

# DEVELOPMENT REVIEW BOARD REPORT



Meeting Date: September 16, 2021  
General Plan Element: *Character and Design*  
General Plan Goal: *Foster quality design that enhances Scottsdale as a unique southwestern desert community.*

## ACTION

### Peoples Hangar 5-DR-2021

Request for approval of the site plan, building elevations, landscape plan, and lighting plan for a new aircraft hangar building with approximately 10,620 square feet of building area including 3,820 square feet of office area, all on a 1.2-acre site.

## SUMMARY

### Staff Recommendation

Approve, subject to the attached stipulations (Attachment #6)

### Key Issues

- None

### Items for Consideration

- Conformance with Development Review Board Criteria – staff confirms
- Integration of Sensitive Design Principles – staff confirms
- No community input received as of the date of this report

## BACKGROUND

**Location:** 15902 N. 80<sup>th</sup> Street

**Zoning:** Industrial Park (I-1)

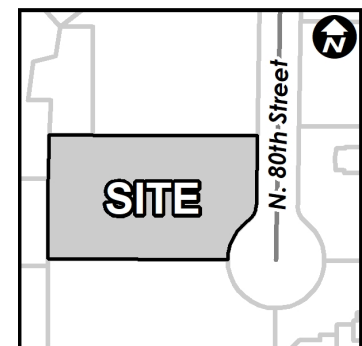
### Adjacent Uses

North: Existing one-story industrial offices, constructed in 1999

East: Existing one-story industrial offices, constructed in 2006

South: Existing one-story industrial offices and hangar, constructed in 1993

West: Existing one-story industrial offices, constructed in 2006



### Property Owner

Chris Peoples with Peoples Properties LLC

### Applicant

Larson Associates Architects

Scott Wahtola  
(920) 375-3430

### Architect/Designer

Larson Associates Architects

### Engineer

Zell Company LLC

Kenneth Zell  
623-547-2500

## DEVELOPMENT PROPOSAL

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The applicant is requesting approval of the site plan, building elevations, landscape plan, and lighting plan for a new aircraft hangar building with approximately 10,620 square feet of building area including 3,820 square feet of office area, all on a 1.2-acre site.

### Development Review Board Criteria

Staff confirms that the development proposal generally meets the applicable Development Review Board Criteria. For a detailed analysis of the Criteria, please see Attachment #4.

### Sustainability

The City of Scottsdale promotes the goal of sustainability through the incorporation of appropriate design considerations in the development of the built environment. This development proposal incorporates several design elements that align with the City’s goal of sustainability including recessed windows and doors, desert landscaping, building canopies located on the first and second floor and an architectural element that is an irregular shaped metal panel that shades the second-floor windows of the office area.

## STAFF RECOMMENDED ACTION

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Staff recommends that the Development Review Board approve the People’s Hangar development proposal per the attached stipulations, finding that the Character and Design Element of the General Plan and the Greater Airpark Character Area and Development Review Board Criteria have been met.

### RESPONSIBLE DEPARTMENTS

### STAFF CONTACTS

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**Planning and Development Services**  
Current Planning Services

Meredith Tessier  
Senior Planner  
480-312-4211    [mtessier@ScottsdaleAZ.gov](mailto:mtessier@ScottsdaleAZ.gov)

**Aviation**

Sarah Ferrara  
Aviation Planning and Outreach Coordinator  
480-3128482    Email: [sfer@scottsdaleaz.gov](mailto:sfer@scottsdaleaz.gov)

## APPROVED BY


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Meredith Tessier, Report Author

09/03/2021  
Date

  
Brad Carr, AICP, LEED-AP, Planning & Development Area Manager  
Development Review Board Liaison  
Phone: 480-312-7713    Email: [bcarr@scottsdaleaz.gov](mailto:bcarr@scottsdaleaz.gov)

9/3/2021  
Date

  
Randy Grant, Executive Director  
Planning, Economic Development, and Tourism  
Phone: 480-312-2664    Email: [rgrant@scottsdaleaz.gov](mailto:rgrant@scottsdaleaz.gov)

9/8/2021  
Date

## **ATTACHMENTS**

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1. Context Aerial
2. Close-up Aerial
3. Applicant's Narrative
4. Development Review Board Criteria Analysis
5. Development Information
6. Stipulations / Zoning Ordinance Requirements
7. Combined Context Aerial and Site Plan
8. Site Plan
9. Open Space Plan
10. Landscape Plan
11. Building Elevations (black & white)
12. Building Elevations (color)
13. Perspectives
14. Exterior Photometrics Plan
15. Exterior Lighting Cutsheets
16. Zoning Map



Context Aerial

5-DR-2021



Close-up Aerial

5-DR-2021



**People's Hangar**  
**Peoples Properties LLC**  
**15902 N. 80<sup>th</sup> Street**  
**Scottsdale AZ 82560**  
**APN 215-48-034**  
**819-PA-2020**

DRB NARRATIVE

The Owner proposes to build a hangar of approximately 10,620 s.f. to house several planes and a helicopter. (A Use Permit submittal for a Heliport is being requested concurrent to this DRB submittal.) As can be seen in the colored elevations and perspectives, the Owner desires a corporate, upscale facility to represent his flight operations. The firm intends to provide office space for their operations adjacent to and attached to the hangar. As shown on the plan, the office areas, break area, file and storage spaces along with Mechanical and Electrical areas are equal to approximately 3,820 s.f. excluding a small exterior balcony area. The office element and the hangar element are each clearly defined in the accompanying drawings. Access to the site will be provided via two curb cuts from 80<sup>th</sup> street on the east boundary of the site. This should allow safe and easy access for normal vehicles along with Refuse and Fire Apparatus. A safe pedestrian route is also included from the building to the public sidewalk. Parking is provided for the office and visitors with 14 spaces provided on grade, not including any casual parking use inside the hangar itself for vehicles when the aircraft are deployed.

The Owner would like to install an underground on-site private fuel system as part of this project. The ramp (staging) area is larger than the size of the hangar as required by the Scottsdale Airport. All mechanical equipment will be fully-screened by a large decorative parapet screening the open roof area over the second level of the office area. Equipment planned at this time includes high SEER rooftop mechanical units (RTU), a compressor and a possible backup generator. The hangar will NOT be conditioned, or evaporatively cooled, but will have large Big Ass fans.

Construction of the hangar is expected to be a pre-engineered metal building system with a CMU base wainscot. There will be stucco over rigid insulation over a metal building girt system, detailed to address the scale of the 34' hangar walls, above that. There will also be some metal accent panels up high to add articulation on the northern and southern hangar wall exteriors. The office block is lower and at an office building scale with one height protrusion above the hangar wall height to allow easy access to the roof over the second floor office area and add visual interest. The office building will be steel-framed with steel studs for exterior cavity walls and clad with raised decorative metal panels over a base stucco wall finish with reveals and joints for interest, depth, and articulation. There will be two types of hangar doors. The larger one facing the taxilane will be a painted hydraulic type door, while the smaller south facing door will be a painted bi-fold type door. Color and material selections are attached with the required color and material board in accordance with the DRB submittal requirements. Colors and materials chosen coordinate with the existing local surrounding airpark character and Sonoran Desert environment.

Civil engineering, landscape, and architectural and presentation perspectives have been developed to the preliminary level for the DRB review and included in this DRB submittal. The generally flat nature of this site has been taken into account, in the preliminary grading and drainage design along with the fact that the adjacent northern and southern properties are at different elevations. The Landscape will be new Sonoran Desert vegetation as the site is currently empty minus a few bushes along the street R.O.W. Particular attention has been paid to the north and east elevations to avoid presenting a large blank hangar wall that can be seen from the street. Deep overhangs on the north, east, and south portion of the office area provide shade and variation in planes as well as an upper level patio in this design. Both hangar doors will provide additional shade on the staging area when open. The site will require below grade retention and a drywell to meter to a regional drainage system as directed by the City. The ramp will be concrete, the parking lot asphaltic concrete and the drive approach from 80<sup>th</sup> will be concrete. Access to the ramp will be secured by a gate to maintain security for the project's airside as required by the Airport.

Site planning challenges that have been addressed at this time include fuel truck access to the ramp, refuse truck access to the dumpster enclosure, and fire apparatus access to the entire site. There will be no backing onto the street. There are currently retaining walls on both the north and south sides of the site between this parcel and the adjacent properties. Those will remain or be re-worked as required by this new project.

Applicable Development Review Board Criteria and how we are addressing them:

A1. We have designed a project that is within the design guidelines for the Sensitive Design Program, The Design Standards and Policies Manual, the Office Design Guidelines, and the general character of the surrounding Scottsdale Airport and Sonoran Desert. The project utilizes muted earth tone colors to blend in with the surrounding facilities, has partial wing-shaped elevation elements inspired by flight, has window and door faces recessed back from the exterior wall face, and also canopy and other elevation elements that offer both variances in the plane of the office area exterior walls (reducing any "box-like" effect) while also providing good deep shade and shadow. A variety of exterior materials (split faced cmu, stucco, ¾" deep stucco reveals, raised metal panels, and black anodized aluminum window frames and second floor patio railings) further enhances the elevations and integration with the local area. The office area and parking are located along the street side of the property while the hangar area is in the back towards the taxilane, with an 8'-0" high CMU security wall separating the public side of the property from the private air-side of the project. Desert Landscaping is installed between the new building and street, and code required open space has been achieved.

A2a. This site and building design will fit well within the surrounding character and existing structures and open spaces along with a seamless transition to the surrounding topography. The project utilizes muted earth tone colors to blend in with the surrounding facilities, and has partial wing-shaped elevation elements inspired by flight to coordinate with the surrounding Airport Character. A variety of materials including split faced CMU, stucco, ¾" deep stucco reveals, raised metal panels, and black anodized aluminum window frames and second floor patio railing coordinate and blend in with the surrounding area also. The desert landscape and open space along the front of the property will be a homogenous continuation of the existing desert landscaping/open space already in place on the surrounding properties at this location. The staging area along the taxilane on the backside of the site is consistent with the surrounding area and uses also. The building height and variety of wall planes is in character with the area as is the site access and circulation. The site topography blends in a smooth seamless fashion with the existing adjacent areas, properties, roadway, and taxilane, all of which are already built out.

A2.b. Excessive variety and monotonous repetition have been avoided as can be seen on the attached drawings and renderings. While there is some variety, it is done in a cohesive, coordinated fashion. Several materials, (CMU, Stucco, raised Metal Panels, and anodized Aluminum window frames and railings) work together in a unified fashion, while there is very little repetition in the building's elevation or plan layout. One large irregular "Pop-out" disrupts the "box" like office area while also providing interest, shade, and variety to the main building plane. Three separate building canopies that are all identical in nature work in a similar fashion.

A2.c. The unique climate of the Sonoran Desert has been recognized by the appropriate use of materials (CMU, Stucco, Metal Panels, and anodized Aluminum window frames and railings), colors (muted earth tones), shading elements (One large irregular metal panel "pop-out", and three (3) canopies), and desert landscaping as can be seen on the attached drawings and renderings. There is one canopy for a second floor exterior patio, one for the lower windows on the office area of the building, and one over the vehicular access on the one small area of exposed lower hangar wall along the street side of the project. The one large irregular metal panel "pop-out" element shades the second floor windows of the office area. The hangar itself will have two hangar doors that swing out to provide additional shade in that area. One will be a full swing hydraulic hangar door, while the second one will be a bi-fold door that opens outward. The hangar will not be conditioned or evaporatively cooled but will have large fans to move the air around for comfort. The open space desert landscape along the street side of the property will be a homogeneous continuation of existing desert landscape in the immediate and general area. There will be no grass or turf installed on the project.

A2.d. Not applicable.

A2.e. Not applicable.

A3. Ingress, egress, and internal traffic circulation, along with off-street parking, loading and service areas and pedestrian ways have been designed to be safe, separate, and convenient. There will be NO backing onto the street required and Fire and Refuse Access has been addressed. An ADA compliant sidewalk route from the building to the Public way has been provided. Painted lines will mark off the one location where this route crosses the parking lot drive aisle. There are two new curb-cut driveway access points being installed so that no backing up will be required by vehicles on the site. The existing sidewalk along the street will remain, and only be re-worked as required by the new driveway entries. The majority of the existing 3'-0" cmu screen wall near the street will remain "as is" to screen the new parking area. Removal of some small portions of this wall will be required to install the new curb cuts. Aircraft circulation from the taxiway to the staging area and then to the hangar is efficient, and the Airport Association has approved the use of (2) hangar doors.

A4. All mechanical equipment and utilities will be on the lower roof and screened by a decorative 5'-0" high metal panel parapet "pop-out" that is integral in design to the building, or they will be installed inside the building. The noted parapet "pop-out" is a large irregular feature inspired by "flight" that also acts a driver and unifier for the rest of the building's design.

A5. Not applicable.

A6. Not applicable.

B. Please see attached drawings in reference to this narrative.

We are looking forward to working with the City on this project, thank you.

Sincerely,

A handwritten signature in black ink, appearing to read 'Scott Wahtola', with a long, sweeping flourish extending upwards and to the right.

