

# DEVELOPMENT REVIEW BOARD REPORT



Meeting Date: May 6, 2021  
General Plan Element: *Character and Design*  
General Plan Goal: *Foster quality design that enhances Scottsdale as a unique southwestern desert community.*

## ACTION

**District at 9400 Shea**  
**16-ZN-2019**  
**6-GP-2019**

Pursuant to the requirements of the Planned Unit Development (PUD) zoning district, Zoning Ordinance Section 5.5003, the Development Review Board shall provide a recommendation to the Planning and Commission and City Council regarding the Development Plan elements related to design compatibility, environmental responsiveness, solar shading, connectivity and open space for a zoning district map amendment from Commercial Office, Planned Community District (C-O PCD) and Highway Commercial, Planned Community District (C-3 PCD) to Planned Unit Development, Planned Community District (PUD PCD) on a 11 +/- acre site located on the south side of E. Shea Blvd east of N. 92nd Street to allow a mixed use center with 219 new multi-family dwelling units.

## SUMMARY

### Staff Recommendation

Forward a recommendation of approval regarding the applicable Development Plan elements

### Key Issues

- Opposition from adjacent property owners
- Significant concerns on traffic circulation
- Development of a vacant property within an existing retail center

### Items for Consideration

- Conformance with Development Review Board Criteria for a PUD – staff confirms
- Integration of Sensitive Design Principles – staff confirms

## BACKGROUND

**Location:** 9400 block of the south side of E. Shea Boulevard  
(Parcels 217-36-001P and 217-36-001M)

**Zoning:** C-O PCD and C-3 PCD

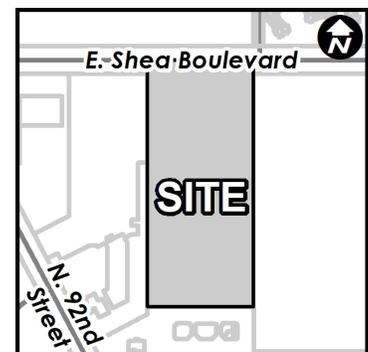
### Adjacent Uses

North: E. Shea Boulevard and cemetery (1970s)

East: 2-story office building complex constructed in early 1990's

South: 1-story office condominium complex constructed in 2002

West: Vacant property zoned C-O PCD and 2-story office buildings and shopping center constructed in the 1980's



**Property Owner**

94 Hundred Shea, LLP

**Applicant**

Paul Gilbert, Beus Gilbert, PLLC  
(480) 429-3065

**Architect/Designer**

Bill form architecture

**Engineer**

WGI, Inc.

**DEVELOPMENT PROPOSAL**

The applicant is proposing to rezone the existing retail/office center adjacent to E. Shea Boulevard and the vacant property to the south, in total approximately 11 acres, to the PUD zoning district with 219 new multi-family dwelling units on the south parcel (21.14 du/ac). The proposed 4-story multi-family building has a proposed configuration with a parking garage on the north side of the building with above and below grade parking spaces.

Vehicular access to the development is from E. Shea Boulevard. A public access easement is located on the office condominiums to the south. The applicant is proposing an exit only access point on the south property line with an emergency access drive gate. A fire lane wraps around the building on the east, south and west sides. The fire lane on the east and south side of the building provides only emergency and fire vehicular access with pedestrian circulation sharing the access lane around the site. No regular vehicular traffic is proposed to use this access lane. The site plan includes pedestrian connections from the new residential building to the existing center to the north, a future pedestrian connection located at the northwest corner of the site for access to the shopping center to the west and a pedestrian connection to the south. The PUD district requires 10% of the site to be open space and the proposed development is providing approximately 21% of the site as open space. The C-3 district allows 36 feet in height and the C-O district allows 48 feet excluding rooftop appurtenances. The proposed PUD district also allows a maximum height of 48 feet excluding rooftop appurtenances. The building massing and design are enhanced by the articulation of the building, the varying roof heights, and building setbacks from adjacent properties.

**Development Plan Consideration**

Prior to the review of a zoning district map amendment for the Planned Unit Development (PUD) zoning district by the Planning Commission and City Council, the Development Plan shall be reviewed by the Development Review Board pursuant to the considerations listed in Section 5.5003.C.1.a. Staff confirms that the development proposal meets the applicable PUD zoning district considerations. For a detailed analysis of the considerations, please see Attachment #3.

**Community Involvement**

With submittal of the application, staff notified all property owners within 750 feet of the site. In addition, the applicant sent notice to all property owners within 750 feet of the site and has been in communication with property owners surrounding the site, including expanded outreach to additional interested parties, and open house meetings. The applicant held a public open house meeting on September 26, 2019 at 6 pm at 9375 E Shea Boulevard and after revising the rezoning application, a virtual open house on September 10, 2020 to provide information and gain input from the community.

As of the publishing of this report, staff has received several emails with concerns about the redevelopment of the property. Many of the concerns are related to the increased traffic, building height and new residential units. All public comments received are included in Attachment #10.

**STAFF RECOMMENDED ACTION**

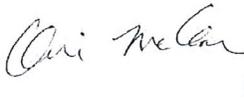
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Staff recommends that the Development Review Board recommend approval of the District at 9400 Shea development proposal to the Planning Commission and City Council, finding that the criteria/requirements of the Planned Unit Development (PUD) zoning district and Development Review Board Criteria have been met.

<b>RESPONSIBLE DEPARTMENTS</b>	<b>STAFF CONTACTS</b>
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<b>Planning and Development Services</b> Long Range Planning Services	Taylor Reynolds Project Coordination Liaison 480-312-7924    Email: treynolds@scottsdaleaz.gov

**APPROVED BY**

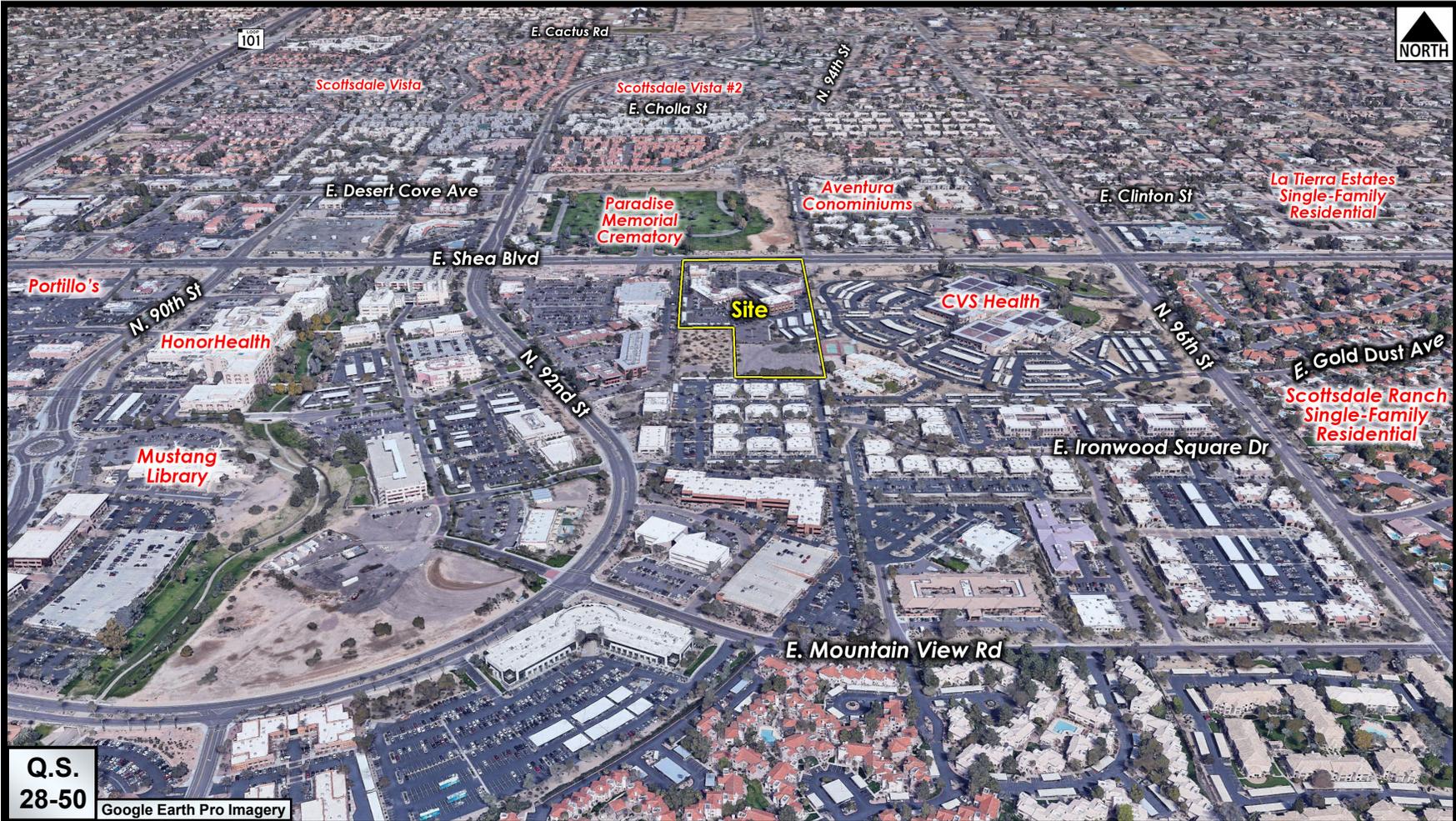
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 Doris McClay, Report Author	4/16/2021 Date
 Brad Carr, AICP, LEED-AP, Planning & Development Area Manager Development Review Board Liaison Phone: 480-312-7713    Email: bcarr@scottsdaleaz.gov	4/22/2021 Date
 Randy Grant, Executive Director Planning, Economic Development, and Tourism Phone: 480-312-2664    Email: rgrant@scottsdaleaz.gov	4/22/21 Date

**ATTACHMENTS**

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1. Context Aerial
2. Close-up Aerial
3. Development Review Board Criteria Analysis
4. Development Information
5. Applicant's Development Plan
6. Zoning Map (Existing)
7. Zoning Map (Proposed)
8. Traffic Impact Summary
9. Community Involvement
10. Public Comment



Context Aerial

16-ZN-2019

ATTACHMENT #1



Close-up Aerial

16-ZN-2019

## **DEVELOPMENT REVIEW BOARD CRITERIA ANALYSIS**

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An application for the PUD District must be accompanied by a Development Plan (DP), the elements of which shall include the following:

1. Character statements, including environmental response, design principles, architectural character, site development character, and landscape character;
  2. A master site plan, with a land use budget tabulation, showing the location of development components, the intensity of development, residential density, and building heights;
  3. An open space plan;
  4. An architectural concepts and design standards plan;
  5. Basis of design reports for storm water drainage, water service, and waste water disposal; and
  6. Any additional information as necessary to process the DP such as:
    - a. A view shed analysis plan;
    - b. A pedestrian circulation plan;
    - c. A hardscape plan;
    - d. A landscape plan;
    - e. A lighting plan; and/or
    - f. A signage plan.
- *The applicant's submittal includes a DP which contains all the required elements.*

The Development Review Board shall review the DP elements and make a recommendation to the Planning Commission, based on the following considerations:

1. The design contained in the DP is compatible with development in the area that it may directly affect, and the DP provides a benefit to the city and adjacent neighborhoods.
  - *The proposed site design uses the existing access points. Further, pedestrian connections are being provided from the proposed site to existing properties adjacent to the site.*
  - *Most of the new proposed parking is located within an above and below ground parking structure that is fully integrated into the proposed building which will reduce the potential impervious area on the site and eliminate visibility and associated impacts on adjacent properties.*
  - *The introduction of residential units will support the businesses in the commercial center within the proposed PUD and adjacent businesses.*
2. The DP is environmentally responsive, incorporates green building principles, contributes to the city's design guidelines and design objectives, and that any deviations from the design guidelines must be justified by compensating benefits of the DP.
  - *The site is designed to maximize efficient use of space by vertically stacking floor area, rather than spreading it horizontally across the property, which leaves room for more landscaping and several usable open space areas. Although the PUD district only requires 10% of the site to be open space, approximately 21% of the site will be open space, including pedestrian hardscape, courtyard, and landscaping.*
  - *Most of the parking for the site has been provided in a fully integrated structure to minimize impervious surfaces, reduce the heat-island effect, and fully screen from view.*

*The landscaping will utilize drought tolerant plant material and strategically located to create a pedestrian-friendly environment.*

- *The design of proposed building on the site uses effective building techniques, such as solar shading, recessed windows, building articulation, varying the roof lines, material selection and paint colors, to effectively integrate the site with the surrounding area and promote the unique character of the Sonoran Desert.*
3. The DP will not significantly increase solar shading of adjacent land in comparison with a development that could be developed under the existing zoning district.
    - *The proposed building is 48 feet tall, plus the additional 10 feet for mechanical equipment and other roof top appurtenances. The current zoning district on the south parcel, C-O district, allows 48 feet excluding rooftop appurtenances. The proposed building will be taller than the existing buildings in the area, however setbacks from adjacent properties help mitigate any increase in solar shading.*
  4. The DP promotes connectivity between adjacent and abutting parcels and provides open spaces that are visible from the public right-of-way and useful to the development.
    - *The proposed development will include enhanced sidewalks and landscaping and pedestrian connections to adjacent properties.*

## **Traffic**

The 94 Hundred Shea development is generally located south of Shea Boulevard, east of 92<sup>nd</sup> Street and north of Ironwood Square Drive. The site is surrounded by a retail center to the north, medical-office buildings to the south, the CVS Health campus to the east, and retail to the west. Site access is provided exclusively through existing and proposed easements to/from the north to Shea Boulevard along the Becker Lane alignment and at the southwest portion of the site through the Ironwood Square complex. The southwest access is being proposed as an exit only access. To facilitate circulation, staff supports full access to/from 92<sup>nd</sup> Street via Ironwood Square Drive.

The proposed Shea Boulevard access is being provided via two routes through the retail center complex to the north. The first route is through the center of the retail center that traverses under/through an archway signed with twelve (12)-feet of vertical clearance. The second route is along the approximately sixteen (16)-feet wide drive aisle behind the retail center. The existing drive aisle is primarily used for overflow parking access, fire access, and waste refuse access. The project proposes this to become a main access to/from Shea Boulevard. Therefore, staff has requested the drive aisle be upgraded to include a minimum of twenty-four (24)-feet in width.

The proposed development is estimated to generate 1,192 weekday daily trips, 79 during the AM peak hour, and 97 trips during the PM peak hour. The current parcel is mostly vacant, with some surface parking along the northern portion of the site. Based on the submitted traffic impact and mitigation analysis (TIMA) and proposed project, the capacity of the adjacent roadway network is anticipated to accommodate the additional traffic. Internal to the site, there will be an increase in traffic that is more residential in nature than what currently exists to/from the north through the medical-office complex and to/from the south through Ironwood Square office complex. Staff has recommended that the applicant work to gain cross-access with parcels adjacent to and immediate west of the project for a more direct access to/from 92<sup>nd</sup> Street.

According to the site plan and calculations, parking for the proposed 219 dwelling units is provided for the development in accordance with zoning ordinance requirements for a mixed-use development, requiring 310 spaces for the residential and 32 spaces for the commercial land uses (342 total spaces). The developer is providing 11 surface parking spaces and 364 spaces in the parking structure, for a total of 375 spaces. The proposed parking exceeds the ordinance requirements by 33 spaces, which may be used to accommodate guest parking for the residential, and a buffer for the commercial uses during higher demand hours.

The development proposal is anticipated to increase the number of people walking and biking in the surrounding area, as new residents take advantage of nearby services, retail and recreational opportunities. The developer provided a pedestrian circulation plan that depicts on-site pedestrian routing. The internal public sidewalks shall be six (6)-feet wide and all sidewalk facilities shall meet American's with Disability Act guidelines for pedestrian routes. Staff is encouraging pedestrian crossings to be enhanced beyond striping only.

## **DEVELOPMENT INFORMATION**

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### **Zoning History**

The site was annexed into the City in 1963 (Ord. #168) zoned to the Single-family Residential district (R1-35) zoning designation. Since initial rezoning of the site, the site has been rezoned to Planned Community district (PCD) in 1974, Commercial Office Planned Community district (C-O PCD) in 1980 and in 2002 the northern portion of the property was rezoned to Highway Commercial, Planned Community district (C-3 PCD).

The applicant is requesting to change the zoning to the Planned Unit Development (PUD) district to accommodate the redevelopment proposal on the southern portion of the site. The PUD zoning district promotes a mixed-use development pattern along major/minor arterial/collector streets for small- to medium-sized infill sites which are located outside of the Environmentally Sensitive Lands Overlay and the Downtown Area boundary.

### **Community Involvement**

With submittal of the application, staff notified all property owners within 750 feet of the site. In addition, the applicant sent notice to all property owners within 750 feet of the site and has been in communication with property owners surrounding the site, including expanded outreach to additional interested parties, and open house meetings. The applicant held a public open house meeting on September 26, 2019 at 6 pm at 9375 E Shea Boulevard and after revising the rezoning application, a virtual open house on September 10, 2020 to provide information and gain input from the community.

As of the publishing of this report, staff has received several emails with concerns about the redevelopment of the property. Many of the concerns are related to the increased traffic, building height, new residential units. All public comments received are included with this report in Attachment 10.

### **Context**

Located on the south side of E. Shea Boulevard, the site is situated in an area of retail uses, office uses and multiple-family residences on the north side of E. Shea Boulevard. The site has existing offices, retail and restaurants on the northern portion of the property.

### **Project Data**

- Existing Use: retail, restaurants and offices on northern portion and vacant on southern portion
- Proposed Use: Mixed-use
- Parcel Size: 11 +/- acres (gross)  
451,281 square feet /10.36 acres (net)
- Residential Building Area: 387,454 square feet
- Commercial Building Area: 85,187 square feet
- Total Building Area: 472,641 square feet
- Floor Area Ratio Allowed: 0.8 (commercial floor area only)
- Floor Area Ratio Provided: 0.19 (commercial floor area only)
- Building Height Allowed: 48 feet (plus 10' for rooftop appurtenances)
- Building Height Proposed: 48 feet (plus 10' for rooftop appurtenances)

- Parking Required for PUD: commercial - 263 spaces, residential – 342 spaces
- Parking Provided for PUD: commercial - 357 spaces, residential – 375 spaces
- Open Space Required: 47,916 square feet
- Open Space Provided: 96,747 square feet
- Number of Dwelling Units Allowed: Per Development Plan
- Number of Dwelling Units Proposed: 219 units
- Density Allowed: Per Development Plan
- Density Proposed: 21.14 dwelling units per acre

# 9400 East Shea Boulevard

Non-Major General Plan Amendment  
&  
Planned Unit Development  
Project Narrative/Development Plan

9375 East Shea Boulevard



Cases: 6-GP-2019 & 16-ZN-2019

1<sup>st</sup> Submittal: October 14, 2019

2<sup>nd</sup> Submittal: August 14, 2020

3<sup>rd</sup> Submittal: October 16, 2020

4<sup>th</sup> Submittal: February 19, 2021

**ATTACHMENT #5**

16-DR-2019  
2/23/2021

# Project Narrative/Development Plan

## Non-Major General Plan Amendment & Rezoning for 9400 East Shea Boulevard

Case #'s:

6-GP-2019 & 16-ZN-2019

Location: 9375 East Shea Boulevard

Request for a Non-Major General Plan Amendment from a land use designation of Commercial to Mixed-Use Neighborhoods.

- and -

A Zoning District Map Amendment from C-3 PCD / C-O PCD (Planned Community District – McCormick Ranch) to PUD PCD (Planned Community District – McCormick Ranch) on a  $\pm$  11 gross acre site to allow for a mixed-use development to include new residential (apartments) combined with the existing retail/office center.

## Development Team

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**Beus Gilbert McGroder**

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**I. Purpose of Request:**

This request is for a Non-Major General Plan Amendment (GPA) from Commercial to Mixed-Use Neighborhoods and a rezoning from C-3 PCD / C-O PCD (Planned Community District – McCormick Ranch) to PUD PCD (Planned Community District – McCormick Ranch) on a ± 11 gross acre site to allow for a mixed-use development to include new residential (apartments) combined with the existing retail/office center. The applicant and future owner of the vacant property (i.e., Kaplan Development Group) intends to add a luxury residential multi-family community of approximately 219 units to add vibrancy and a boost to the existing office/retail center. The property is located at 9375 East Shea Boulevard (the “Site”). (See below *Aerial & Exhibit*)

**AERIAL**



**II. Kaplan Development Group**

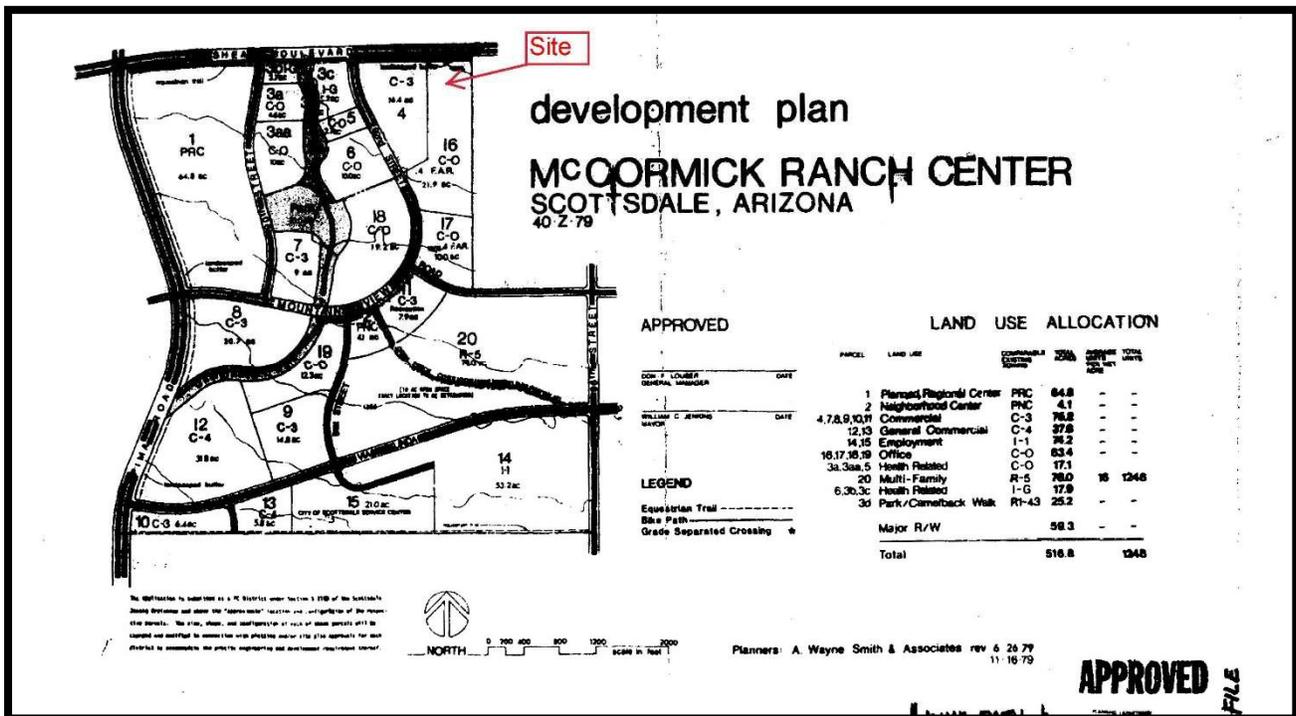
Kaplan Development Group (“Kaplan”) was formed in 1978 and is based out of Houston, Texas. Kaplan is the diversified operator, owner, and developer of high quality multi-family properties in major metropolitan areas across the United States. Kaplan is active in emerging high growth submarkets, redeveloping existing multi-family housing, and repurposing commercial developments into residential communities, and holds 38 years of successful management experience in the dynamic and evolving multi-family industry. Kaplan would be honored to bring their experience and success to this location in Scottsdale.

