

DEVELOPMENT REVIEW BOARD REPORT



Meeting Date: March 7, 2024
General Plan Element: *Character and Design*
General Plan Goal: *Foster quality design that enhances Scottsdale as a unique southwestern desert community.*

ACTION

Taco Bell 5-DR-2018	Request for approval of the site plan, landscape plan, and building elevations for a new one-story restaurant with drive-through on a +/- 0.74-acre site.
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SUMMARY

Staff Recommendation

Approve, subject to the attached stipulations (Attachment #6)

Key Issues

- Architectural shading at the main building entrance for pedestrians and heat mitigation

Items for Consideration

- Conformance with Development Review Board Criteria – staff confirms
- Integration of Sensitive Design Principles – staff confirms
- McDowell Corridor Streetscape Design Guidelines
- No community input received as of the date of this report

BACKGROUND

Location: 7901 E. McDowell Road

Zoning: Highway Commercial (C-3)

Adjacent Uses

North: Existing one-story home improvement center (Lowe's), constructed in 2005

East: Existing one-story retail (Walgreen's), constructed in 1998

South: Existing one-story single-family residences (McDowell Parkway)

West: Existing one-story commercial uses



Property Owner

Gen2 Arizona Properties, LLC
Mark T. Peterson

Applicant

Joshua Graber, GPD Group
330-572-3521

Architect/Designer

GPD Group, Professional Corporation
Josh Graber

Engineer

Clinton Garner, Garner Group Engineering, LLC
480-292-3673

DEVELOPMENT PROPOSAL

The applicant is requesting approval of a site plan, building elevations, and landscape plan for a new 2,281 square foot restaurant with drive-through and a 344 square foot patio on a +/- 0.74-acre site.

Significant Updates to Development Proposal Since Initial Submittal

During staff review of the development proposal, comments were provided to the applicant to update the development proposal which resulted in the following updates:

- Building elevations modified to reduce massing, removed tower element, change the open frame at rear, and screen all mechanical equipment.
- Modified patio railing at the front elevation for new pedestrian access to the east property.
- Added landscape, seating elements and hardscape to be consistent with the McDowell Mountain Streetscape Design Guidelines.
- Sidewalk connection from site to N. 79th Street.

Development Review Board Criteria

Staff confirms that the development proposal generally meets the applicable Development Review Board Criteria. For a detailed analysis of the Criteria, please see Attachment #4.

Sustainability

The City of Scottsdale promotes the goal of sustainability through the incorporation of appropriate design considerations in the development of the built environment. This development proposal incorporates several design elements that align with the City's goal of sustainability including a covered dining patio and drive through window, and use of low water use plant species.

STAFF RECOMMENDED ACTION

Staff recommends that the Development Review Board approve the Taco Bell development proposal per the attached stipulations, finding that the Character and Design Element of the General Plan and Development Review Board Criteria have been met.

RESPONSIBLE DEPARTMENTS

Planning and Development Services
Current Planning Services

STAFF CONTACTS

Meredith Tessier
Senior Planner
480-312-4211 mtessier@ScottsdaleAZ.gov

APPROVED BY



Meredith Tessier, Report Author

02/20/2024

Date



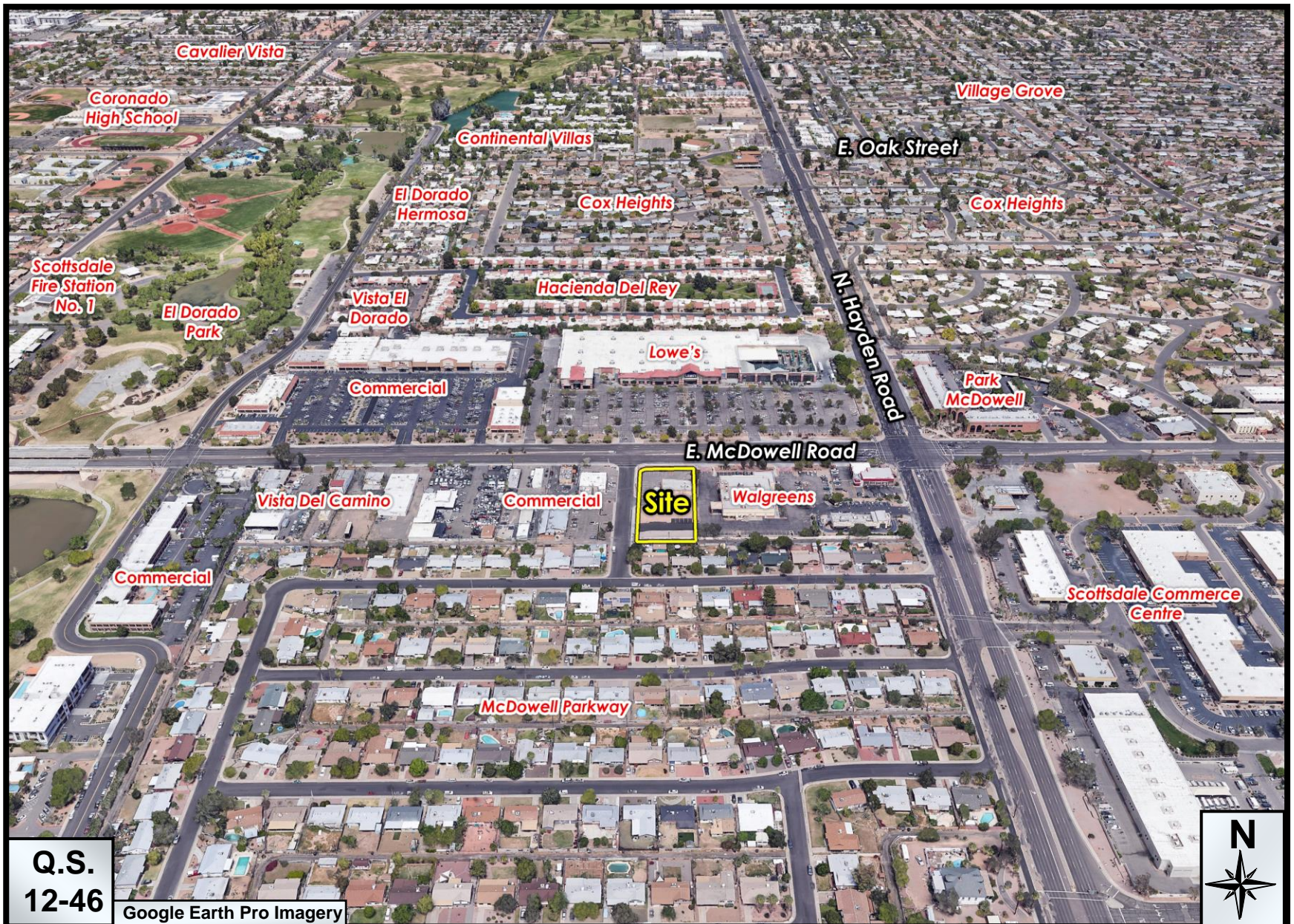
Brad Carr, AICP, LEED-AP, Planning & Development Area Manager
Development Review Board Liaison
Phone: 480-312-7713 Email: bcarr@scottsdaleaz.gov