Scott Wahtola  
Larson Associates Architects

## **DEVELOPMENT REVIEW BOARD CRITERIA ANALYSIS**

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Per Section 1.904. of the Zoning Ordinance, in considering any application for development, the Development Review Board shall be guided by the following criteria:

1. The Board shall examine the design and theme of the application for consistency with the design and character components of the applicable guidelines, development standards, Design Standards and Policies Manual, master plans, character plan and General Plan.
  - *The applicant states that the project is designed within the design guidelines for the Sensitive Design Program, The Design Standards and Polices Manual, the Office Design Guidelines, and the general character of the surrounding Scottsdale Airpark and Sonoran Desert. The project utilizes muted earth tone colors to blend in with the surrounding facilities, has partial wing-shaped elevation elements inspired by flight, has window and door faces recessed back from the exterior wall face and canopy and other elevation elements that offer both variances in the plane of the office area exterior walls while also providing good deep shade and shadow.*
  - *Staff finds that the General Plan Land Use Element designates the property as Employment, Regional Use District within the Greater Airpark Character Area Plan (GACAP). The GACAP denotes the site as Type C development that represents medium-to-higher scale development, which supports pedestrian activity in the Greater Airpark. The Employment-Regional use designations provides flexibility for land uses, but are not limited to corporate office, region serving retail, and major medical. The Employment category permits a range of employment uses from light manufacturing to light industrial and office uses. This proposal is consistent with the Character and Design element of the General Plan, and the GACAP.*
2. The architectural character, landscaping and site design of the proposed development shall:
  - a. Promote a desirable relationship of structures to one another, to open spaces and topography, both on the site and in the surrounding neighborhood;
  - b. Avoid excessive variety and monotonous repetition;
  - c. Recognize the unique climatic and other environmental factors of this region to respond to the Sonoran Desert environment, as specified in the Sensitive Design Principles;
  - d. Conform to the recommendations and guidelines in the Environmentally Sensitive Lands (ESL) Ordinance, in the ESL Overlay District; and
  - e. Incorporate unique or characteristic architectural features, including building height, size, shape, color, texture, setback or architectural details, in the Historic Property Overlay District.
  - *The applicant states that the site and building design fit well within the surrounding character and existing structures and open spaces along with a seamless transition to the surrounding topography. The project utilized muted earth tone paint colors to blend in with the surrounding facilities and has partial wing-shaped elevations elements inspired by flight to coordinate with the Airpark Character. The unique climate of the Sonoran Desert has been recognized by the appropriate use of materials (CMU, Stucco, Metal Panels, and anodized Aluminum window frames and railings), colors (muted earth tones), shading elements, and desert landscaping.*
  - *Staff finds that the proposed material, color and finishes are consistent with the Scottsdale Sensitive Design Principles. Architectural details respond to the context of adjacent land uses including similar materials and colors.*
3. Ingress, egress, internal traffic circulation, off-street parking facilities, loading and service areas and pedestrian ways shall be designed as to promote safety and convenience.

- *The applicant states that ingress, egress and internal traffic circulation, along with off-street parking, loading and service areas and pedestrian ways have been designed to be safe, separate, and convenient. There are two new curb-cut driveway access points being installed and the existing sidewalk along the street frontage will remain.*
  - *Staff finds that the existing site is currently vacant and two new driveways are proposed along N. 80<sup>th</sup> Street. Pedestrian circulation is provided with an existing 6-foot-wide sidewalk along N. 80<sup>th</sup> Street and a new accessible path will connect pedestrian from N. 80<sup>th</sup> Street to the main entry of the building.*
4. If provided, mechanical equipment, appurtenances and utilities, and their associated screening shall be integral to the building design.
- *The applicant states that all mechanical equipment and utilities will be on the lower roof and screened by a decorative a 5'-0 high metal parapet "pop-out" that is integral in design to the building. The "pop-out" is a large irregular feature inspired by "flight" that also acts a driver and unifier for the rest of the building's design.*
  - *Staff finds that the mechanical equipment is integrated into the building design and rooftop units are fully screened by the parapet walls.*
5. Within the Downtown Area, building and site design shall:
- a. Demonstrate conformance with the Downtown Plan Urban Design & Architectural Guidelines;
  - b. Incorporate urban and architectural design that address human scale and incorporate pedestrian-oriented environment at the street level;
  - c. Reflect contemporary and historic interpretations of Sonoran Desert architectural traditions, by subdividing the overall massing into smaller elements, expressing small scale details, and recessing fenestrations;
  - d. Reflect the design features and materials of the urban neighborhoods in which the development is located; and
  - e. Incorporate enhanced design and aesthetics of building mass, height, materials and intensity with transitions between adjacent/abutting Type 1 and Type 2 Areas, and adjacent/abutting Type 2 Areas and existing development outside the Downtown Area.
- *This criterion is not applicable.*
6. The location of artwork provided in accordance with the Cultural Improvement Program or Public Art Program shall address the following criteria:
- a. Accessibility to the public;
  - b. Location near pedestrian circulation routes consistent with existing or future development or natural features;
  - c. Location near the primary pedestrian or vehicular entrance of a development;
  - d. Location in conformance with Design Standards and Policies Manual for locations affecting existing utilities, public utility easements, and vehicular sight distance requirements; and
  - e. Location in conformance to standards for public safety.
- *This criterion is not applicable.*

## DEVELOPMENT INFORMATION

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### Zoning History

In 1983, the 1.2-acre site was rezoned from Single-family Residential (R1-35) to Industrial Park (I-1). The I-1 zoning district allows a variety of light industrial and aeronautical uses.

### Community Involvement

With the submittal of the application, staff notified all property owners within 750 feet of the site. In addition, the applicant has been in communication with property owners surrounding the site. As of the publishing of this report, staff has not received any community input regarding the application.

### Context

The site is located at the end of N. 80<sup>th</sup> Street, in the northwest corner of the cul-de-sac and surrounded by other industrial development.

### Project Data

- Existing Use: Vacant, undeveloped industrial parcel
- Proposed Use: Hangar with heliport and office
- Parcel Size: 52,311 square feet / 1.37 acre (gross)  
59,647 square feet / 1.2 acre (net)
- Industrial Building Area: 10,620 square feet (Hangar)
- Other Building Area: 3,678 square feet (office)
- Total Building Area: 14,298 square feet
- Floor Area Ratio Allowed: 0.8
- Floor Area Ratio Provided: 0.29
- Building Height Allowed: 52 feet (exclusive of rooftop appurtenances)
- Building Height Proposed: 38 feet 0 inches (inclusive of rooftop appurtenances)
- Parking Required: 14 spaces
- Parking Provided: 14 spaces
- Open Space Required: 6,696 square feet / 0.15 acre
- Open Space Provided: 6,696 square feet / 0.15 acre

**Stipulations for the  
Development Review Board Application:  
Peoples Hangar  
Case Number: 5-DR-2021**

**APPLICABLE DOCUMENTS AND PLANS:**

1. Except as required by the Scottsdale Revised Code (SRC), the Design Standards and Policies Manual (DSPM), and the other stipulations herein, the site design and construction shall substantially conform to the following documents:
  - a. Architectural elements, including dimensions, materials, form, color, and texture shall be constructed to be consistent with the building elevations submitted by Larson Associates Architects, with a city staff date of 08/17/2021.
  - b. The location and configuration of all site improvements shall be consistent with the site plan submitted by Larson Associates Architects, with a city staff date of 08/17/2021.
  - c. Landscape improvements, including quantity, size, and location shall be installed to be consistent with the preliminary landscape plan submitted by Larson Associates Architects, with a city staff date of 08/17/2021.
  - d. The case drainage report submitted by Zell Company LLC and accepted in concept by the Stormwater Management Department of the Planning and Development Services.
  - e. The water basis of design report submitted by Zell Company and accepted by the Water Resources Department.

**RELEVANT CASES:**

**Ordinance**

- A. At the time of review, the applicable Zoning and Use Permit cases for the subject site were: 77-ZN-1982, 67-ZN-1982 and 6-UP-2021.

**ARCHAEOLOGICAL RESOURCES:**

**Ordinance**

- B. Any development on the property is subject to the requirements of Scottsdale Revised Code, Chapter 46, Article VI, Section 46-134 - Discoveries of archaeological resources during construction.

**ARCHITECTURAL DESIGN:**

**DRB Stipulations**

2. All exterior window glazing shall be recessed a minimum of fifty (50) percent of the wall depth, including glass windows within any tower/clerestory elements. The amount of recess shall be measured from the face of the exterior wall to the face of the glazing, exclusive of external detailing. With the final plan submittal, the developer shall provide head, jamb and sill details clearly showing the amount of recess for all window types.

3. All exterior doors shall be recessed a minimum of thirty (30) percent of the wall depth, the amount of recess shall be measured from the face of the exterior wall to the face of the glazing, exclusive of external detailing. With the final plan submittal the developer shall provide head, jamb and sill details clearly showing the amount of recess for all door types.

**SITE DESIGN:**

**DRB Stipulations**

4. All drive aisles that are fire lanes shall have a width of twenty-four (24) feet.

**LANDSCAPE DESIGN:**

**Ordinance**

- C. The property owner shall obtain approval of a Salvage/Native Plant Plan Application and obtain a permit to remove any tree.

**DRB Stipulations**

5. Prior to the issuance of any building permit for the development project, the property owner shall submit landscape improvement plans that demonstrate how the salvaged vegetation from the site will be incorporated into the design of the landscape improvements.

**EXTERIOR LIGHTING:**

**Ordinance**

- D. Any exterior luminaire with a total initial lumen output of greater than 1600 lumens shall have an integral lighting shield.
- E. Any exterior luminaire with a total initial lumen output of greater than 3050 lumens shall be directed downward and comply with the Illuminating Engineering Society of North America (IES) requirements for full cutoff.

**DRB Stipulations**

6. All exterior luminaires shall meet all IES requirements for full cutoff, and shall be aimed downward and away from property line except for sign and landscape lighting.
7. Incorporate the following parking lot and site lighting into the project's design:
  - a. The maintained average horizontal luminance level, at grade on the site, shall not exceed 2.0 foot-candles. All exterior luminaires shall be included in this calculation.
  - b. The maintained maximum horizontal luminance level, at grade on the site, shall not exceed 8.0 foot-candles. All exterior luminaires shall be included in this calculation.
  - c. The initial vertical luminance at 6-foot above grade, along the entire property line shall not exceed 0.8 foot-candles. All exterior luminaires shall be included in this calculation.
  - d. All exterior lighting shall have a color temperature of 3,000 Kelvin or less.
  - e. The total lumen per luminaire shall not exceed 24,000 lumens.

**AIRPORT:**

**DRB Stipulations**

8. With the construction document submittal, the property owner shall submit an FAA FORM 7460-1 to the FAA for any proposed structures, appurtenances and/or individual construction cranes that penetrate the 100:1 slope. The elevation of the highest point of those structures, including the appurtenances, must be detailed on the FAA form 7460-1 submittal. The property owner shall provide Aviation staff a copy of the FAA determination letter prior to building permit issuance.

**STREET INFRASTRUCTURE:**

**Ordinance**

- F. All street infrastructure improvements shall be constructed in accordance with this City of Scottsdale (COS) Supplement to MAG Specifications and Details, and the Design Standards and Policies Manual.
- G. Prior to the issuance of any building permit for the development project, the property owner shall submit and obtain approval of civil construction documents to construct all improvements called for and demonstrated within most recent case submitted plans.

**DRB Stipulations**

9. At time of final plans, the property owner shall provide a new streetlight located at the northeast corner of the site. The pole shall be in accordance with the City of Scottsdale (COS) standard detail 2171-1/2171-2, a 25-foot-tall galvanized pole, with the 6-foot long luminaire arm and a LED fixture.

**WATER AND WASTEWATER:**

**Ordinance**

- H. All development within Industrial Park (I-1) and General Commercial (C-4) zoned districts, and all development where there are chemicals used that require pretreatment shall provide a monitoring manhole. Use for all Industrial Park (I-1) and General Commercial (C-4) industrially zoned properties, and where chemical usage is apparent.

**DRAINAGE AND FLOOD CONTROL:**

**DRB Stipulations**

10. With the civil construction document submittal, the property owner shall submit a final drainage report that demonstrates consistency with the DSPM and the case drainage report accepted in concept by the Stormwater Manager or designee.

**EASEMENTS DEDICATIONS:**

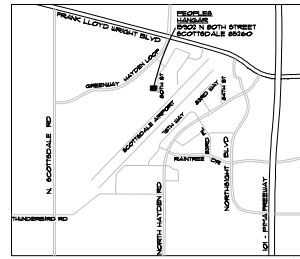
**DRB Stipulations**

11. Prior to the issuance of any building permit for the development project, the property owner shall dedicate the following easements to the City of Scottsdale on a final plat or map of dedication:
  - a. A sight distance easement, in conformance with figures 5.3-26 and 5.3-27 of Section 5.3 of the DSPM, where a sight distance triangle(s) cross on to the property.
  - b. A continuous Public Non-Motorized Access Easement to the City of Scottsdale to contain any portion of the public sidewalk in locations where the sidewalk crosses on to the lot.
  - c. Any easements needed over on-site infrastructure as governed by the DSPM.



# SITE PLAN KEYNOTES

- 1) NEW 6 FOOT WIDE (MIN) CONCRETE SIDEWALK - SEE 1/8/P2.0 4 CIVIL
- 2) NEW CONCRETE DRIVEWAY PER COS STANDARD DETAIL, CL. TYPE 2256 W/ 8"U BYPASS - SEE CIVIL DRAWINGS
- 3) NEW ASPHALT PARKING LOT PAVING - SEE CIVIL DRAWINGS
- 4) NEW 8'-0" CHU SECURITY SITE WALL - SEE ELEVATIONS 4 20/8/P2.5
- 5) NEW 8'-0" SECURITY ACCESS GATE W/ KNOX BOX AND STROBE ACCESS SYSTEM PER SCOTTSDALE FIRE DEPT. STANDARDS - SEE 1/18/8/P2.4
- 6) EXISTING 10'-0" (APPROX) CHU SECURITY/RETAINING WALL TO REMAIN OR BE RE-BUILT AS REQUIRED
- 7) NEW CONCRETE AIRCRAFT APRON - SEE CIVIL DRAWINGS
- 8) NOT USED
- 9) EXISTING 3'-0" CHU SCREEN WALL TO REMAIN - DEMO PORTIONS AS REQ'D FOR NEW CONSTRUCTION - SEE SITE DEMO PLAN WALL ELEVATION 15/8/P2.4
- 10) NEW CHU DUMPSTER ENCLOSURE PER COS STD. DETAIL 2146-1 WITH GATES ON THE FRONT TO MATCH STAGING AREA GATE - SEE 1/8/P2.2 4 14/8/P2.3
- 11) VEHICULAR OVERHEAD DOOR ACCESS TO HANGAR
- 12) EDGE OF HANGAR DOOR ABOVE WHEN FULLY OPEN
- 13) LOCATION FOR (2) BICYCLE PARKING STALLS - ONE DBL SIDED LOOP ON A 4' CONC. PAD - SEE 2/16/8/P2.8 AND CIVIL DRAWINGS FOR CONC. PAD
- 14) LOCATION FOR REMOTE FDC - SEE CIVIL DRAWINGS
- 15) ROUGH LOCATION FOR UNDERGROUND RETENTION - SEE CIVIL DRAWINGS
- 16) 6" DIAM. CONCRETE FILLED STEEL BOLLARD - SEE DETAIL 3/8/P2.0
- 17) CONC. PARKING BUMPER - SEE DETAIL 8/8/P2.0
- 18) 12,000 GALLON UNDERGROUND AIRCRAFT FUEL TANK - SEE VENDOR DRAWINGS - UNDER SEPARATE SUBMITTAL 4 PERMIT
- 19) FUEL DISPENSER IN-GROUND BELOW GRADE EQUIPMENT VAULT - SEE VENDOR DRAWINGS - UNDER SEPARATE SUBMITTAL 4 PERMIT
- 20) ACCESSIBLE RAMP ALONG ACCESSIBLE ROUTE - SEE DETAILS 6 4/8/P2.1
- 21) EXISTING 8'-0" HIGH CHU WALL TO REMAIN OR BE RE-BUILT AS REQ'D.
- 22) NEW FIRE HYDRANT - SEE CIVIL PLANS
- 23) LOCATION OF FIRE RISER ROOM
- 24) LOCATION OF SEA. ROOM WITH SEA. INSIDE OF THE BUILDING
- 25) EXISTING FIRE HYDRANT
- 26) NEW 15 FOOT HIGH SITE LIGHT POLE - SEE ELECTRICAL 4 25/8/P2.1
- 27) LOCATION OF NEW IN-GROUND SAND/OIL INTERCEPTOR - SEE PLUMBING AND CIVIL PLANS
- 28) PROPOSED LOCATION OF NEW TRANSFORMER ON CONCRETE PAD
- 29) EXISTING TV/DATA UTILITY PEDESTAL BOX TO REMAIN
- 30) EXISTING IN-GROUND ELEC/DATA UTILITY BOX TO REMAIN (OR RELOCATE PER UTILITY)
- 31) NEW 25 FOOT HIGH STREET LIGHT IN ROW - SEE 2/18/P2.6 FOR CITY OF SCOTTSDALE STANDARD DETAILS 2/11-1 AND 2/11-2 FOR THE GALVANIZED LIGHT POLE.
- 32) ACCESSIBLE PARKING STALL - SEE 10/8/P2.1



VICINITY MAP  
SCALE: N.T.S.