**III. 9400 East Shea Boulevard (The Proposal)**

The 9400 East Shea Boulevard residential community will provide an exciting mix to this existing office/retail project featuring upscale residences that will blend and transition with the retail/commercial businesses in the area as well as being strategically located with employment entities within the McCormick Ranch Center with the hospital and ancillary medical uses. The proposed development would further many of the goals set forth in the Scottsdale General Plan as well as the Shea Area Plan by adding a needed population base and market needed in the area to support the existing retail and employment opportunities in the area as well as to deal with a difficult infill property. The result will be a walkable community based on live, work, and play principles.

The Site is a located in the McCormick Ranch Center, which is considered the core of this planned community and where the highest intensity of uses was to be developed. (See below Map)

**MCCORMICK RANCH CENTER**



The McCormick Ranch Center has seen a lot of offices, medical uses/offices, and retail uses develop in the area. This Site is a remnant parcel that is “tucked” away and difficult to develop into something other than residential due to its lack of street visibility and oversaturation of office/retail uses. However, high density apartments added to this existing office/retail center will help enhance/support the desirability of this center as well as the surrounding context. The retail/commercial (i.e. non-residential) and residential mix proposed will provide an ideal fit for this location and beyond.

The McCormick Ranch Center creates a unique opportunity to blend interrelated land uses and promote the live, work, and play concept. Additionally, the nearby retail and surrounding employment core (i.e., hospital, CVS Health/Caremark, etc.) provides regional appeal for future residents of 9400 East Shea Boulevard. The ease of accessibility via the freeway and Shea Boulevard as well as its proximity to businesses, shopping, recreation, and trail system makes this development a compliment to its surroundings.

**a) Existing Conditions & Context**

The Site constitutes ± 11 gross acres and is bordered by Shea Boulevard on the north. Existing offices (C-O) border the Site to the east and south. The west side is bordered by existing commercial businesses (C-3) and a recently completed PUD adaptive reuse of an existing office building.

The Site contains existing office/retail center, some covered and uncovered parking spaces, and a large vacant parcel. The streets, sidewalks, and utilities surrounding the Site have all previously been built, as such this addition of apartments can be “plugged in” to this location with minimal disturbances to the area.

**b) Site Plan**

The design for this Site, specifically the apartments, provides open space, pedestrian passageways, and rest area inviting for activity and interaction with shaded areas, enhanced paving, a variety of meandering pathways, and landscaping. The addition of apartments to this Site will add to and activate the existing restaurants, retail establishments on-site. In addition, the proposed apartments will provide:

- Parking in excess of parking code (632 spaces – code requires 480 spaces).
- UBER & LYFT Pickup & Drop off area.
- Penthouse units with rooftop deck (spiral staircase).
- Professional indoor sports simulator.
- 11’ ceiling in select ground floor units.
- Valet trash service (trash picked up daily at front door of unit).
- Teaching Kitchen with regular classes provided by management.
- Bike repair room located in garage.
- Pet Spa.
- Gaming Lounge (billiards, pool, shuffleboard).
- Oversize two story clubhouse.
- Resort pool with beach entry.
- Coffee bar.
- Free daily breakfast in clubhouse.
- Onsite laundry & dry-cleaning service.
- Gourmet teaching kitchen in clubhouse.
- Equinox style fitness center.
- Outdoor phone & laptop charging stations.
- Valet trash pick-up.
- Concierge service.

A main vehicular access drive bisects the Site and allows for vehicular entry/exist connections located on Shea Boulevard and access to 92<sup>nd</sup> Street via an existing vehicular access easement, which is proposed to be an “exit-only” access point through the abutting medical office condominium to the south. The fire lane along the perimeter of the apartments will serve dual purposes (i.e. building setback, walking area, and fire safety access). The apartments provide for one (1) main outdoor activity area for both active and passive recreation, relaxation, and an abundance of open space for the future residents. The main building structures are navigated through a series of pedestrian passages that lead throughout the Site and ultimately to the outer pedestrian sidewalk network and the surrounding area. (See *Site Plan Exhibit*)

**c) Retail/Commercial (Non-Residential) Component**

The retail/commercial (i.e. non-residential) component of this mixed-use development is the existing office/retail center (i.e. non-residential) is more than adequate to support the residents and will help support them as well. The existing development and the proposed new apartments will blend seamlessly as one project when completed. The paved main access driveway and the location of the apartments provides for a nice overall design. In addition, there is more than enough retail/commercial uses in this area and the increase in residential density is important towards balancing and supporting these uses as well as live, work, and play lifestyle concept.

**d) Building Architecture**

The building architecture features varied massing, varying roof parapets, architectural features, stoops, materials and façade detailing found in many contemporary luxury multi-family developments found in Scottsdale and the Southwest region. The building massing includes a series of towers and recessed facades and patios. The massing and detailing emphasize the promotion of pedestrian activity via lighting, trees, and shade structures such as: awnings and roof overhangs. The color scheme is a blend of shades of brown, white, and tan with some complementary accent colors found within the Sonoran Desert color palette and consistent and appropriate with the surrounding building context. (See *Architectural Plan Set Exhibit*)

Maximum building height is 48’ with all rooftop mechanical equipment and screening, stairwell bulkheads, as well as rooftop deck enclosure walls and fall protection railing that exceed that building height, limited to under 30% total of the roof area for each building. (See *Building Cross Sections Exhibit*)

**e) Landscape Theme**

The project’s landscape theme will reduce overall water intake include by utilizing native trees, shrubs, accent plants, groundcover, and minimal turf. Site has sidewalks lined with trees and shrubs providing a pleasant/cool environment to walk. The open space areas will also contain a variety of native shrubs and landscaping providing for a friendly, enjoyable, useable, and shaded environment for residents to traverse and use the property. As such, the plan includes one (1) main internal courtyard area which all feature a variety of landscaping and amenities such as a

swimming pool, fountains, fire pit, putting green, televisions, barbeques, and shaded seating and dining areas which are all connected by a system of winding walkways. (See *Landscape Plan Set Exhibit*)

#### **IV. The Development Plan (DP)**

Pursuant to the City's Zoning Ordinance for PUD rezoning requests the following four (4) items to be addressed within the required Development Plan ("DP"). They are:

- (1) The design contained in the DP is compatible with development in the area.

The Site sits in a dense "core" area planned for such intensities and mix of uses. The proposal is for a planned, medium density, mixed-use apartment project added to an appropriate/sustainable level of supporting retail/commercial (non-residential) situated in this "core" area. The ability to provide residential units creating and fostering the live, work, and play concept will further promote and enhance the activity in this area and create a more synergetic "core" area.

The proposed project is compatible with and contributes to its surrounding uses, which has evolved towards a more active, dynamic, and vibrant area. The proposed development by Kaplan, as part of this "core" area, and together with the existing users (i.e., hospital, retail, office, trails, etc.) creates the desired effect envisioned for this area by attracting new development into the McCormick Ranch Center. In addition, the residential units will connect nicely with the Site amenities and users as well as beyond without the use of cars. By downplaying the internalized/structured parking, creating ease access on foot, and increasing the critical mass of people in the area helps to support the businesses in the area on a daily/nightly basis. The proposed apartment development by Kaplan is responding to the demand for housing to support the surrounding retail/commercial/employment uses. The proposed development plan of 219 units is reasonable and provides a density option that can easily be supported with the existing infrastructure (e.g., water, sewer, streets, etc.) as well as uses in the area. With that being said, the 9400 East Shea Boulevard apartments complies in overall height, setbacks, high quality architecture, and pedestrian/vehicular connectivity to seamlessly blend within the area, but it is also a unique residential development option internalized (i.e., seclude) for those looking for a different living experience.

The apartments will be built in one (1) phase. The anticipated timing of construction is expected to begin in the 1<sup>st</sup> Quarter of 2022. Once the apartments are completed with the existing on-site retail/office users ensures that the intent of the PUD, General Plan, and Area Plan will be met and provide a substantial public benefit along with implementing the components of a lively mixed-use area within an identifiable/unique node of the McCormick Ranch Center.

There are two (2) total usable open space areas integrated into the DP that continue the theme of the surrounding area, which include the main swimming pool. The swimming pool is the largest open space area being approximately and the smallest internal usable open space for

passive/active amenities. Finally, the entire Site is connected by winding walkways which link up to public sidewalks, bike paths/trails, and ultimately to the surrounding area.

- (2) The DP is environmentally responsive, incorporates green building principles, contributes to the city's design guidelines and design objectives, and that any deviations from the design guidelines must be justified by compensating benefits of the DP.

The proposed development is environmentally responsive and provides exceptional public benefits in many ways by including an enhanced common open space, public/private pedestrian areas/connections as well as amenities (e.g., trails, restaurants, shopping, etc.) encouraged in the Scottsdale Design Guidelines. It should be noted that the development will exceed the required 10% open space. Again, these open space areas provide areas of contemplation, recreation (passive/active), cooling, and visual interest both on-site and off-site. The landscape palette is in keeping with a Sonoran Desert theme and water conservation measures by strategically locating low water use trees, shrubs, groundcovers, etc. to create a lush appearance that cools the environment both internally and externally. Turf is strategically located on-site within a few of the areas designated for internal/activities in order to optimize comfort and use. Finally, the entire Site is interconnected by walkways which link up to public sidewalks and bike/trail paths encouraging multimodal options.

The architectural character is a contemporary design which will utilize the most current building materials to provide for an energy efficient development. The building masses are broken by using “bump outs” and other architectural relief/projections to create a less imposing building structure and more human scale. In addition, curve of the north façade of the building creates opportunities for enhanced pedestrian areas and landscaping to emphasize the front entrance and most visible portion of the building. The architectural elevations are broken up vertically by varying the roof lines, alternating between flat parapets and flat roof overhangs, awnings, etc. These architectural treatments help vary the roof lines vertically. Within the flat parapet areas of the building the walls of the building stepback horizontally creating wide recessed areas that provide space for awnings, patios, and visual massing reliefs. This horizontal relief occurs approximately every 100 lineal feet with massing changes, the curve of the building, covered main entrance area, and the natural curvature of the main street (i.e., driveway). The proposed design provides a strong base with a material change from stucco, stone, glass, steel awnings, and pedestrian access points located in strategic locations to “ground” the design. The midsection and top utilized the same materials with the top units accentuated by patio areas as well as bulkhead areas protruding towards the top of the buildings to provide access to the roof decks for those units along with alternating flat parapets and roof overhangs. The overarching intent is to create a compatible development design for the area while also being a unique, high quality, and visually appealing for one to want to live and play while being near work, shopping, restaurants, recreation, etc. thus reducing traffic and pollution while also maintaining long term economic success.

In summation, the project proposes to incorporate/adhere to the following Green Building Code Features.

**SITE:**

- Native plants including desert responsible landscaping (xeriscape)
- Designed to encourage indoor/outdoor living via the main internal courtyard and use of shade canopies
- Environmentally friendly ground treatments without pesticides
- Heat Island reduction from shade and paint colors
- Pedestrian shading

**ENERGY:**

- Energy performing modeling (smart homes)
- Energy efficient Appliances
- Energy efficient heating and cooling
- Teal water heating/management system
- Recessed windows with top ledges
- Fresh air ventilation including operational windows
- Smart home-controlled thermostats, doors and lighting
- Ductwork located within climate-controlled areas (corridors)
- Black out window shades

**ENVIRONMENTALLY RESPONSIBLE MATERIALS:**

- Recyclable building materials wherever possible
- Construction waste management to include recycling (50%)
- Indigenous materials (desert tolerant)
- Select local manufacturers (e.g., Hilton Cabinets)
- Energy wise roofs (non-petroleum)
- Vehicle charging stations
- Valet trash service including recyclables
- Natural lighting occupancy A & B

**SAFE INDOOR AIR ENVIRONMENT:**

- Low VOC materials specified by Architect
- Fresh air ventilation with operational windows
- Stormwater management
- Low-use landscape irrigation systems
- Building electrical power and lighting system

**EFFICIENT WATER USE:**

- Low-flow plumbing fixtures
- Desert responsible landscaping (xeriscape)
- Teal system for central water supply

**REDUCE GENERATION OF SOLID WASTE:**

- Construction waste recycling program mandatory
- Prefab framing to reduce waste of lumber
- Construction efficiency program used by General Contractor

- (3)** The DP will not significantly increase solar shading of adjacent land in comparison with a development that could be developed under the existing zoning district.

Comparable heights, uses and generous setbacks created by the abutting streets and internal circular access drive aisle do not significantly increase solar shading of adjacent land in comparison with a development that could be developed under the existing C-O or C-3 zoning districts. Moreover, the C-O or C-3 zoning district allows up to 48' (not inclusive of roof apparatus) in building height, which will be comparable to the proposed development.

- (4)** The DP promotes connectivity between adjacent and abutting parcels, and provides open spaces that are visible at the public right-of-way and useful to the development.

The proposed development provides for usable and common open space, with shaded seating and landscaping features that exemplify the promotion of connectivity between on-site and abutting properties. The enhanced/existing open space street frontage landscaping along Shea Boulevard of the Site creates an inviting/enhanced enjoyable streetscape for all modes of transportation. Furthermore, with the addition of individual unit roof decks will help enhance visibility and activity within this internal area of the Site providing greater security for the area. Finally, these open space areas and enhanced connections provide areas of contemplation, recreation (passive/active), cooling, visual interest and connections to the surrounding area. (See *the Landscape Plan Set Exhibit*)

The landscape palette is in keeping with a Sonoran Desert theme with strategically locating trees, shrubs, groundcovers, etc. to create a lush appearance that cools the environment both internally and externally. The entire Site is connected by internal walkways which link up to public sidewalks and bike/trail paths encouraging multimodal options. Vehicular access is centrally located to provide ease of access to Shea Boulevard and 92<sup>nd</sup> Street (i.e., via an “exit-only” access south through the medical office condominium) and to circulate around the new apartment building for resident access as well as fire access.

## V. Non-Major General Plan Determination

The requested GPA is in conformance with a Non-Major General Plan Amendment, based upon the criteria set forth in the General Plan. A detailed explanation of how this proposal is consistent with the 2001 General Plan and the Greater Airpark Character Area Plan is provided below.

### 1. *Change in Land Use Category*

A change in land use category on the land use plan that changes the land use character from one type to another as delineated in the land use category table (page 20 of the General Plan).

**Response:** The current 2001 General Plan designation is Commercial and a requested GPA land use change to the Mixed-Use Neighborhoods designation. These land use categories are located within Group E, and therefore do not constitute a Major GPA.

### 2a. **Area of Criteria Change**

A change in the land use designation that includes the following gross acreages:

\*Planning Zones A1, A2, B: 10 acres or more.

\*Planning Zones C1, C2, C3, D, E1, and E3: 15 acres or more.

**Response:** The designated Planning Zone for the Site is Zone C1.

This project is in keeping with the mission and values of the General Plan and community, and in addition the Site totals approximately 11 gross acres. Thus under the acreage threshold and meeting the Non-Major General Plan Amendment criteria.

The proposed mixed-use project uses and design elements of this project closely align with and reinforce the goals of Scottsdale's Mission, among them:

- "Promoting the livability of the community and enhancing and protecting neighborhoods and ensuring and sustaining the quality of life for all residents and visitors."
- "Enhancing and protecting neighborhoods"
- "Ensuring and sustain the quality of life for all residents and visitors."

This request provides a mix of uses, passive and active open spaces, and public benefits that are desired to enhance, protect, and sustain quality of life for the immediate neighborhood. The development provides many of the elements reflective of the goals and policies of the Scottsdale Design Guidelines, Shea Area Plan, and General Plan that speak to the intent of creating livable communities and a high quality of life desired by citizens.

Furthermore, the General Plan continues within the mission values of the land use element that contribute to Scottsdale’s identity and provide a balance of uses adequate for the live, work, and play theme. This proposal makes meaningful contributions to these land use element values:

- “Land uses should provide for an unsurpassed quality of life for both its citizens and visitors.”
- “Land uses should contribute to the unique identity that is Scottsdale.”
- “Land uses should work in concert with transportation systems in order to promote choice and reduce negative impacts upon the lifestyle of citizens and the quality of the environment.”
- “Land uses should provide opportunities for the design of uses to fit and respect the character, scale and quality of uses that exist in the community.”

The uses and public benefits of this lively development furthers the goals and policies listed above by creating a live, work, and play development that enhances the public realm surrounding this area. These elements collectively meet the future intent of the area as identified in the Scottsdale Design Guidelines, Shea Area Plan, and General Plan. Therefore in keeping with the mission values of the General Plan this request will not need rise to the level of a major amendment.

### 3. Character Area Criteria

Character areas have been added to the city’s planning process in order to recognize and maintain the unique physical, visual and functional conditions that occur in distinct areas across the community. The city recognizes that these form a context that is important to the lifestyle, economic well-being and long term viability of the community. These areas are identified by a number of parameters including but not limited to building scale, open space types and patterns, age of development and topographic setting.

If a proposal to change the land use category has not been clearly demonstrated by the applicant to comply with the guidelines and standards embodied within an approved character area plan it will be considered a major amendment.

**Response:** Based on the justification and written responses below regarding the Shea Area Plan, the proposed GPA would not constitute a major amendment. This location as indicated in Shea Area Plan is intended to provide a mix of uses located within the shopping and “core” area while protecting and enhancing the “openness” desert environment along Shea Boulevard. This indicates the appropriateness of the proposed mixed-use residential development within this existing retail/office center in this strategic location along with the current housing/development trends that are important to the Shea Area Plan, economic well-being, and long term viability.

**4. Water/ Wastewater Infrastructure Criteria**

If a proposal to change the planned land use category results in the premature increase in the size of a master planned water transmission or sewer collection facility, it will qualify as a major amendment.

**Response:** The proposed change in land use does not result in a premature increase in the water and sewer plan, therefore it will not constitute a major amendment. At this time the development team has no plans to change or upgrade any water or sewer infrastructure, but should improvements to these systems be necessary during the final design stages of the project then they will be discussed/negotiated with the city regarding the necessary improvements and what this particular project will be responsible for improving.

**VI. 2001 General Plan/Shea Area Plan**

**2001 General Plan**

The current 2001 General Plan designation is Commercial and a requested GPA land use change to Mixed-Use Neighborhoods. (See *2001 General Plan Land Use Existing & Proposed Exhibit*)

The General Plan sets forward collective goals and approaches of the community with the intent to integrate Guiding Principles into the planning process and provide as a framework for proposed development and the built environment. The goals are, however, not intended to be stationary or inflexible, which the General Plan clearly recognizes with this statement:

“The General Plan is designed to be a broad, flexible document that changes as the community needs, conditions and direction change.”

With this statement in mind, this proposed Non-Major General Plan Amendment not only meets, but exceeds the goals and approaches established in the General Plan. In addition, it is important to understand that the current General Plan is 19 years old and the evolving lifestyles and economic development trends of today must meet the needs of a growing and changing city and area.

**GENERAL PLAN ELEMENTS**

**Land Use:**

**Goal 3, Bullet Point 2:** Encourage the location of more intense mixed-use centers and regional employment cores along regional networks while incorporating appropriate transitions to adjoining land uses.

**Response:** The location of this mixed-use project is appropriately located with the McCormick Ranch Center. The McCormick Ranch Center is the appropriate location for a Mixed-Use

Neighborhoods designation for the proposed intensity of development, which currently provides pedestrian scaled uses and services on-site and the area. In addition, the location will support and enhance both the existing and proposed residential and non-residential uses in this location and transition between the employment users and surrounding retail. This development is replacing a vacant/hidden parcel into a vibrant use that will be a 24-7 days a week use and provide better security for the abutting users in the area too. Moreover, the development of apartments and the sidewalks will create a more walkable and enjoyable environment that helps to complete the overall development.

**Goal 4:** Maintain a balance of land uses that support a high quality of life, a diverse mixture of housing and leisure opportunities and the economic base needed to secure resources to support the community.

**Response:** This mixed use development proposes appropriately balanced uses that are consistent with the needs and character of the surrounding developments and area uses and encourage a high quality lifestyle with many leisure opportunities and resources that support the surrounding community. The residential and non-residential uses at this location will support the quality of life and lifestyle desired in the area by providing residential units with some additional non-residential uses to help the balance of uses that support the surrounding community.

**Goal 4, Bullet Point 1:** Allow for a diversity of residential uses and supporting services that provide for the needs of the community.

**Response:** This proposed development allows for a unique residential housing opportunity off the main street but helps with supporting services and amenities in the area. The proposed residential and existing non-residential uses at this Site provides for a balance and an appropriate level of unique mixed-use development that complement and complete the surrounding area providing for the needs of community and affords for an exceptional lifestyle.

**Goal 4, Bullet Point 2:** Ensure the highest level of services and public amenities are provided to the citizens of Scottsdale at the lowest costs in terms of property taxes and travel distances.

**Response:** High quality and desirable services and amenities are included within this development. Furthermore, the location of the development and uses within walking distance of this development provide residents and nearby citizens the highest level of services with minimal travel. The residential (i.e., apartments) component is the missing piece to this existing non-residential development and area, so by included the proposed apartments provides a nice balance of uses and amenities that promote a healthy lifestyle by encouraging walking and reduced travel (i.e., auto trips). There is a good balance of non-residential and commercial uses on Site that support the apartment development which will help sustain these uses along with pedestrian connections creating a walkable mixed-use development.

**Goal 4, Bullet Point 3:** Support jobs/housing balance by integrating housing, employment, and supporting infrastructure in mixed-use centers located at appropriate locations.

**Response:** This development will support the jobs and housing balance by providing an appropriate residential base to support new and existing employment and services. The designated McCormick Ranch Center is an ideal location for live, work, and play based mixed-use development that activates the surrounding area with pedestrians as well as connections while utilizing existing infrastructure.

**Goal 4, Bullet Point 4:** Provide a variety of housing types and densities and innovative development patterns and building methods that will result in greater housing affordability.

**Response:** The proposed apartment development provides a unique residential housing option that is not on a major street but tucked back and more secluded for those looking for such an option. In addition, there are various floor plans (i.e., studio, one, and two bedrooms) including roof top access units. Additionally, the density of 219 units proposed is a reasonable number economically for Kaplan to develop and provides a critical mass of people within this immediate area to bolster the retail, restaurants, and employment uses in the area. Moreover, this development is comparable with the larger areas existing apartment developments and at a comparable density too.

**Goal 4, Bullet Point 5:** Maintain a citywide balance of land uses that support changes in community vision/dynamics (established by future community visioning processes) over time.

**Response:** The proposed apartment development provides housing opportunities that support the future of the community and Scottsdale by enhancing the long-term viability of the employment users (i.e., hospital, medical, etc.) in the area as well as to appeal to employers looking to locate/expand while also providing an appropriate and transitional mixed-use development at this location in the McCormick Ranch Center. The apartment development provides a balance of uses to the area with the plethora of non-residential users in the area along with ease of access to major streets and the freeway system.

**Goal 7, Bullet Point 5:** Incorporate open space, mobility, and drainage networks while protecting the area's character and natural systems.

**Response:** Private and public, passive and active forms of open space are found throughout the overall Site (i.e., proposed and existing). It should be noted that the apartment development will exceed the required 10% open space. Again, these new/existing open space areas provide areas of contemplation, recreation (passive/active), cooling, and visual interest both on-site and off-site. Mobility and connections through the site and surrounding area are enhanced with pathways, landscaping, and ground level architectural elements (i.e., canopies, overhangs, etc.). Use of native landscaping along with strategically location open spaces and drainage areas have been

incorporated in an environmentally sensitive manner with consideration to the character of this area of Scottsdale.

**Goal 8, Bullet Point 2:** Develop and reinforce links (i.e. trails, paths, open space, transit, and streets) within and between residential, retail, employment, recreational and other public land uses.

**Response:** Paths, connections, and open spaces have been carefully connected throughout and surrounding the site to provide for comfortable connections and alternative modes of transportation to surrounding land uses and beyond.

**Goal 9:** Provide a broad variety of land uses that create synergy within mixed-use neighborhoods.

**Bullet Point 1:** Incorporate a diverse range of residential and non-residential uses and densities within mixed-use neighborhoods.

**Response:** The proposed apartment development adds needed residential to a predominately non-residential area. The apartment development adds a complimentary balance at this tough/hidden location designated by McCormick Ranch Center and Shea Area Plan for mixed-use development.

**Goal 9, Bullet Point 2:** Promote residential uses that support the scale and function of retail, commercial and employment uses within these neighborhoods, including the use of mixed-use structures (retail or office on lower level and residential uses on upper levels).