2/27/2024

Date

ATTACHMENTS

1. Context Aerial
2. Close-up Aerial
3. Applicant's Narrative
4. Development Review Board Criteria Analysis
5. Development Information
6. Stipulations / Zoning Ordinance Requirements
7. Site Plan
8. Landscape Plan
9. Building Elevations (black & white)
10. Building Elevations (color)
11. Perspectives
12. Materials and Colors Board
13. Electrical & Photometrics Plan
14. Exterior Lighting Cutsheets
15. Zoning Map



Taco Bell

ATTACHMENT 1

5-DR-2018



Q.S.
12-46

Google Earth Pro Imagery

Taco Bell

ATTACHMENT 2

5-DR-2018

To: City of Scottsdale

Brad Carr, AICP, LEED-AP

Planning & Development Manager

Agent: GPD Group – Contact: Josh Graber ; 330.572.3521 ; jgraber@gpdgroup.com

Development Review Board Project Narrative

Ordinances, Master Plans, General Plan, and Standards

The plans provided herein have been revised and designed in accordance with the requisite master plans, zoning ordinances, and standards. For example, landscaping has been designed to accommodate the McDowell Streetscape Guidelines, site design incorporates the proper zoning and standard design elements (particularly stormwater) as prescribed in the DS+PM, and building architecture has been updated to, in our opinion, conform to the intent of the codes and guidelines as discussed with city staff.

Architectural Character, Landscaping, and Site Design

In coordination with Mr. Carr and Ms. Tessier, Taco Bell brand design has revamped the architectural design to provide the elements requested to better conform with the surrounding area and desert design themes while maintaining elements important to Taco Bell's brand identity. For example, the tombstone shape element at the primary entrance door hearkens back to the original taco Bell "mission" style design (as can be seen two parcels down from this proposed development), while providing a relief element, varying roof line element, and highlighted portal for entrance to the building.

The color schemes, varying finish types, canopies, louver shade elements, and proposed mural artwork are all intended to conform with the design principles adopted by the City of Scottsdale and maintain a sense of grounded relation to the specific built environment, with a design that is ultimately environmentally conscious.

Landscaping and site design utilize native plantings and a stormwater system design to fully capture and release all the stormwater on the site back into the earth.

Ingress, Egress, On-Site Circulation, Parking, Pedestrians

This design provides the standard Taco Bell playbook for site circulation and pedestrian movement as occurs across the country. The existing curb cuts to the parcel are utilized for the access drives and to coordinate with the adjacent parcel traffic flow. Pedestrians are funneled to the primary structure with ADA access and primary egress/ingress that links the primary entrance door to the ADA parking to the exterior canopy to the primary sidewalk. A further sidewalk stub is provided to provide a connector to

the adjacent parcel, although work must stop at the property line. All parking has been oriented to minimize cross access conflicts between pedestrians and cars. The dual order point drive thru flow is the exact standard as is utilized by Taco Bell across the country.

Mechanical and Utility Equipment

RTU's are shielded by the upper parapet on the front half of the building. On the lower roof, condensers for the interior freezer/cooler are shielded by steel screening.

All utilities on site are underground and all meters and risers are contained within an enclosure or screening at the back of the building. A proposed transformer and pad are proposed amongst landscaping at the back of the building.

Car headlights are shielded from McDowell Rd. with a proposed screen wall, similar as shown on the adjacent Wal-Greens parcel.

Please send all direct comments and questions to Josh Graber (GPD Group), at jgraber@gpdgroup.com, 330.572.3521.

Sincerely,

Josh Graber

GPD Group, Professional Corporation

DEVELOPMENT REVIEW BOARD CRITERIA ANALYSIS

Per Section 1.904. of the Zoning Ordinance, in considering any application for development, the Development Review Board shall be guided by the following criteria:

1. The Board shall examine the design and theme of the application for consistency with the design and character components of the applicable guidelines, development standards, Design Standards and Policies Manual, master plans, character plan and General Plan.
 - *The applicant states that the development plans have been design in accordance with the applicable zoning ordinance, design standards and McDowell Streetscape Guidelines.*
 - *Staff finds that the proposal is consistent with the Zoning Ordinance as well as the Character and Design Element of the General Plan. Additionally, staff has found the site to be designed is in conformance with the Design Standards and Policy Manual and McDowell Streetscape Design Guidelines.*
2. The architectural character, landscaping and site design of the proposed development shall:
 - a. Promote a desirable relationship of structures to one another, to open spaces and topography, both on the site and in the surrounding neighborhood;
 - b. Avoid excessive variety and monotonous repetition;
 - c. Recognize the unique climatic and other environmental factors of this region to respond to the Sonoran Desert environment, as specified in the Sensitive Design Principles;
 - d. Conform to the recommendations and guidelines in the Environmentally Sensitive Lands (ESL) Ordinance, in the ESL Overlay District; and
 - e. Incorporate unique or characteristic architectural features, including building height, size, shape, color, texture, setback or architectural details, in the Historic Property Overlay District.
 - *The applicant states that the Taco Bell brand design has revamped the architectural design to provide the elements requested to better conform with the surrounding area and desert design theme. The color schemes, varying finish types, canopies, louver shade elements, and proposed mural artwork are intended to conform with the design principles adopted by the City of Scottsdale.*
 - *Staff finds that the placement and design of the building responds to the contextual rea through the use of various forms, volumes, and massing that provide hierarchy to the building features and elements that is consistent with the Sensitive Design Principles (SSDP).*
3. Ingress, egress, internal traffic circulation, off-street parking facilities, loading and service areas and pedestrian ways shall be designed as to promote safety and convenience.
 - *The applicant states the existing curb cuts to the parcel are utilized for the access drives and to coordinate with the adjacent parcel traffic flow. All parking has been oriented to minimize cross access conflicts between pedestrians and cars.*
 - *Staff finds that the site is bounded by E. McDowell Road to the north and N. 79th street to the west. Vehicular access is provided with two existing driveways along N. 79th Street. The drive through queue travels along the eastern portion of the site and fully screened from street view. Internal pedestrian circulation is enhanced with scored concrete where pedestrian cross vehicular traffic.*
4. If provided, mechanical equipment, appurtenances and utilities, and their associated screening shall be integral to the building design.