# PROJECT DATA

## PROJECT DESCRIPTION

THE DEVELOPMENT OF AN AIRCRAFT HANGAR WITH SUPPORTING OFFICE AND STORAGE SPACES ON A CURRENTLY EMPTY LOT AT THE CITY OF SCOTTSDALE MUNICIPAL AIRPORT

**PROJECT ADDRESSES:** 15902 N. BOTH STREET  
SCOTTSDALE, ARIZONA 85260

**PROJECT OWNER:** PEOPLES' PROPERTIES LLC  
15966 N. BOTH STREET  
SCOTTSDALE AZ 85260  
(SEND ALL CORRESPONDENCE THROUGH THE ARCHITECT)

**PROJECT ARCHITECT:** LARSON ASSOCIATES ARCHITECTS, INC.  
3807 NORTH 24TH STREET 100  
PHOENIX, ARIZONA 85016  
602-955-9929  
602-954-4790 FAX  
EMAIL: aash@larsen-architects.com

**BOOK-MAP-PARCEL:** APN 25-48-034

**CURRENT ZONING:** I-1 (SCOTTSDALE MUNICIPAL AIRPORT)

**NET SITE AREA:** 52,311 SF. (12 AC)

**GROSS SITE AREA:** 53,841 SF. (131 AC)

**LOT COVERAGE:** 43.3%

**OCCUPANCY GROUP:** 8-1 - AIRCRAFT HANGAR (PER IBC SECTION 312)  
B - OFFICE SPACES (PER IBC SECTION 304)  
-NEW CONSTRUCTION

**HANGAR GROUP TYPE:** I-1 HOUR SEPARATION IS REQUIRED BETWEEN OCCUPANCIES B AND 8-1 (HANGAR AND OFFICE AREAS) PER IBC 412.4.2 AND IFC 914.8.3.2, AND NFPA 409 8.2.2

**CONSTRUCTION TYPE:** GROUP III HANGAR PER IFC 914.8 AND NFPA 409

**FLOOR AREAS PROVIDED:** II-B, FULLY SPRINKLED

**1ST FLOOR:**  
OFFICE AREA (OCC B): 2,100 SF.  
HANGAR AREA (OCC 8-1): 10,620 SF.  
TOTAL 1st FLOOR: 12,720 SF.

**2ND FLOOR OFFICE AREA (B):** 1578 SF.  
**2ND FLOOR EXTERIOR PATIO (B):** 380 SF.  
TOTAL 2ND FLOOR: 1958 SF.

**3RD FLOOR:** STORAGE/TECH. (OCC B): 326 SF.

**TOTAL BUILDING FLOOR AREA:** 15,004 SF.

**OPEN STAGING AREA:** 12,864 SF.

**PARKING REQUIRED:** INTERIOR OFFICE AREA: 4004 / 300 + 1335 SPACES  
HANGAR AND SUPPORT AREA: 0 SPACES REQUIRED  
TOTAL SPACES REQUIRED = 14 SPACES

**SPACES PROVIDED = 14 + OK**

**PARKING PROVIDED:**  
ACCESSIBLE SPACES REQUIRED: 14 SPACES X 4% = 1 SPACE  
ACCESSIBLE SPACES PROVIDED: 1 SPACE PROVIDED + OK

**BICYCLE PARKING REQUIRED:** 14/20 = 2 SPACES

**BICYCLE PARKING PROVIDED:** 2 = OK

**FRONTAGE YARDS REQUIRED:** WEST (TAXILANE): 50'-0"  
EAST (BOTH STREET): 20'-0"

**YARD PROVIDED:** WEST: 50'-0"  
EAST: 20'-0"

**ON GRADE PAVING AREA:** 9,368 SF.

**PARKING LOT LANDSCAPING:** REQUIRED: 9,368 SF. + 13,752 SF.  
PROVIDED: 13,814 SF. + OK.

**OPEN FRONT SPACE:** REQUIRED: 20'-0" X PROPERTY LENGTH  
PROVIDED: 22'-0" 1/2 MIN. X PROPERTY LENGTH

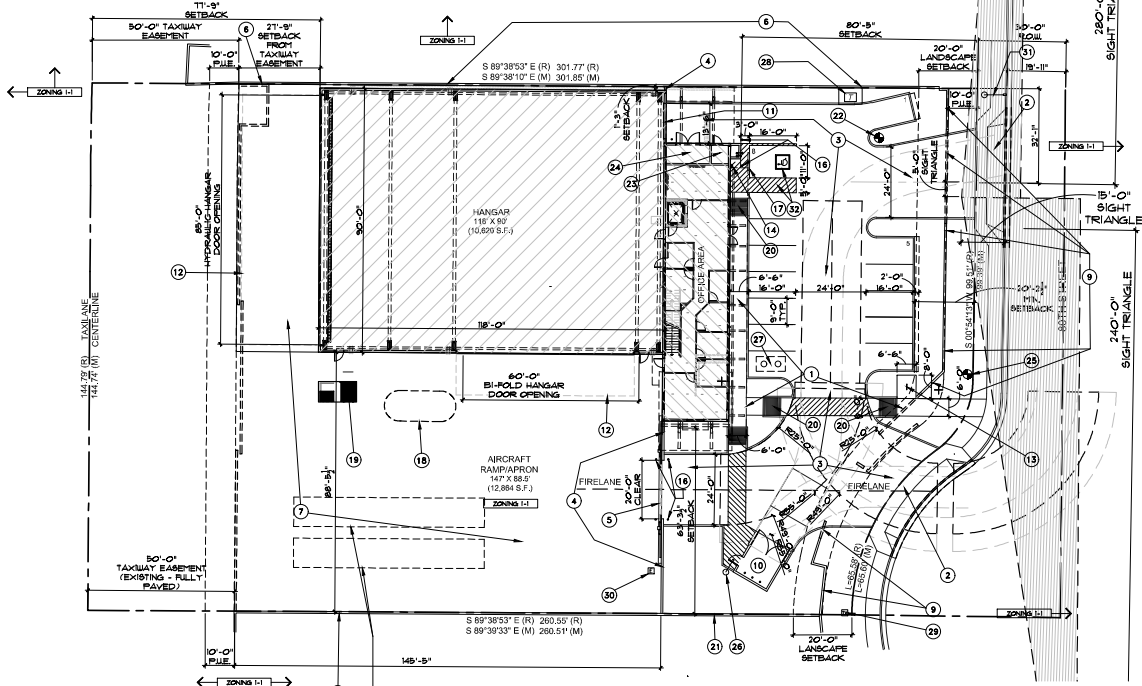
**OPEN SPACE REQUIRED:** FIRST 12 FEET: 30 x 52.311 = 5231 SF.  
AREAS ABOVE 12' SUB-TOTAL: 26 x 0.023 x 52.311 = 4,080.3 SF.  
SUB-TOTAL: 9,311.4 SF.  
STAGING AREA REDUCTION: 5,231 (50%) = 2,615.6 SF.  
TOTAL REQUIRED: 4,080.3 + 2,615.6 = 6,695.9 OR 6,696 SF.

**TOTAL OPEN SPACE PROVIDED:** OPEN FRONT SPACE: 4,109 SF.  
OTHER OPEN SPACE: 2,586 SF.  
TOTAL: 6,695 SF. + OK

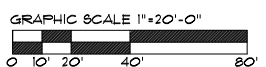
**FLOOR AREA RATIO:** PER CITY OF SCOTTSDALE ZONING ORDINANCE SECTION 51804.4  
NET LOT AREA = 52,311 SF. (12 ACRES)  
FAIR (ALLOWED) = N/A + 80  
FAIR (ALLOWED) = 52,311 + 80 = 41,849 SF.  
FAIR (PROVIDED) = 10,620 SF.  
OFFICES: 4,004 SF.  
2ND FLOOR EXTERIOR PATIO: 380 SF.  
TOTAL GROSS FLOOR AREA: 15,004 SF. + OK  
FAIR (ALLOWED) AS PERCENT = 80%  
FAIR (PROVIDED) AS PERCENT = 28.68% + OK

**AIRCRAFT STIPULATION:**  
1. ANY FUTURE FUEL DISPENSING AND STORAGE BY SEPARATE SUBMITTAL AND PERMIT MUST HAVE SPECIFIC DOCUMENTED AIRPORT REVIEW AND APPROVAL TO CONFIRM COMPLIANCE WITH AIRPORT RULES AND REGULATIONS.

CITY OF SCOTTSDALE APPROVAL BLOCK



SITE PLAN  
SCALE: 1" = 20'-0"



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PEOPLES' HANGAR  
15902 N. BOTH ST.  
SCOTTSDALE, AZ  
APN: 25-48-034



EXPIRES: 6/30/2024

Drawing Name: SITE PLAN







Revisions

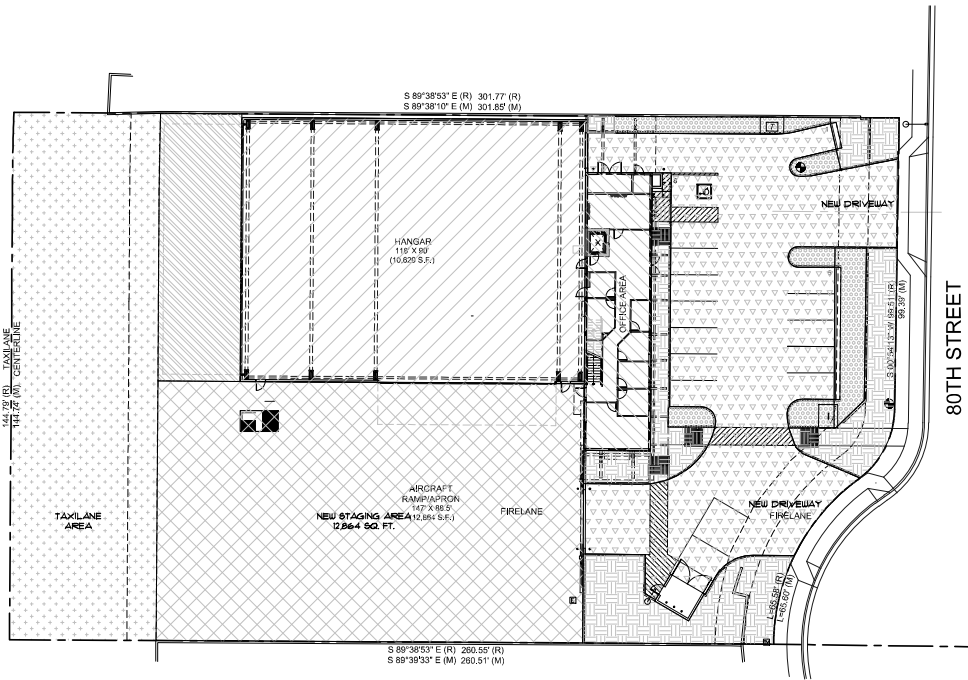
Date: 05/11/2020

Project Number: 2020.020

Drawing No. S.P.10

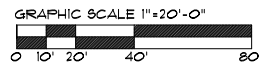
**OPEN SPACE LEGEND**

-  PARKING LOT PAVED AREA
-  OPEN FRONTAL SPACE
-  OPEN SPACE OTHER THAN FRONTAL
-  ON-SITE AIRCRAFT STAGING AREA (HANGAR TO HOLD-SHORT LINE)
-  CITY OF SCOTTSDALE TAXI WAY
-  PARKING AREA LANDSCAPING



**SITE PLAN - OPEN SPACE WORKSHEET**

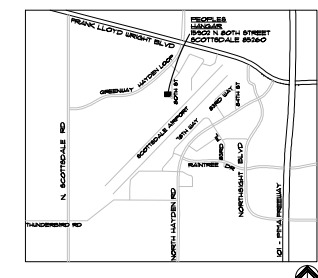
SCALE: 1"=20'-0"



AIRCRAFT STIPULATION:  
IF ANY FUTURE FUEL DISPENSING AND STORAGE BY SEPARATE SUBMITTAL AND PERMIT MUST HAVE SPECIFIC DOCUMENTED AIRPORT REVIEW AND APPROVAL TO VERIFY COMPLIANCE WITH AIRPORT RULES AND REGULATIONS.