**Response:** The residential (apartment) mix proposed will be supportive of the existing retail, commercial, and employment uses within these neighborhoods and complete the mixed-use nature of this McCormick Ranch Center and the Shea Area Plan as envisioned.

**Goal 9, Bullet Point 3:** Encourage compact mixed-use, pedestrian oriented development patterns, at urban densities, that limit the demand for parking and unnecessary automobile trips, and support alternative modes of mobility.

**Response:** This Site, with the apartments, will utilize the existing infrastructure already in place and will take advantage of this prime location (albeit hidden from view) for such a mixed-use development because of the surrounding employment, retail, trails, and services. With a nice variety of employment and uses within walking distance, this Site and its future apartment development encourages walkability and alternative modes of transportation which limits automobile trips.

## **Growth Areas Element**

**Goal 3, Bullet Point 2:** Provide open spaces in designated growth areas that encourage public gathering, enhance aesthetics, preserve viewsheds, and serve as buffers between uses of significantly differing function and intensity.

**Response:** Open spaces (i.e., existing and proposed) have been strategically laid out within the Site. These areas encourage public gathering and activity. The open space corridor along Shea Boulevard continues to preserve viewsheds that also serve as a buffer from Shea Boulevard and provides for a public benefit for the area. The apartment development strengthens the design and character of the Shea Area Plan and promotes a safe, comfortable, and aesthetically pleasing pedestrian environment and overall mixed-use development.

## **Housing Element**

**Goal 3, Bullet Point 1:** Encourage and establish appropriate incentives for development of aesthetically pleasing housing that will accommodate a variety of income levels and socioeconomic needs.

**Response:** The proposed apartment development will be aesthetically pleasing and will allow for another housing opportunity within this immediate area.

**Goal 3, Bullet Point 6:** Consider incentives that encourage the development of diverse housing types, including smaller, more affordable units.

**Response:** A range of floor plans have been included with the development that provides various levels of living options (i.e. studio, one, and two bedrooms with roof access for some units) as well as amenities (e.g., concierge service).

**Goal 4, Bullet Point 1:** Encourage a variety of housing densities throughout Scottsdale, with mixed-uses in areas of major employment and transit hubs, to offer greater live/work choices to a broader economic range of households.

**Response:** This development provides a different level option in housing density while also providing a mix of uses located one of the city's premier employment/residential corridor and further enhancing the live/work philosophy.

**Goal 4, Bullet Point 5:** Support the use of future innovations in technology and telecommunications as a way to remain flexible to changing demographics, community profiles and quality of life choices, including opportunities like home based businesses, telecommuting, on-line shopping, etc.

**Response:** The apartment development supports the use of future innovations in technology that provide opportunities for "work from home" based businesses of the present and future while

providing for a high quality of life. The development will utilize state of the art Wi-Fi technology and contains on-site amenities and services within the business center that support future technology workers and can help to eliminate automobile use. The on-site business center has a conference center with meeting space and can assist in home business needs such as printing, which will be located within the development.

**Goal 4, Bullet Point 6:** Consider a variety of strategies to increase housing intensity and diversity in appropriate locations, such as around commercial areas, near transit centers or major employment.

**Response:** The proposed apartment development is in a heavily commercial/retail/office area. Moreover, there is bus, trails, and ease of access to the freeway. The apartments will also offer Uber and Lyft pickup & drop off area. Suffice to say, this site is ideal suited for residential apartments at the density proposed.

**Goal 4, Bullet Point 9:** Work to adjust the housing mix based on changing demographics and economics of the city.

**Response:** The changing economics and demographics of the city; particularly evolving towards a live, work, and play philosophy which allows for “work from home” options. The Site is in an ideal location to capitalize on that philosophy.

### **Community Mobility Element**

**Goal 8** Emphasize live, work, and play land use relationships to optimize the use of citywide systems and reduce the strain on regional and local/neighborhood systems.

**Response:** This mixed-use development will contribute to the existing live, work, and play theme seen in adjacent developments in this location. The mixed-use nature and design of the proposal provides for walkability and encourages alternative modes of transportation to reduce automobile trips and ultimately the strain on regional and local/neighborhood systems.

**Goal 8, Bullet Point 3:** Encourage, where appropriate, mixed use developments that physically incorporate residential, shopping and work environments within one area or project and place strong emphasis on connectivity with non-motorized access (pedestrian oriented development).

**Response:** This Site provides an appropriate mixed-use development with the various commercial/retail/office users in the area. Furthermore, by adding the apartments, the development is designed with the intent to reduce automobile trips and encourage pedestrian oriented development by including ground level uses, live/work units, and services and enhancing the streetscapes to become walkable, comfortable, and aesthetically pleasing.

**Goal 11:** Provide opportunities for building “community” through neighborhood mobility.

- Encourage the sensitive integration of live, work and play land uses and their physical links within and between neighborhoods to emphasize sense of place.
- Provide a high level of service for pedestrians through facilities that are separated and protected from vehicle travel (e.g., placing landscaping between curbs and sidewalks).
- Emphasize strong pedestrian orientation (e.g. shaded safe paths, links to civic spaces) to foster a strong sense of community.

**Response:** The design for this mixed-use development provides the opportunity to build community through neighborhood mobility by placing the pedestrian first via enhanced pathways on-site and beyond which will encourage activity and friendly neighborhood interaction. Design consideration includes shade, lighting, seating, bicycle parking, and safe pathways that foster a strong sense of community.

## **GENERAL PLAN – SIX GUIDING PRINCIPLES**

The following request is for a non-major GPA to the land use category and map contained in the Land Use Element of the City of Scottsdale 2001 General Plan. Six guiding principles indicate the appropriateness of a land use change to the General Plan. These six Guiding Principles are:

1. Value Scottsdale’s Unique Lifestyle & Character.
2. Support Economic Vitality.
3. Enhance Neighborhoods.
4. Preserve meaningful Open Space.
5. Seek Sustainability.
6. Advance Transportation.

### Responses:

1. Value Scottsdale’s Unique Lifestyle & Character:

**Response:** Scottsdale is world renowned for a tourism and resort lifestyle. The live, work, and play theme extends the concept of the unique Scottsdale lifestyle by offering an opportunity to utilize the surrounding amenities, services, entertainment, recreation, relaxation, business, and travel within walking distance to a place of residence. With the proximity to the TPC Golf Course, Scottsdale Airpark, and WestWorld among many other businesses this proposed development offers a modern, active, and exciting lifestyle rooted in a location that provides access to some of the best amenities the Scottsdale lifestyle has to offer. From professionals to families, this location provides the location, lifestyle, and services that appeal to everyone.

2. Support Economic Vitality:

**Response:** This proposed apartment development will generate sales tax revenue from new tenants, property taxes, and indirect revenues spent within the area at nearby businesses, which generates a substantial new economic benefit to the city. The current office zoning on-site would not generate as great of economic benefit as a new community of residents who will generally spend a good portion of their income within the immediate area and Scottsdale as a whole. Moreover, increased residents within an area provides for greater opportunities for new employers to locate or expand due to the close proximity to housing, retail, recreation, etc.

3. Enhance Neighborhoods:

**Response:** The proposed project will best utilize the Site, which is in the back of an existing development and hidden. This project will enhance pedestrian activity and connectivity of various areas, as well as bring to the area an active residential community and support services. The economic spin-off related to the new community provides revenue to surrounding property owners' businesses through shopping, dining, and nearby recreation/entertainment opportunities.

4. Preserve Meaningful Open Space:

**Response:** This project provides and has already areas for public rest, interaction, and connections. In addition, the one (1) main internal courtyard within the proposed apartment development along with the Scenic Corridor along Shea Boulevard provides open areas for people to gather/walk. The Scenic Corridor along Shea Boulevard was approved in its current configuration in 2002 with a stipulation (Case: 11-ZN-2002) to provide a minimum of 80-feet and an average of 100-feet in width. The current configuration and design are appropriate and continues to meet the intent/spirit of the Shea Area Plan approved in 1993. As such, this Scenic Corridor will not be changed with the proposed apartment development or the redevelopment of the existing office/retail that may occur in the future. The Site has, and will have, beautiful natural landscaping that enhances the open space areas to be built and as such the landscaping will showcase the beauty Sonoran Desert landscape palette.

5. Seek Sustainability:

**Response:** Many features of the proposed apartment development will indicate the commitment to sustainability. The density and design of this more urban multi-family development will use less land area and encourages a more mobile lifestyle other than via an automobile (e.g. walking, biking, and transit). Other design considerations include native landscaping which will reduce water use.

6. Advance Transportation:

**Response:** A mix of uses and nearby services encourages alternative modes of transportation through walking and bicycling. Furthermore, the apartment development Uber and Lyft pickup & drop off area emphasizing the lack thereof of needing a car while providing pedestrian amenities such as shade, seating, and bicycle/scooter parking.

**SHEA AREA PLAN**

The Shea Area Plan was adopted in June 1993 by Scottsdale’s City Council. The following are the goals, intent, and policies from the Shea Area Plan (**emphasis** added) that support our proposal.

**GOAL – ENHANCE AND PROTECT EXISTING NEIGHBORHOODS**

INTENT: **New development should blend into the existing land use patterns** without creating negative off-site impacts.

POLICY 1 - **New development should be compatible to existing development through appropriate transitions.**

GUIDELINES:

The **following techniques are suggested to encourage compatibility with adjoining land uses:**

...

- 1) **Building heights at the edges of the parcel should reflect those already established by the existing neighborhood.**

...

- 4) **Buffering techniques such as landscaping, open space, parks, and trails should be used whenever possible.**

POLICY 2 - Parcels should develop without encouraging neighborhood assemblages. **It is desirable to unite undeveloped, individually owned parcels into a common development.**

**GOAL – ENCOURAGE SITE PLANNING WHICH IS SENSITIVE TO ENVIRONMENTAL FEATURES**

INTENT: Existing city policies provided for strong environmental protection and should be followed and actively enforced.

POLICY 1 - Open space should be provided to link neighborhoods with trails and recreational areas, act as buffers between major streets and adjacent land uses, provide for drainage, and protect significant habitat corridors, and to visually enhance the character of the area.

**GOAL – PROVIDE FOR AN EFFICIENT ROAD NETWORK AND PROMOTE ALTERNATIVE MODES OF TRAVEL**

INTENT: Shea Boulevard should be built according to anticipated traffic demands. Limit site access, median breaks, and traffic signal locations in accordance with the Shea Boulevard Transportation/Access Policy to be approved within six months of the Shea Area Plan.

POLICY 2 - The trail system should be maximized as an alternative transportation route.

**GOAL – A VARIETY OF RESIDENTIAL HOUSING CHOICES SHOULD BE PROVIDED**

INTENT: Create housing opportunities that will allow residents to live near schools and employment areas.

POLICY 1 - Enhance and protect the existing residential areas while allowing flexibility in residential parcels having Shea frontage.

GUIDELINES:

...

- 5) For parcels at the intersection of Shea and an arterial or greater street, consider multi-family residential projects on any developable corner of the intersection.

**Response:** The surrounding area is approved for or has been developed with 1, 2, 3, and 4 story buildings, which the proposed apartment development would be consistent, albeit a bit higher, than some of these developments. However, the property is in the rear and behind an existing 2 story office/retail building as well as provides a nice buffer and visibility to Shea Boulevard. More importantly this area was envisioned to have the most

intense developments within the McCormick Ranch community (i.e., the “core”). As properties develop/redevelop height will be important as the area is becoming built out. It is worth noting, the hospital has height of 4-5 stories. Homogenous heights are not ideal, and diversity of heights provides an interest to an area as well as assists in making projects economically sound/viable (i.e., in this case the number of units/people living within the area to support the ancillary uses). Thus, by adding the proposed compatible apartment development to this existing office/retail center will enforce, adhere to, and provide a more sustainable environment envisioned by the Shea Area Plan. And by providing buffers to the existing developments in the area, pedestrian connectivity points on-site and beyond (i.e., to the trail system, employment, retail, etc.) will create a less impactful environment, which is envisioned by the Shea Area Plan.

## VII. PUD Criteria

**Section 5.5003** of the Zoning Ordinance states that the development proposals shall comply with the following criteria:

### *A. PUD Zoning District Approval Criteria,*

*1. As part of the approval or modified approval of an application for a PUD district, the Planning Commission shall recommend and the City Council shall find that the following criteria have been met:*

*A. The proposed development promotes revitalization, the goals, policies and guidelines of the General Plan, Area Plans and Design Guidelines.*

**Response:** The proposed addition of the apartment development to this Site accomplishes a range of goals including the public benefit of developing and using this hidden vacant lot into use. In addition, the high quality, vibrant architectural and site planning design as well as creating pedestrian synergy will complement the surrounding area. The proposed development meets and furthers the goals and policies of the General Plan and Shea Area Plan as discussed in this narrative. For example, the development of a mix of uses; specifically, residential (apartments) and providing pedestrian connections/pathways thus encouraging less dependency on the auto for the Site and the “core” area (i.e., McCormick Ranch Center).

*B. The proposed development’s uses, densities, or development standards would not otherwise be permitted by the property’s existing zoning.*

**Response:** The proposed apartment development would not be permitted under the existing C-O zoning designation on the vacant property and as such the request to PUD to allow for said use as an integrated development. There is a tremendous amount of existing office, potential redevelopment of office, and the potential for future office space that are more ideally located than this current location hidden behind and “sandwiched” between existing developments.

- C. *The proposed development will be compatible with adjacent land uses and promotes the stability and integrity of abutting or adjacent residential neighborhoods.*

**Response:** The proposed apartment development is compatible with adjacent land uses, heights, and maintains the integrity of the Shea Area Plan and McCormick Ranch Center’s “core” area by providing a balance between residential and employment/retail type uses. Current multi-family residential projects in the area are compatible and similar character, but this location is hidden from view and a difficult property to develop into something other than residential units.

- D. *That there is adequate infrastructure and City services to serve the development.*

**Response:** There are adequate infrastructure and City services to serve the development.

- E. *That the proposal meets the following location criteria:*

- i. *The proposed development is not located within any areas zoned environmentally sensitive lands ordinance (ESL) nor within the boundaries of the Downtown Plan.*

**Response:** The Site is not located within the ESL area or within the boundaries of the Downtown Plan.

- ii. *The proposed development fronts onto a major or minor arterial and/or major collector street as designated in the City’s transportation master plan.*

**Response:** The Site fronts Shea Boulevard, a major arterial street as well as has access to 92<sup>nd</sup> Street a minor collector via an existing vehicular access easement, which is proposed to be an “exit-only” access point through the abutting medical office condominium to the south.

## **VIII. Conclusion**

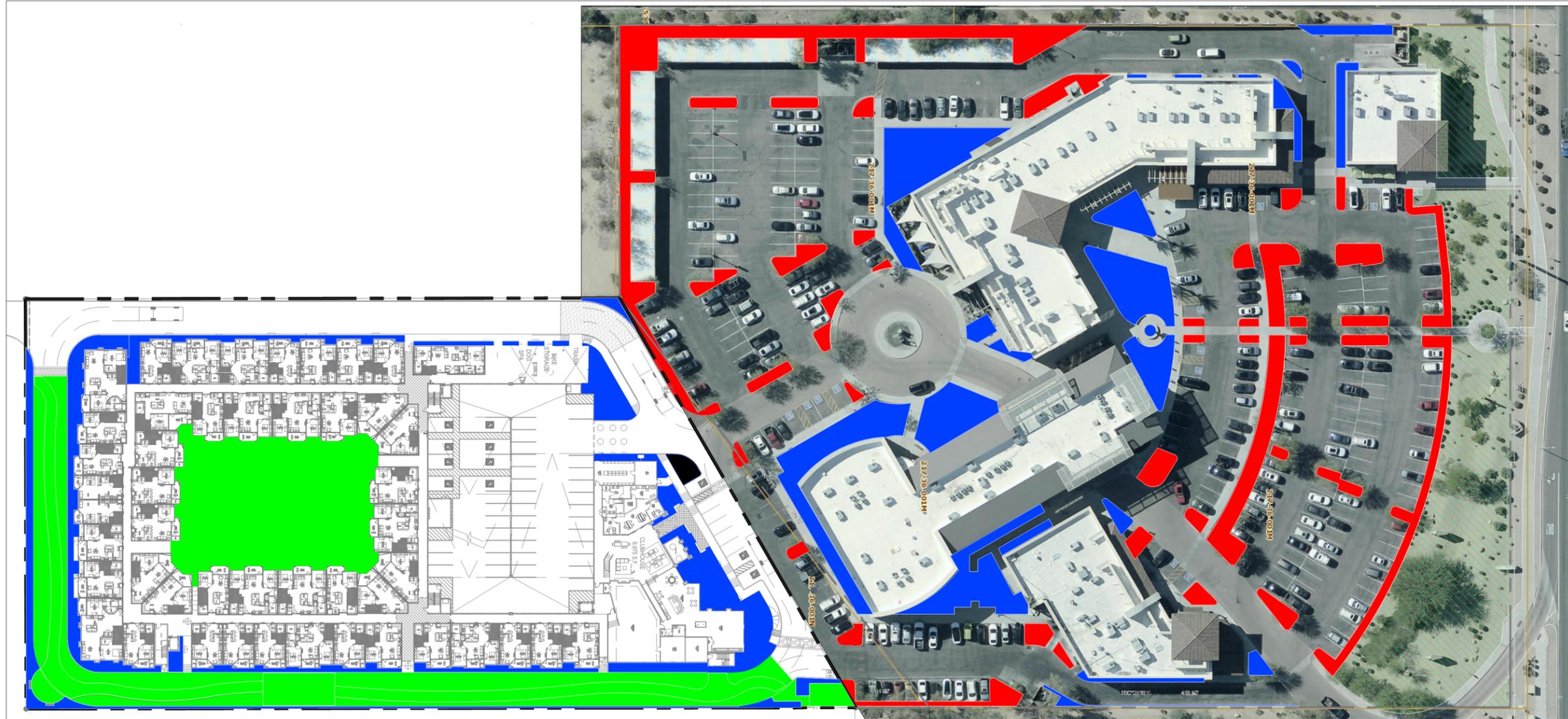
In summary, the applicant is seeking a Non-Major General Plan Amendment and rezoning on an approximately 11+/- gross acre site located at 9375 East Shea Boulevard to create and add a unique luxury multi-family residential development to an existing retail/office center in order to create a mixed-use development with approximately 219 residential units. These residential units will enhance upon the work, live, and play environment encouraged by the McCormick Ranch Center “core” area, the Shea Area Plan, and General Plan as well as the trend in development patterns (i.e., areas more urban and with amenities) currently occurring in Scottsdale and beyond.

Workers, millennials, and professionals alike desire a work/live lifestyle option that is different than a traditional workplace and household environment. One that affords them a flexible schedule to work and play and thus creating a more active (24-hour) environment of live, work,

and play. As such; a development that promotes a mix of land uses, walkability/bike riding, reduced auto trip generation, environmental responsibility, amenities, and professional synergy/contact are important and revered by society today.

The proposed mix of uses envisioned on this 11+/- gross acre site will not only enhance the local area, but Scottsdale in general by providing a unique living experience not available in many areas or cities. As stated, the 11+/- gross acre site is surrounded by a variety of employment, recreation, entertainment, office, and service-related business and as such is perfect for this unique mixed-use concept.

This is a unique and exciting mixed-use project that will not only be a success but will exemplify the vision that the city of Scottsdale, the employers, and the residents had hoped, and hope, to achieve in the area.



**SITE DATA**

GROSS SITE AREA:	479,160 SQFT
NET SITE AREA:	451,281 SQFT
ZONING:	C-3
PROPOSED ZONING:	PUD

**COMMON OPEN SPACE RETAIL SITE**

GROSS SITE AREA:	322,591 SQFT
OPEN SPACE FACTOR:	0.10
REQ. OPEN SPACE CALCULATIONS:	- 322,591 X .10 = 32,259 SQ. FT
TOTAL OPEN SPACE REQUIRED:	32,259 SQ. FT
TOTAL OPEN SPACE PROVIDED:	71,022 SQ. FT

**COMMON OPEN SPACE MF SITE**

GROSS SITE AREA:	156,569 SQFT
OPEN SPACE FACTOR:	0.10
REQ. OPEN SPACE CALCULATIONS:	- 156,569 X .10 = 15,657 SQ. FT
TOTAL OPEN SPACE REQUIRED:	15,657 SQ. FT
TOTAL OPEN SPACE PROVIDED:	48,582 SQ. FT

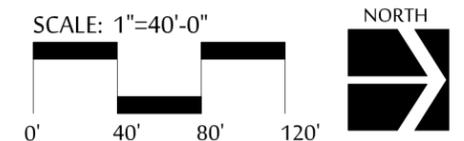
**TOTAL COMMON OPEN SPACE**

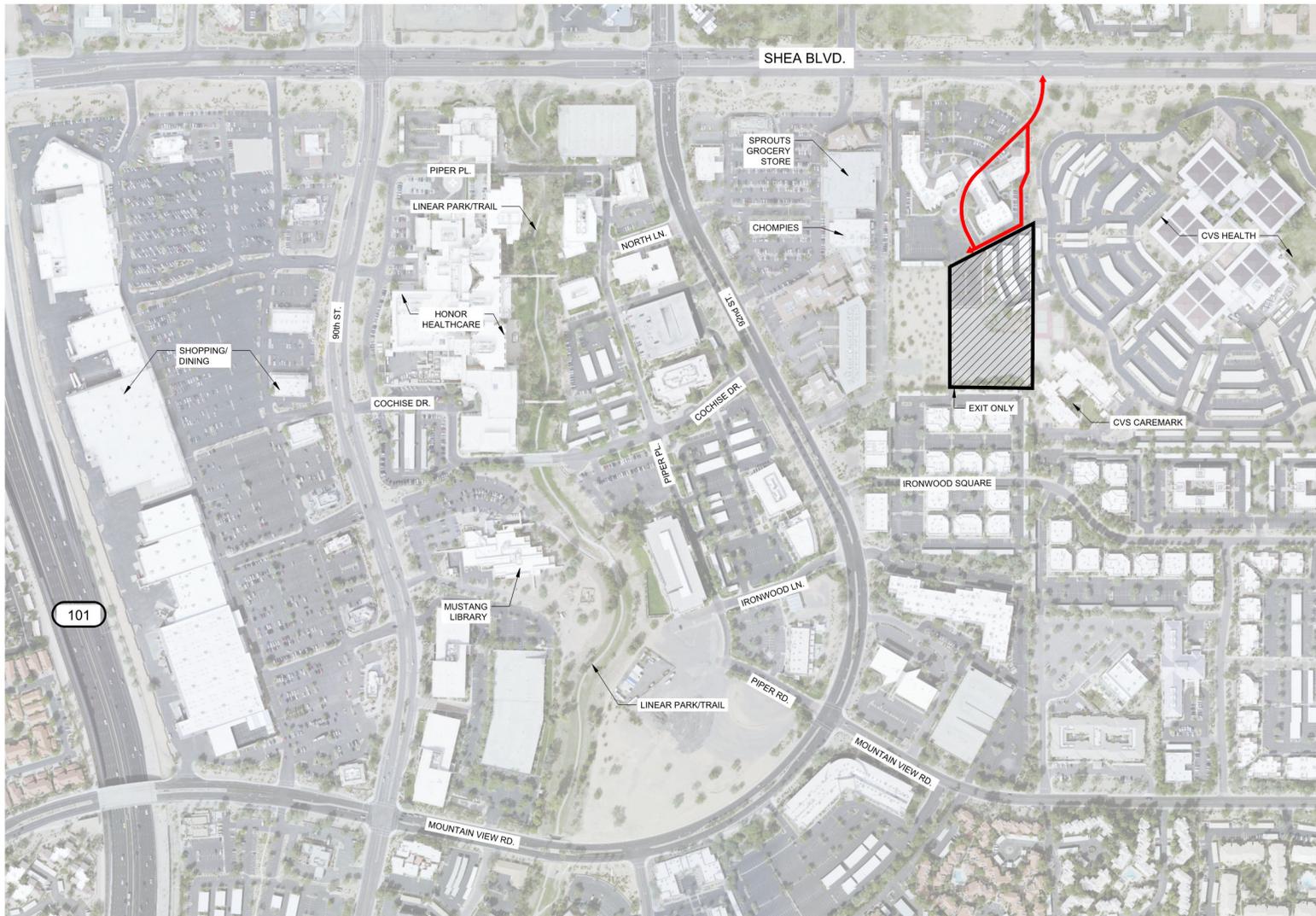
	FRONT AREA OPEN SPACE - 29,696 SQFT
	USABLE OPEN SPACE - 35,359 SQFT
	PARKING LOT LANDSCAPING - 22,857 SQFT
	OTHER OPEN SPACE AREA - 31,692 SQFT
TOTAL OPEN SPACE REQUIRED: 47,916 SQ. FT	
TOTAL OPEN SPACE PROVIDED: 119,604 SQ. FT	