- *The applicant states the roof top units are shielded with the upper parapet on the front half of the building. On the lower roof, condensers for the interior freezer/cooler are shielded with steel screening. All utilities on site are underground and all meters and risers are contained within an enclosure. A proposed transformer and pad are proposed amongst landscaping at the back of the building.*
 - *Staff finds that the mechanical equipment is integrated into the building design and rooftop units are fully screened and enclosed.*
5. Within the Downtown Area, building and site design shall:
- a. Demonstrate conformance with the Downtown Plan Urban Design & Architectural Guidelines;
 - b. Incorporate urban and architectural design that address human scale and incorporate pedestrian-oriented environment at the street level;
 - c. Reflect contemporary and historic interpretations of Sonoran Desert architectural traditions, by subdividing the overall massing into smaller elements, expressing small scale details, and recessing fenestrations;
 - d. Reflect the design features and materials of the urban neighborhoods in which the development is located; and
 - e. Incorporate enhanced design and aesthetics of building mass, height, materials and intensity with transitions between adjacent/abutting Type 1 and Type 2 Areas, and adjacent/abutting Type 2 Areas and existing development outside the Downtown Area.
- *This criterion is not applicable.*
6. The location of artwork provided in accordance with the Cultural Improvement Program or Public Art Program shall address the following criteria:
- a. Accessibility to the public;
 - b. Location near pedestrian circulation routes consistent with existing or future development or natural features;
 - c. Location near the primary pedestrian or vehicular entrance of a development;
 - d. Location in conformance with Design Standards and Policies Manual for locations affecting existing utilities, public utility easements, and vehicular sight distance requirements; and
 - e. Location in conformance to standards for public safety.
- *This criterion is not applicable.*

DEVELOPMENT INFORMATION

Zoning History

The site is zoned Highway Commercial (C-3), there has been no recent zoning activity on the site. The C-3 zoning district is intended to permit most types of commercial activities located along major streets, including shopping and service needs.

Community Involvement

With the submittal of the application, staff notified all property owners within 750 feet of the site. In addition, the applicant has been in communication with property owners surrounding the site. As of the publishing of this report, staff has not received any community input regarding the application.

Context

The site is located at the southeast corner E. McDowell Road and N. 79th street and is surrounded by commercial uses to the north, east, and west as well as single-family residences to the south.

Project Data

• Existing Use:	Vacant, commercial pad
• Proposed Use:	Restaurant with patio and drive through
• Parcel Size:	45, 554 square feet / 1.04 acres (gross) 32,194 square feet / 0.74 acres (net)
• Restaurant Building Area:	2,281 square feet
• Patio Area:	344 square feet
• Total Building Area:	2,625 square feet
• Floor Area Ratio Allowed:	0.8
• Floor Area Ratio Provided:	0.08
• Building Height Allowed:	36 feet (exclusive of rooftop appurtenances)
• Building Height Proposed:	26 feet 0 inches (inclusive of rooftop appurtenances)
• Parking Required:	19 spaces
• Parking Provided:	19 spaces
• Open Space Required:	5,022 square feet / 0.11 acres
• Open Space Provided:	6,473 square feet / 0.14 acre
• Front Open Space Required:	3,237 square feet
• Front Open Space Provided:	3,579 square feet

**Stipulations for the
Development Review Board Application:
Taco Bell
Case Number: 5-DR-2018**

These stipulations are intended to protect the public health, safety, welfare, and the City of Scottsdale.

APPLICABLE DOCUMENTS AND PLANS:

Except as required by the Scottsdale Revised Code (SRC), the Design Standards and Policies Manual (DSPM), and the other stipulations herein, the site design and construction shall substantially conform to the following documents:

- a. Architectural elements, including dimensions, materials, form, color, and texture shall be constructed to be consistent with the building elevations submitted by GPD Group, with a city staff date of 01/11/2024.
- b. The location and configuration of all site improvements shall be consistent with the site plan submitted by GPD Group, with a city staff date of 01/11/2024.
- c. Landscape improvements, including quantity, size, and location shall be installed to be consistent with the preliminary landscape plan submitted by GPD Group, with a city staff date of 01/11/2024
- d. The case drainage report submitted by GPD Group and accepted in concept by the Stormwater Management Department of the Planning and Development Services.
- e. The water and sewer basis of design report submitted by Leonardo A. Sferra, P.E. of GPD Group and accepted on January 29, 2023 in concept by the Water Resources Department.

RELEVANT CASES:

Ordinance

- A. At the time of review, the applicable case for the subject site were: 44-ZN-1965, 177-DR-1996 and 8-PP-2019.

ARCHITECTURAL DESIGN:

DRB Stipulations

2. At time of final plans, the applicant shall provide building elevations to specify the details of the desert themed mural located on the east and west facing building elevations as shown on the perspectives. Any significant changes, as determined by city staff shall require separate review and approval.
3. All exterior window glazing shall be recessed a minimum of fifty (50) percent of the wall depth, including glass windows within any tower/clerestory elements. The amount or recess shall be measured from the face of the exterior wall to the face of the glazing, exclusive of external detailing.

With the final plan submittal the developer shall provide head, jamb and sill details clearly showing the amount of recess for all window types.

4. All exterior doors shall be recessed a minimum of thirty (30) percent of the wall depth, the amount of recess shall be measured from the face of the exterior wall to the face of the glazing, exclusive of external detailing. With the final plan submittal the developer shall provide head, jamb and sill details clearly showing the amount of recess for all door types.

SITE DESIGN:

DRB Stipulations

5. All drive aisles that are fire lanes shall have a width of twenty-four (24) feet.
6. All drive-thru lanes shall provide a minimum of 120 feet of queuing distance.
7. At time of final plans, the applicant shall provide enhanced pavers or scored concrete where pedestrian cross the double lane drive-through.
8. Before any building permit is issued for the site, the owner shall submit plans and receive approval to construct all refuse enclosures in conformance with the City of Scottsdale Supplements to MAG Standard Details, detail 2146-2 with a grease containment area.

LANDSCAPE DESIGN:

Ordinance

- B. The property owner shall obtain approval of a Salvage/Native Plant Plan Application, and obtain a permit to remove any tree.

DRB Stipulations

9. Prior to the issuance of a building permit, the owner shall submit landscape improvement plans that demonstrate how the salvaged vegetation from the site will be incorporated into the design of the landscape improvements.
10. With the final plans submittal, the landscape plans shall show all utility lines and ensure that all new trees are placed at least eight (8) feet away from any utility line.

EXTERIOR LIGHTING:

Ordinance

- C. All exterior luminaires mounted eight (8) feet or higher, above finished grade, shall be directed downward.
- D. Any exterior luminaire with a total initial lumen output of greater than 3050 lumens shall be directed downward and comply with the Illuminating Engineering Society of North America (IES) requirements for full cutoff.