**OPEN SPACE CALCULATIONS**

SITE AREA:	52,311 S.F. (1.2 AC)
ON-SITE AIRCRAFT STAGING AREA REQUIRED - HANGAR TO TAXILANE	GREATER THAN INTERIOR AIRCRAFT HANGAR AREA
ON-SITE STAGING AREA PROVIDED:	12,864 S.F. WHICH IS GREATER THAN 10,620 S.F. INTERIOR HANGAR AREA
PARKING LOT PAVED AREA:	9,160 S.F.
PARKING LOT LANDSCAPING REQUIRED:	9,160.05 + 1,374 S.F.
PROVIDED:	1,381 S.F. = OK
OPEN FRONT SPACE REQUIRED:	20'-0" X PROPERTY LENGTH
PROVIDED:	22'-0" MIN. X PROPERTY LENGTH
OPEN SPACE REQUIRED:	
FIRST 12' FEET:	10 X 52,311 + 5,231 S.F.
AREAS ABOVE 12'	26 X 203 X 52,311 + 4,080.3 S.F.
SUB-TOTAL:	5,314 S.F.
STAGING AREA REDUCTION:	5,231 (50) + 2,615.6 S.F.
TOTAL REQUIRED:	4,080.3 + 2,615.6 + 6,655.3 OR 6,656 S.F.
TOTAL OPEN SPACE PROVIDED:	
OPEN FRONT SPACE:	4,711 S.F.
OTHER OPEN SPACE:	2,554 S.F.
TOTAL:	6,725 S.F. = OK
<b>FLOOR AREA RATIO:</b>	
PER CITY OF SCOTTSDALE ZONING ORDINANCE SECTION 5.180.4.A	
NET LOT AREA = 52,311 S.F. (1.2 ACRES)	
FAR (ALLOWED) = NLA + .80	
FAR (ALLOWED) = 52,311 + .80 = 41,849 S.F.	
FAR (PROVIDED) =	
HANGAR: 10,620 S.F.	
OFFICES: 4,004 S.F.	
2ND FLOOR EXTERIOR PATIO: 380 S.F.	
TOTAL GROSS FLOOR AREA: 15,004 S.F. = OK	
FAR (ALLOWED) 48 PERCENT = 80%	
FAR (PROVIDED) 48 PERCENT = 28.66% = OK	





VICINITY MAP  
SCALE: N/A  
CITY OF SCOTTSDALE APPROVAL BLOCK

**Laison**

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**PEOPLES' HANGAR**  
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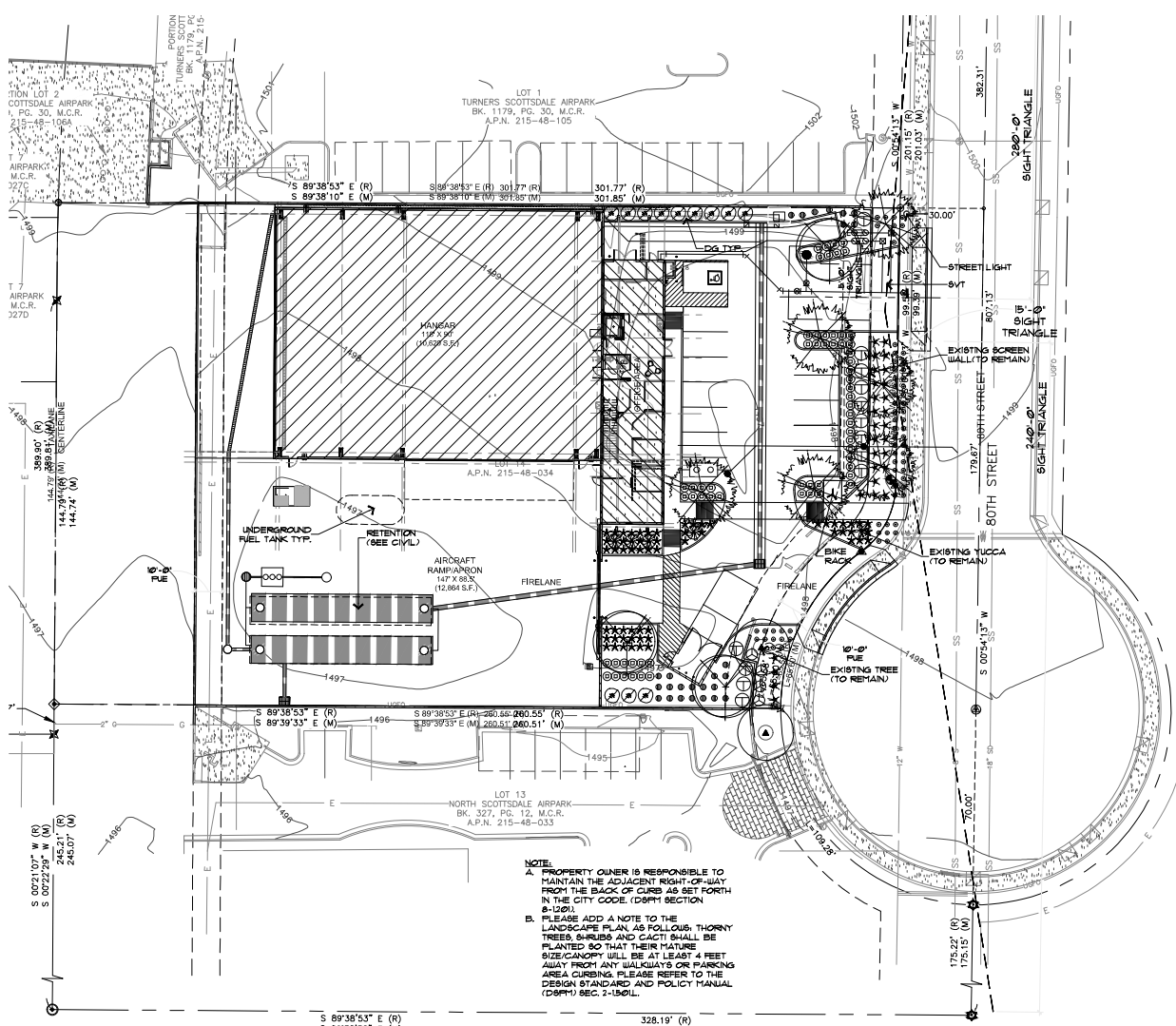
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Revisions

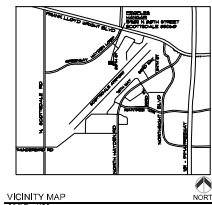

Date: 05/11/2020

Project Number: 2020.020

Drawing No: **SP.12**



**NOTE:**  
 A. PROPERTY OWNER IS RESPONSIBLE TO MAINTAIN THE ADJACENT RIGHT-OF-WAY FROM THE BACK OF CURB 45 FEET FORTH IN THE CITY CODE. (D&F) SECTION 8-1291.  
 B. PLEASE ADD A NOTE TO THE LANDSCAPE PLAN, AS FOLLOWS: THORNY TREES, SHRUBS AND CACTI SHALL BE PLANTED SO THAT THEIR MATURE SIZE/CANOPY WILL BE AT LEAST 4 FEET AWAY FROM ANY WALKWAYS OR PARKING AREA CURBING. PLEASE REFER TO THE DESIGN STANDARD AND POLICY MANUAL (D&F) SEC. 2-1501L.



### PLANT SCHEDULE

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QTY	COMMENTS
<b>EXISTING TREES/CACTI</b>					
(Symbol)	Existing Tree (To Remain)				
(Symbol)	Existing Yucca (To Remain)				
<b>TREES</b>					
(Symbol)	<i>Coccoloba mexicana</i>	Mexican Bird of Paradise	24" box/ 1' cal.	3	Multi-Trunk Dense Canopy
(Symbol)	<i>Olneya tesota</i>	Ironwood	36" box/ 2" cal.	6	Multi-Trunk Dense Canopy
<b>ACCENTS</b>					
(Symbol)	<i>Aloe 'Blue Elf'</i>	'Blue Elf' Aloe	1 Gal.	68	As Per Plan
(Symbol)	<i>Hesperaloe 'Brakelights'</i>	'Brakelights' Red Yucca	5 Gal.	28	As Per Plan
(Symbol)	<i>Yucca pallida</i>	Pale Leaf Yucca	5 Gal.	57	As Per Plan
(Symbol)	<i>Yucca elata</i>	Scopines Yucca	24" Box	4	As Per Plan
<b>SHRUBS</b>					
(Symbol)	<i>Bougainvillea 'Torch Glow'</i>	'Torch Glow' Bougainvillea	5 Gal.	4	As Per Plan
(Symbol)	<i>Callisander 'Little John'</i>	'Little John' Bottlebrush	5 Gal.	63	As Per Plan
(Symbol)	<i>Myrica communis 'Boetica'</i>	Tulwood Myrtle	5 Gal.	12	As Per Plan
(Symbol)	<i>Taxonia 'Orange Jubilee'</i>	'Orange Jubilee'	5 Gal.	13	As Per Plan
(Symbol)	<i>Eremophila 'Outback Sunrise'</i>	'Outback Sunrise' Emu	1 Gal.	26	As Per Plan
<b>MISCELLANEOUS</b>					
(Symbol)	Decomposed Granite, Color: 'Mahogany Brown' Size: 'Natural' 3" Minus New 2" depth in all planting areas diets				

**AREA CALCULATIONS**

ON-SITE LANDSCAPE AREA - OFFSITE LANDSCAPE AREA:	4396 SQ FT
432 SQ FT	
PARKING LOT LANDSCAPE REQUIRED:	9,168x15 + 13752 SF.
PROVIDED:	1381 SF.

### SCOTTSDALE LANDSCAPE NOTES

- AREAS OF DECOMPOSED GRANITE WITHOUT PLANT MATERIAL/GROUND COVERS SHALL NOT EXCEED DIMENSIONS OF MORE THAN 1 FEET IN ANY ONE DIRECTION MEASURED BETWEEN PLANT CANOPIES AND/OR COVERAGE. PROJECTS LOCATED WITHIN ELBO OR HD AREAS SHALL USE SALVAGED DESERT SURFACE SOIL IN LIEU OF DECOMPOSED GRANITE.
- A MINIMUM OF 50 PERCENT OF THE PROVIDED TREES SHALL BE MATURE TREES, PURSUANT TO THE CITY OF SCOTTSDALE'S ZONING ORDINANCE ARTICLE X, SECTION 89301, AS DEFINED IN THE CITY OF SCOTTSDALE'S ZONING ORDINANCE ARTICLE III, SECTION 83009.
- A SINGLE TRUNK TREE'S CALIPER SIZE THAT IS TO BE EQUAL TO OR LESS THAN 4-INCHES, SHALL BE DETERMINED BY UTILIZING THE SMALLEST DIAMETER OF THE TRUNK 6-INCHES ABOVE FINISHED GRADE ADJACENT TO THE TRUNK. A TREE'S CALIPER SIZE FOR SINGLE TRUNK TREES THAT ARE TO HAVE A DIAMETER GREATER THAN 4-INCHES SHALL BE DETERMINED BY UTILIZING THE SMALLEST DIAMETER OF THE TRUNK 6-INCHES ABOVE FINISHED GRADE ADJACENT TO THE TRUNK. A MULTIPLE TRUNK TREE'S CALIPER SIZE IS MEASURED AT 6-INCHES ABOVE THE LOCATION THAT THE TRUNK SPLIT'S ORIGINATES, OR 6-INCHES ABOVE FINISHED GRADE IF ALL TRUNKS ORIGINATE FROM THE SOIL.
- AREA WITHIN THE SIGHT DISTANCE TRIANGLES IS TO BE CLEAR OF LANDSCAPING, SIGNS, OR OTHER VISIBILITY OBSTRUCTIONS WITH A HEIGHT GREATER THAN 2 FEET. TREES WITHIN THE SAFETY TRIANGLE SHALL HAVE A CANOPY THAT BEGINS AT 1 FEET IN HEIGHT UPON INSTALLATION. ALL HEIGHTS ARE MEASURED FROM NEAREST STREET LINE ELEVATION.
- RETENTION/DETENTION BASINS SHALL BE CONSTRUCTED SOLELY FROM THE APPROVED CIVIL PLANS. ANY ALTERATION OF THIS APPROVED DESIGN (ADDITIONAL FILL, BOLLARDS, ETC.) SHALL REQUIRE ADDITIONAL FINAL PLANS STAFF REVIEW AND APPROVAL.
- ALL RIGHTS-OF-WAY ADJACENT TO THIS PROJECT SHALL BE LANDSCAPED AND MAINTAINED BY THE PROPERTY OWNER.
- PRIOR TO THE ESTABLISHMENT OF WATER SERVICE, NON-RESIDENTIAL PROJECTS WITH AN ESTIMATED ANNUAL WATER DEMAND OF TEN (10) ACRES-FEET OR MORE SHALL SUBMIT A CONSERVATION PLAN IN CONFORMANCE WITH SECTIONS 49-245 THROUGH 49-248 OF THE CITY CODE TO THE WATER CONSERVATION OFFICE.
- TURF SHALL BE LIMITED TO THE MAXIMUM AREA SPECIFIED IN SECTIONS 49-245 THROUGH 49-248 OF THE CITY CODE AND SHALL BE SHOWN ON LANDSCAPE PLANS SUBMITTED AT THE TIME OF FINAL PLANS.
- NO LIGHTING IS APPROVED WITH THE SUBMITTAL.
- THE LANDSCAPE SPECIFICATION SECTION(S) OF THESE PLANS HAVE NOT BEEN REVIEWED AND SHALL NOT BE PART OF THE CITY OF SCOTTSDALE'S APPROVAL.
- ALL SIGNS REQUIRE SEPARATE PERMITS AND APPROVALS.
- NEW LANDSCAPING INCLUDING SALVAGED PLANT MATERIAL, AND LANDSCAPING INDICATED TO REMAIN, WHICH IS DESTROYED, DAMAGED, OR EXPIRES DURING CONSTRUCTION SHALL BE REPLACED WITH LIKE SIZE, KIND, AND QUANTITY PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY. LETTERS OF ACCEPTANCE TO THE SATISFACTION OF THE INSPECTION SERVICES STAFF.
- ALL REVEGETATED NAOS SHALL BE WATERED FOR 3 YEARS, AT THE END OF 3 YEARS, THE IRRIGATION SYSTEMS TO THE REVEGETATED NAOS SHALL BE PERMANENTLY DISCONNECTED.
- NO IRRIGATION SHALL BE PROVIDED TO UNDISTURBED NATURAL AREA OPEN SPACE (NAOS) AREAS.
- PROVIDE 8% SLOPE AWAY FROM WALK OR CURB FOR 5'-0" ALONG ALL STREETS.
- SETBACK ALL SPRAY AND SPRAY TYPE IRRIGATION HEADS 1'-0" FROM BACK OF CURB OR SIDEWALK TO REDUCE OVERSPRAY.



