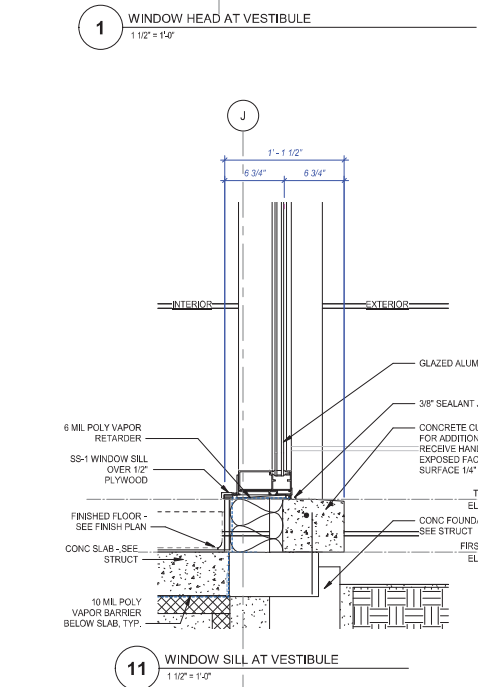
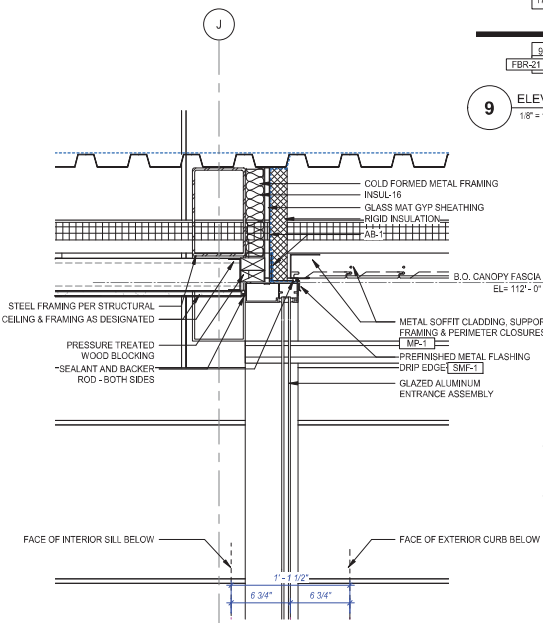
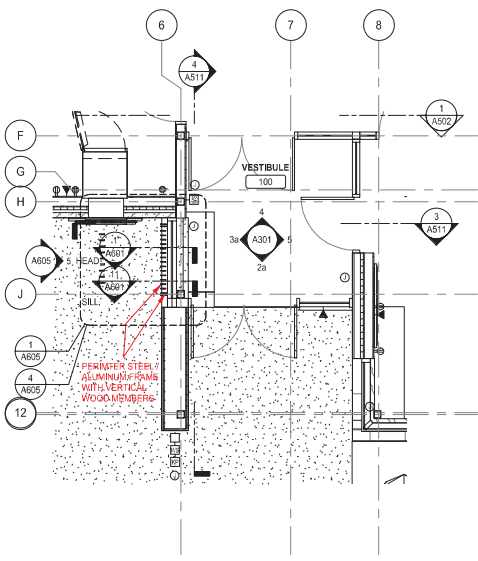
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Sheet Issues / Revisions

No.	Date	Description

EXTERIOR DETAILS

A601







NORTHWEST ELEVATION



NORTHEAST ELEVATION



SOUTHWEST ELEVATION



SOUTHEAST ELEVATION

RSP

RSP Architects

1220 Marshall Street NE  
Minneapolis  
Minnesota 55413-1036  
612.677.7100  
612.677.7499 fax  
www.rsparch.com

Project For



FLW BLVD & HWY 101  
(RAINTREE)