DRB Stipulations

11. All exterior luminaires shall meet all IES requirements for full cutoff and shall be aimed downward and away from property line.
12. No light fixture or light pole shall be higher than sixteen (16) feet.
13. Incorporate the following parking lot and site lighting into the project's design:

- a. The maintained average horizontal luminance level, at grade on the site, shall not exceed 2.0 foot-candles. All exterior luminaires shall be included in this calculation.
- b. The maintained maximum horizontal luminance level, at grade on the site, shall not exceed 8.0 foot-candles. All exterior luminaires shall be included in this calculation.
- c. The initial vertical luminance at 6-foot above grade, along the entire property line shall not exceed 0.8 foot-candles. All exterior luminaires shall be included in this calculation.
- d. The maximum light trespass adjacent to or abutting single-family residential uses shall not exceed 0.1 foot-candles.
- e. The total lumen per luminaire shall not exceed 24,000 lumens.
- f. All exterior lighting shall have a color temperature of 3,000 Kelvin or less.

STREET INFRASTRUCTURE:

Ordinance

- E. All street infrastructure improvements shall be constructed in accordance with this City of Scottsdale (COS) Supplement to MAG Specifications and Details, and the Design Standards and Policies Manual.

DRB Stipulations

14. Prior to the issuance of a building permit for the development project, the owner shall submit and obtain approval of civil construction documents to construct the following improvements:
15. Prior to the issuance of a building permit for the development project, the owner shall submit and obtain approval of civil construction documents to construct the following improvements: (ALL IMPROVEMENTS PER SECTION 47-10 (a) and 47-21 (a) and (b))
 - a. NORTH 79TH STREET
 - i. Construct a six (6)-foot wide sidewalk along frontage.
 - ii. Design and construct new site driveways on 79th Street to COS CI-1 driveway type, COS Standard Detail #2256. Driveway taper is not needed.
 - iii. Existing driveway not utilized shall be remove and replaced with curb, gutter and sidewalk.
 - iv. Sidewalk connections from the site building main entrance to 79th Street shall be 6-foot-wide.
 - b. EAST MCDOWELL ROAD
 - i. Sidewalk connections from the site building main entrance to McDowell Road shall be eight (8)-foot wide.
 - ii. Existing driveway not utilized shall be remove and replaced with curb, gutter and sidewalk to match existing.
16. All curb ramps for public and pedestrian sidewalks that intersect public and private streets, or driveways that intersect public and private streets, shall have truncated domes that are colored to match OSHA Safety Yellow, FED-STD-595C, 13591.

17. All curb ramps for public and pedestrian sidewalks that intersect public and private streets, or driveways that intersect public and private streets, shall have truncated domes that have 70 % contrasting colored compared to the background concrete color.

WATER AND WASTEWATER:

DRB Stipulations

18. Existing water and sewer service lines to this site shall be utilized or shall be disconnected at the main pursuant to the Water Resources Department requirements.

EASEMENTS DEDICATIONS:

DRB Stipulations

19. Prior to the issuance of a building permit for the development project, the owner shall dedicate the following easements to the City of Scottsdale on the final subdivision plat:
 - a. A sight distance easement where a sight distance triangle(s) in conformance with figures 5.3-26 and 5.3-27 of Section 5.3 of the DSPM cross on to the property.
 - b. A continuous Public Non-Motorized Access Easement to the City of Scottsdale to contain the public sidewalk in locations where the sidewalk crosses on to the lot.

DRAINAGE AND FLOOD CONTROL:

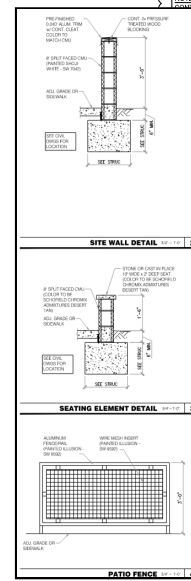
DRB Stipulations

20. With the civil construction document submittal, the owner shall submit a final drainage report and Grading plan that demonstrates consistency with the DSPM and the case drainage report accepted in concept by the Stormwater Manager or designee. The owner shall provide proposed stormwater storage volumes and the design of stormwater storage facilities that will meet city requirements as specified in Chapter 37 of Scottsdale's revised code as well as the DSPM.
21. The owner shall dedicate to the city on the final plat, all easements necessary to serve the site, in conformance with the Scottsdale Revised Code and the Design Standards and Policies Manual

ADDITIONAL ITEMS:

DRB Stipulations

22. All signs including the drive-through menu boards require separate staff review and approval.



- [illegible]

ASPHALT PAVEMENT			
MATERIAL	DEPTH (HWY. DUTY)	DEPTH (STD. DUTY)	M.A.G. SPECIFICATIONS ITEM
ASPHALT CONCRETE P/INT.	3"	2"	M.A.G. SECTION 710
AGG. BASE COURSE	8"	6"	M.A.G. SECTION 702
SUBGRADE COMPACTION	PER SOILS REPORT	PER SOILS REPORT	PER SOILS REPORT

SOILS REPORT GOVERNS IF ANY DISCREPANCIES OCCUR.
SEE TYPICAL SECTION SHEET C-401.

BUILDING SETBACKS		
	REQUIRED	PROVIDED
FRONT: E. McDOWELL	0'	75.4'
REAR: RESIDENTIAL	0'	74'
SIDE: N. 79TH	0'	74.3'
SIDE: WALGREENS	0'	21.2'

PARKING SPACES		
	REQUIRED	PROVIDED
NUMBER OF SPACES	30 ¹	32 ²
BICYCLE SPACES	18/10-1.9-2	4

PARKING REQUIREMENTS

1. SPACES PER 100 S.F. OF GROSS FLOOR AREA


PARKING SETBACKS	
REQUIRED	PROVIDED
FRONT: E. MCDOWELL	0' 20'
REAR: RESIDENTIAL	0' 0'
SIDE N. 79TH	0' 21.6'
SIDE W. ALGEMEN	0' 5.8'

3' SPACE (PER 1/20 SF) EXCLUDED FROM AREA THEREFORE: 1/20 SF x 2281SF = 19 SPACES REQUIRED.

PATIO SQUARE FEET (134 SF) EXCLUDED BECAUSE LESS THAN 500 SF PER ZO SECTION §103.