Collaborative V Design Studio Inc.  
 7716 East 1st Ave., Suite 103  
 Scottsdale, Arizona 85251  
 office: 480-347-0990  
 fax: 480-658-5012



Landscape Improvement Plan  
**People's Hangar**  
 15902 N 80th Street, Scottsdale, AZ

DESIGNED BY:	AH
DRAWN BY:	AH
CHECKED BY:	AH/MD
DATE:	01/29/21
REVISION:	06/29/21 Comments

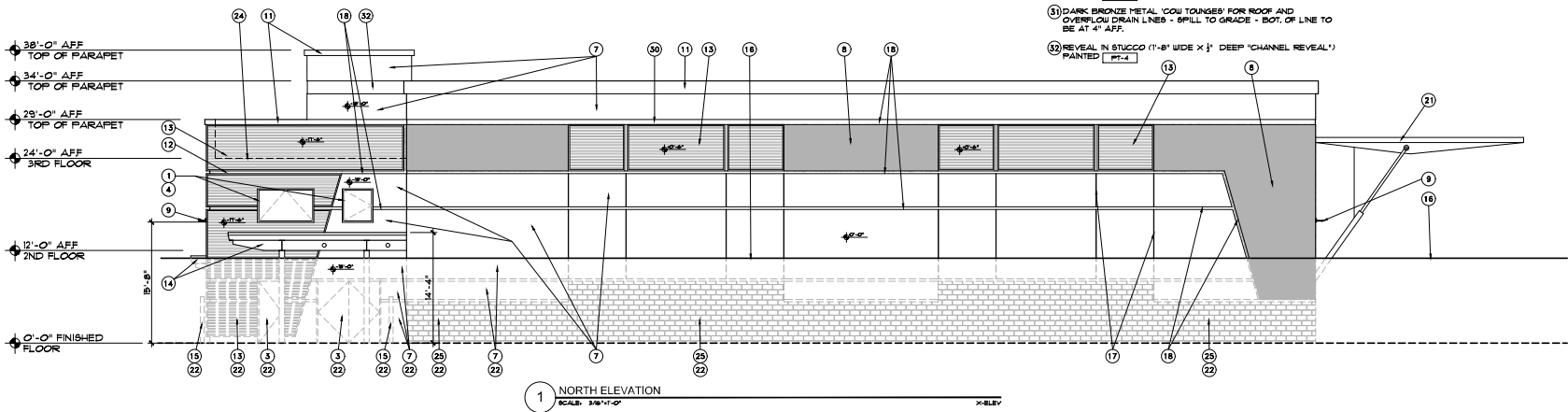
Planting Plan  
**L1.0**  
 1 of 1  
 05.019.2021/PLD  
 8/28/2021

**EXTERIOR FINISH LEGEND**

MATERIALS	NAME	MODEL	COLOR	NOTES
PT-1	SHERWIN WILLIAMS	SU - EXTERIOR FLAT	SU 101 'DORIAN GRAY'	EXTERIOR PAINT, LRV = 38; STUCCO FIELD COLOR
PT-2	SHERWIN WILLIAMS	SU - EXTERIOR FLAT	SU 108 'DOVETAIL'	EXTERIOR PAINT, LRV = 36; STUCCO ACCENT COLOR
PT-3	SHERWIN WILLIAMS	SU - EXTERIOR FLAT	SU 109 'QUANTILE GRAY'	EXTERIOR PAINT, LRV = 71; STUCCO REVEAL COLOR
PT-4	SHERWIN WILLIAMS	SU - EXTERIOR GLOSS	SU 109S 'IRON ORE'	EXTERIOR PAINT, LRV = 63; METAL CANOPIES, STRUCTURE & SUPPORTS, PARAPET CAP, ETC.
WINDOW FRAMES	OLD CASTLE	-	BLACK ANODIZED	OFFSET 2x6 FRAMES UNLESS NOTED OTHERWISE (GLASS OFFSET TO INTERIOR - SEE DETAILS)
OFFICE AREA EXTERIOR GLASS	GUARDIAN GLASS	TINTED - 1" LOW E"	ROYAL BLUE 40 TINT	1" INSULATED STANDARD (TUD 1/4" PANELED WITH 1/2" INSULATION GAP)
EXTERIOR STUCCO	-	-	COLOR PER ELEVATIONS	WESTERN ONE COAT STUCCO WITH 'VERY SMOOTH LIGHT SAND' FINISH
CHU-1 (SPLIT FACED CONC. BLOCK)	-	SPLIT FACED PEPPERCORN	SPLIT FACED PEPPERCORN	SPLIT FACED ON ALL EXTERIOR EXPOSED SIDES
MP-1 (METAL SIDING PANELS)	ATAS	-	ATAS IN CHAMPAGNE	HORIZONTAL METAL SIDING W/ MATCHING CORNER ANGLES/EDGES
ALUMINUM CABLE RAIL SYSTEM	-	-	BLACK ANODIZED	MANUFACTURER'S STANDARD BLACK ANODIZED ALUMINUM FINISH

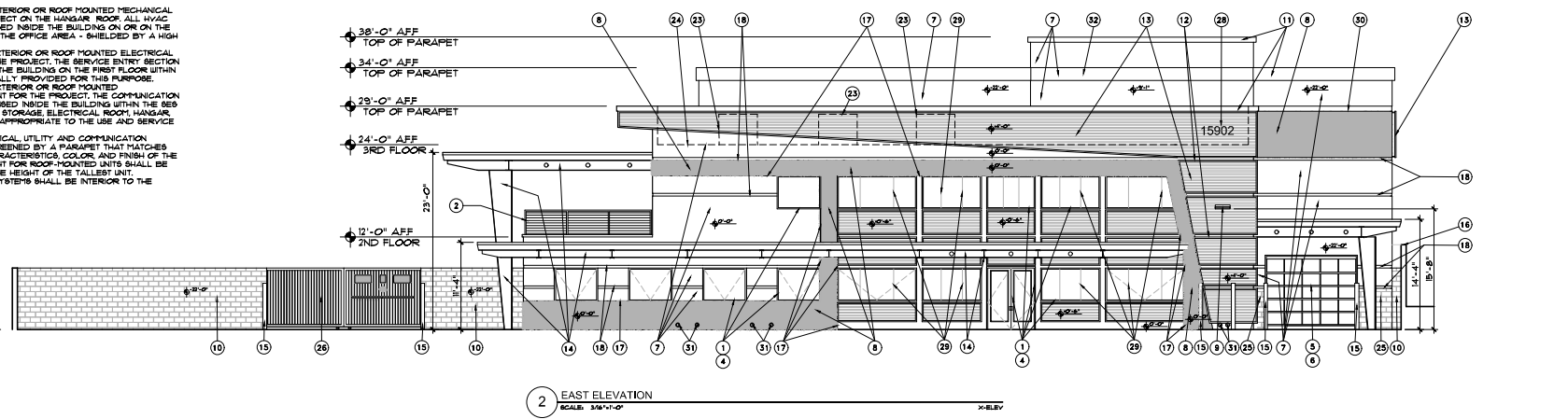
**ELEVATION KEYNOTES**

- NOTE: NOT ALL KEYNOTES MAY BE USED ON THIS SHEET
- BLACK ANODIZED ALUMINUM WINDOW & DOOR FRAMES
  - BLACK ANODIZED ALUMINUM POST AND CABLE RAILING SYSTEM
  - HOLLOW METAL DOOR & DOOR FRAME TO BE PAINTED ACCENT COLOR [PT-3]
  - OFFICE AND ENTRY LOBBY AREA GLAZING TO BE GUARDIAN GLASS - DUAL PANE LOW E "BLUE" GLASS
  - VEHICULAR OVERHEAD DOOR TO HANGAR - GLAZING TO BE GUARDIAN GLASS - DUAL PANE LOW E "THIGHT" GLASS
  - METAL FRAME AND PANELS OF VEHICULAR OVERHEAD DOOR TO HANGAR TO BE BLACK ANODIZED ALUMINUM
  - STUCCO SYSTEM - PAINTED - FIELD COLOR PAINT [PT-1]
  - STUCCO SYSTEM - PAINTED - ACCENT COLOR PAINT [PT-2]
  - EXTERIOR LIGHTING FIXTURE - BLACK FINISH - SEE FIXTURE CUT SHEETS AND PHOTOMETRIC PLANS
  - SPLIT FACED CHU SITE WALL TO MATCH HANGAR WAINSCOT [CHU-1]
  - METAL PARAPET CAP - PAINTED [PT-4]
  - 4" WIDE SHADOW REVEAL IN RAISED METAL PANEL SYSTEM - SEE DETAIL [MP-1]
  - RAISED METAL SIDING SYSTEM [MP-1] WITH SUPPORTS PAINTED [PT-4] WHERE EXPOSED
  - GALVANIZED METAL CANOPY AND FRAMING - PAINTED [PT-4]
  - CONCRETE FILLED METAL BOLLARDS - PAINTED [PT-4]
  - TOP OF EXISTING CHU SITE-RETAINING WALL ALONG PROP. LINE
  - REVEAL IN STUCCO (1/2" WIDE X 1/2" DEEP "V" REVEAL)
  - REVEAL IN STUCCO (4" WIDE X 1/2" DEEP "CHANNEL REVEAL") PAINTED [PT-3]
  - NOT USED
  - BI-FOLD HANGAR DOOR - PAINTED [PT-2] OR CLOSE COMPATIBLE MANUFACTURER'S COLOR
  - HYDRAULIC HANGAR DOOR - PAINTED [PT-2] OR CLOSE COMPATIBLE MANUFACTURER'S COLOR
  - DASHED LINES INDICATE NEW BUILDING CONSTRUCTION UP CLOSE BEHIND EXISTING CHU SITE WALL ON PROPERTY LINE
  - ROOF TOP MECHANICAL UNITS ON ROOF - HIDDEN BEHIND BUILDING PARAPET
  - LINE OF ROOF BEHIND PARAPET
  - SPLIT FACED CHU SITE WALL TO MATCH SITE WALL [CHU-1]
  - METAL CENTER SPLIT ROLLING GATE - PAINTED [PT-4] SEE DETAIL [MP-2]
  - SECURITY VISION PANEL IN EXIT DOOR - SEE DOOR SCHEDULE AND DOOR TYPES FOR MORE INFORMATION ON VISION PANEL IN PARTICULAR DOORS
  - 4" ADDRESS NUMBERS - MUST BE A HIGH CONTRAST COLOR TO SURROUNDING MATERIALS AND MUST BE HALO ILLUMINATED
  - BUTT GLAZING PANELS IN THIS WINDOW FRAME
  - REVEAL IN STUCCO (8" WIDE X 1/2" DEEP "CHANNEL REVEAL") PAINTED [PT-3]
  - DARK BRONZE METAL 'YOU TOUNGERS' FOR ROOF AND OVERFLOW DRAIN LINES - SPILL TO GRADE - BOT. OF LINE TO BE AT 4" AFF.
  - REVEAL IN STUCCO (1"-8" WIDE X 1/2" DEEP "CHANNEL REVEAL") PAINTED [PT-4]



**NOTES:**

- THERE SHALL BE NO EXTERIOR OR ROOF MOUNTED MECHANICAL EQUIPMENT FOR THE PROJECT ON THE HANGAR ROOF. ALL HVAC EQUIPMENT IS TO BE HOUSED INSIDE THE BUILDING ON OR ON THE SECOND FLOOR OF THE OFFICE AREA - SHIELDED BY A HIGH PARAPET.
- THERE SHALL BE NO EXTERIOR OR ROOF MOUNTED ELECTRICAL UTILITY EQUIPMENT FOR THE PROJECT. THE SERVICE ENTRY SECTION (SES) IS HOUSED INSIDE THE BUILDING ON THE FIRST FLOOR WITHIN THE SES ROOM, SPECIFICALLY PROVIDED FOR THIS PURPOSE.
- THERE SHALL BE NO EXTERIOR OR ROOF MOUNTED COMMUNICATION EQUIPMENT FOR THE PROJECT. THE COMMUNICATION EQUIPMENT SHALL BE HOUSED INSIDE THE BUILDING WITHIN THE SES ROOM, JANITOR'S CLOSET, STORAGE, ELECTRICAL ROOM, HANGAR, OR FIRE RISER ROOM AS APPROPRIATE TO THE USE AND SERVICE LOCATION.
- ALL EXTERIOR MECHANICAL UTILITY AND COMMUNICATION EQUIPMENT SHALL BE SCREENED BY A PARAPET THAT MATCHES THE ARCHITECTURAL CHARACTERISTICS, COLOR AND FINISH OF THE BUILDING. PARAPET HEIGHT FOR ROOF-MOUNTED UNITS SHALL BE EQUAL TO OR EXCEED THE HEIGHT OF THE TALLEST UNIT.
- ALL ROOF DRAINAGE SYSTEMS SHALL BE INTERIOR TO THE BUILDING.



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**PEOPLES' HANGAR**  
 15902 N. BETH ST.  
 SCOTTSDALE, AZ  
 APN: 215-48-034



EXPIRES: 6/30/2024

Drawing Name:  
 EXTERIOR ELEVATIONS

Revisions

Date: 05/11/2020

Project Number: 2000020

Drawing No.