14900 N Pima Rd,  
Scottsdale, AZ 85260

Project No.	14853F7F8A
Drawn By	BK
Checked By	DC, MB
Date	05/25/2023

3D RENDERINGS

03





NORTH ELEVATION



EAST ELEVATION



SOUTH ELEVATION



WEST ELEVATION

RSP

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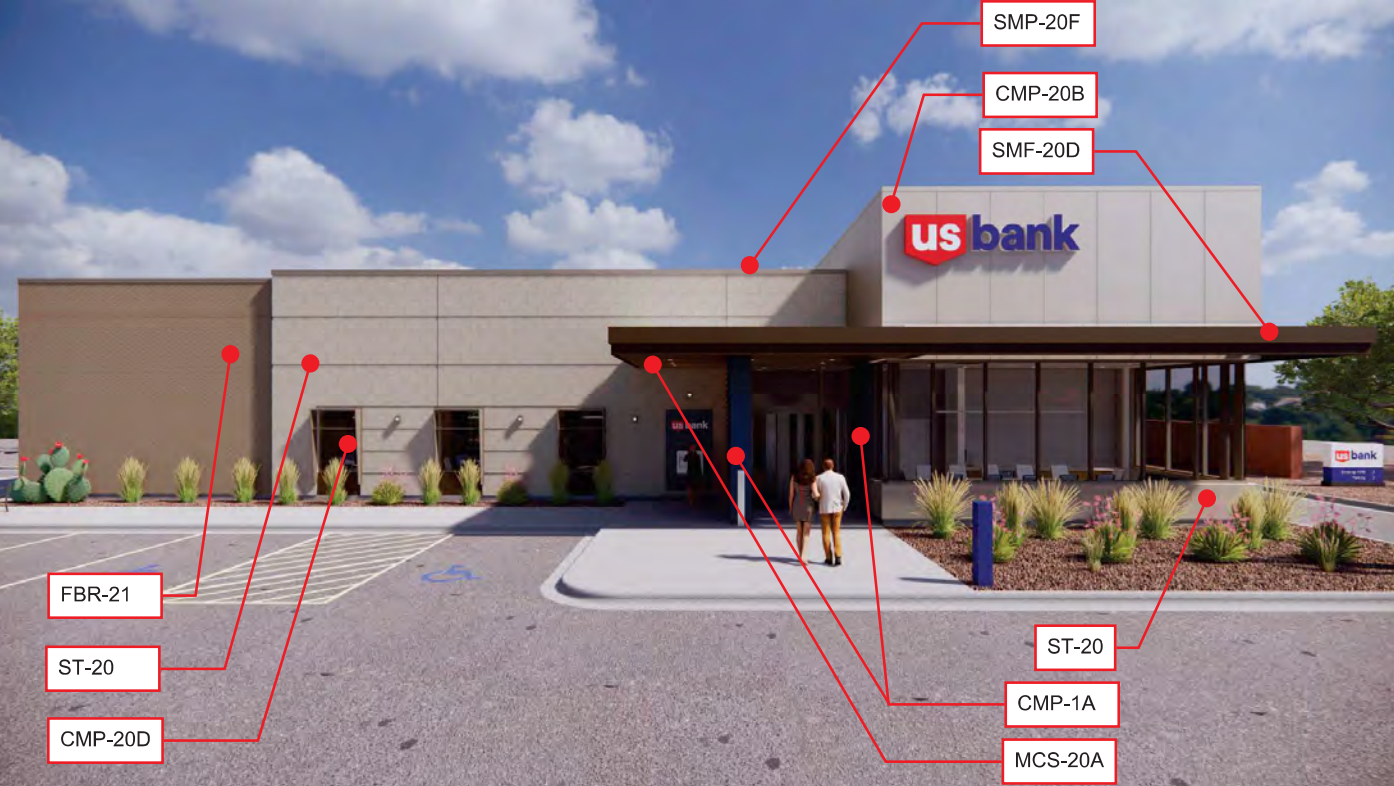
3D RENDERINGS

02



PROJECT DESCRIPTION:

A PROPOSED NEW 4,000 S.F. GROUND-UP U.S. BANK BRANCH IN SCOTTSDALE, AZ. THE BANK WILL INCLUDE (2) TELLER LINES, (2) DRIVE-THRU LANES AND (1) DRIVE-AROUND LINE.