**DISTRICT AT 9400 SHEA**  
OVERALL OPEN SPACE EXHIBIT

9375 E. SHEA BOULEVARD, SCOTTSDALE, AZ 85260  
APRIL 1, 2021





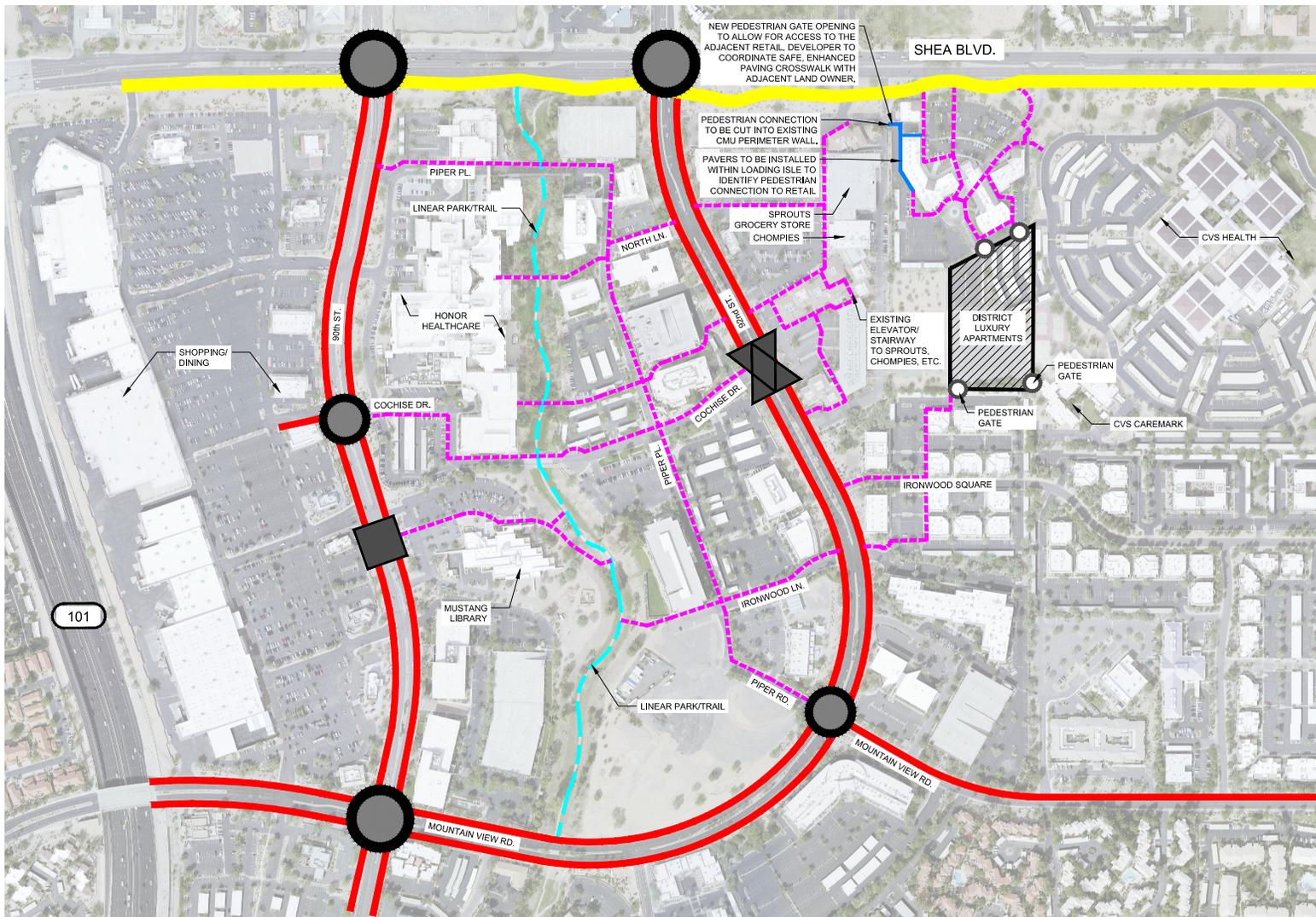
LEGEND



# DISTRICT AT 9400 SHEA

## VEHICULAR SITE ACCESS PLAN

9375 E. SHEA BOULEVARD, SCOTTSDALE, AZ 85260  
 APRIL 1, 2021



**LEGEND**

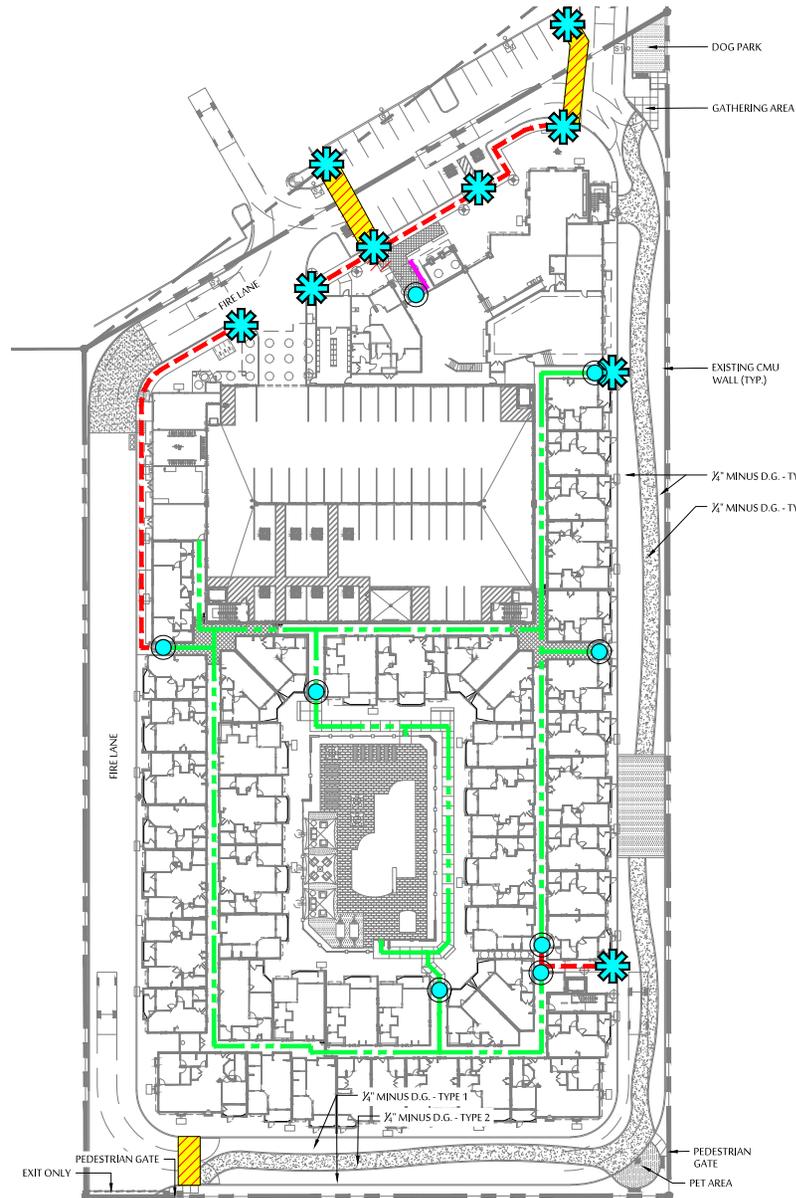
- EXISTING 8' DETACHED SIDEWALK (ALONG SHEA BLVD.)
- EXISTING 5' SIDEWALK (ALONG COLLECTORS)
- EXISTING PEDESTRIAN CONNECTIONS
- EXISTING LINEAR PARK TRAIL
- PROPOSED PEDESTRIAN CONNECTION (INSTALLED BY KAPLAN)
- EXISTING TRAFFIC SIGNAL
- EXISTING PEDESTRIAN CROSSING
- PROPOSED PEDESTRIAN CROSSING
- SITE PEDESTRIAN ACCESS LOCATIONS



## DISTRICT AT 9400 SHEA

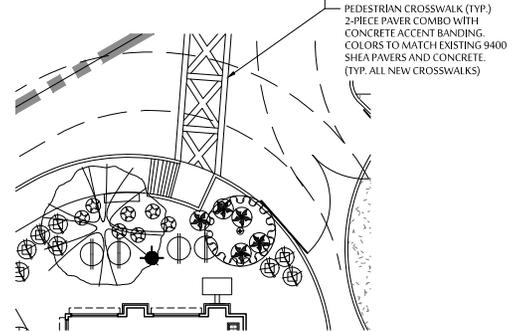
### PEDESTRIAN NEIGHBORHOOD CONNECTION EXHIBIT

9375 E. SHEA BOULEVARD, SCOTTSDALE, AZ 85260  
APRIL 1, 2021



**PEDESTRIAN CIRCULATION LEGEND**

	6' WIDE PUBLIC PEDESTRIAN CIRCULATION
	6' PRIVATE PEDESTRIAN CIRCULATION
	8' WIDE ENHANCED CROSSWALK DEFINES AND REINFORCES PEDESTRIAN ACCESSWAY
	A.D.A. ACCESSIBLE RAMP
	INTERIOR/EXTERIOR TRANSITION



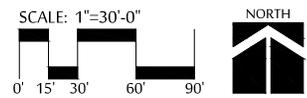
SECONDARY ENTRANCE - TYPICAL PEDESTRIAN LANDING

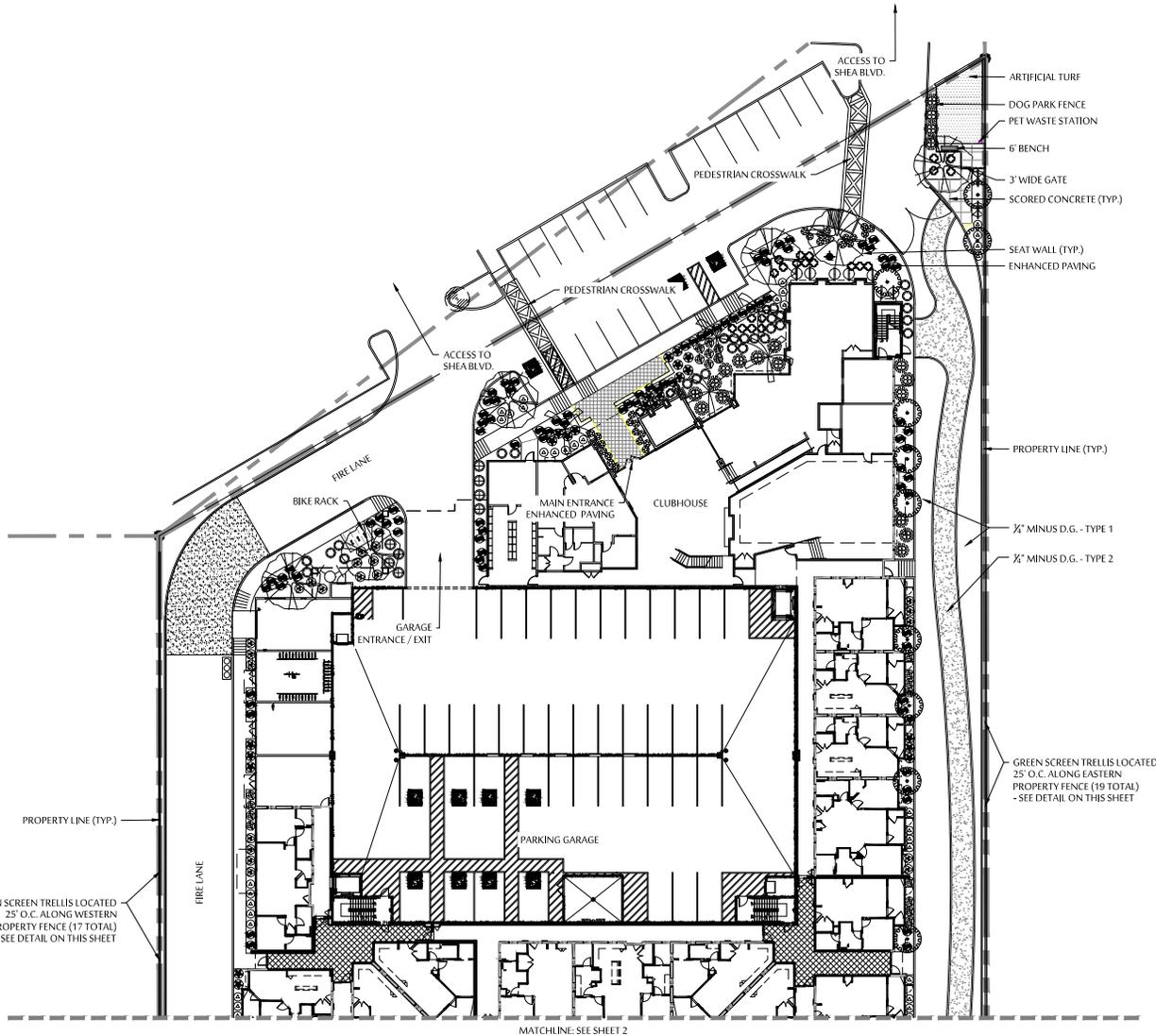
# DISTRICT AT 9400 SHEA

## PEDESTRIAN CIRCULATION PLAN

9375 E. SHEA BOULEVARD, SCOTTSDALE, AZ 85260

APRIL 1, 2021





PLANT LEGEND

SYMBOL	BOTANICAL NAME - COMMON NAME	CALIPER	QTY.	SIZE	COMMENTS
<b>TREES</b>					
	PHOENIX DACTYLIFERA - DATE PALM	-	8	16" BROWN TRUNK	DIAMOND CUT
	QUERCUS VIRGINIANA - CATHEDRAL OAK	3" MIN.	8	48" BOX	STANDARD
	PISTACIA LENTISCUUS - MASTIC	1" MIN.	34	24" BOX	STANDARD
	ACACIA ANEURA - MULGA ACACIA	3" MIN.	6	48" BOX	STANDARD
	CHAMPAEROPS HUMILIS - MEDITERRANEAN FAN PALM	-	2	20 GAL	UNIFORM
	CHAMPAEROPS HUMILIS - MEDITERRANEAN FAN PALM	-	6	48" BOX	UNIFORM
<b>SHRUBS / ACCENTS / GROUNDCOVERS</b>					
	RUPELLIA PENINSULARIS - BAJA RUELLIA		60	5 GAL	CAN FULL
	RUSSELLIA EQUISSETIFORMIS - CORAL FOUNTAIN GRASS		56	5 GAL	CAN FULL
	OLEA EUROPAEA 'MONTRA' - LITTLE OLLIE DWARF OLIVE		43	5 GAL	CAN FULL
	MUHLBERGIA RIGIDA - DEER GRASS		30	5 GAL	CAN FULL
	LEUCOPHYLLUM FRUTESCENS - HEAVENLY CLOUD SAGE		42	5 GAL	CAN FULL
	BOUTELLOUA GRACILIS - BLONDE AMBITION		51	5 GAL	CAN FULL
	EREMOPHILA HYGROPHANA - BLUE BELLS		67	5 GAL	CAN FULL
	EREMOPHILA GLABRA SSP. CARNOSA - WINTER BLAZE		37	5 GAL	CAN FULL
	GENISTA LYDIA - LYDIA		14	5 GAL	CAN FULL
	DODONAEA VISCOSA - HOPBUSH		23	5 GAL	CAN FULL
	XYLOSMA CONGESTUM - SHINY XYLOSMA		10	5 GAL	CAN FULL
	LANTANA X 'NEW GOLD' - NEW GOLD LANTANA		131	5 GAL	CAN FULL
	ALOE HYBRID - TOPAZ		31	5 GAL	CAN FULL
	CYCAS REVOLUTA - SAGO PALM		6	5 GAL	CAN FULL
	PITTOSPORUM TOBIRA - TURNER'S VARIEGATED DWARF		18	5 GAL	CAN FULL
	MYRTUS COMMUNIS 'COMPACTA' - DWARF MYRTLE		23	5 GAL	CAN FULL
<b>VINES</b>					
	BIGNONIA CAPREOLATA - 'TANGERINE BEAUTY' CROSSVINE			5 GAL	CAN FULL



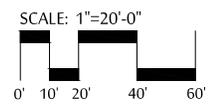
GREEN SCREEN TRELLIS DETAIL NOT TO SCALE

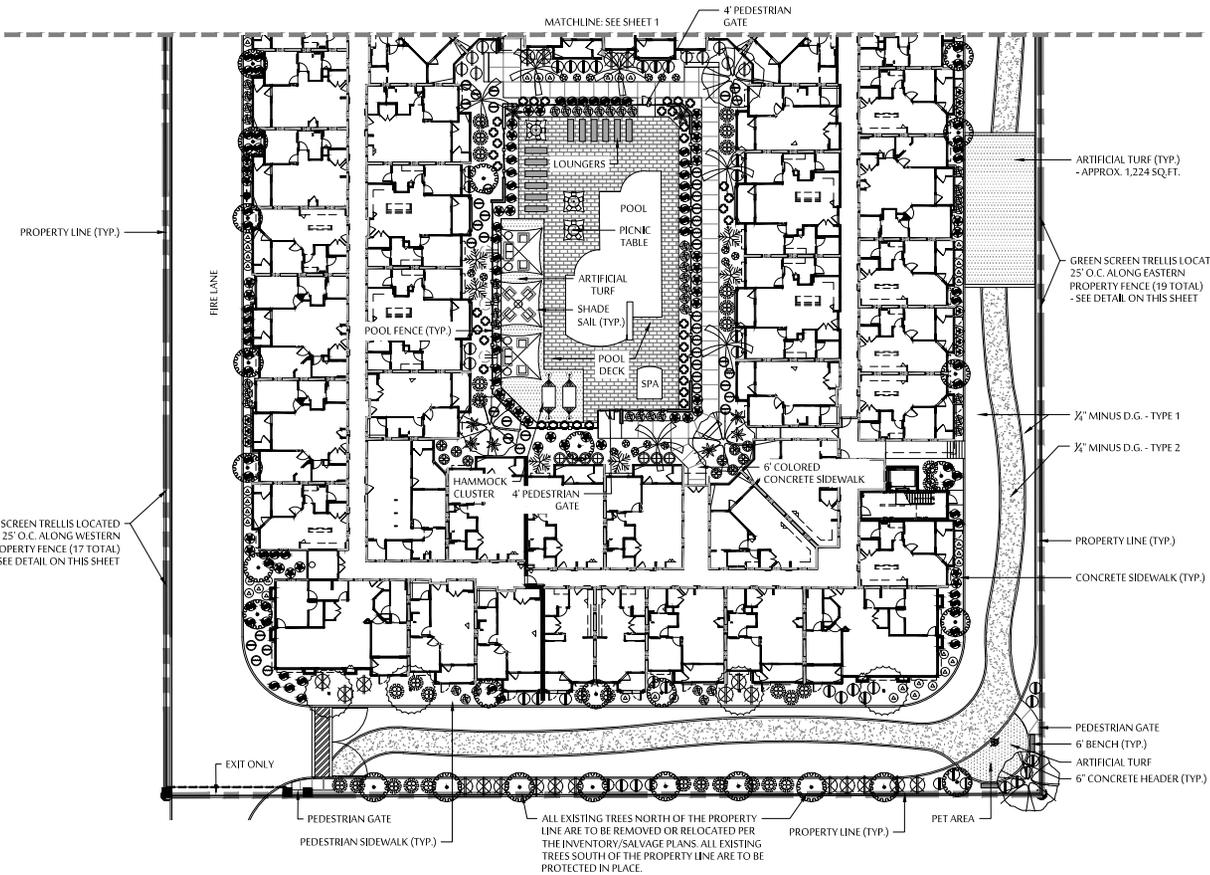


DISTRICT AT 9400 SHEA  
PRELIMINARY PLANTING PLAN

9375 E. SHEA BOULEVARD, SCOTTSDALE, AZ 85260  
APRIL 1, 2021

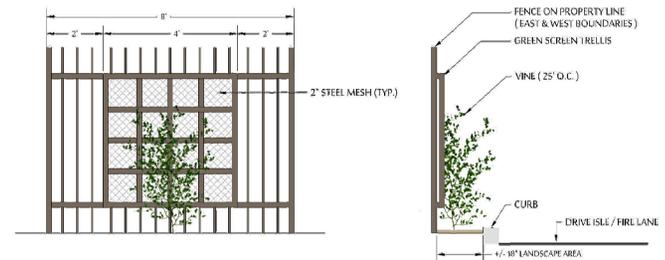
SHEET 1





PLANT LEGEND

SYMBOL	BOTANICAL NAME - COMMON NAME	CALIPER	QTY.	SIZE	COMMENTS
<b>TREES</b>					
	PHOENIX DACTYLIFERA - DATE PALM	-	8	16" BROWN TRUNK	DIAMOND CUT
	QUERCUS VIRGINIANA - CATHEDRAL OAK	3" MIN.	8	48" BOX	STANDARD
	PISTACIA LENTISCUUS - MASTIC	1" MIN.	34	24" BOX	STANDARD
	ACACIA ANEURA - MULGA ACACIA	3" MIN.	6	48" BOX	STANDARD
	CHAMPAEROPS HUMILIS - MEDITERRANEAN FAN PALM	-	2	20 GAL	UNIFORM
	CHAMPAEROPS HUMILIS - MEDITERRANEAN FAN PALM	-	6	48" BOX	UNIFORM
<b>SHRUBS / ACCENTS / GROUNDCOVERS</b>					
	RUPELLIA PENINSULARIS - BAJA RUELLIA		60	5 GAL	CAN FULL
	RUPELLIA EQUISETIFORMIS - CORAL FOUNTAIN GRASS		56	5 GAL	CAN FULL
	OLEA EUROPAEA 'MONTRA' - LITTLE OLLIE DWARF OLIVE		43	5 GAL	CAN FULL
	MUHLENBERGIA RIGIDA - DEER GRASS		30	5 GAL	CAN FULL
	LEUCOPHYLLUM FRUTESCENS - HEAVENLY CLOUD SAGE		42	5 GAL	CAN FULL
	BOUTELLOUA GRACILIS - BLONDE AMBITION		51	5 GAL	CAN FULL
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	GENISTA LYDIA - LYDIA		14	5 GAL	CAN FULL
	DODONAEA VISCOSA - HOPBUSH		23	5 GAL	CAN FULL
	XYLOSMA CONGESTUM - SHINY XYLOSMA		10	5 GAL	CAN FULL
	LANTANA X 'NEW GOLD' - NEW GOLD LANTANA		131	5 GAL	CAN FULL
	ALOE HYBRID - TOPAZ		31	5 GAL	CAN FULL
	CYCAS REVOLUTA - SAGO PALM		6	5 GAL	CAN FULL
	PITTIOSPORUM TOBIRA - TURNER'S VARIEGATED DWARF		18	5 GAL	CAN FULL
	MYRTUS COMMUNIS 'COMPACTA' - DWARF MYRTLE		23	5 GAL	CAN FULL
<b>VINES</b>					
	BIGNONIA CAPREOLATA - 'TANGERINE BEAUTY' CROSSVINE			5 GAL	CAN FULL