A2.0

REVISIONS  
 6/28/2021

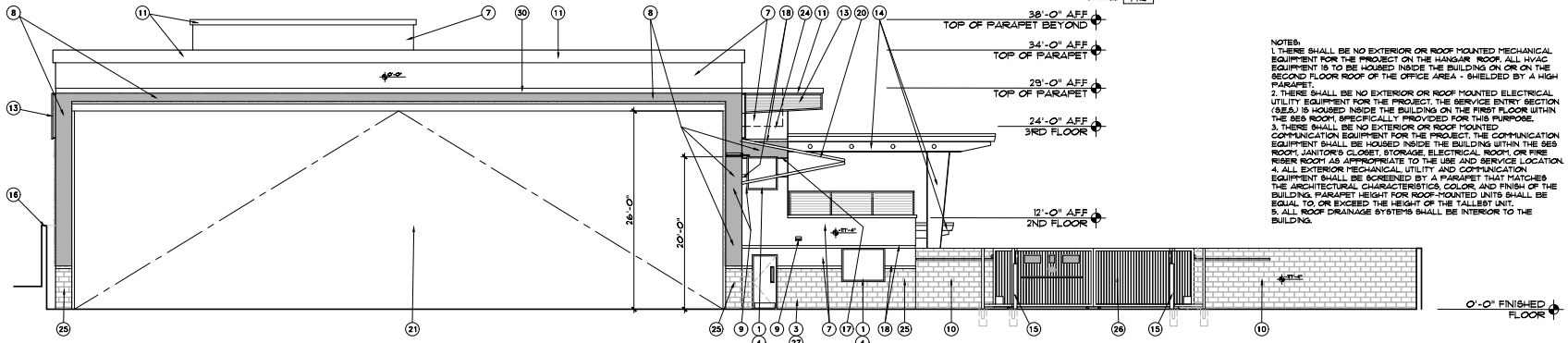
**EXTERIOR FINISH LEGEND**

MATERIALS	MANUF.	MODEL	COLOR	NOTES
PT-1	SHERWIN WILLIAMS	SW - EXTERIOR FLAT	SW 1011 'DORIAN GRAY'	EXTERIOR PAINT; LRV = 39; STUCCO FIELD COLOR
PT-2	SHERWIN WILLIAMS	SW - EXTERIOR FLAT	SW 1018 'DOVETAIL'	EXTERIOR PAINT; LRV = 36; STUCCO ACCENT COLOR
PT-3	SHERWIN WILLIAMS	SW - EXTERIOR FLAT	SW 1016 'SAINTELET GRAY'	EXTERIOR PAINT; LRV = 11; STUCCO REVEAL COLOR
PT-4	SHERWIN WILLIAMS	SW - EXTERIOR GLOSS	SW 1069 'IRON ORE'	EXTERIOR PAINT; LRV = 63; METAL CANOPIES, STRUCTURE & SUPPORTS, PARAPET CAP, ETC.
WINDOW FRAMES	OLD CASTLE	-	BLACK ANODIZED	OFFSET 2/8" FRAMES UNLESS NOTED OTHERWISE (GLASS OFFSET TO INTERIOR - SEE DETAILS)
OFFICE AREA EXTERIOR GLASS	GUARDIAN GLASS	TINTED - 1" LOW 'E'	ROYAL BLUE 40 TINT	1" INSULATED STANDARD (TSD) 1/4" PANELED WITH 1/2" INSULATION GAP
EXTERIOR STUCCO	-	-	COLOR PER ELEVATIONS	WESTERN ONE COAT STUCCO WITH 'VERY SMOOTH LIGHT SAND' FINISH
CH-1: SPLIT FACED CONC. BLOCK	-	-	SPLIT FACED PEPPERCORN	SPLIT FACED ON ALL EXTERIOR EXPOSED SIDES
MP-1 (METAL SIDING PANELS)	ATAS	-	ATAS 31 CHAMPAQUE	HORIZONTAL METAL SIDING W/ MATCHING CORNER ANGLE EDGES
ALUMINUM CABLE RAIL SYSTEM	-	-	BLACK ANODIZED	MANUFACTURER'S STANDARD BLACK ANODIZED ALUMINUM FINISH

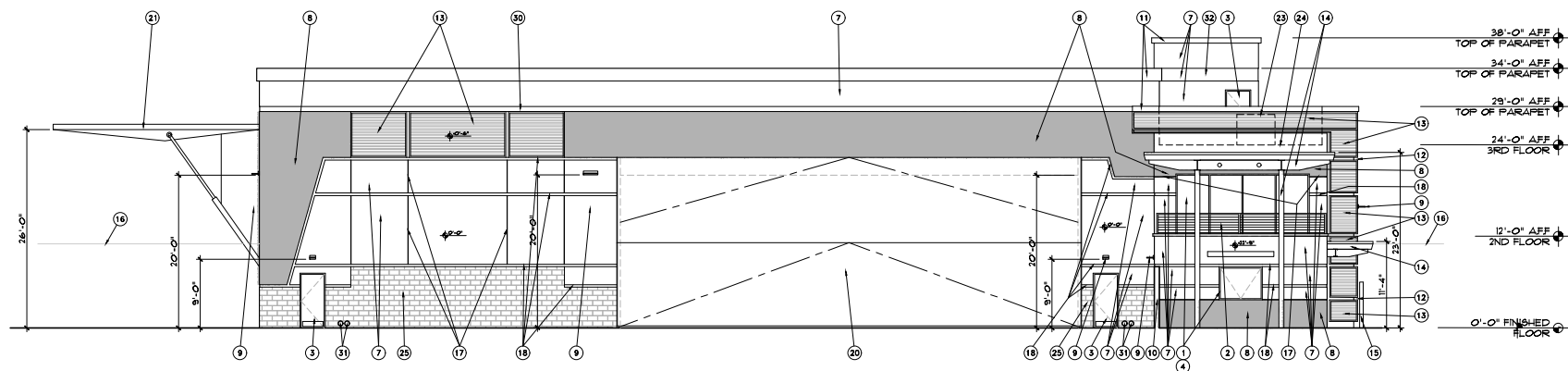
**ELEVATION KEYNOTES**

NOTE: NOT ALL KEYNOTES MAY BE USED ON THIS SHEET

- BLACK ANODIZED ALUMINUM WINDOW & DOOR FRAMES
- BLACK ANODIZED ALUMINUM POST AND CABLE RAILING SYSTEM
- HOLLOW METAL DOOR & DOOR FRAME TO BE PAINTED ACCENT COLOR [PT-3]
- LOBBY AND ENTRY LOBBY AREA GLAZING TO BE GUARDIAN GLASS - DUAL PANE LOW 'E' BLUE GLASS
- VEHICULAR OVERHEAD DOOR TO HANGAR - GLAZING TO BE GUARDIAN GLASS - DUAL PANE LOW 'E' MIDNIGHT GLASS
- METAL FRAME AND PANELS OF VEHICULAR OVERHEAD DOOR TO HANGAR TO BE BLACK ANODIZED ALUMINUM
- STUCCO SYSTEM - PAINTED - FIELD COLOR PAINT [PT-1]
- STUCCO SYSTEM - PAINTED - ACCENT COLOR PAINT [PT-2]
- EXTERIOR LIGHTING FIXTURE - BLACK FINISH - SEE FIXTURE CUT SHEETS AND PHOTOMETRIC PLANS
- SPLIT FACED CHU SITE WALL TO MATCH HANGAR WANSBLOT [CH-1]
- METAL PARAPET CAP - PAINTED [PT-4]
- 4" WIDE SHADOW REVEAL IN RAISED METAL PANEL SYSTEM - SEE DETAIL
- RAISED METAL SIDING SYSTEM [MP-1] WITH SUPPORTS PAINTED [PT-2] WHERE EXPOSED
- GALVANIZED METAL CANOPY AND FRAMING - PAINTED [PT-4]
- CONCRETE FILLED METAL BOLLARDS - PAINTED [PT-4]
- TOP OF EXISTING CHU SITE/RETAINING WALL ALONG PROP. LINE
- REVEAL IN STUCCO (1/2" WIDE X 1/2" DEEP 'V' REVEAL)
- REVEAL IN STUCCO (4" WIDE X 1/2" DEEP 'CHANNEL REVEAL') PAINTED [PT-3]
- NOT USED
- SHOULD HANGAR DOOR - PAINTED [PT-3] OR CLOSE COMPATIBLE MANUFACTURER'S COLOR
- HYDRAULIC HANGAR DOOR - PAINTED [PT-3] OR CLOSE COMPATIBLE MANUFACTURER'S COLOR
- DASHED LINES INDICATE NEW BUILDING CONSTRUCTION (P) OR CLOSE BEHIND EXISTING CHU SITE WALL ON PROPERTY LINE
- ROOF TOP MECHANICAL UNITS ON ROOF - HIDDEN BEHIND BUILDING PARAPET
- LINE OF ROOF BEHIND PARAPET
- SPLIT FACED CHU WANSBLOT TO MATCH SITE WALL [CH-1]
- METAL CENTER SPLIT ROLLING GATE - PAINTED [PT-4] (SEE DETAIL /SPJ)
- SECURITY VISION PANEL IN EXIT DOOR - SEE DOOR SCHEDULE AND DOOR TYPES FOR MORE INFORMATION ON VISION PANEL IN PARTICULAR DOORS
- ADDRESS NUMBERS - MUST BE A HIGH CONTRAST COLOR TO SURROUNDING MATERIALS AND MUST BE HALO ILLUMINATED
- BUTT GLAZING PANELS IN THIS WINDOW FRAME
- REVEAL IN STUCCO (8" WIDE X 1/2" DEEP 'CHANNEL REVEAL') PAINTED [PT-3]
- DARK BRONZE METAL 'DOO TONGUES' FOR ROOF AND OVERHANG DRAIN LINES - SPILL TO GRADE - BOT. OF LINE TO BE AT 4" AFF.
- REVEAL IN STUCCO (1-8" WIDE X 1/2" DEEP 'CHANNEL REVEAL') PAINTED [PT-4]



4 WEST ELEVATION  
SCALE: 3/8"=1'-0"



3 SOUTH ELEVATION  
SCALE: 3/8"=1'-0"

NOTES:  
 1. THERE SHALL BE NO EXTERIOR OR ROOF MOUNTED MECHANICAL EQUIPMENT FOR THE PROJECT ON THE HANGAR ROOF. ALL HVAC EQUIPMENT IS TO BE HOUSED INSIDE THE BUILDING ON OR ON THE SECOND FLOOR ROOF OF THE OFFICE AREA - SHIELDED BY A HIGH PARAPET.  
 2. THERE SHALL BE NO EXTERIOR OR ROOF MOUNTED ELECTRICAL UTILITY EQUIPMENT FOR THE PROJECT. THE SERVICE ENTRY SECTION (SES) IS HOUSED INSIDE THE BUILDING ON THE FIRST FLOOR WITHIN THE SES ROOM, SPECIFICALLY PROVIDED FOR THIS PURPOSE.  
 3. THERE SHALL BE NO EXTERIOR OR ROOF MOUNTED COMMUNICATION EQUIPMENT FOR THE PROJECT. THE COMMUNICATION EQUIPMENT SHALL BE HOUSED INSIDE THE BUILDING WITHIN THE SES ROOM, JANITOR'S CLOSET, STORAGE, ELECTRICAL ROOM OR FIRE RISER ROOM AS APPROPRIATE TO THE USE AND SERVICE LOCATION.  
 4. ALL EXTERIOR MECHANICAL UTILITY AND COMMUNICATION EQUIPMENT SHALL BE SCREENED BY A PARAPET THAT MATCHES THE ARCHITECTURAL CHARACTERISTICS, COLOR, AND FINISH OF THE BUILDING. PARAPET HEIGHT FOR ROOF-MOUNTED UNITS SHALL BE EQUAL TO OR EXCEED THE HEIGHT OF THE TALLEST UNIT.  
 5. ALL ROOF DRAINAGE SYSTEMS SHALL BE INTERIOR TO THE BUILDING.

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PEOPLES' HANGAR  
 15902 N. BETH ST.  
 SCOTTSDALE, AZ  
 APN: 215-48-034



EXPIRES: 6/30/2024

Drawing Name:  
 EXTERIOR ELEVATIONS

Revisions

Date: 05/11/2020

Project Number: 2020.020

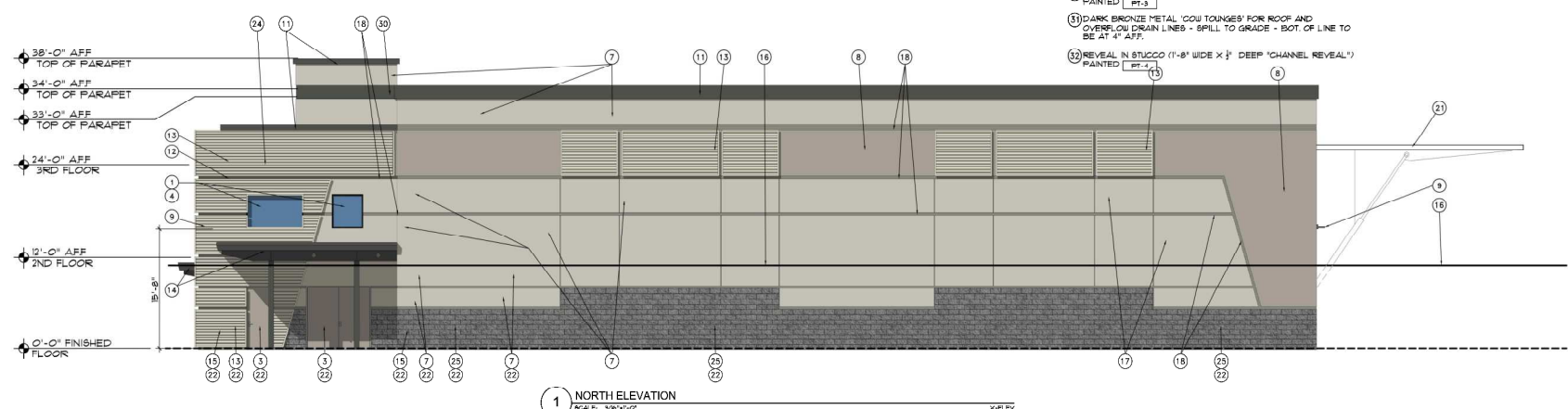
Drawing No.