SOUTH ELEVATION



NORTH EAST CORNER

EIFS

MFR: DRYVIT  
COLOR: 103 NATURAL WHITE



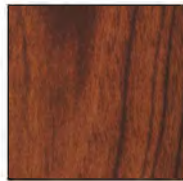
CMP-20B

COMPOSITE METAL PANEL  
MFR: REYNOBOND / PAC-CLAD  
COLOR: LIMESTONE



MP-01

METAL SOFFIT PANEL  
MFR: CERTAINTED  
COLOR: 8424 WALNUT



SMF-20F

SHEET METAL FLASHING  
MFR: PAC-CLAD  
COLOR: CHAMPAGNE METALLIC



ST-20

NATURAL STONE  
MFR: VALDERS STONE AND MARBLE  
COLOR: VALDERS BUFF



CMP-20D

COMPOSITE METAL PANEL  
MFR: REYNOBOND / PAC-CLAD  
COLOR: MEDIUM BRONZE



FBR-21

FACE BRICK  
MFR: ENDICOTT BRICK  
COLOR: LIGHT GRAY BLEND



MCS-1B

METAL SOFFIT PANEL  
MFR: CERTAINTED  
COLOR: 0401 - LUXACOTE  
LIGHTHOUSE WHITE



CMP-1A

COMPOSITE METAL PANEL  
MFR: REYNOBOND / PAC-CLAD  
COLOR: AWARD BLUE



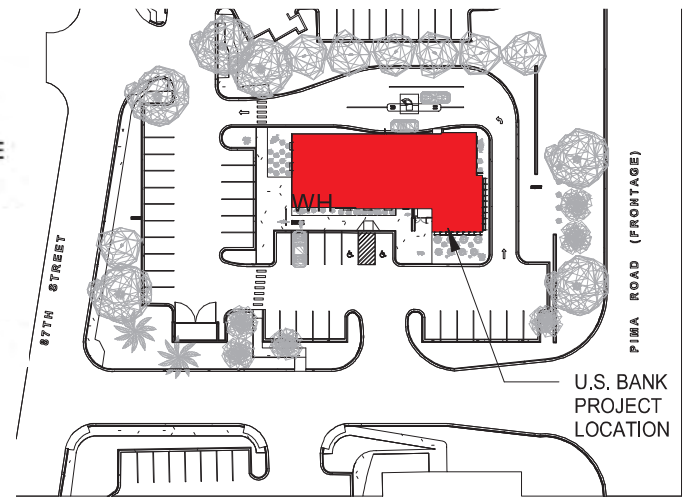
MCC-20D

FORMED METAL COLUMN COVERS  
MFR: PAC-CLAD  
COLOR: MEDIUM BRONZE



SMF-20D

SHEET METAL FLASHING  
MFR: PAC-CLAD  
COLOR: MEDIUM BRONZE



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3D VIEWS WITH EXTERIOR  
MATERIALS

01





LIGHTING FIXTURE SCHEDULE										
TYPE	DESCRIPTION	FIXTURE TYPE	LIGHT SOURCE	INPUT WATTS	VOLTS	TYPE	HEIGHT	MANUFACTURER	SPECIFIED FIXTURE MODEL NO.	
XA	UNDER CANOPY FIXTURE	LED	35	80	120	W	12"	BEGA	35 80 KSLK BLK	
XB	EXTERIOR WALL SCIENCE	LED	35	80	120	W	12"	BEGA	35 80 KSLK BLK	
XO	SINGLE HEAD POLE FIXTURE	LED	35	80	120	(none)	20'	BEGA	35 80 KSLK BLK	
X7	EXTERIOR DOWN LIGHT	LED	35	80	120	W	12"	BEGA	35 80 KSLK BLK	
X8	STORAGE LIGHT	LED	35	80	120	W	12"	BEAUM. TECH	35 80 KSLK BLK	
XWP	EXTERIOR WALL PACK	LED	35	80	120	W	12"	BEGA	35 80 KSLK BLK	
Z3	LINEAR EXTERIOR UPLIGHT	LED	35	80	4	120	W	14"	ELLIPTSTAR	S151-SR03M-04M-02M-03-046-00

A diagram of a street lighting pole. The pole is shown with a light fixture at the top. A vertical dimension line indicates the pole height is 20 feet. Another vertical dimension line indicates the base height is 2 feet. The base is shown as a textured rectangular block. The pole is mounted on a horizontal line representing the ground, with a diagonal line below it indicating a slope.

**2** POLE HEIGHT DETAIL  
E101 SCALE: N.T.S.

DRAFT -  
PROPRIETARY -  
DO NOT  
DISTRIBUTE - NOT  
FOR  
CONSTRUCTION  
03/03/2023

FLW BLVD AND  
HWY 101  
(RAINTREE)