ALL PARKING REQUIREMENTS

LANDSCAPE SETBACKS			ADA REQUIREMENTS: 1 SPACE PER 1 TO 25 PROVIDES SPACES.
	REQUIRED	PROVIDED	
FRONT: E. MCDOWELL	0'	23'	CITY OF SCOTTSDALE: MIN. 4% OF PROVIDED PARKING. $\frac{1}{100} \times 19 = 0.76 = 1 \text{ SPACE}$
REAR: RESIDENTIAL	0'	0'	
SIDE N. 79TH	0'	21.6'	
SIDE: WALGREENS	0'	5.8'	

	PROVIDED: 2 SPACES		
	LAND USE DATA		
		% OF SITE AREA	AREA PROVIDED
	BUILDING	7%	0.05 AC.
	PAVEMENT/IMPERVIOUS LANDSCAPING	51% 42%	3.38 AC. 3.31 AC.
	TOTAL	100%	3.74 AC.

REQUIRED BICYCLE PARKING: 1 SPACE, PROVIDED BICYCLE PARKING: 1 SPACE
ALLOWED GROSS FLOOR AREA RATIO (GFAR) 0.8, PROVIDED GFAR: 0.05 ACRES/0.74 ACRES = 0.07

[illegible]

CONTRACT DATE:
BUILDING TYPE:
PLAN VERSION:
BRAND DESIGNER:
SITE NUMBER:
STORE NUMBER:
PA/PM: E
DRAWN BY.: E
JOB NO.: 2023188.0

TACO BELL

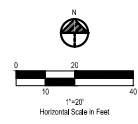
D1.E. McDOWELL RD



SITE PLAN

C-111

PLOT DATE: _____



1. ANY DISTURBED AREA NOT TO BE PAVED SHALL BE MULCHED PER SPECIFICATIONS.
2. INSTALL Boulders with 1/3 of their volume below the ground and place at least 10 ft. away from curb and 4 ft. away from any walkway.
3. CLEAR LINES OF SIGHT SHALL BE MAINTAINED ALONG STREETS AND DRIVEWAYS TO PROVIDE FOR THE SAFETY OF MOTORISTS, PEDESTRIANS, AND BICYCLISTS.
4. CONTRACTOR TO SUBMIT PROPOSED PLANTER TO OWNER FOR APPROVAL. VEGETATION IN PLANTER SHALL HAVE LOW WATER REQUIREMENT. SELECTION AND MAINTENANCE BY OWNER.

RIGHT OF WAY LANDSCAPE AREA: 3,325 SQ. FT.
ON-SITE LANDSCAPE AREA: 10,395 SQ. FT.
PARKING LOT LANDSCAPE AREA: 1,285 SQ. FT.

(SEE SHEET C-001 FOR GENERAL LEGEND)



PROPOSED SHRUB / PERENNIAL

PROPOSED PLANT QUANTITY AND SYMBOL

DESERT SAND, 24" x 36"

PROPOSED CONCRETE, SEE CIVIL SHEETS

PROPOSED ROCK CHANNEL RIPRAP,

RECYCLED RECOMPOSED GRANITE MULCH

SEE LANDSCAPE SPECIFICATIONS

PROPOSED LIMITS OF DISTURBANCE

CITY OF SCOTTSDALE • CODE OF ORDINANCES - APPENDIX B - BASIC ZONING ORDINANCE SEC. 5.1504 • PROPERTY DEVELOPMENT STANDARDS	
CODE REQUIREMENT: 10% MULTIPLIED BY NET LOT AREA. FOR BUILDING HEIGHTS OVER 12; MINIMUM OPEN SPACE REQUIREMENT PLUS .004 MULTIPLIED BY THE NET LOT AREA	PROVIDED: TOTAL OPEN SPACE PROVIDED: FRONTAGE OPEN SPACE PROVIDED: 3.325 SF

CODE REQUIREMENT: 10% MULTIPLIED BY NET LOT AREA.
FOR BUILDING HEIGHTS OVER 12'; MINIMUM OPEN SPACE
REQUIREMENT PLUS .004 MULTIPLIED BY THE NET LOT AREA
FOR EACH FOOT OF BUILDING HEIGHT OVER 12'. FRONTAGE
OPEN SPACE MINIMUM; 50% MULTIPLIED BY TOTAL OPEN
SPACE REQUIREMENT. PARKING LOT LANDSCAPING NOT
INCLUDED IN REQUIRED OPEN SPACE.

PROJECT REQUIREMENT:
TOTAL OPEN SPACE:
NET LOT AREA (32,194 SF) X 10% = 3,219 SF
12' H ABOVE = 1,803 SF
OPEN SPACE MINIMUM REQUIRED = 5,022 SF
FRONTAGE OPEN SPACE:
50% X 5,022 SF = 2,511 FRONTAGE OPEN SPACE

CITY OF SCOTTSDALE - CODE OF ORDINANCES - APPENDIX B - BASIC ZONING ORDINANCE	
SEC. 10.501.H - PARKING LOT LANDSCAPE AREA AND LANDSCAPE ISLANDS	
CODE REQUIREMENT: ANY LANDSCAPE AREA AT LEAST 5 FT. DEEP SHALL BE PROVIDED BETWEEN ANY PARKING LOT AREA AND ANY STREET LINE.	PROVIDED: MCDOWELL ROAD: 25 - 30 FT. LANDSCAPE 79TH STREET: 25 - 30 FT. LANDSCAPE

PROJECT REQUIREMENT: 5 FT. LANDSCAPE AREA
BETWEEN PARKING LOT.

CITY OF SCOTTSDALE - CODE OF ORDINANCES - APPENDIX B - BASIC ZONING ORDINANCE SEC. 13.501.H - PARKING LOT LANDSCAPE AREA AND LANDSCAPE ISLANDS	
CODE REQUIREMENT: AT LEAST 15% OF ANY PARKING LOT SHALL BE LANDSCAPE AREAS, LANDSCAPE AREAS	PROVIDED: 1,285 SQ. FT. OF PARKING LOT LANDSCAPING

PROJECT REQUIREMENT: 7,625 SQ. FT. PARKING LOT X
 (TOTAL 15,250 SQ. FT.)

Symbol	Botanical Name	Common Name	Qty.	Min. Size	Condition	Remarks
TREES						
CL	<i>Chrysopsis linearis</i> 'Bubble'	Mature 'Bubble' Desert Willow	3	3" Cal.	Cont.	Multi-Stem
CP	<i>Corymba pupuana</i>	Ghost Gum	2	15 Gal.	Cont.	Single-Trunk
Pc	<i>Prosopis chilensis</i>	Thornless Chilean Mesquite	1	3" Cal.	Box	Multi-Stem
SHRUBS						
Dc	<i>Dalea capitata</i> 'Sierra Gold'	'Sierra Gold' Dalea	45	5 Gal.	Cont.	4.5' o/c
Df	<i>Dalea frutescens</i>	Black Dalea	29	5 Gal.	Cont.	5' o/c
Dv	<i>Dodonaea viscosa</i> 'Purpurea'	Purple Hopseed Bush	3	5 Gal.	Cont.	Per Plan
Hp	<i>Hesperaloe parviflora</i>	Red Yucca	11	5 Gal.	Cont.	Per Plan
Cc	<i>Calliandra californica</i>	Baja Red Fairy Duster	15	5 Gal.	Cont.	5' o/c
Lf	<i>Leucophyllum frutescens</i>	Texas Sage	63	1 Gal.	Cont.	3' o/c
Ta	<i>Tetranneus acutis</i>	Angelita Daisy	30	1 Gal.	Cont.	2' o/c