A2.1

EXTERIOR FINISH LEGEND				
MATERIALS	MANUF.	MODEL	COLOR	NOTES
PT-1	SHERWIN WILLIAMS	SU - EXTERIOR FLAT	SU 101 "DORIAN GRAY"	EXTERIOR PAINT, LRV = 38. STUCCO FIELD COLOR
PT-2	SHERWIN WILLIAMS	SU - EXTERIOR FLAT	SU 108 "DOVETAIL"	EXTERIOR PAINT, LRV = 38. STUCCO ACCENT COLOR
PT-3	SHERWIN WILLIAMS	SU - EXTERIOR FLAT	SU 028 "QUANTEL GRAY"	EXTERIOR PAINT, LRV = 17. STUCCO REVEAL COLOR
PT-4	SHERWIN WILLIAMS	SU - EXTERIOR GLASS	SU 1068 "IRON ORE"	EXTERIOR PAINT, LRV = 6.8. METAL CANOPY STRUCTURE & SUPPORTS, PARAPET CAP, ETC.
WINDOW FRAMES	OLD CASTLE		BLACK ANODIZED	OFFSET 3/4" FRAMES UNLESS NOTED ON BRUSH (GLASS OFFSET TO INTERIOR - SEE DETAILS)
OFFICE AREA EXTERIOR GLASS	GUARDIAN GLASS	TINTED - 1" LOW E"	ROYAL BLUE 40 TINT	1" INSULATED STANDARD (T50 1/4" PANE) WITH 1/2" INSULATION GAP
EXTERIOR STUCCO			COLOR PER ELEVATIONS	WESTERN ONE COAT STUCCO WITH VERY SMOOTH LIGHT SAND FINISH
CH-1 (SPLIT FACED CONC. BLOCK)		SPLIT FACED PEPPERCORN		SPLIT FACED ON ALL EXTERIOR EXPOSED SURFS
MF-1 (METAL SIDING PANELS)	ATA8		ATA8 3" CHAMFER	HORIZONTAL METAL SIDING W/ MATCHING CORNER ANGLES/EDGES
ALUMINUM CABLE RAIL SYSTEM			BLACK ANODIZED	MANUFACTURER'S STANDARD BLACK ANODIZED ALUMINUM FINISH

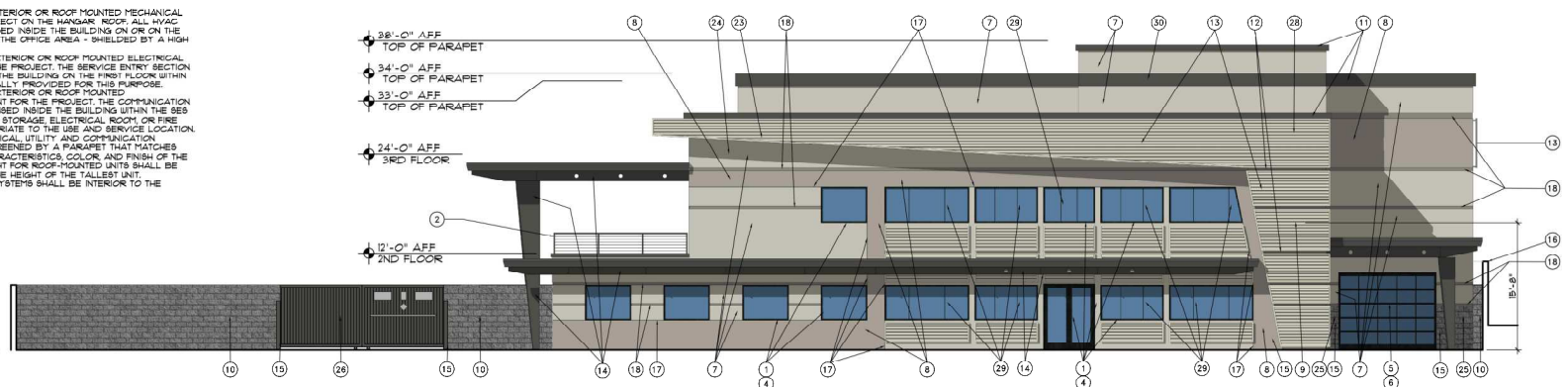
**ELEVATION KEYNOTES**  
NOTE: NOT ALL KEYNOTES MAY BE USED ON THIS SHEET

- BLACK ANODIZED ALUMINUM WINDOW & DOOR FRAMES
- BLACK ANODIZED ALUMINUM POST AND CABLE RAILING SYSTEM
- HOLLOW METAL DOOR & DOOR FRAME TO BE PAINTED ACCENT COLOR [PT-2]
- OFFICE AND ENTRY LOBBY AREA GLAZING TO BE GUARDIAN GLASS - DUAL PANE LOW E "BLUE" GLASS
- VEHICULAR OVERHEAD DOOR TO HANGAR - GLAZING TO BE GUARDIAN GLASS - DUAL PANE LOW E "THIRTY" GLASS
- METAL FRAMES AND PANELS OF VEHICULAR OVERHEAD DOOR TO HANGAR TO BE BLACK ANODIZED ALUMINUM
- STUCCO SYSTEM - PAINTED - FIELD COLOR PAINT [PT-1]
- STUCCO SYSTEM - PAINTED - ACCENT COLOR PAINT [PT-2]
- EXTERIOR LIGHTING FIXTURE - BLACK FINISH - SEE FIXTURE CUT SHEETS AND PHOTO MTRIC PLANS
- SPLIT FACED CMU SITE WALL TO MATCH HANGAR WAINSCOT [CH-1]
- METAL PARAPET CAP - PAINTED [PT-4]
- 4" WIDE SHADOW REVEAL IN RAISED METAL PANEL SYSTEM - SEE DETAIL
- RAISED METAL SIDING SYSTEM [MF-1] WITH SUPPORTS PAINTED [PT-4] WHERE EXPOSED
- GALVANIZED METAL CANOPY AND FRAMING - PAINTED [PT-4]
- CONCRETE FILLED METAL BOLLARDS - PAINTED [PT-4]
- TOP OF EXISTING CMU SITE/RETAINING WALL ALONG PROP. LINE
- REVEAL IN STUCCO (1/2" WIDE X 1/2" DEEP "V" REVEAL)
- REVEAL IN STUCCO (4" WIDE X 1/2" DEEP "CHANNEL REVEAL") PAINTED [PT-3]
- NOT USED
- BIFOLD HANGAR DOOR - PAINTED [PT-2] OR CLOSE COMPATIBLE MANUFACTURER'S COLOR
- HYDRAULIC HANGAR DOOR - PAINTED [PT-2] OR CLOSE COMPATIBLE MANUFACTURER'S COLOR
- DASHED LINES INDICATE NEW BUILDING CONSTRUCTION UP CLOSE BEHIND EXISTING CMU SITE WALL ON PROPERTY LINE
- ROOF TOP MECHANICAL UNITS ON ROOF - HIDDEN BEHIND BUILDING PARAPET
- LINE OF ROOF BEHIND PARAPET
- SPLIT FACED CMU WAINSCOT TO MATCH SITE WALL [CH-1]
- METAL CENTER SPLIT ROLLING GATE - PAINTED [PT-4] SEE DETAIL [CH-1]
- SECURITY VISION PANEL IN EXIT DOOR - SEE DOOR SCHEDULE AND DOOR TYPES FOR MORE INFORMATION ON VISION PANEL IN PARTICULAR DOORS
- ALUMINUM NUTS/BOLTS - FINISH A HIGH CONTRAST COLOR TO SURROUNDING MATERIALS AND MUST BE HALO ILLUMINATED
- BUTT GLAZING PANELS IN THIS WINDOW FRAME
- REVEAL IN STUCCO (8" WIDE X 1/2" DEEP "CHANNEL REVEAL") PAINTED [PT-3]
- DARK BRONZE METAL "COU TONGUES" FOR ROOF AND OVERFLOW DRAIN LINES - SPILL TO GRADE - BOT. OF LINE TO BE AT 4" AFF.
- REVEAL IN STUCCO (1"-8" WIDE X 1/2" DEEP "CHANNEL REVEAL") PAINTED [PT-3]



**1 NORTH ELEVATION**  
SCALE: 3/8"=1'-0"  
X-ELEV

- NOTES:**
- THERE SHALL BE NO EXTERIOR OR ROOF MOUNTED MECHANICAL EQUIPMENT FOR THE PROJECT ON THE HANGAR. ROOF ALL HVAC EQUIPMENT IS TO BE HOUSED INSIDE THE BUILDING ON OR ON THE SECOND FLOOR ROOF OR THE OFFICE AREA - SHIELDED BY A HIGH PARAPET.
  - THERE SHALL BE NO EXTERIOR OR ROOF MOUNTED ELECTRICAL UTILITY EQUIPMENT FOR THE PROJECT. THE SERVICE ENTRY SECTION (SES) IS HOUSED INSIDE THE BUILDING ON THE FIRST FLOOR WITHIN THE SES ROOM, SPECIFICALLY PROVIDED FOR THIS PURPOSE.
  - THERE SHALL BE NO EXTERIOR OR ROOF MOUNTED COMMUNICATION EQUIPMENT FOR THE PROJECT. THE COMMUNICATION EQUIPMENT SHALL BE HOUSED INSIDE THE BUILDING WITHIN THE SES ROOM, JANITOR'S CLOSET, STORAGE ELECTRICAL ROOM OR FIRE RISER ROOM AS APPROPRIATE TO THE USE AND SERVICE LOCATION.
  - ALL EXTERIOR MECHANICAL UTILITY AND COMMUNICATION EQUIPMENT SHALL BE SCREENED BY A PARAPET THAT MATCHES THE ARCHITECTURAL CHARACTERISTICS, COLOR AND FINISH OF THE BUILDING. PARAPET HEIGHT FOR ROOF-MOUNTED UNITS SHALL BE EQUAL TO OR EXCEED THE HEIGHT OF THE TALLEST UNIT.
  - ALL ROOF DRAINAGE SYSTEMS SHALL BE INTERIOR TO THE BUILDING.



**2 EAST ELEVATION**  
SCALE: 3/8"=1'-0"  
X-ELEV

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**PEOPLES' HANGAR**  
15902 N. BETH ST.  
SCOTTSDALE, AZ  
APN: 215-48-034



EXPIRES: 6/30/2024  
Drawing Name:  
EXTERIOR ELEVATIONS

Revisions

Date: 05/11/2020

Project Number:  
2020.020

Drawing No.

A2.0c

25. APR 2020 10:50  
8/28/2021

**EXTERIOR FINISH LEGEND**

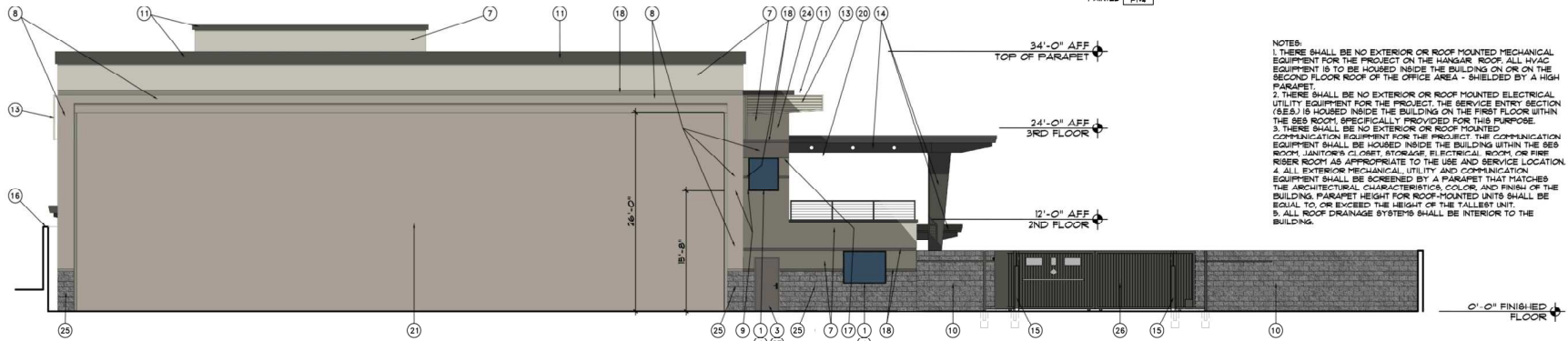
MATERIALS	MANF.	MODEL	COLOR	NOTES
PT-1	SHERWIN WILLIAMS	SU - EXTERIOR FLAT	SU 101, 'DORIAN GRAY'	EXTERIOR PAINT; LRV = 39; STUCCO FIELD COLOR
PT-2	SHERWIN WILLIAMS	SU - EXTERIOR FLAT	SU 1018, 'DOVETAIL'	EXTERIOR PAINT; LRV = 26; STUCCO ACCENT COLOR
PT-3	SHERWIN WILLIAMS	SU - EXTERIOR FLAT	SU 1018, 'GAUNTLET GRAY'	EXTERIOR PAINT; LRV = 17; STUCCO REVEAL COLOR
PT-4	SHERWIN WILLIAMS	SU - EXTERIOR GLOSS	SU 1028, 'IRON ORE'	EXTERIOR PAINT; LRV = 63; METAL CANOPIES, STRUCTURE & SUPPORTS, PARAPET CAP, ETC.
WINDOW FRAMES	OLD CASTLE	-	BLACK ANODIZED	OFFSET 2/6" FRAMES UNLESS NOTED OTHERWISE (GLASS OFFSET TO INTERIOR - SEE DETAILS)
OFFICE AREA EXTERIOR GLASS	GUARDIAN GLASS	-	TINTED - 1" LOW 'E'	1" INSULATED STANDARD TINTED 1/4" FRAMES WITH 1/2" INSULATION GAP
EXTERIOR STUCCO	-	-	COLOR PER ELEVATIONS	WESTERN ONE COAT STUCCO WITH 'VERY SMOOTH LIGHT SAND' FINISH
CMU-1 (SPLIT FACED CONC. BLOCK)	-	-	SPLIT FACED PEPPERCORN	SPLIT FACED ON ALL EXTERIOR EXPOSED SIDES
MP-1 (METAL SIDING PANELS)	ATAS	-	ATAS 31 CHAMPAGNE	HORIZONTAL METAL SIDING W/ MATCHING CORNER ANGLES/EDGES
ALUMINUM CABLE NAIL SYSTEM	-	-	BLACK ANODIZED	MANUFACTURER'S STANDARD BLACK ANODIZED ALUMINUM FINISH