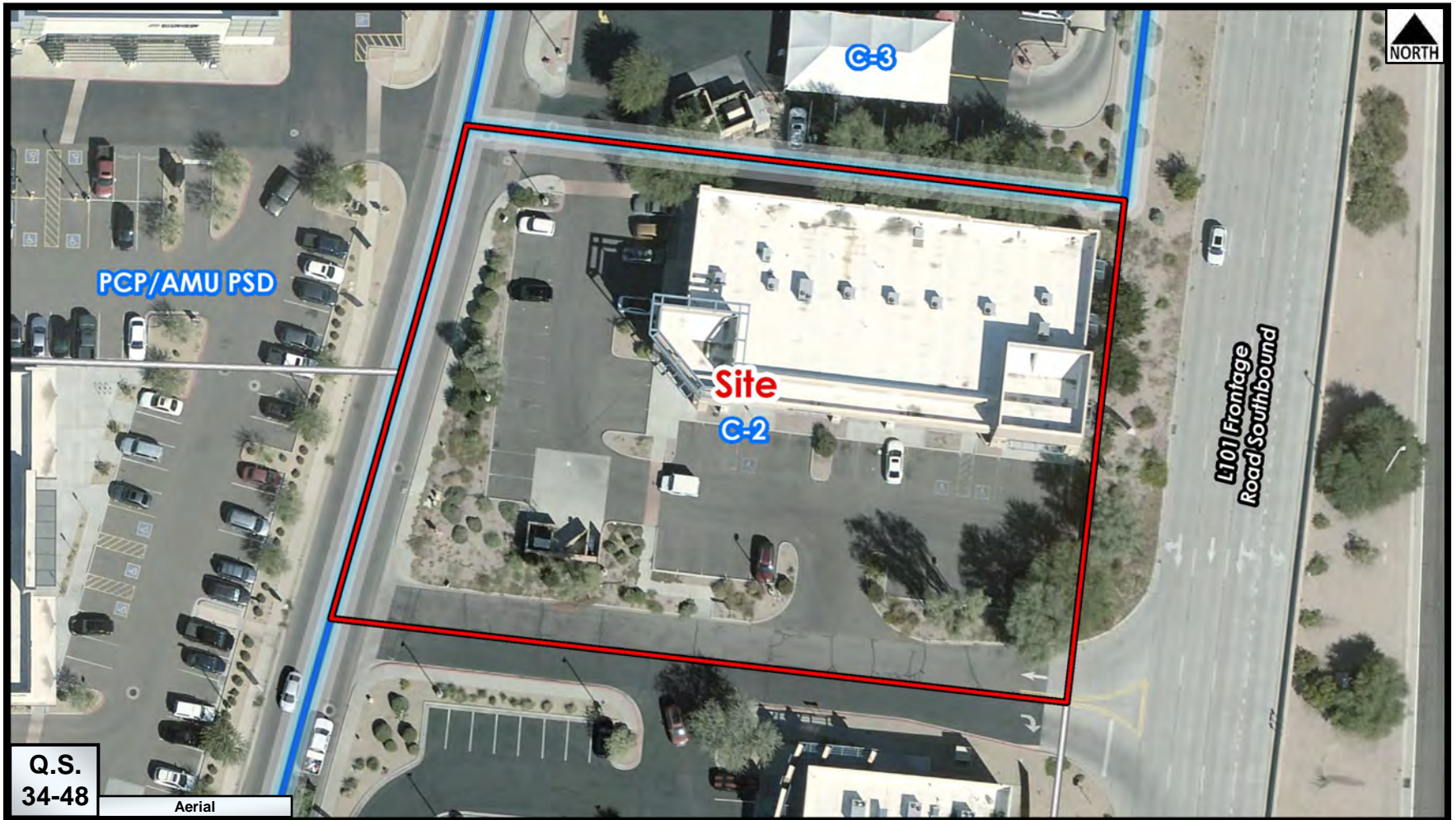
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[illegible]

# E101







Zoning Aerial

43-DR-2022



November 9, 2022

**RE: *Application to City of Scottsdale Development Review Board for a bank facility 1.11 acres located at 14900 North Pima Road, Project No. 1320-PA-2021***

Dear Property Owner or Neighborhood Association President/Member:

This letter is sent as notification that US bank intends to submit an application to the City of Scottsdale Development Review Board for a new bank facility in your area.

This proposal is for the 1.11 gross acres of land at 14900 North Pima Road (see enclosed map). The property is zoned C-2 and is currently occupied by a commercial building which will be demolished. Enclosed please find copies of the site plan and building elevations for the proposed construction.

These applications have not yet been filed with the City and you will receive notice of any future meetings and hearings that will be held by the City of Scottsdale. You are also encouraged to contact me to learn more about this proposal.