[illegible]

CONTRACT DATE:
BUILDING TYPE:
PLAN VERSION:
BRAND DESIGNER:
SITE NUMBER:
STORE NUMBER:
PA/PM: E
DRAWN BY.: E
JOB NO.: 2023188.0

TACO BELL

7901 E. MCDOWELL RD.
SCOTTSDALE, AZ 85257

LANDSCAPE
PLAN

L-101

PLOT DATE:

CONTRACT DATE:
BUILDING TYPE: KITCHEN KLG
PLAN VERSION:
BRAND DESIGNER:
SITE NUMBER:
STORE NUMBER:

TACO BELL
7901 E. McDOWELL RD.
SCOTTSDALE, AZ 85257

EXTERIOR ELEVATIONS

A4.0



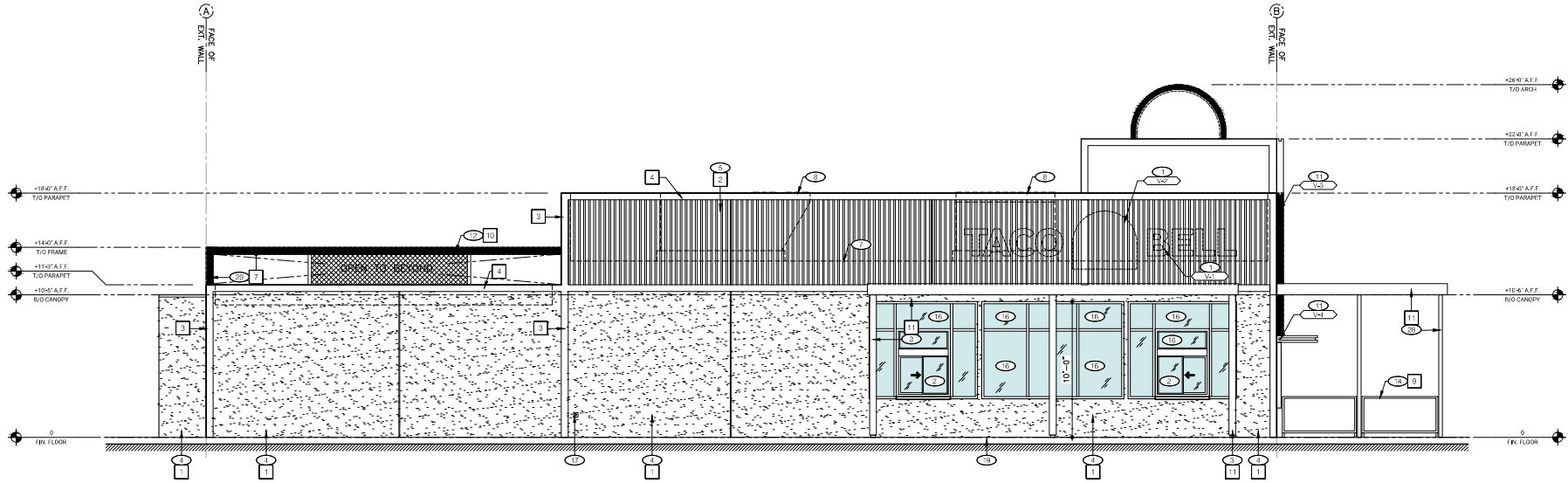
EXTERIOR FINISH SCHEDULE	E
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GENERAL NOTES	C
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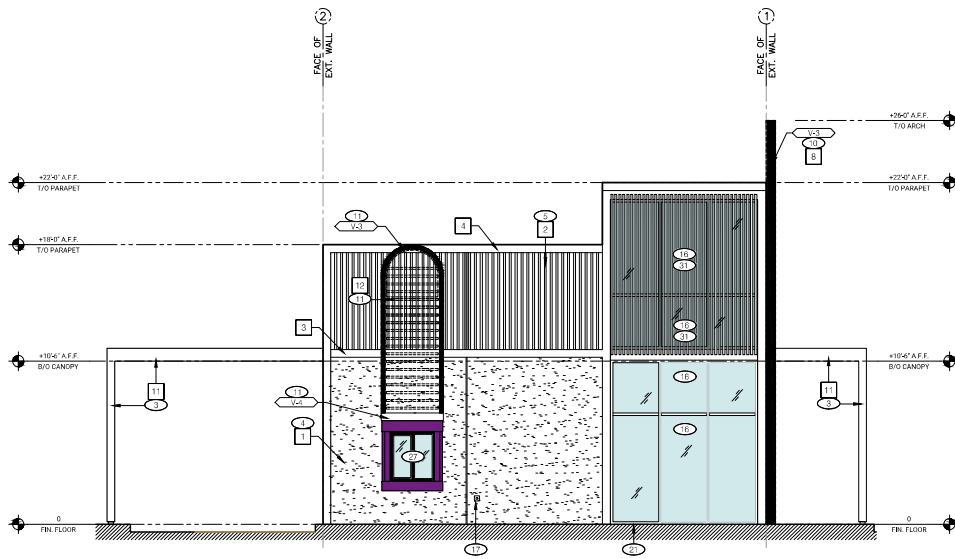
SIGN SCHEDULE	NTS	
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- | | |
|------------------|----------|
| KEY NOTES | B |
|------------------|----------|

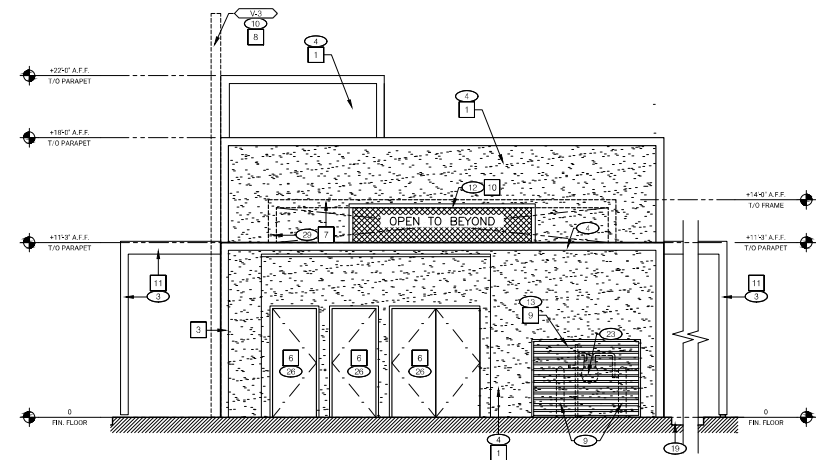
"This submittal is for general informational purposes only and is preliminary in nature. As such, any other use or reliance is strictly prohibited."