**ELEVATION KEYNOTES**

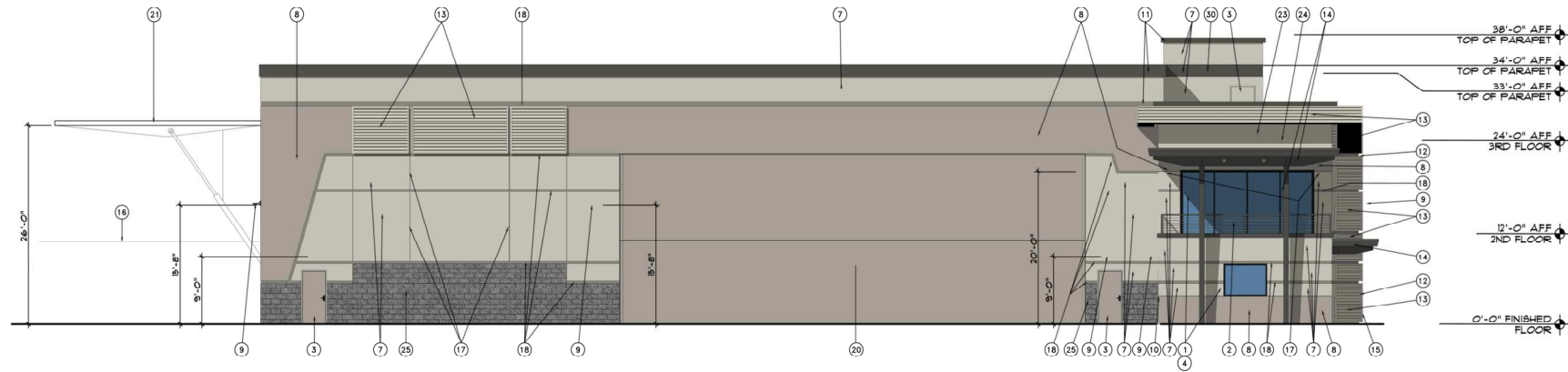
NOTE: NOT ALL KEYNOTES MAY BE USED ON THIS SHEET

- 1) BLACK ANODIZED ALUMINUM WINDOW & DOOR FRAMES
- 2) BLACK ANODIZED ALUMINUM POST AND CABLE RAILING SYSTEM
- 3) HOLLOW METAL DOOR & DOOR FRAME TO BE PAINTED ACCENT COLOR [PT-3]
- 4) OFFICE AND ENTRY LOBBY AREA GLAZING TO BE GUARDIAN GLASS - DUAL PANE LOW E TINTED GLASS
- 5) VISIBILITY OVERHEAD DOORS TO HANGARS - GLAZING TO BE GUARDIAN GLASS - DUAL PANE LOW E TINTED GLASS
- 6) METAL FRAME AND PANELS OF VEHICULAR OVERHEAD DOOR TO HANGAR TO BE BLACK ANODIZED ALUMINUM
- 7) STUCCO SYSTEM - PAINTED - FIELD COLOR PAINT [PT-1]
- 8) STUCCO SYSTEM - PAINTED - ACCENT COLOR PAINT [PT-2]
- 9) EXTERIOR LIGHTING FIXTURE - BLACK FINISH - SEE FIXTURE CUT SHEET AND PHOTOGRAPHIC PLANS
- 10) SPLIT FACED CMU SITE WALL TO MATCH HANGAR WAINSCOT [CMU-1]
- 11) METAL PARAPET CAP - PAINTED [PT-4]
- 12) 4" WIDE SHADOW REVEAL IN RAISED METAL PANEL SYSTEM - SEE DETAIL
- 13) RAISED METAL SIDING SYSTEM [MP-1] WITH SUPPORTS PAINTED [PT-4] WHERE EXPOSED
- 14) 4" WIDE VANISHED METAL CANOPY AND FRAMING - PAINTED [PT-4]
- 15) CONCRETE FILLED METAL BOLLARDS - PAINTED [PT-4]
- 16) TOP OF EXISTING CMU SITE-RETAINING WALL ALONG PROP. LINE
- 17) REVEAL IN STUCCO (12" WIDE X 12" DEEP "V" REVEAL)
- 18) REVEAL IN STUCCO (4" WIDE X 12" DEEP "CHANNEL REVEAL") PAINTED [PT-3]
- 19) NOT USED
- 20) BI-FOLD HANGAR DOOR - PAINTED [PT-3] OR CLOSE COMPATIBLE MANUFACTURER'S COLOR
- 21) HYDRAULIC HANGAR DOOR - PAINTED [PT-3] OR CLOSE COMPATIBLE MANUFACTURER'S COLOR
- 22) DASHED LINES INDICATE NEW BUILDING CONSTRUCTION UPGRADE BEHIND EXISTING CMU SITE WALL ON PROPERTY LINE
- 23) ROOF TOP MECHANICAL UNITS ON ROOF - HIDDEN BEHIND BUILDING PARAPET
- 24) LINE OF ROOF BEHIND PARAPET
- 25) SPLIT FACED CMU WAINSCOT TO MATCH SITE WALL [CMU-1]
- 26) METAL CENTER SPLIT ROLLING GATE - PAINTED [PT-4]
- 27) SECURITY VISION PANEL IN EXIT DOOR - SEE DOOR SCHEDULE AND DOOR TITLED FOR MORE INFORMATION ON VISION PANEL IN PARTICULAR DOORS
- 28) 4" ADDRESS NUMBERS - MUST BE A HIGH CONTRAST COLOR TO SURROUNDING MATERIALS AND MUST BE ILLUMINATED
- 29) BUTT GLAZING PANELS IN THIS WINDOW FRAME
- 30) REVEAL IN STUCCO (8" WIDE X 12" DEEP "CHANNEL REVEAL") PAINTED [PT-3]
- 31) DARK BRONZE METAL 'COUL' TOUNDS' FOR ROOF AND OVERHEAD DRAIN LINES - SPILL TO GRADE - BOT. OF LINE TO BE AT 4" AFF.
- 32) REVEAL IN STUCCO (1'-8" WIDE X 3" DEEP "CHANNEL REVEAL") PAINTED [PT-4]

NOTES:  
 1. THERE SHALL BE NO EXTERIOR OR ROOF MOUNTED MECHANICAL EQUIPMENT FOR THE PROJECT ON THE HANGAR ROOF. ALL HVAC EQUIPMENT IS TO BE HOUSED INSIDE THE BUILDING ON OR ON THE SECOND FLOOR ROOF OF THE OFFICE AREA - SHIELDED BY A HIGH PARAPET.  
 2. THERE SHALL BE NO EXTERIOR OR ROOF MOUNTED ELECTRICAL UTILITY EQUIPMENT FOR THE PROJECT. THE SERVICE ENTRY SECTION (SEE 4) IS HOUSED INSIDE THE BUILDING ON THE FIRST FLOOR WITHIN THE BEB ROOM, SPECIFICALLY PROVIDED FOR THIS PURPOSE.  
 3. THERE SHALL BE NO EXTERIOR OR ROOF MOUNTED COMMUNICATION EQUIPMENT FOR THE PROJECT. THE COMMUNICATION EQUIPMENT SHALL BE HOUSED INSIDE THE BUILDING WITHIN THE BEB ROOM, JANITORS CLOSET, STORAGE ELECTRICAL ROOM, OR FIRE RISER ROOM AS APPROPRIATE TO THE USE AND SERVICE LOCATION.  
 4. ALL EXTERIOR MECHANICAL, UTILITY AND COMMUNICATION EQUIPMENT SHALL BE SCREENED BY A PARAPET THAT MATCHES THE ARCHITECTURAL CHARACTERISTICS, COLOR, AND FINISH OF THE BUILDING. PARAPET HEIGHT FOR ROOF-MOUNTED UNITS SHALL BE EQUAL TO, OR EXCEED THE HEIGHT OF THE TALLEST UNIT.  
 5. ALL ROOF DRAINAGE SYSTEMS SHALL BE INTERIOR TO THE BUILDING.



**4 WEST ELEVATION**  
SCALE: 3/8"=1'-0"



**3 SOUTH ELEVATION**  
SCALE: 3/8"=1'-0"



EXPIRES: 6/30/2024

Drawing Name:  
EXTERIOR ELEVATIONS

Revisions


Date: 09/11/2020

Project Number:  
2020.020

Drawing No.:



1 VIEW FROM SOUTHEASTERN CORNER OF SITE  
SCALE: NTA X-ELEV

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PEOPLES' HANGAR  
 15902 N. B0TH ST.  
 SCOTTSDALE, AZ  
 APN: 215-48-034



Expires: 6/30/2024  
 Drawing Name:  
 EXTERIOR  
 RENDERING

Revisions

No.	Description	Date

Date: 05/11/2020

Project Number: 2020.020

Drawing No. A2.2R



1 VIEW FROM NORTHEASTERN CORNER OF SITE  
 SCALE: NTA X-ELEV

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PEOPLES' HANGAR  
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 SCOTTSDALE, AZ  
 APN: 215-48-034



Expires: 6/30/2024  
 Drawing Name:  
 EXTERIOR  
 RENDERING

Revisions

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Date: 05/11/2020

Project Number: 2020.020

Drawing No. A2.3R



1 VIEW FROM SOUTHWESTERN CORNER OF SITE  
 SCALE: NTA X-ELEV

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PEOPLES' HANGAR  
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 SCOTTSDALE, AZ  
 APN: 215-48-034



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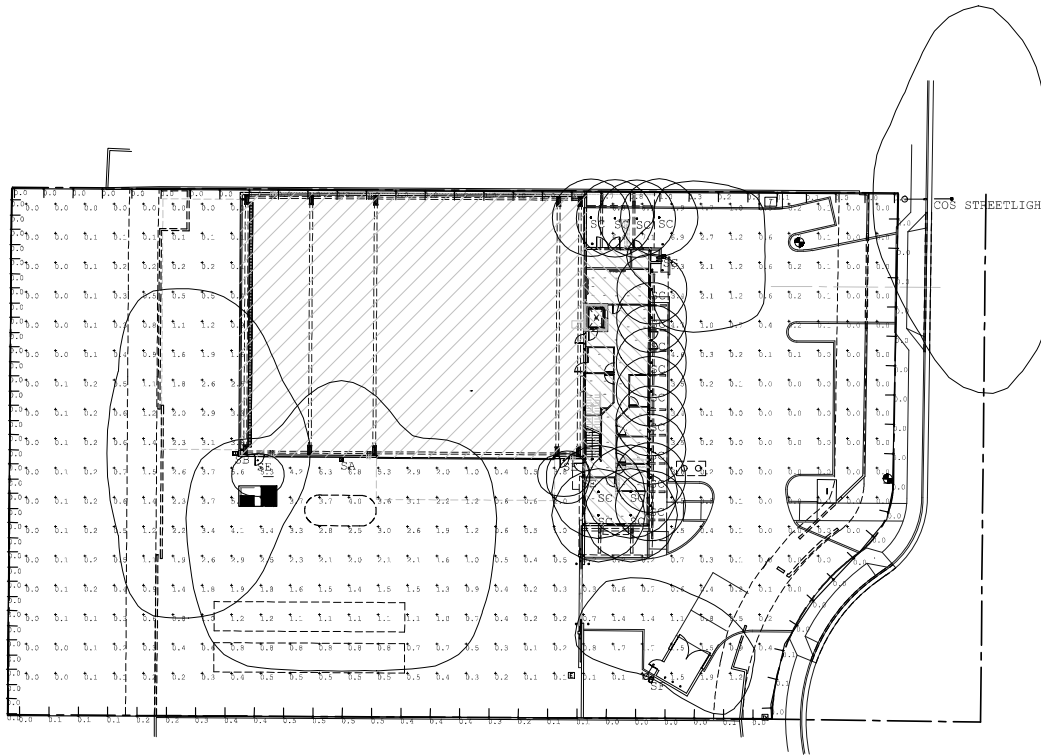
Revisions

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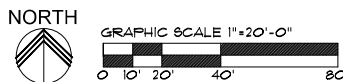
Drawing No. A2.4R



Qty	Label	System	Manufacturer	Beam Angle	Height	CF	Lumen	Watts	Total Watts
1	SA	SA	U.S. ARCHITECTURAL LIGHTING	120°	20'	0.300	19591	192.8	192.8
1	SB	SB	U.S. ARCHITECTURAL LIGHTING	120°	20'	0.300	12930	197.1	197.1
1	SC	SC	U.S. ARCHITECTURAL LIGHTING	120°	20'	0.300	13319	132.8	132.8
3	SD	SD	NOA-HUS	120°	9'	0.300	4137	137.2	411.6
1	SE	SE	U.S. ARCHITECTURAL LIGHTING	120°	15'	0.300	2584	78.2	78.2
1	SF	SF	U.S. ARCHITECTURAL LIGHTING	120°	15.75'	0.300	4241	32.3	32.3
1	SG STREET	SG	STREET LIGHTING	180°	15.00'	1.000	13274	181.0	181.0

Calculation Summary		Footcandle	Units	Min	Max	Avg	Log Min	Max/Min
Footcandle	Footcandle	FC		0.38	1.0	0.8	N/A	N/A
Site Power	Footcandle	W		1.04	7.1	6.9	N/A	N/A

**SITE PHOTOMETRIC PLAN**  
SCALE: 1"=20'-0"

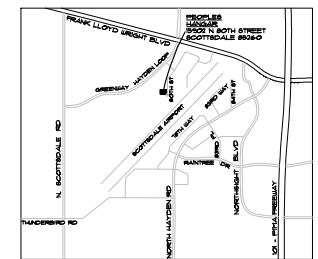


AIRPORT STIPULATION:  
IF ANY FUTURE FUEL DISPENSING AND STORAGE BY SEPARATE SUBMITTAL AND PERMIT MUST HAVE SPECIFIC DOCUMENTED AIRPORT REVIEW AND APPROVAL TO COMPLY COMPLIANCE WITH AIRPORT RULES AND REGULATIONS.

NOTE:  
SEE SHEET SP18 FOR ENLARGED LUMINAIRE SCHEDULE AND CALCULATION SUMMARY

NOTE:  
SEE SHEET SP18 FOR LIGHT FIXTURE CUT SHEETS

- NOTES:
1. ALL EXTERIOR LIGHT FIXTURES SHALL BE DARK SKY COMPLIANT.
  2. LIGHT LEVELS AT THE PROPERTY LINES SHALL NOT EXCEED 1 FOOTCANDLE.



VICINITY MAP  
SCALE: N.T.S.

CITY OF SCOTTSDALE APPROVAL BLOCK

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APN: 215-48-034



EXPIRES: 6/30/2024

Drawing Name:  
SITE PHOTOMETRIC PLAN

Revisions

Date: 05/11/2020

Project Number:  
2020-020

Drawing No.:

SP18









Q.S.  
35-46

Aerial

Zoning Aerial

5-DR-2021