GREEN SCREEN TRELLIS DETAIL

NOT TO SCALE

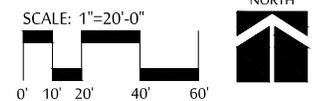


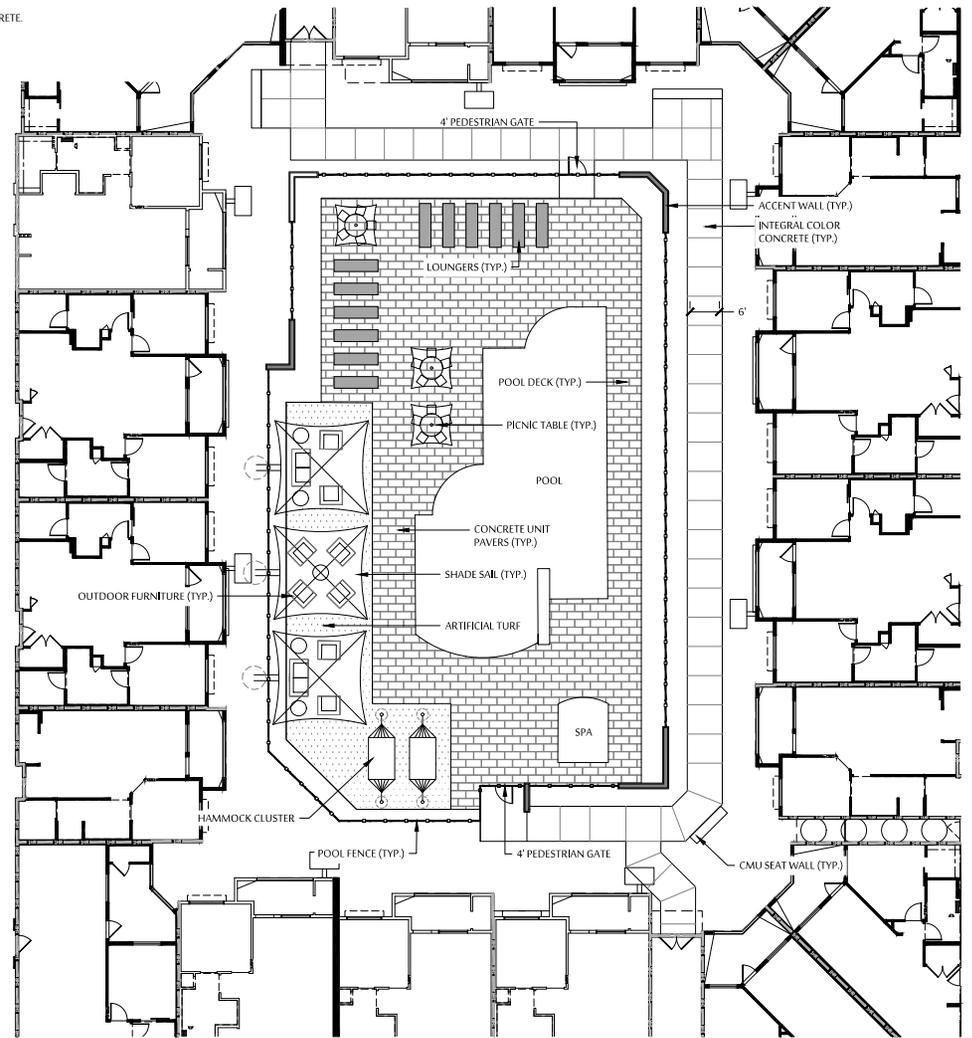
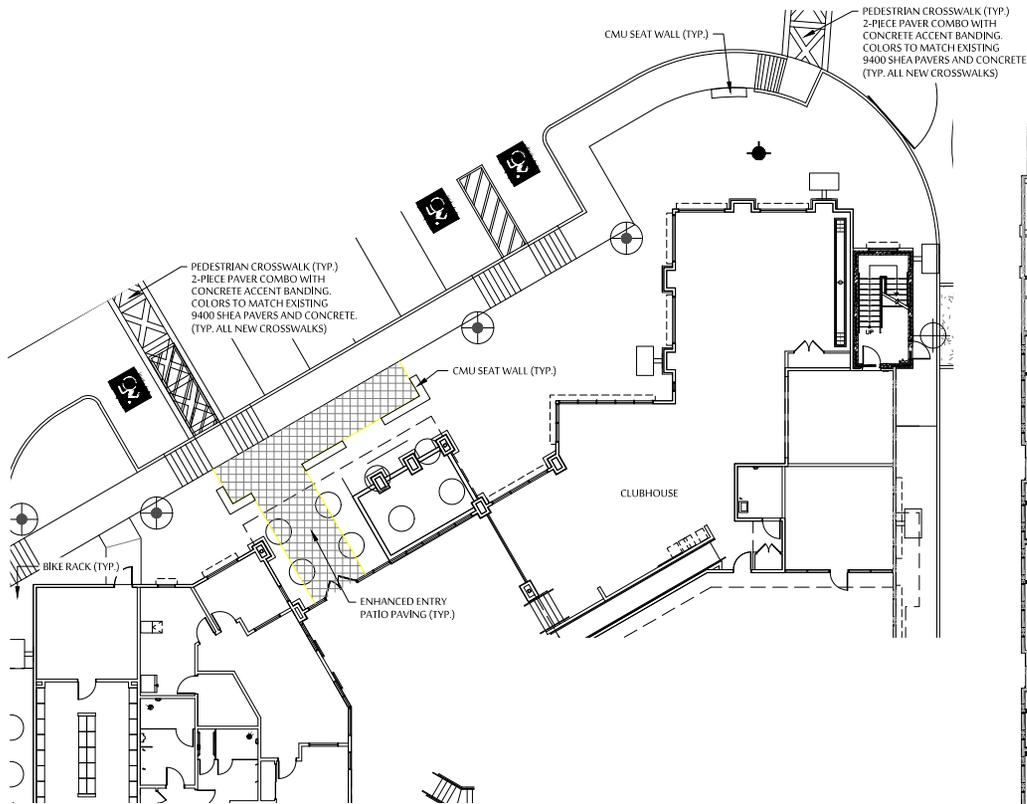
DISTRICT AT 9400 SHEA  
PRELIMINARY PLANTING PLAN

SHEET 2

9375 E. SHEA BOULEVARD, SCOTTSDALE, AZ 85260

APRIL 1, 2021



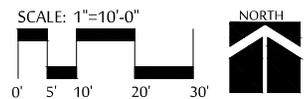


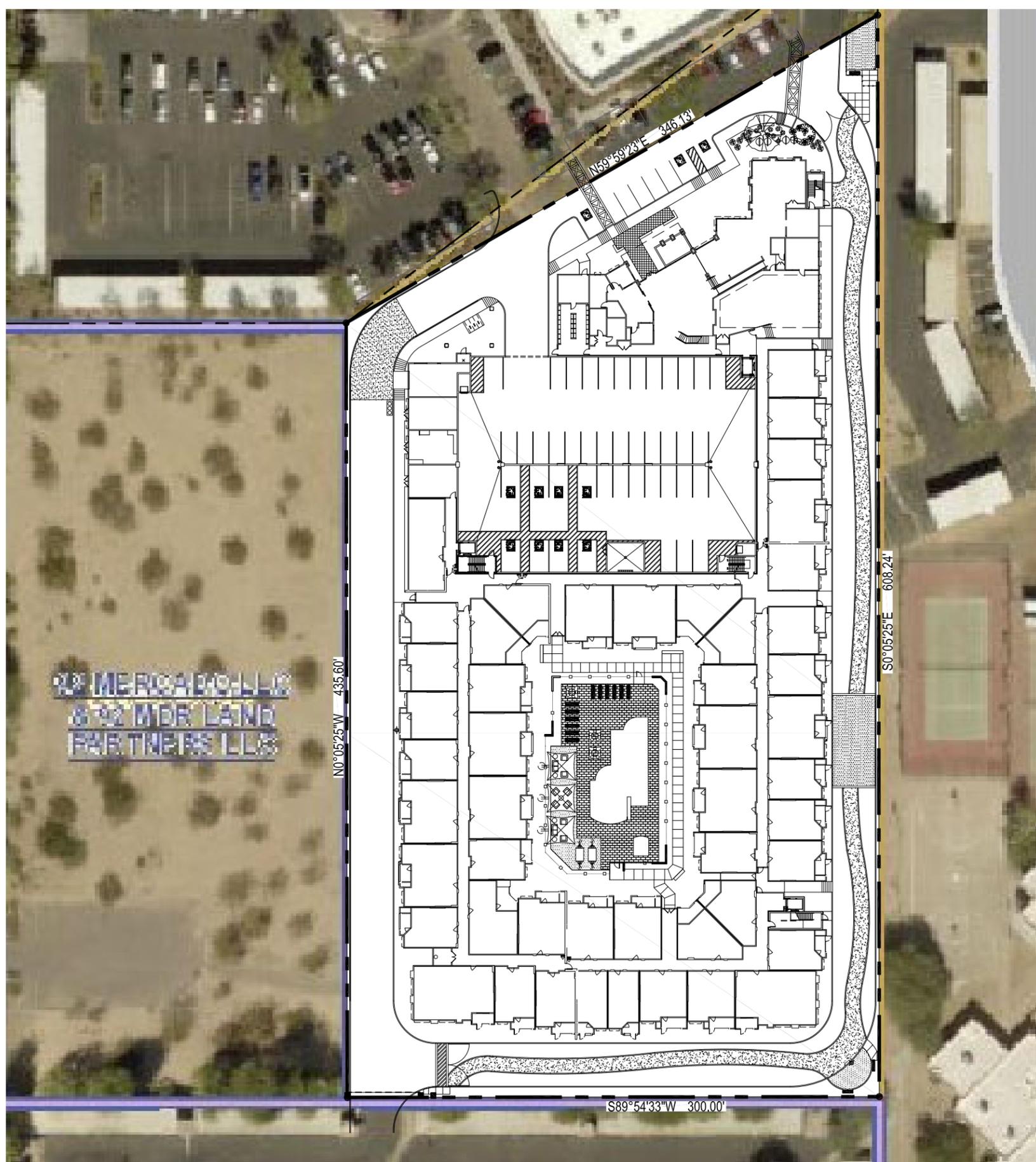
# DISTRICT AT 9400 SHEA

## CONCEPTUAL HARDSCAPE PLAN

9375 E. SHEA BOULEVARD, SCOTTSDALE, AZ 85260

APRIL 1, 2021





**LEGAL DESCRIPTION**

**LEGAL DESCRIPTION:**

**PARCEL NO. 1:**  
 A PORTION OF THE NORTHEAST QUARTER OF SECTION 30, TOWNSHIP 3 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA BEING MORE DESCRIBED AS FOLLOWS:

COMMENCING AT A BRASS CAP IN A HAND HOLE AT THE INTERSECTION OF 96TH STREET AND SHEA BOULEVARD MARKING THE NORTHEAST CORNER OF SAID SECTION 30, FROM WHICH A BRASS CAP IN A HAND HOLE AT THE INTERSECTION OF 92ND STREET AND SHEA BOULEVARD MARKING THE NORTH QUARTER OF SAID SECTION 30 BEARS SOUTH 69 DEGREES 59 MINUTES 24 SECONDS WEST 2642.28 FEET SAID LINE BEING NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 30, AND THE BASIS FOR THE BEARINGS IN THE DESCRIPTION:

THENCE SOUTH 89 DEGREES 59 MINUTES 24 SECONDS WEST, ALONG SAID NORTH LINE 1321.14 FEET;

THENCE SOUTH 00 DEGREES 05 MINUTES 25 SECONDS EAST 65.00 FEET TO A LINE 65.00 FEET SOUTH OF AND PARALLEL WITH SAID NORTH LINE, AND THE POINT OF BEGINNING;

THENCE CONTINUING SOUTH 00 DEGREES 05 MINUTES 25 SECONDS EAST 490.84 FEET;

THENCE SOUTH 59 DEGREES 59 MINUTES 23 SECONDS WEST 346.13 FEET;

THENCE SOUTH 89 DEGREES 54 MINUTES 33 SECONDS WEST 200.00 FEET;

THENCE NORTH 00 DEGREES 05 MINUTES 25 SECONDS WEST 664.19 FEET TO A LINE 65.00 FEET SOUTH OF AND PARALLEL WITH THE NORTH LINE OF SAID NORTHWEST QUARTER;

THENCE NORTH 89 DEGREES 59 MINUTES 24 SECONDS EAST, ALONG SAID PARALLEL LINE 500.00 FEET TO THE POINT OF BEGINNING.

**PARCEL NO. 2:**  
 A PORTION OF THE NORTHEAST QUARTER OF SECTION 30, TOWNSHIP 3 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVERBASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A FOUND BRASS CAP IN A HAND HOLE AT THE NORTHEAST CORNER OF SAID SECTION 30, FROM WHICH A FOUND BRASS CAP IN A HAND HOLE AT THE NORTH QUARTER CORNER OF SAID SECTION BEARS SOUTH 69 DEGREES 59 MINUTES 24 SECONDS WEST, 2642.27 FEET;

THENCE SOUTH 69 DEGREES 59 MINUTES 24 SECONDS WEST, ALONG THE NORTH LINE OF SAID NORTHEAST QUARTER 1321.14 FEET;

THENCE SOUTH 00 DEGREES 05 MINUTES 25 SECONDS EAST, 555.84 FEET TO THE POINT OF BEGINNING;

THENCE CONTINUING SOUTH 00 DEGREES 05 MINUTES 25 SECONDS EAST, 606.24 FEET;

THENCE SOUTH 69 DEGREES 54 MINUTES 33 SECONDS WEST, 300.00 FEET;

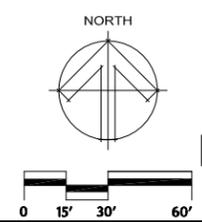
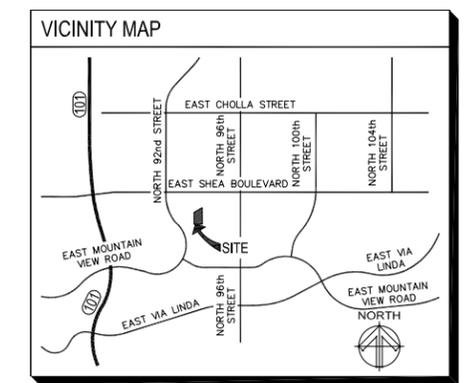
THENCE NORTH 00 DEGREES 05 MINUTES 25 SECONDS WEST, 435.60 FEET;

THENCE NORTH 59 DEGREES 59 MINUTES 23 SECONDS EAST, 346.13 FEET TO THE POINT OF BEGINNING.

**PARCEL NO. 3:**  
 EASEMENT FOR VEHICULAR AND PEDESTRIAN INGRESS AND EGRESS AS SET FORTH IN EASEMENT AGREEMENT RECORDED APRIL 04, 2013 AS 2013-0306840 OF OFFICIAL RECORDS.

**PARCEL NO. 4:**  
 PUBIC ACCESS EASEMENT AS SET FORTH ON MAP OF DEDICATION FOR MOUNTAIN VIEW PARK RECORDED IN BOOK 630 OF MAPS, PAGE 20, OFFICIAL RECORDS, MARICOPA COUNTY, ARIZONA.

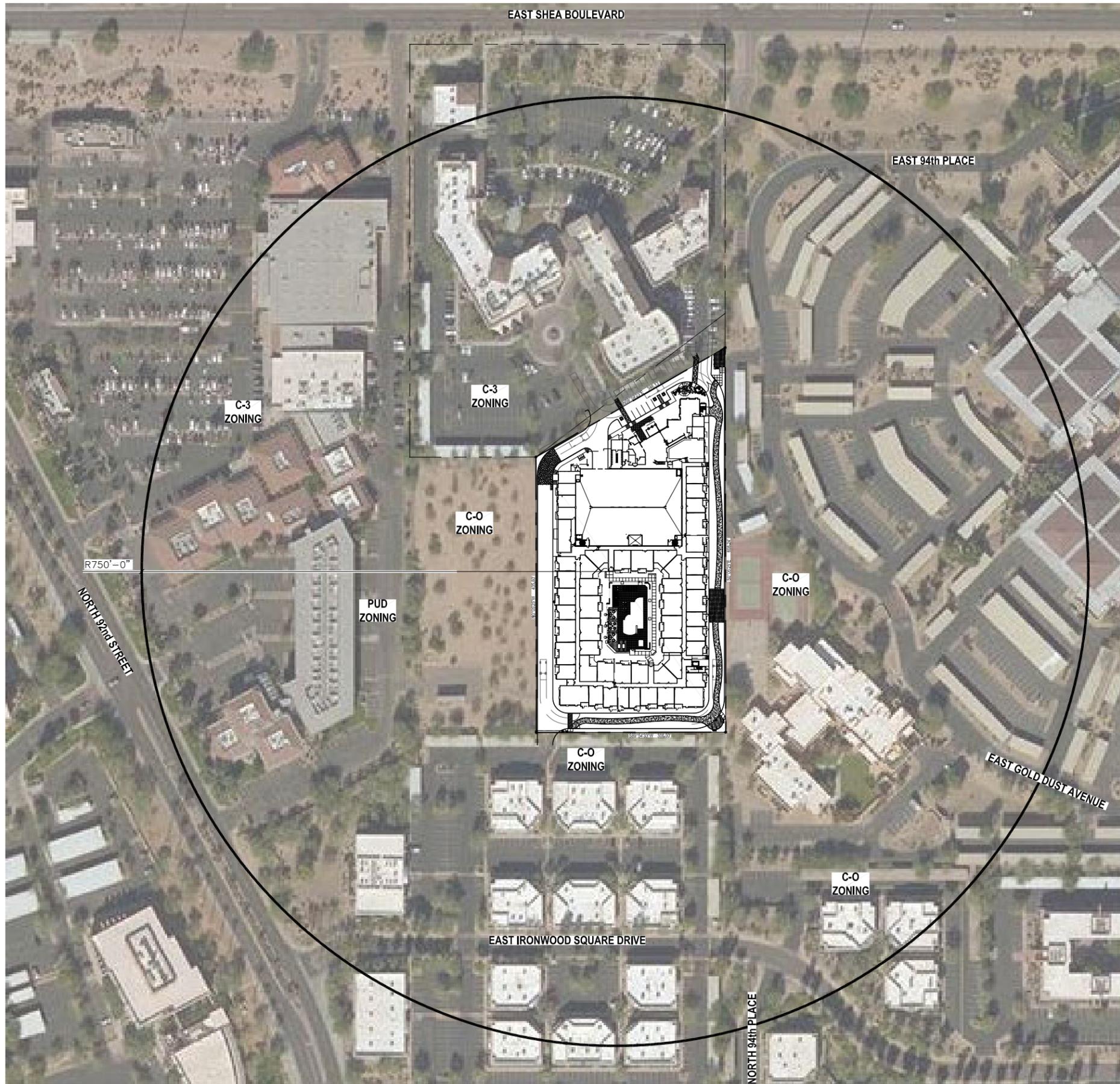
12 MERIDIAN  
 8 1/2 MDR LAND  
 FOR THE ILLS



**9400 EAST SHEA BOULEVARD**  
**KAPLAN ACQUISITIONS, LLC**

**DIMENSIONED BOUNDARY PLAN**  
 SCALE: 1" = 30'-0"  
**A1.1**  
 03-25-21





EAST SHEA BOULEVARD

EAST 94th PLACE

C-3  
ZONING

C-3  
ZONING

C-O  
ZONING

R750'-0"

NORTH 92nd STREET

PUD  
ZONING

C-O  
ZONING

C-O  
ZONING

EAST GOLD DUST AVENUE

C-O  
ZONING

EAST IRONWOOD SQUARE DRIVE

NORTH 94th PLACE



CONTEXT AERIAL



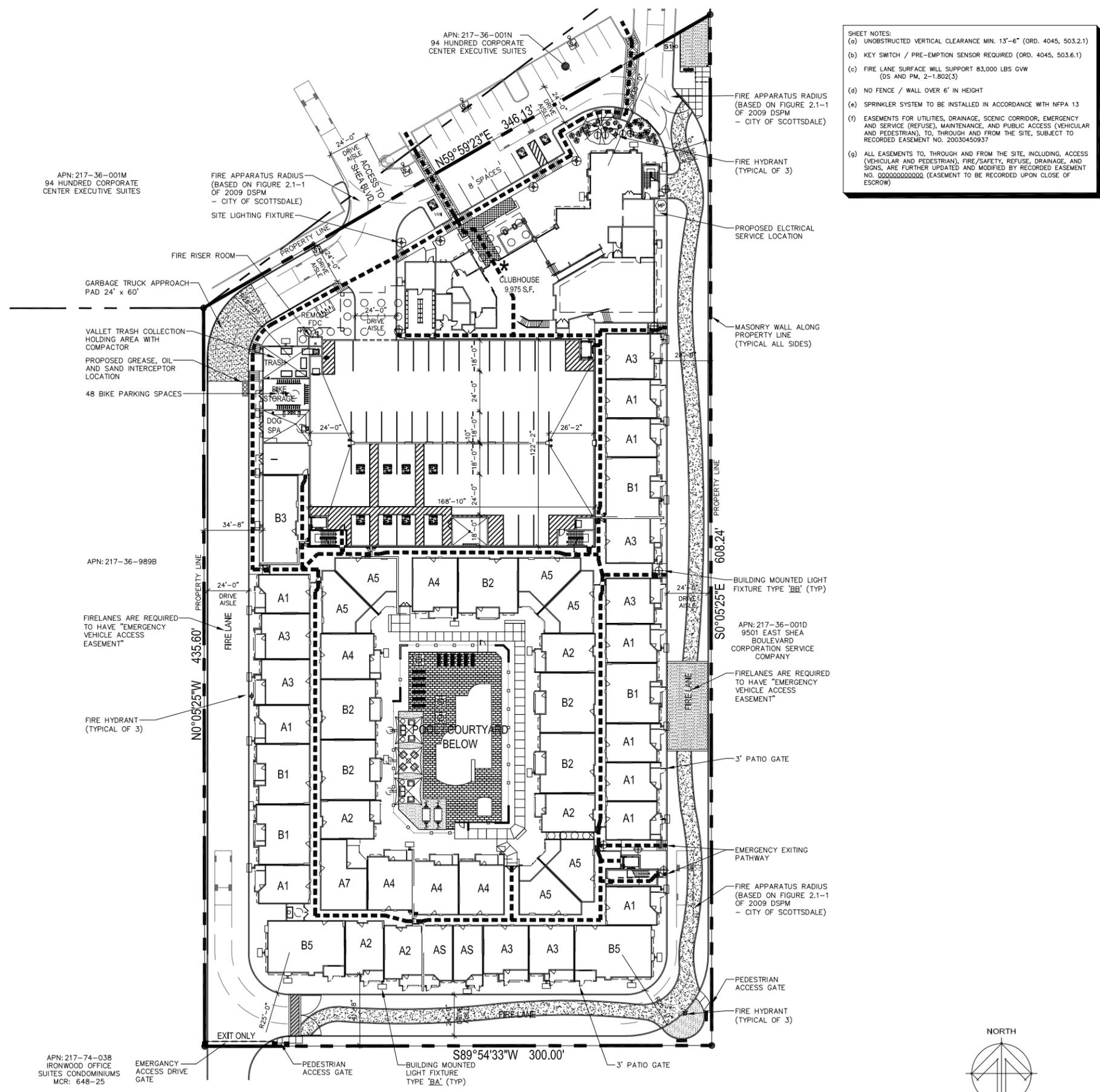
SCALE: 1" = 80'-0"

A1.2

03-25-21

**bltform**  
architecture

**9400 EAST SHEA BOULEVARD**  
**KAPLAN ACQUISITIONS, LLC**



- SHEET NOTES:
- (a) UNOBSTRUCTED VERTICAL CLEARANCE MIN. 13'-6" (ORD. 4045, 503.2.1)
  - (b) KEY SWITCH / PRE-EMPTION SENSOR REQUIRED (ORD. 4045, 503.6.1)
  - (c) FIRE LANE SURFACE WILL SUPPORT 83,000 LBS GW (DS AND PM, 2-1.802(5))
  - (d) NO FENCE / WALL OVER 6' IN HEIGHT
  - (e) SPRINKLER SYSTEM TO BE INSTALLED IN ACCORDANCE WITH NFPA 13
  - (f) EASEMENTS FOR UTILITIES, DRAINAGE, SCENIC CORRIDOR, EMERGENCY AND SERVICE (REFUSE), MAINTENANCE, AND PUBLIC ACCESS (VEHICULAR AND PEDESTRIAN), TO, THROUGH AND FROM THE SITE, SUBJECT TO RECORDED EASEMENT NO. 20030450937
  - (g) ALL EASEMENTS TO, THROUGH AND FROM THE SITE, INCLUDING, ACCESS (VEHICULAR AND PEDESTRIAN), FIRE/SAFETY, REFUSE, DRAINAGE, AND SIGNS, ARE FURTHER UPDATED AND MODIFIED BY RECORDED EASEMENT NO. 20030450937 (EASEMENT TO BE RECORDED UPON CLOSE OF ESCROW)

**PROJECT DATA**

**OVERALL SITE DATA:**

SITE AREA: ±11.00 GROSS / ±10.36 NET ACRES  
 ZONING: EXISTING: C-O, C-3  
 PROPOSED: PUD  
 APN NUMBERS: 217-36-001M AND 217-36-001N  
 217-36-001M AND 217-36-001N  
 PROPOSED USE: MULTI-FAMILY / RETAIL-OFFICE  
 MAXIMUM DENSITY ALLOWED: N/A  
 PROPOSED DENSITY: 219 D.U./10.36 AC = 21.14 DU PER ACRE  
 EXISTING RETAIL: 38,971 S.F.  
 EXISTING OFFICE: 35,000 S.F.  
 BUILDING FOOTPRINT + GARAGE: 85,187 S.F.  
 TOTAL LOT COVERAGE: 85,187 S.F./10.36 AC (451,281 S.F.) = 18.9%

**COMMON OPEN SPACE:**

OPEN SPACE REQUIRED: (OFFICE/RETAIL) = 32,259 S.F.  
 (322,591 x .10)  
 OPEN SPACE PROVIDED: = 71,022 S.F.  
 (156,569 x .10)  
 OPEN SPACE REQUIRED: (MULTI-FAMILY) = 15,657 S.F.  
 (156,569 x .10)  
 OPEN SPACE PROVIDED: = 48,582 S.F.  
 TOTAL OPEN SPACE REQUIRED: 47,916 S.F.  
 TOTAL OPEN SPACE PROVIDED: 119,604 S.F.