LEFT SIDE ELEVATION 1/8" = 1'-0" **A**



FRONT ELEVATION 1/8" = 1'-0" **C**



REAR ELEVATION 1/8" = 1'-0" **B**

CONTRACT DATE: .
BUILDING TYPE: KITCHEN KLG
PLAN VERSION: .
BRAND DESIGNER: .
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STORE NUMBER: .

TACO BELL
7801 E. McDOWELL RD.
SCOTTSDALE, AZ 85257



EXTERIOR ELEVATIONS

A4.1A

ELEVATION - WEST



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ATTACHMENT 10



ELEVATION - EAST



ELEVATIONS - NORTH



ELEVATIONS - SOUTH



PERSPECTIVE - FRONT & ENTRY SIDES (North & West)



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ATTACHMENT 11



PERSPECTIVE - REAR & ENTRY SIDES (North & East)



MATERIALS COMPOSITION

Plaster/ EIFS system finish:
Dryvit (or eq.) limestone texture (to be
approved upon sample of physical
submittal) painted SW7042 Shoji White

SW 7042

Shoji White

FULL DETAILS ^

LRV: 74

RGB: 230 / 231 / 211

Hex Value: #F5EFD3

Location Number: 254 C4

Available in: Interior/Exterior

Color Collections: Living Well (drapes, Top 50 colors, California Forecase 2022 (shelved), Forest Whites & Materials (Forest White))

Color Family(s): White

SW 9592

Illusion

FULL DETAILS ^

LRV: 40

RGB: 175 / 166 / 153

Hex Value: #B0A099

Available in: Interior/Exterior

Color Collections: Emerald Designer Edition (Urban & Resounding)

Color Family(s): Neutral

Light Seawolf Beige CP

LT614-70

Painted trim & other
elements: SW 9592

Storefront glazing: fin
light seawolf beige

Railing & canopies:
fin light seawolf beige
or eq. paint (SW
9592 Illusion)



EQUITONE [linea]

Design
Unique, 3D shaped, through-colored facade material that plays with light and shadow.

Finish
The linear surface highlights the raw, inner texture of the core fiber cement material.

Expression
Every moment of the day, the changing angle of the daylight gives the facade materials a different aspect.

Thickness	Sheet Size	Nominal Weight
3mm	4' x 8' (1219 x 2438mm)	3.4kg/m ²
6mm	4' x 8' (1219 x 2438mm)	6.8kg/m ²



Equitone Linea fiber cement board
(color LT60)

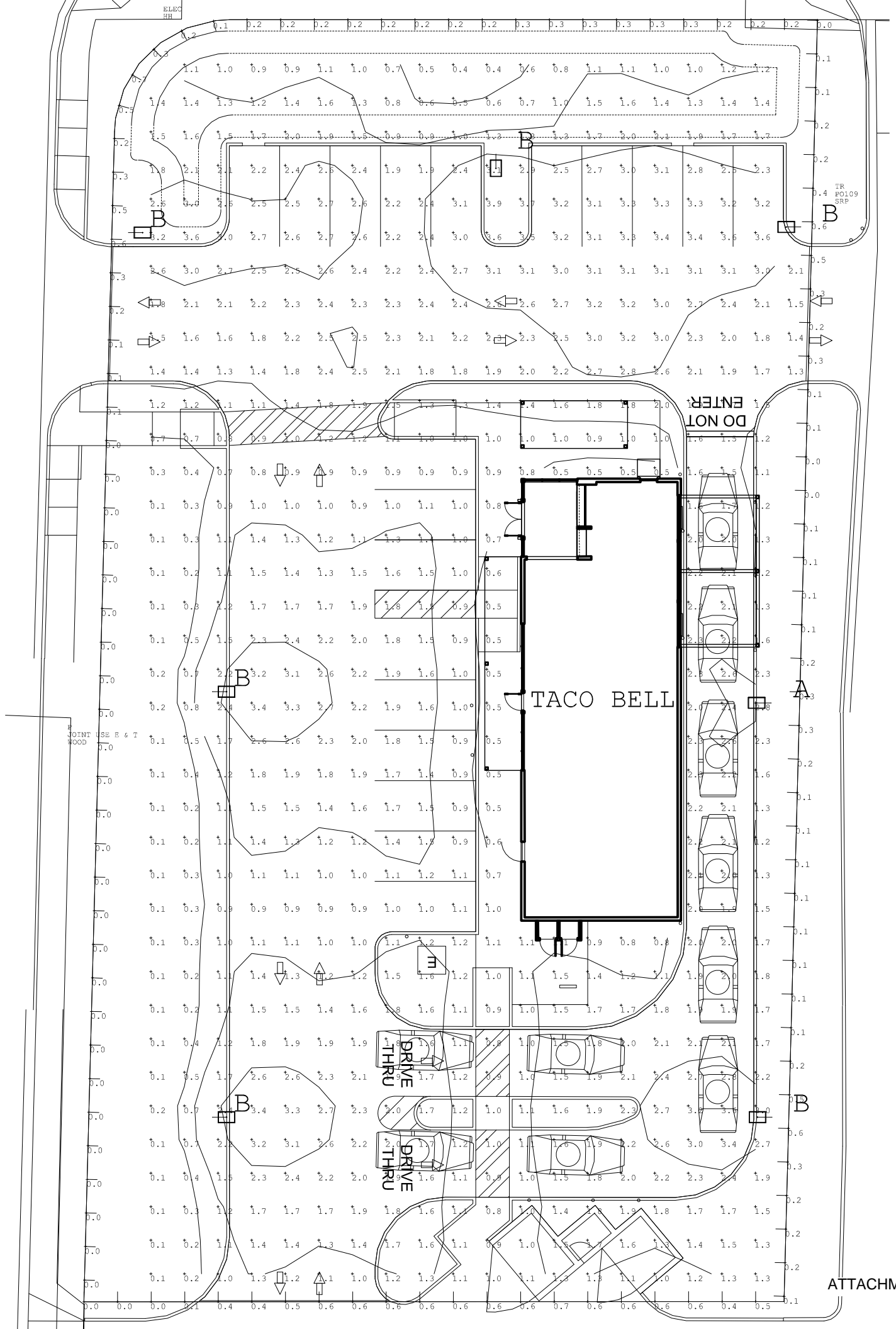
Mechanical screen
painted Illusion
SW9592

Painted plaster/EIFS system:
Shoji White SW7042

Wall art shown for color concept
only: graphic TBD; proposed art will
not show any branding/brand colors