Sincerely,  
Jeffrey Rybarczyk

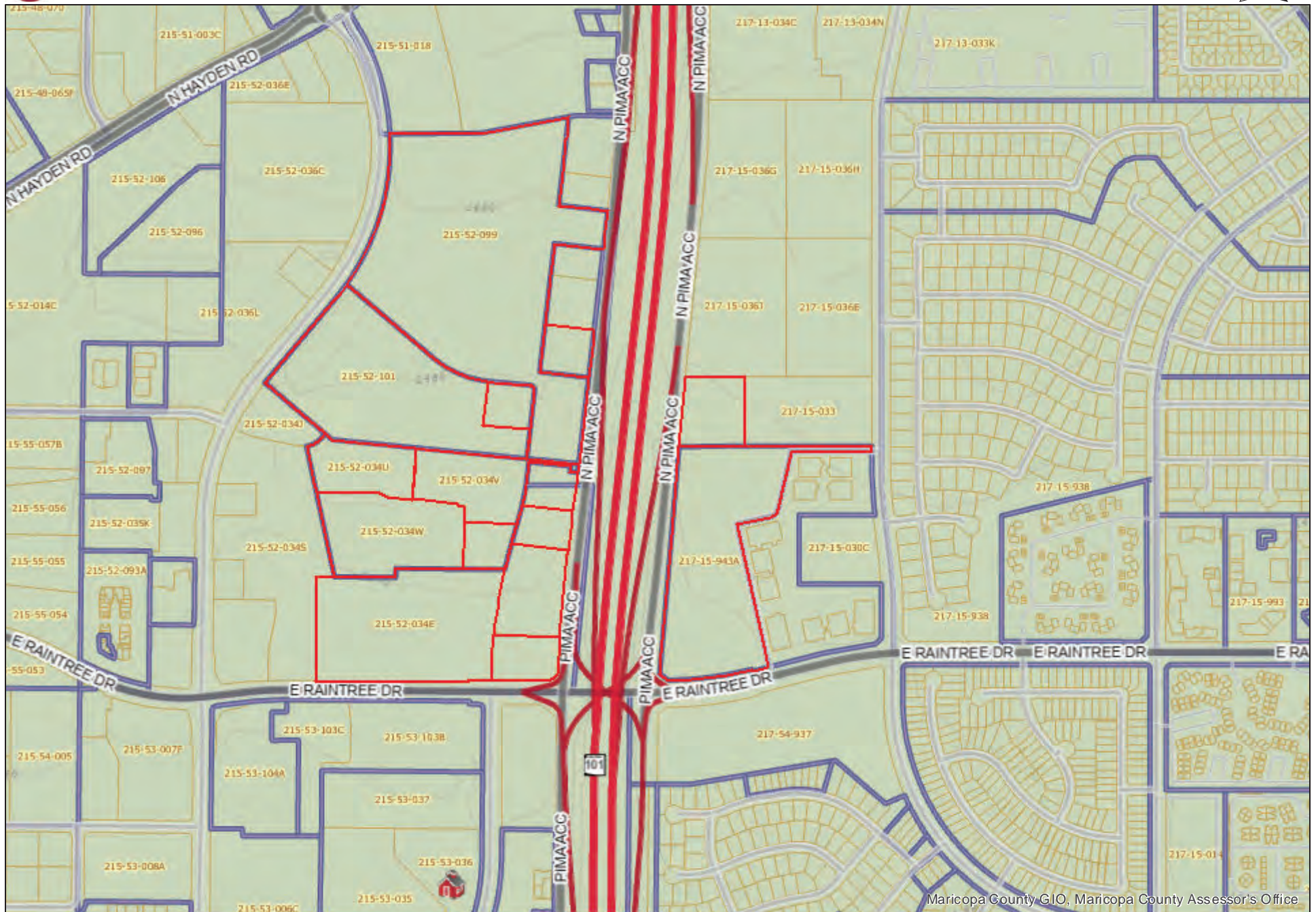
Bowman Consulting Group, Ltd.  
[jrybarczyk@bowman.com](mailto:jrybarczyk@bowman.com)  
480-559-8368

City of Scottsdale Contact Information:

Casey Steinke  
[csteinke@scottsdaleaz.gov](mailto:csteinke@scottsdaleaz.gov)

480-312-2611









# Bowman

1600 N. Desert Drive Ste 210  
Tempe, Arizona 85288

Phone: (480) 629-8830  
www.bowman.com

## US bank

SCOTTSDAE, ARIZONA

### VICINITY MAP

JOB # 051355-01-001

DATE 11-09-2022

SCALE N.T.S.

DRAWN JMB

SHT 1 OF 1