**TOTAL AREA: (MULTI-FAMILY)**

MAXIMUM BUILDING HEIGHT: 48' / 58' TO MECHANICAL  
 PROPOSED BUILDING HEIGHT: 48' (4 STORIES) / 58' TO MECHANICAL  
 TOTAL GROSS BUILDING AREA: 387,454 S.F.  
 TOTAL GROSS LIVABLE AREA (RESIDENTIAL): 191,023 S.F.  
 TOTAL GROSS COMMERCIAL AREA (CLUBHOUSE, OFFICE, FITNESS CENTER, LUX, DOG SPA, BIKE STORE, MAINTENANCE AND TRASH): 13,784 S.F. = 7.2% OF LIVABLE AREA  
 TOTAL GROSS GARAGE AREA: 144,087 S.F.

**UNIT MIX:**

STUDIO UNITS:	8	(3.65%)
ONE BEDROOM UNITS:	148	(67.58%)
TWO BEDROOM UNITS:	63	(28.77%)
TOTAL:	219	D.U.

UNIT NAME	UNIT TYPE	GROSS LIVABLE AREA	ROOFTOP DECKS	NUMBER UNITS	GROSS AREA
UNIT A5	STUDIO	562 S.F.		8	4,496 S.F.
UNIT A1	1 BED/1 BA	651 S.F.		32	20,832 S.F.
	1 BED/1 BA	737 S.F.		11	8,107 S.F.
UNIT A2	1 BED/1 BA	702 S.F.		15	10,530 S.F.
	1 BED/1 BA	826 S.F.		2	1,652 S.F.
UNIT A2 ALT	1 BED/1 BA	1,121 S.F.		2	2,242 S.F.
	1 BED/1 BA	1,204 S.F.		1	1,204 S.F.
UNIT A3	1 BED/1 BA	749 S.F.		16	11,984 S.F.
	1 BED/1 BA	914 S.F.		4	3,656 S.F.
UNIT A4	1 BED/1 BA	831 S.F.		4	3,324 S.F.
	1 BED/1 BA	989 S.F.		4	3,956 S.F.
UNIT A5	1 BED/1 BA	755 S.F.		24	18,120 S.F.
UNIT A6	1 BED/1 BA	765 S.F.		6	4,590 S.F.
	1 BED/1 BA	839 S.F.		3	2,517 S.F.
UNIT A7	1 BED/1 BA	971 S.F.		4	3,884 S.F.
UNIT B1	2 BED/2 BA	1,060 S.F.		17	18,020 S.F.
	2 BED/2 BA	1,173 S.F.		6	7,038 S.F.
UNIT B2	2 BED/2 BA	1,130 S.F.		24	27,120 S.F.
	2 BED/2 BA	1,234 S.F.		1	1,234 S.F.
UNIT B3	2 BED/2 BA	1,099 S.F.		3	3,297 S.F.
	2 BED/2 BA	1,204 S.F.		1	1,204 S.F.
UNIT B5	2 BED/2 BA	1,377 S.F.		3	4,131 S.F.
	2 BED/2 BA	1,460 S.F.		3	4,380 S.F.

TOTAL: 36 RTD 219 D.U. 191,023 S.F. 872 S.F.

**TOTAL PARKING: (MULTI-FAMILY)**

REQUIRED: TABLE 9.103  
 1 BEDROOM / STUDIO 156 x 1.3 = 203  
 2 BEDROOMS 63 x 1.7 = 107  
 OFFICE / FLEX: 1 SPACE PER 325 S.F. 8,014 S.F./325 = 24  
 FITNESS CENTER (30%) 1 SPACE PER 325 S.F. 2,401 S.F./325 = 8  
 TOTAL REQUIRED: 342 P.S.

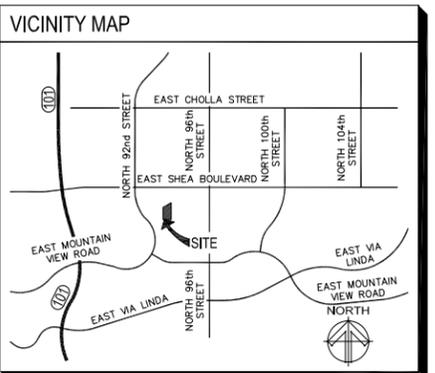
PROVIDED:  
 GARAGE PARKING 364 P.S.  
 SURFACE PARKING 11 P.S.  
 TOTAL PROVIDED: (1.7 SPACES PER UNIT) 375 P.S.

**TOTAL PARKING: (OFFICE - RETAIL)**

PROVIDED:  
 COVERED PARKING 42 P.S.  
 SURFACE PARKING 315 P.S.  
 TOTAL PROVIDED: 357 P.S.

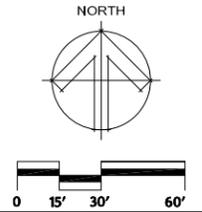
ACCESSIBLE PARKING REQUIRED: 4% x 375 P.S. = 15 P.S.  
 ACCESSIBLE PARKING PROVIDED: (3 VAN = 1:6 SPACES) = 15 P.S.

BICYCLE PARKING: SEC.9.103  
 (1) SPACES PER 10 VEHICLE REQ'D (342 x 0.1 = 34.2)  
 TOTAL PROVIDED 34 SPACES



# 9400 EAST SHEA BOULEVARD

## KAPLAN ACQUISITIONS, LLC



ENLARGED SITE PLAN  
 SCALE: 1" = 30'-0"  
**A1.3**  
 03-25-21

- SHEET NOTES:**
- (a) UNOBSTRUCTED VERTICAL CLEARANCE MIN. 13'-6" (ORD. 4045, 503.2.1)
  - (b) KEY SWITCH / PRE-EMPTION SENSOR REQUIRED (ORD. 4045, 503.6.1)
  - (c) FIRE LANE SURFACE WILL SUPPORT 83,000 LBS GW (DS AND FM, 2-1.802(3))
  - (d) NO FENCE / WALL OVER 6' IN HEIGHT
  - (e) SPRINKLER SYSTEM TO BE INSTALLED IN ACCORDANCE WITH NFPA 13
  - (f) EASEMENTS FOR UTILITIES, DRAINAGE, SCENIC CORRIDOR, EMERGENCY AND SERVICE (REFUSE), MAINTENANCE, AND PUBLIC ACCESS (VEHICULAR AND PEDESTRIAN), TO, THROUGH AND FROM THE SITE, SUBJECT TO RECORDED EASEMENT NO. 20030450937
  - (g) ALL EASEMENTS TO, THROUGH AND FROM THE SITE, INCLUDING, ACCESS (VEHICULAR AND PEDESTRIAN), FIRE/SAFETY, REFUSE, DRAINAGE, AND SIGNS, ARE FURTHER UPDATED AND MODIFIED BY RECORDED EASEMENT NO. 00000000000 (EASEMENT TO BE RECORDED UPON CLOSE OF ESCROW)

**PROJECT DATA**

**OVERALL SITE DATA:**

SITE AREA: ±11.00 GROSS / ±10.36 NET ACRES  
 ZONING: EXISTING: C-O, C-3  
 PROPOSED: PUD  
 APN NUMBERS: 217-36-001M AND 217-36-001N  
 MULTI-FAMILY / RETAIL-OFFICE

PROPOSED USE: MULTI-FAMILY / RETAIL-OFFICE

MAXIMUM DENSITY ALLOWED: N/A  
 PROPOSED DENSITY: 219 D.U./10.36 AC = 21.14 DU PER ACRE  
 EXISTING RETAIL: 38,971 S.F.  
 EXISTING OFFICE: 35,000 S.F.  
 BUILDING FOOTPRINT + GARAGE: 85,187 S.F.  
 TOTAL LOT COVERAGE: 85,187 S.F./10.36 AC (451,281 S.F.) = 18.9%

**COMMON OPEN SPACE:**

OPEN SPACE REQUIRED: (OFFICE/RETAIL) (322,591 x .10) = 32,259 S.F.  
 OPEN SPACE PROVIDED: = 71,022 S.F.  
 OPEN SPACE REQUIRED: (MULTI-FAMILY) (156,569 x .10) = 15,657 S.F.  
 OPEN SPACE PROVIDED: = 48,582 S.F.  
 TOTAL OPEN SPACE REQUIRED: 47,916 S.F.  
 TOTAL OPEN SPACE PROVIDED: 119,604 S.F.

**TOTAL AREA: (MULTI-FAMILY)**

MAXIMUM BUILDING HEIGHT: 48' / 58' TO MECHANICAL  
 PROPOSED BUILDING HEIGHT: 48' (4 STORIES) / 58' TO MECHANICAL  
 TOTAL GROSS BUILDING AREA: 387,454 S.F.  
 TOTAL GROSS LIVABLE AREA (RESIDENTIAL): 191,023 S.F.  
 TOTAL GROSS COMMERCIAL AREA (CLUBHOUSE, OFFICE, FITNESS CENTER, LUX, DOG SPA, BIKE STORE, MAINTENANCE AND TRASH): 13,784 S.F. = 7.2% OF LIVABLE AREA  
 TOTAL GROSS GARAGE AREA: 144,087 S.F.

**UNIT MIX:**

STUDIO UNITS: 8 (3.65%)  
 ONE BEDROOM UNITS: 148 (67.98%)  
 TWO BEDROOM UNITS: 63 (28.77%)  
 TOTAL: 219 D.U.

UNIT NAME	UNIT TYPE	GROSS LIVABLE AREA	ROOFTOP DECKS	NUMBER UNITS	GROSS AREA
UNIT AS	STUDIO	562 S.F.		8	4,496 S.F.
UNIT A1	1 BED/1 BA	651 S.F.		32	20,832 S.F.
UNIT A2	1 BED/1 BA	737 S.F.	11	15	8,107 S.F.
	1 BED/1 BA	702 S.F.		15	10,530 S.F.
	1 BED/1 BA	826 S.F.	2	2	1,652 S.F.
UNIT A2 ALT	1 BED/1 BA	1,121 S.F.		1	2,242 S.F.
	1 BED/1 BA	1,204 S.F.		1	1,204 S.F.
UNIT A3	1 BED/1 BA	749 S.F.		16	11,984 S.F.
UNIT A4	1 BED/1 BA	914 S.F.	4	24	3,656 S.F.
	1 BED/1 BA	831 S.F.		24	19,944 S.F.
	1 BED/1 BA	989 S.F.	4	24	3,956 S.F.
UNIT A5	1 BED/1 BA	755 S.F.		24	18,120 S.F.
UNIT A6	1 BED/1 BA	765 S.F.		6	4,590 S.F.
	1 BED/1 BA	839 S.F.		3	2,517 S.F.
UNIT A7	1 BED/1 BA	971 S.F.		4	3,884 S.F.
UNIT B1	2 BED/2 BA	1,060 S.F.		17	18,020 S.F.
	2 BED/2 BA	1,173 S.F.	6	24	7,038 S.F.
UNIT B2	2 BED/2 BA	1,130 S.F.		24	27,120 S.F.
UNIT B3	2 BED/2 BA	1,234 S.F.	1	3	1,234 S.F.
	2 BED/2 BA	1,099 S.F.		3	3,297 S.F.
	2 BED/2 BA	1,204 S.F.		1	1,204 S.F.
UNIT B5	2 BED/2 BA	1,377 S.F.		8	11,016 S.F.
	2 BED/2 BA	1,460 S.F.	3	3	4,380 S.F.
TOTAL:			36 RTD	219 D.U.	191,023 S.F.
AVG. S.F.					872 S.F.

**TOTAL PARKING: (MULTI-FAMILY)**

REQUIRED: TABLE 9.103  
 1 BEDROOM / STUDIO: 156 x 1.3 = 203  
 2 BEDROOMS: 63 x 1.7 = 107  
 OFFICE / FLEX: 1 SPACE PER 325 S.F. 8,014 S.F./325 = 24  
 FITNESS CENTER (30%) 1 SPACE PER 325 S.F. 2,401 S.F./325 = 8  
 TOTAL REQUIRED: 342 P.S.

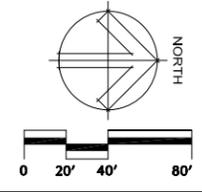
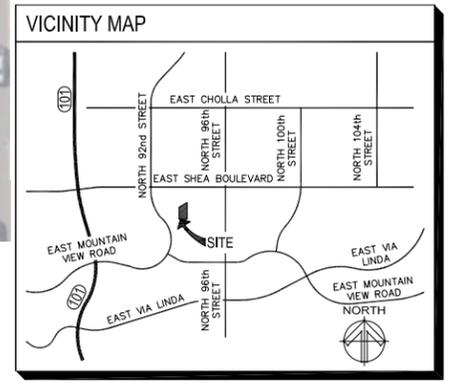
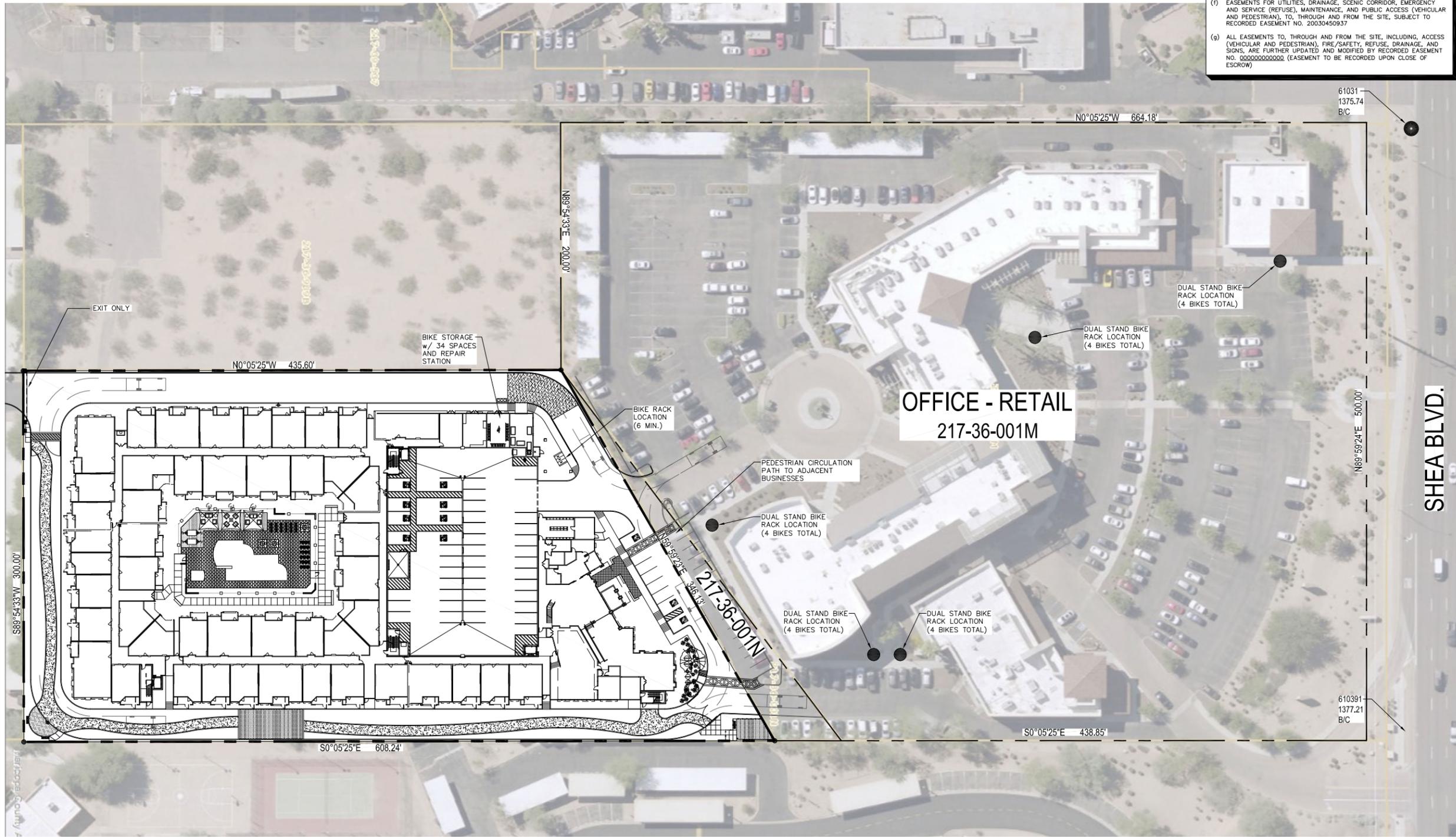
PROVIDED:  
 GARAGE PARKING: 364 P.S.  
 SURFACE PARKING: 11 P.S.  
 TOTAL PROVIDED: (1.7 SPACES PER UNIT) 375 P.S.

**TOTAL PARKING: (OFFICE - RETAIL)**

PROVIDED:  
 COVERED PARKING: 42 P.S.  
 SURFACE PARKING: 315 P.S.  
 TOTAL PROVIDED: 357 P.S.

ACCESSIBLE PARKING REQUIRED: 4% x 375 P.S. = 15 P.S.  
 ACCESSIBLE PARKING PROVIDED: (3 VAN = 1:6 SPACES) = 15 P.S.

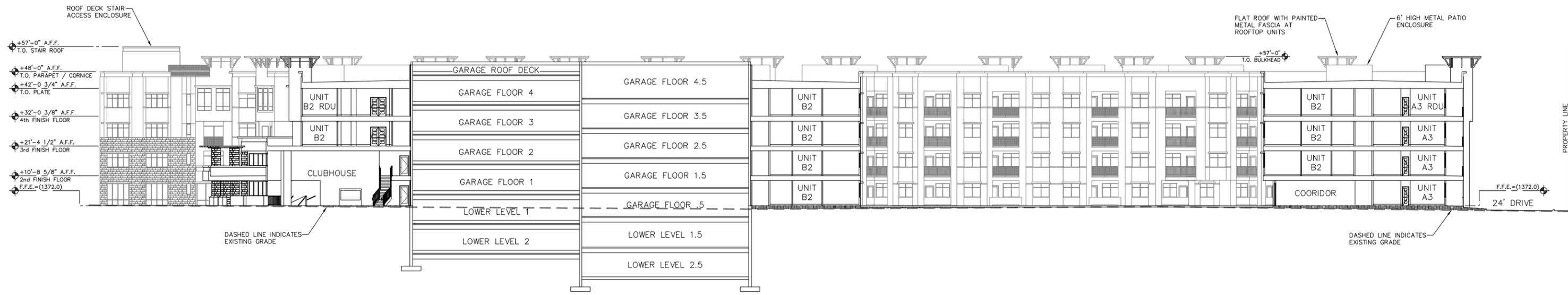
BICYCLE PARKING: SEC.9.103  
 (1) SPACES PER 10 VEHICLE REQ'D (342 x 0.1 = 34.2)  
 TOTAL PROVIDED: 34 SPACES



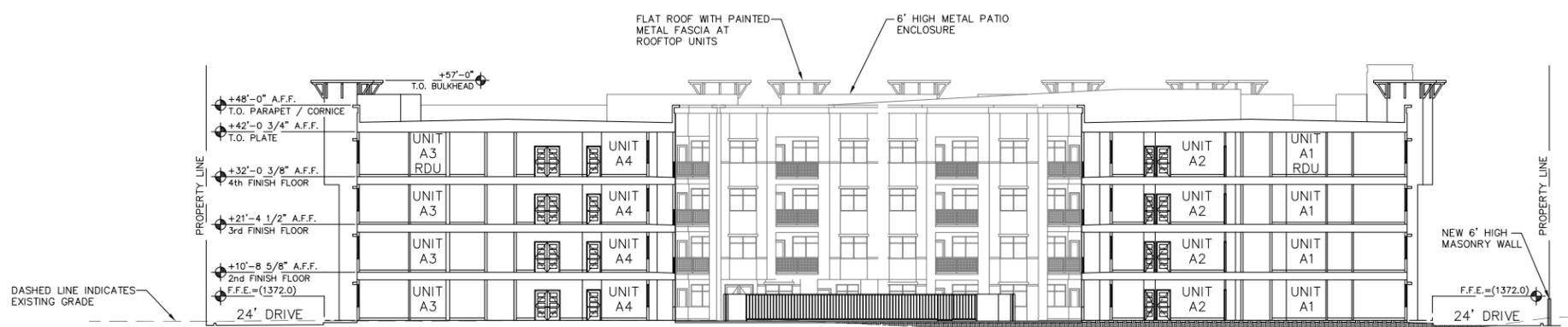
**9400 EAST SHEA BOULEVARD**  
**KAPLAN ACQUISITIONS, LLC**

**OVERALL SITE PLAN A1.3.1**  
 SCALE: 1" = 40'-0" 03-25-21

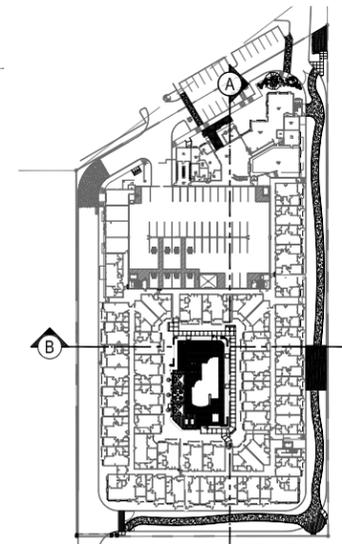




**A SITE SECTION**  
SCALE: 1/16" = 1'-0"



**B SITE SECTION**  
SCALE: 1/16" = 1'-0"

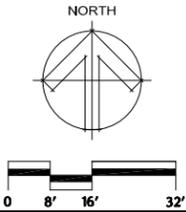


AVERAGE BUILDING ELEVATION HEIGHT IS BASED OFF THE +1377.064 (NAVD88) DATUM OF THE CIVIL ENGINEERS DRAWINGS. THE SPOT ELEVATION FOR THE BACK OF CURB RANGE FROM ±1373.75, NORTHEAST CORNER OF SITE TO ±1368.60 AT THE SOUTHEAST CORNER.