ENTRY RENDERING







TACO BELL
7901 E. MCDOWELL RD.
SCOTTSDALE, AZ
PREPARED BY: JOHN BUJAKE
ACCUSERV LIGHTING & EQUIPMENT
877-707-7378
jbujake@accu-serv.com
JANUARY 2, 2024

Calculation Summary					
Label	Avg	Max	Min	Avg/Min	Max/Min
EXTENDED	1.63	3.9	0.1	16.30	39.00
PROP LINES VERTICAL FC @ 6' AFG	0.22	0.7	0.0	N.A.	N.A.
PARKING LOT & DRIVE-THRU SURFACE	1.97	3.6	0.8	2.46	4.50

LIGHT LEVELS ARE MAINTAINED FOOT-CANDLES, INITIAL LEVELS ARE SLIGHTLY HIGHER

Luminaire Schedule								
Symbol	Qty	Label	Arrangement	Luminaire Lumens	LLF	CCT	Luminaire Watts	Description
	1	A	SINGLE	5951	0.900	4000K	54	VP-1-160L-50-4K7-2-UNV-A-DBT-HSS-90-B / SES-17.5-40-01-A-B4-DBT
	6	B	SINGLE	7148	0.900	4000K	54	VP-1-160L-50-4K7-4F-UNV-A-DBT-HSS-90-B / SES-17.5-40-01-A-B4-DBT

NOTE: AVERAGE LIGHT LEVEL NOT TO EXCEED 2 FOOT-CANDLES
MAXIMUM LIGHT LEVEL NOT TO EXCEED 8 FOOT-CANDLES
VERTICAL ILLUMINATION 6' ABOVE PROPERTY LINES NOT TO EXCEED 0.8 FOOT-CANDLE
FIXTURE HEIGHT NOT TO EXCEED 20' A.F.G.
POLES ARE 17'-6" ON 2'-6" BASES FOR AN OVERALL FIXTURE HEIGHT OF 20'-0" A.F.G.

VIPER Area/Site

VIPER LUMINAIRE

MICROSTRIKE | STRIKE OPTICS

FEATURES

- Low profile LED area/site luminaire with a variety of IES distributions for lighting applications such as auto dealership, retail, commercial, and campus parking lots
- Featuring two different optical technologies, Strike and Micro Strike Optics, which provide the best distribution patterns for retrofit or new construction
- Rated for high vibration applications including bridges and overpasses. All sizes are rated for 1.5G
- Control options including photo control, occupancy sensing, NX Distributed Intelligence™, wiSCAPE and 7-Pin with networked controls
- New customizable lumen output feature allows for the wattage and lumen output to be customized in the factory to meet whatever specification requirements may entail
- Field interchangeable mounting provides additional flexibility after the fixture has shipped



CONTROL TECHNOLOGY

NX DISTRIBUTED™
INTELLIGENCE

wiSCAPE™

SPECIFICATIONS

CONSTRUCTION

- Die-cast housing with hidden vertical heat fins are optimal for heat dissipation while keeping a clean smooth outer surface
- Corrosion resistant, die-cast aluminum housing with 1000 hour powder coat paint finish
- External hardware is corrosion resistant

OPTICS

- Micro Strike Optics (160, 320, 480, or 720 LED counts) maximize uniformity in applications and come standard with mid-power LEDs which evenly illuminate the entire luminous surface area to provide a low glare appearance. Catalog logic found on page 2
- Strike Optics (36, 72, 108, or 162 LED counts) provide best in class distributions and maximum pole spacing in new applications with high powered LEDs. Strike optics are held in place with a polycarbonate bezel to mimic the appearance of the Micro Strike Optics so both solutions can be combined on the same application. Catalog logic found on page 3
- Both optics maximize target zone illumination with minimal losses at the house-side, reducing light trespass issues. Additional backlight control shields and house side shields can be added for further reduction of illumination behind the pole
- One-piece silicone gasket ensures a weatherproof seal
- Zero up-light at 0 degrees of tilt
- Field rotatable optics

INSTALLATION

- Mounting patterns for each arm can be found on page 11
- Optional universal mounting block for ease of installation during retrofit applications. Available as an option (ASQU) or accessory for square and round poles.
- All mounting hardware included

INSTALLATION (CONTINUED)

- Knuckle arm fitter option available for 2-3/8" OD tenon
- For products with EPA less than 1 mounted to a pole greater than 20ft, a vibration damper is recommended

ELECTRICAL

- Universal 120-277 VAC or 347-480 VAC input voltage, 50/60 Hz
- Ambient operating temperature -40°C to 40°C
- Drivers have greater than 90% power factor and less than 20% THD
- LED drivers have output power over-voltage, over-current protection and short circuit protection with auto recovery
- Field replaceable surge protection device provides 20kA protection meeting ANSI/IEEE C62.41.2 Category C High and Surge Location Category C3; Automatically takes fixture off-line for protection when device is compromised

CONTROLS

- Photo control, occupancy sensor programmable controls, and Zigbee wireless controls available for complete on/off and dimming control
- Please consult brand or sales representative when combining control and electrical options as some combinations may not operate as anticipated depending on your application
- 7-pin ANSI C136.41-2013 photocontrol receptacle option available for twist lock photocontrols or wireless control modules (control accessories sold separately)
- 0-10V Dimming Drivers are standard and dimming leads are extended out of the luminaire unless control options require connection to the dimming leads. Must specify if wiring leads are to be greater than the 6" standard

CONTROLS (CONTINUED)

- NX Distributed Intelligence™ available with in fixture wireless control module, features dimming and occupancy sensor
- wiSCAPE® available with in fixture wireless control module, features dimming and occupancy sensor. Also available in 7-pin configuration

CERTIFICATIONS

- Meets the qualifications for DLC Premium
- Listed to UL1598 and CSA C22.2#250.0-24 for wet locations and 40°C ambient temperatures
- 1.5 G rated for ANSI C136.31 high vibration applications
- Fixture is IP65 rated
- Meets IDA recommendations using 3K CCT configuration at 0 degrees of tilt
- This product qualifies as a "designated country construction material" per FAR 52.225-11 Buy American-Construction Materials under Trade Agreements effective 04/23/2020. See [Buy American Solutions](#).

WARRANTY

- 5 year warranty
- See [HLI Commercial and Industrial Outdoor Lighting Warranty](#) for additional information



KEY DATA

Lumen Range	5,000–80,000
Wattage Range	36–600
Efficacy Range (LPW)	92–155
Weight lbs. (kg)	13.7-30.9 (6.2-13.9)

ATTACHMENT 14



Q.S.
12-46

2016 GIS Orthophoto

Taco Bell

ATTACHMENT 15

5-DR-2018