# 9400 EAST SHEA BOULEVARD

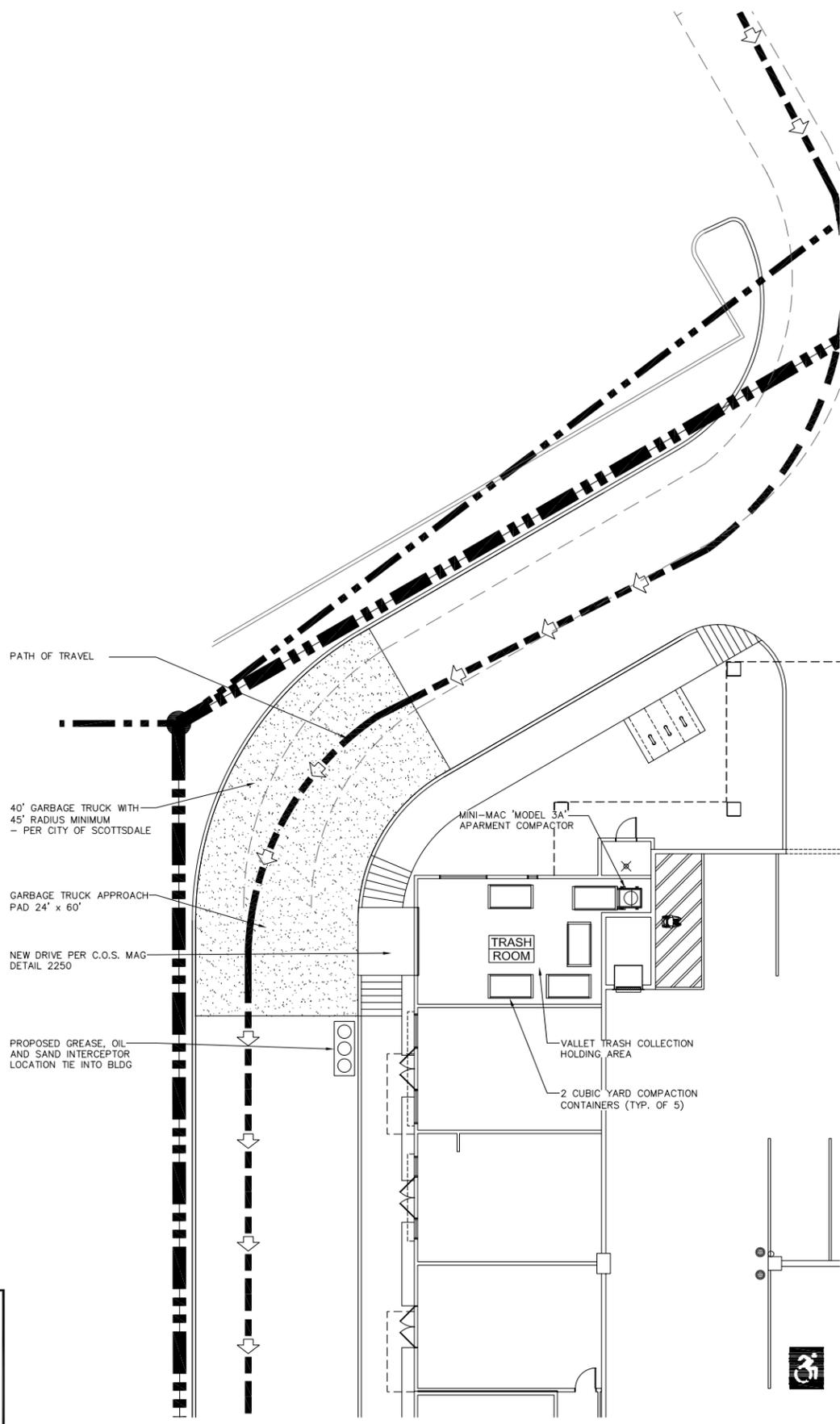
## KAPLAN ACQUISITIONS, LLC



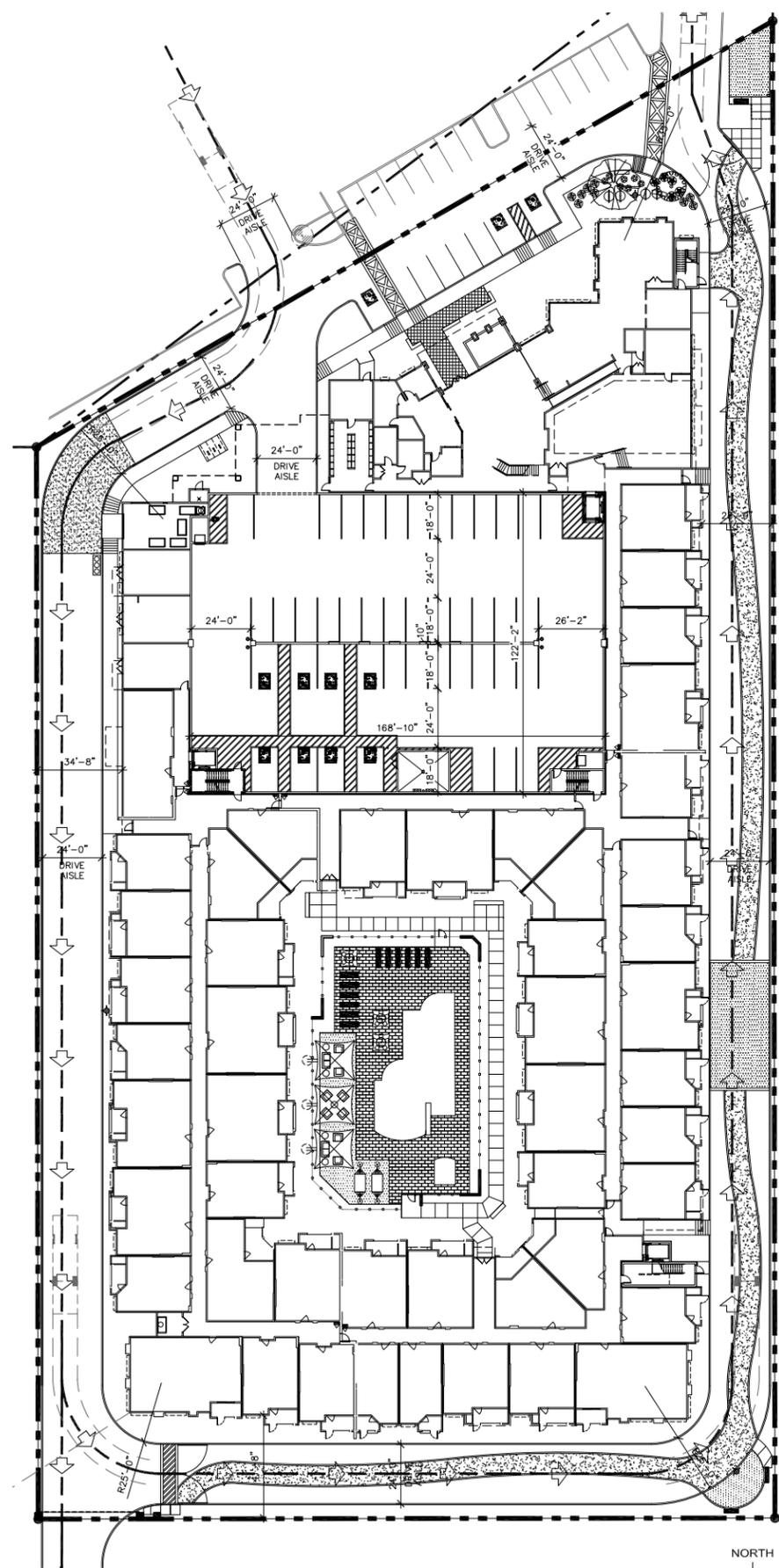
**SITE SECTIONS**

SCALE: 1/16" = 1'-0"

**A1.4**  
03-25-21



PARTIAL SITE PLAN  
SCALE: 1" = 10'-0"



**COLLECTION REQUIREMENTS**

**MULTI FAMILY UNITS:**  
220 UNITS / 20 UNITS PER ENCLOSURE = 11 ENCLOSURES (44 CUBIC YARDS)  
COMPACTION RATIO OF 4:1 = 11 CUBIC YARDS OF COMPACTED WASTE REQUIRED

**COLLECTION NOTE**

ON COLLECTION DAY THE TRUCK WILL PULL UP NEXT TO THE TRASH ROOM. A PERSON FROM MAINTENANCE WILL ROLL-UP DOOR AND WHEEL OUT TRASH CONTAINERS TO THE TRUCK WHERE THEY WILL BE EMPTIED INTO THE WASTE OR RECYCLE TRUCK. THIS WILL CONSIST OF A TWO PERSON TEAM, ONE WILL OPERATE THE TRUCK WHILE THE OTHER WILL MANUEVER THE CONTAINERS INTO POSITION FOR THE OPERATOR TO EMPTY EACH CONTAINER. MAINTENANCE STAFF WILL BE ON HAND TO CLEAN THE AREA AS NECESSARY AND RELOCATE CONTAINERS INTO THE TRASH ROOM AND CLOSE THE ROLL-UP DOOR.

**SYMBOL LEGEND**

REFUSE TRUCK PATH

TRUCK TURNING PATH

**APARTMENT-STYLE COMPACTORS**

**Mini-Mac® Apartment Compactor**  
Dimensions and Specifications

	Model 3A	Model 3B	Model 3C
Charge Box Capacity (Min. Rating)	9.39 cu. yd.	38 cu. yd.	6.39 cu. yd.
Clear Top Opening	20.25 x 20.25	20.25 x 20.25	20.25 x 20.25
Capacity Per Hour	57 cu. yd.	28 cu. yd.	57 cu. yd.
Cycle Time	20 min.	14 min.	14 min.
Normal Force	15,000 lb.	6,000 kg	15,000 lb.
Rack Out Force	16,400 lb.	7,429 kg	16,400 lb.
Normal Rack Force	25.2 psi	168 psi	25.2 psi
Rack Out Rack Force	87.2 psi	588 psi	87.2 psi
Rack Penetration	4"	100mm	4"
Weight	1,800 lb.	250 kg	1,800 lb.
Hydraulic Capacity	3 gal.	11.4 L	3 gal.
Normal System Pressure	1500 psi	103 bar	1500 psi
Maximum System Pressure	1900 psi	134 bar	1900 psi
Hydraulic Cylinders (Ø) - Rear	2.5"	64mm	2.5"
Hydraulic Cylinders (Ø) - Front	1.5"	38mm	1.5"

Compactor Rental and Leasing Programs Available

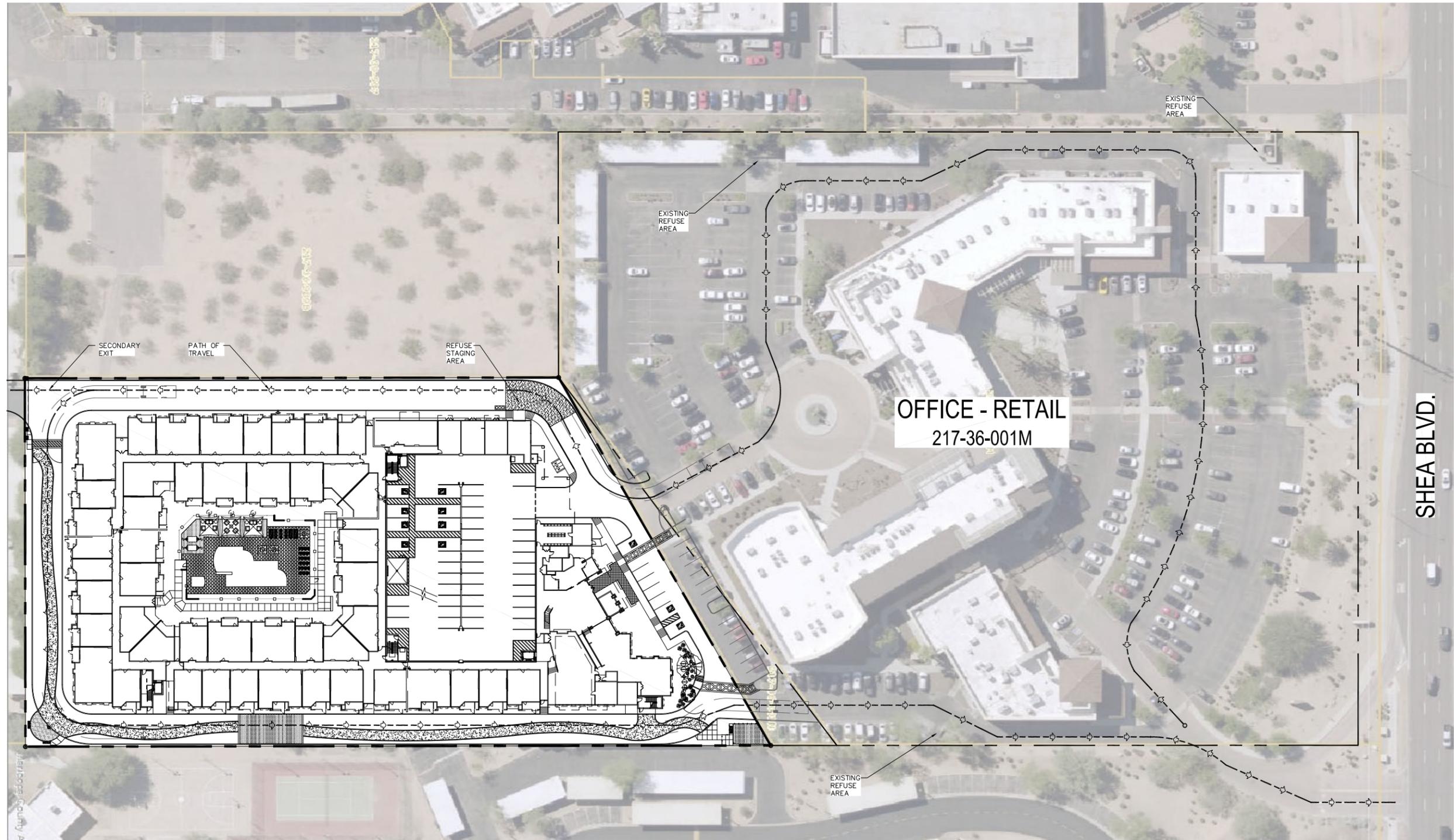
For detailed specifications, recommendations, or free economic studies comparing various systems, contact Marathon Customer Care at 1-800-633-8974.

**RAMJET** Authorized Dealer

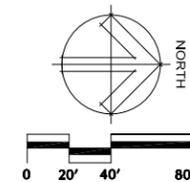
**9400 EAST SHEA BOULEVARD**  
**KAPLAN ACQUISITIONS, LLC**

**SITE PLAN**  
REFUSE COLLECTION  
SCALE: AS NOTED

**A1.5**  
03-25-21



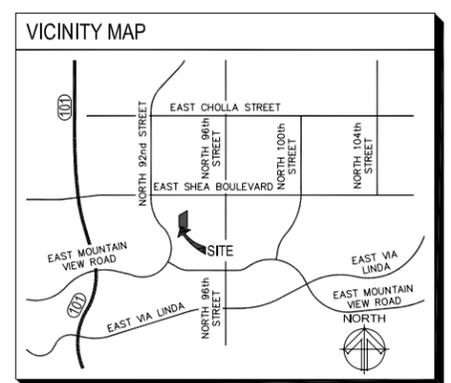
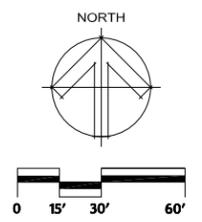
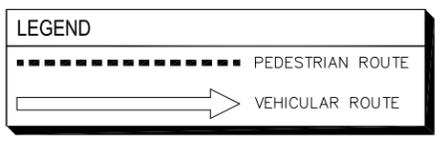
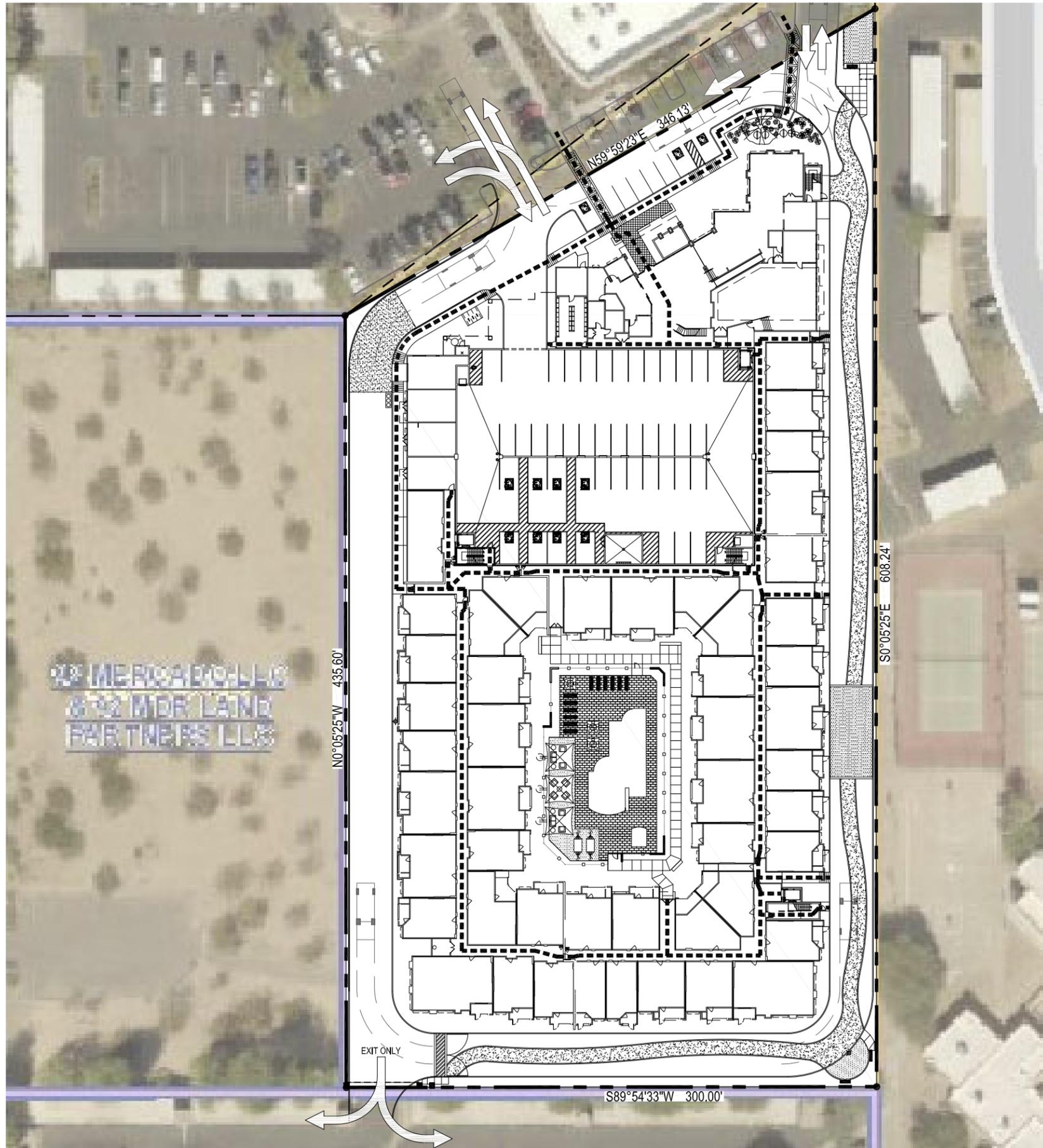
9400 EAST SHEA BOULEVARD  
KAPLAN ACQUISITIONS, LLC



REFUSE  
PATH OF TRAVEL  
SCALE: 1" = 40'-0"

A1.5.1

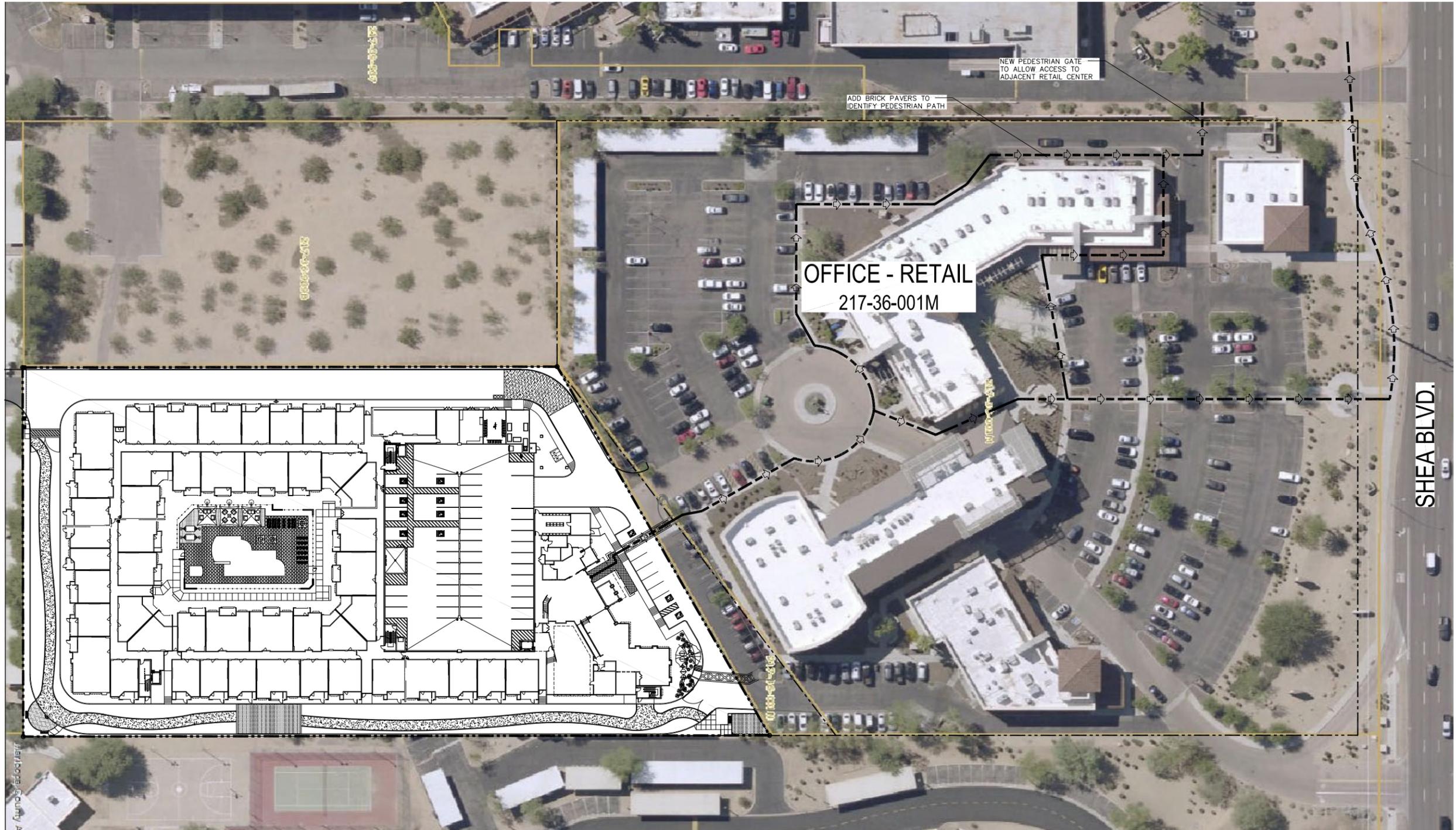
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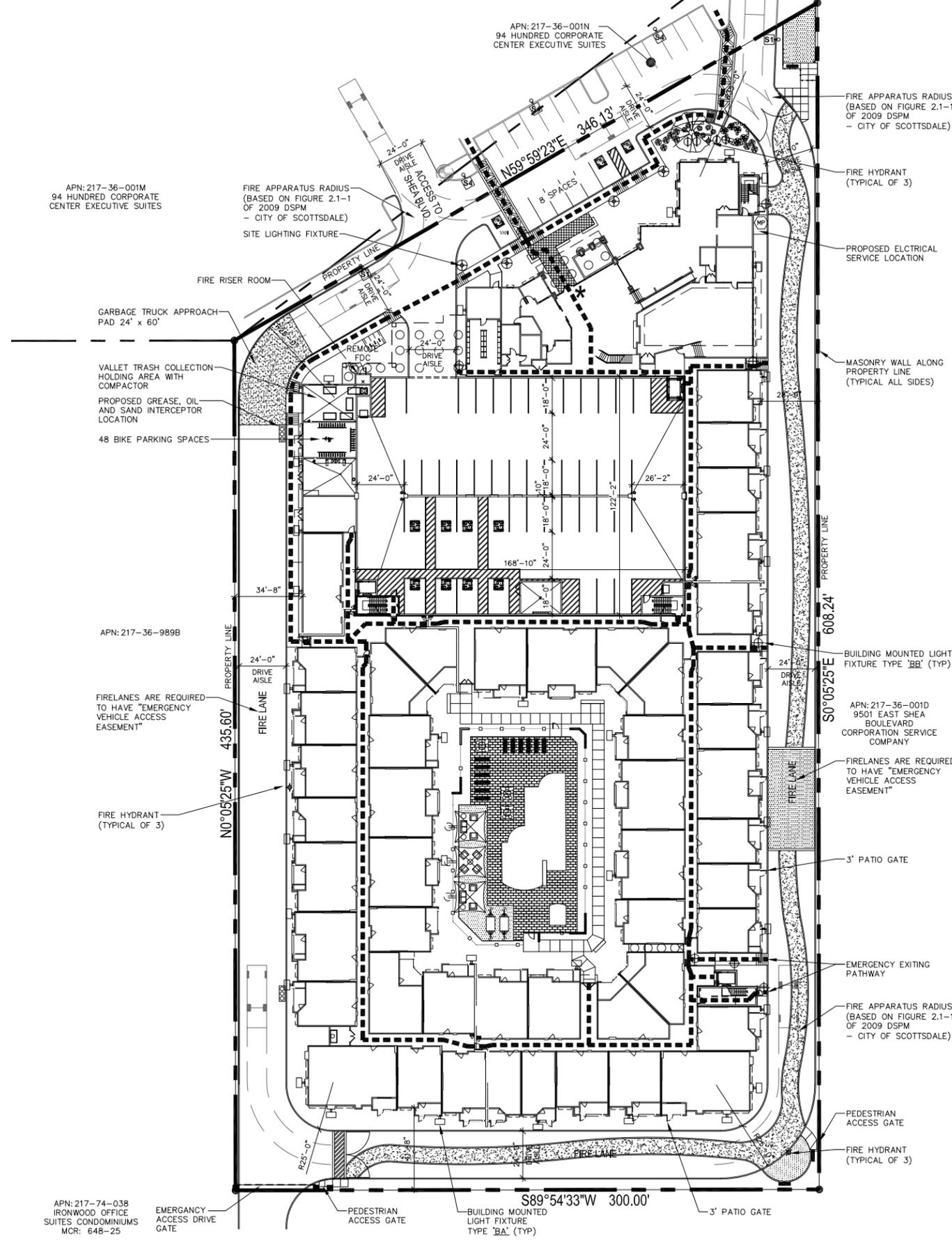


**9400 EAST SHEA BOULEVARD**  
**KAPLAN ACQUISITIONS, LLC**

**PEDESTRIAN AND VEHICULAR  
CIRCULATION PLAN**  
SCALE: 1" = 30'-0"

**A1.6**  
03-25-21





- SHEET NOTES:**
- (a) UNOBSTRUCTED VERTICAL CLEARANCE MIN. 13'-6" (ORD. 4045, 503.2.1)
  - (b) KEY SWITCH / PRE-EMPTION SENSOR REQUIRED (ORD. 4045, 503.6.1)
  - (c) FIRE LANE SURFACE WILL SUPPORT 83,000 LBS GW (OS AND PM, 2-1.802(5))
  - (d) NO FENCE / WALL OVER 6' IN HEIGHT
  - (e) SPRINKLER SYSTEM TO BE INSTALLED IN ACCORDANCE WITH NFPA 13
  - (f) EASEMENTS FOR UTILITIES, DRAINAGE, SCENIC CORRIDOR, EMERGENCY AND SERVICE (REFUSE), MAINTENANCE, AND PUBLIC ACCESS (VEHICULAR AND PEDESTRIAN), TO, THROUGH AND FROM THE SITE, SUBJECT TO RECORDED EASEMENT NO. 20030450937
  - (g) ALL EASEMENTS TO, THROUGH AND FROM THE SITE, INCLUDING, ACCESS (VEHICULAR AND PEDESTRIAN), FIRE/SAFETY, REFUSE, DRAINAGE, AND SIGNS, ARE FURTHER UPDATED AND MODIFIED BY RECORDED EASEMENT NO. 000000000000 (EASEMENT TO BE RECORDED UPON CLOSE OF ESCROW)

**PROJECT DATA**

**OVERALL SITE DATA:**

SITE AREA: ±11.00 GROSS / ±10.36 NET ACRES  
 ZONING: EXISTING: C-O, C-3 PROPOSED: PUD  
 APN NUMBERS: 217-36-001M AND 217-36-001N  
 PROPOSED USE: MULTI-FAMILY / RETAIL-OFFICE  
 MAXIMUM DENSITY ALLOWED: N/A  
 PROPOSED DENSITY: 219 D.U./10.36 AC = 21.14 DU PER ACRE  
 EXISTING RETAIL: 38,971 S.F.  
 EXISTING OFFICE: 35,000 S.F.  
 BUILDING FOOTPRINT + GARAGE: 85,187 S.F.  
 TOTAL LOT COVERAGE: 85,187 S.F./10.36 AC (451,281 S.F.) = 18.9%

**COMMON OPEN SPACE:**

OPEN SPACE REQUIRED: (OFFICE/RETAIL) = 32,259 S.F.  
 (322,591 x .10)  
 OPEN SPACE PROVIDED: = 71,022 S.F.  
 (156,569 x .10)  
 OPEN SPACE REQUIRED: (MULTI-FAMILY) = 15,657 S.F.  
 (156,569 x .10)  
 OPEN SPACE PROVIDED: = 48,582 S.F.  
 TOTAL OPEN SPACE REQUIRED: 47,916 S.F.  
 TOTAL OPEN SPACE PROVIDED: 119,604 S.F.

**TOTAL AREA: (MULTI-FAMILY)**

MAXIMUM BUILDING HEIGHT: 48' / 58' TO MECHANICAL  
 PROPOSED BUILDING HEIGHT: 48' (4 STORIES) / 58' TO MECHANICAL  
 TOTAL GROSS BUILDING AREA: 387,454 S.F.  
 TOTAL GROSS LIVABLE AREA (RESIDENTIAL): 191,023 S.F.  
 TOTAL GROSS COMMERCIAL AREA (CLUBHOUSE, OFFICE, FITNESS CENTER, LUX, DOG SPA, BIKE STORE, MAINTENANCE AND TRASH): 13,784 S.F. = 7.2% OF LIVABLE AREA  
 TOTAL GROSS GARAGE AREA: 144,087 S.F.

**UNIT MIX:**

STUDIO UNITS:	8	(3.65%)
ONE BEDROOM UNITS:	148	(67.58%)
TWO BEDROOM UNITS:	63	(28.77%)
TOTAL:	219	D.U.

UNIT NAME	UNIT TYPE	GROSS LIVABLE AREA	ROOFTOP DECKS	NUMBER UNITS	GROSS AREA
UNIT AS	STUDIO	562 S.F.		8	4,496 S.F.
UNIT A1	1 BED/1 BA	651 S.F.		32	20,832 S.F.
UNIT A2	1 BED/1 BA	702 S.F.	11	15	10,530 S.F.
UNIT A2 ALT	1 BED/1 BA	826 S.F.	2	2	1,652 S.F.
UNIT A3	1 BED/1 BA	1,121 S.F.		1	2,242 S.F.
UNIT A3	1 BED/1 BA	1,204 S.F.		1	1,204 S.F.
UNIT A3	1 BED/1 BA	749 S.F.		16	11,984 S.F.
UNIT A3	1 BED/1 BA	914 S.F.		4	3,656 S.F.
UNIT A4	1 BED/1 BA	831 S.F.		4	3,324 S.F.
UNIT A5	1 BED/1 BA	989 S.F.		4	3,956 S.F.
UNIT A6	1 BED/1 BA	755 S.F.		24	18,120 S.F.
UNIT A6	1 BED/1 BA	765 S.F.		6	4,590 S.F.
UNIT A7	1 BED/1 BA	839 S.F.		3	2,517 S.F.
UNIT A7	1 BED/1 BA	971 S.F.		4	3,884 S.F.
UNIT B1	2 BED/2 BA	1,060 S.F.		17	18,020 S.F.
UNIT B2	2 BED/2 BA	1,173 S.F.		6	7,038 S.F.
UNIT B2	2 BED/2 BA	1,130 S.F.		24	27,120 S.F.
UNIT B3	2 BED/2 BA	1,234 S.F.		1	1,234 S.F.
UNIT B5	2 BED/2 BA	1,099 S.F.		3	3,297 S.F.
UNIT B5	2 BED/2 BA	1,204 S.F.		1	1,204 S.F.
UNIT B5	2 BED/2 BA	1,377 S.F.		8	11,016 S.F.
UNIT B5	2 BED/2 BA	1,460 S.F.		3	4,380 S.F.
TOTAL:			36 RTD	219 D.U.	191,023 S.F.
AVG. S.F.:					872 S.F.

**TOTAL PARKING: (MULTI-FAMILY)**

REQUIRED: TABLE 9.103  
 1 BEDROOM / STUDIO: 156 x 1.3 = 203  
 2 BEDROOMS: 63 x 1.7 = 107  
 OFFICE / FLEX: 1 SPACE PER 325 S.F. 8,014 S.F./325 = 24  
 FITNESS CENTER (30%) 1 SPACE PER 325 S.F. 2,401 S.F./325 = 8  
 TOTAL REQUIRED: 342 P.S.

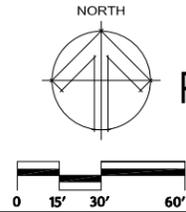
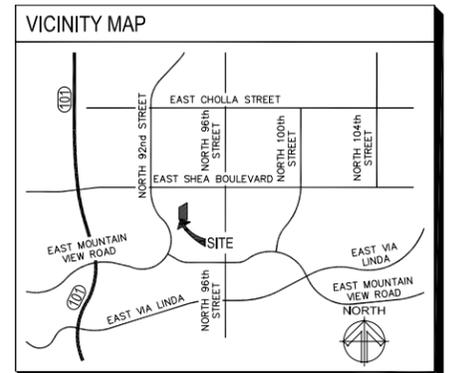
PROVIDED:  
 GARAGE PARKING: 364 P.S.  
 SURFACE PARKING: 11 P.S.  
 TOTAL PROVIDED: (1.7 SPACES PER UNIT) 375 P.S.

**TOTAL PARKING: (OFFICE - RETAIL)**

PROVIDED:  
 COVERED PARKING: 42 P.S.  
 SURFACE PARKING: 315 P.S.  
 TOTAL PROVIDED: 357 P.S.

ACCESSIBLE PARKING REQUIRED: 4% x 375 P.S. = 15 P.S.  
 ACCESSIBLE PARKING PROVIDED: (3 VAN = 1:6 SPACES) = 15 P.S.

BICYCLE PARKING: SEC.9.103  
 (1) SPACES PER 10 VEHICLE REQ'D (342 x 0.1 = 34.2)  
 TOTAL PROVIDED: 34 SPACES



# 9400 EAST SHEA BOULEVARD

## KAPLAN ACQUISITIONS, LLC

PRE-EMERGENCY PLAN (P.E.P) SCALE: 1" = 30'-0"

# A1.8

03-25-21

EAST SHEA BOULEVARD

EAST 94th PLACE

EXISTING EMERGENCY ACCESS ROUTE

C-3 ZONING

C-3 ZONING

C-O ZONING

C-O ZONING

NORTH 92nd STREET

PUD ZONING

EMERGENCY ACCESS GATE

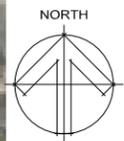
C-O ZONING

EAST GOLD DUST AVENUE

C-O ZONING

EAST IRONWOOD SQUARE DRIVE

NORTH 94th PLACE

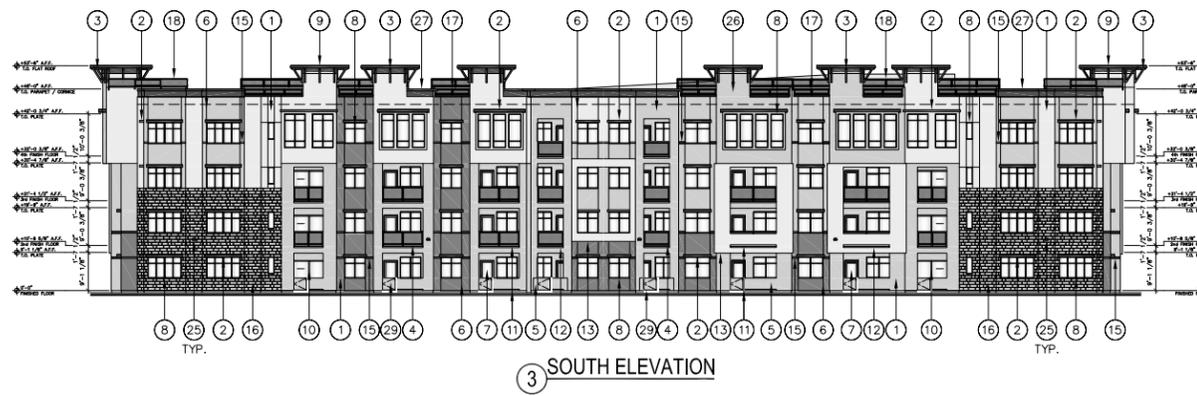
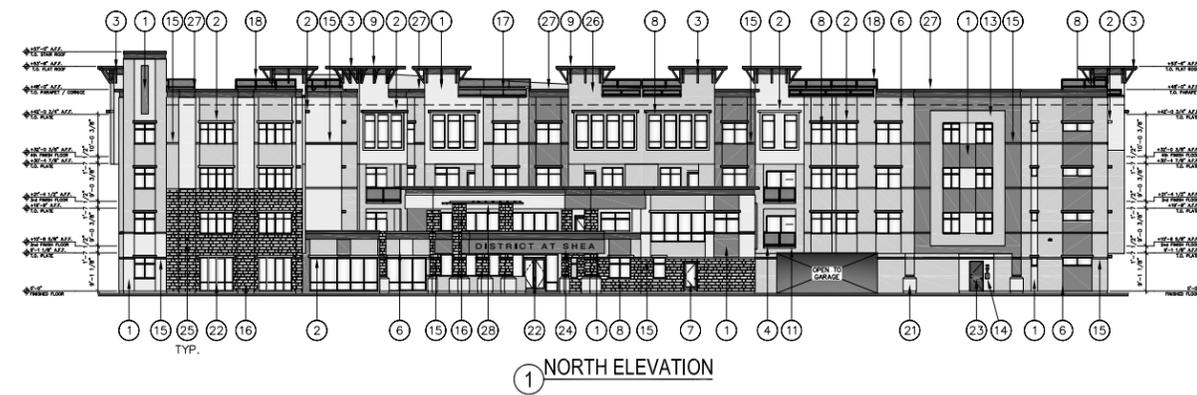


EMERGENCY ACCESS  
SCALE: 1" = 80'-0"

A1.9  
03-25-21

# 9400 EAST SHEA BOULEVARD KAPLAN ACQUISITIONS, LLC





- EXTERIOR ELEVATIONS KEYED NOTES**
- EXTERIOR STUCCO SYSTEM
  - 12" DEEP EYEBROW WITH STUCCO FINISH - SHADING DEVICE
  - TUBE STEEL CORBEL AT STAIR BULKHEAD - PAINTED
  - TUBE STEEL RAILING WITH MESH INFILL +42" A.F.F. - PAINTED
  - 36" HIGH PATIO WALL WITH STUCCO FINISH
  - STUCCO CONTROL JOINT
  - EXTERIOR FRENCH DOOR - PAINTED
  - BRONZE ANODIZED ALUMINUM WINDOW SYSTEM
  - FLAT ROOF WITH PAINTED METAL FASCIA AT ROOF DECKS
  - BRONZE ANODIZED ALUMINUM SLIDING GLASS PATIO / BALCONY DOOR
  - 4" HIGH OPENING FOR PATIO / BALCONY DRAINAGE
  - GALVANIZED DRIP EDGE - PAINTED TO MATCH ADJACENT COLOR
  - 6" DEEP FRAMED WALL ELEMENT WITH STUCCO FINISH
  - FIRE DEPARTMENT ACCESS SIGN, WET STANDPIPE SIGN, KNOX BOX AND KNOX BOX KEY
  - 4" METAL REGLET - PAINTED
  - STONE VENEER - SEE COLOR CHART FOR SPECIFICATIONS
  - METAL PATIO GUARDRAIL SYSTEM, 18" ABOVE PARAPET TO A MINIMUM OF 42" A.F.F.
  - METAL PATIO RAILING ENCLOSURE, 24" ABOVE ENCLOSURE WALL TO 6" A.F.F.
  - OVERHEAD ROLL UP DOOR - PAINTED
  - FIRE DEPARTMENT ACCESS SIGN, KNOX BOX AND KNOX BOX KEY
  - EXTERIOR STUCCO SYSTEM OVER FRAMED COLUMN BASE
  - BRONZE ANODIZED ALUMINUM STOREFRONT SYSTEM
  - HOLLOW METAL DOOR AND FRAME - PAINTED
  - BUILDING SIGNAGE (UNDER SEPARATE SUBMITTAL AND PERMIT)
  - EXTERIOR LIGHT - SEE ELECTRICAL FOR SPECIFICATIONS
  - ROOF DECK STAIR ACCESS ENCLOSURE
  - PARAPET / CORNICE WITH CAP - PAINTED
  - DECORATIVE TUBE STEEL TRELLIS - PAINTED
  - 3' METAL PATIO GATE (TYP.) - PAINTED

**EXTERIOR COLOR SCHEME**

LIGHT BODY COLOR	GREEK VILLA SHERWIN WILLIAMS - SW7551
MEDIUM BODY COLOR	WOOL SKEIN SHERWIN WILLIAMS - SW6148
DARK BODY COLOR	QUIVER TAN SHERWIN WILLIAMS - SW6151
ACCENT COLOR	THUNDER GRAY SHERWIN WILLIAMS - SW7645
CORNICE / FRY REGLET / RAILINGS / DOOR / CANOPIES / TRIM COLOR	CELLULOID DUNN EDWARDS - DET619
WINDOWS / STOREFRONT	BRONZE
STONE VENEER	SAHARA BEIGE 8" CLASSIC JERUSALEM CORONADO STONE



**9400 EAST SHEA BOULEVARD**  
**KAPLAN ACQUISITIONS, LLC**

**BUILDING ELEVATIONS**  
 BLACK AND WHITE  
 SCALE: 1" = 20'-0"  
**A2.1**  
 03-25-21



1 NORTH ELEVATION



2 WEST ELEVATION



3 SOUTH ELEVATION



4 EAST ELEVATION

EXTERIOR ELEVATIONS KEYED NOTES #	
1.	EXTERIOR STUCCO SYSTEM
2.	12" DEEP EYEBROW WITH STUCCO FINISH - SHADING DEVICE
3.	TUBE STEEL CORBEL AT STAIR BULKHEAD - PAINTED
4.	TUBE STEEL RAILING WITH MESH INFILL +42" A.F.F. - PAINTED
5.	36" HIGH PATIO WALL WITH STUCCO FINISH
6.	STUCCO CONTROL JOINT
7.	EXTERIOR FRENCH DOOR - PAINTED
8.	BRONZE ANODIZED ALUMINUM WINDOW SYSTEM
9.	FLAT ROOF WITH PAINTED METAL FASCIA AT ROOF DECKS
10.	BRONZE ANODIZED ALUMINUM SLIDING GLASS PATIO / BALCONY DOOR
11.	4" HIGH OPENING FOR PATIO / BALCONY DRAINAGE
12.	GALVANIZED DRIP EDGE - PAINTED TO MATCH ADJACENT COLOR
13.	6" DEEP FRAMED WALL ELEMENT WITH STUCCO FINISH
14.	FIRE DEPARTMENT ACCESS SIGN, WET STANDPIPE SIGN, KNOX BOX AND KNOX BOX KEY
15.	4" METAL REGLET - PAINTED
16.	STONE VENEER - SEE COLOR CHART FOR SPECIFICATIONS
17.	METAL PATIO GUARDRAIL SYSTEM, 18" ABOVE PARAPET TO A MINIMUM OF 42" A.F.F.
18.	METAL PATIO RAILING ENCLOSURE, 24" ABOVE ENCLOSURE WALL TO 6' A.F.F.
19.	OVERHEAD ROLL UP DOOR - PAINTED
20.	FIRE DEPARTMENT ACCESS SIGN, KNOX BOX AND KNOX BOX KEY
21.	EXTERIOR STUCCO SYSTEM OVER FRAMED COLUMN BASE
22.	BRONZE ANODIZED ALUMINUM STOREFRONT SYSTEM
23.	HOLLOW METAL DOOR AND FRAME - PAINTED
24.	BUILDING SIGNAGE (UNDER SEPARATE SUBMITTAL AND PERMIT)
25.	EXTERIOR LIGHT - SEE ELECTRICAL FOR SPECIFICATIONS
26.	ROOF DECK STAIR ACCESS ENCLOSURE
27.	PARAPET / CORNICE WITH CAP - PAINTED
28.	DECORATIVE TUBE STEEL TRELIS - PAINTED
29.	3' METAL PATIO GATE (TYP.) - PAINTED

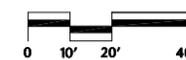
EXTERIOR COLOR SCHEME		
	LIGHT BODY COLOR	GREEK VILLA SHERWIN WILLIAMS - SW7551
	MEDIUM BODY COLOR	WOOL SKEIN SHERWIN WILLIAMS - SW6148
	DARK BODY COLOR	QUIVER TAN SHERWIN WILLIAMS - SW6151
	ACCENT COLOR	THUNDER GRAY SHERWIN WILLIAMS - SW7645
	CORNICE / FRY REGLET / RAILINGS / DOOR / CANOPIES / TRIM COLOR	CELLULOID DUNN EDWARDS - DET619
	WINDOWS / STOREFRONT	BRONZE
	STONE VENEER	SAHARA BEIGE 8" CLASSIC JERUSALEM CORONADO STONE

**bitform**  
architecture

# 9400 EAST SHEA BOULEVARD

## KAPLAN ACQUISITIONS, LLC

BUILDING ELEVATIONS  
COLOR  
SCALE: 1" = 20'-0"



**A2.2**  
03-25-21



**9400 EAST SHEA BOULEVARD**  
**KAPLAN ACQUISITIONS, LLC**

TYPICAL ELEVATION WORKSHEET

SCALE: N.T.S.

**A2.3**  
 03-25-21



**biltform**  
architecture

# 9400 EAST SHEA BOULEVARD

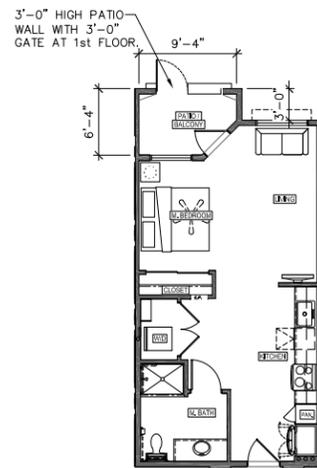
KAPLAN ACQUISITIONS, LLC

PERSPECTIVE

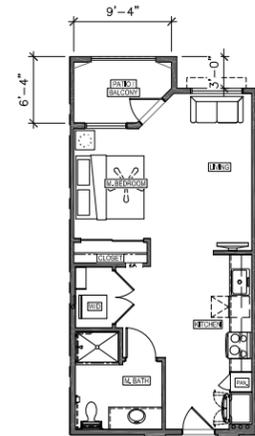
SCALE: N.T.S.

# A3.1

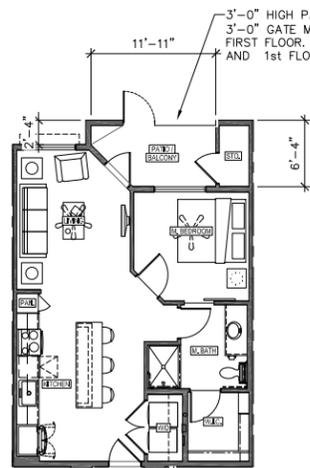
03-25-21



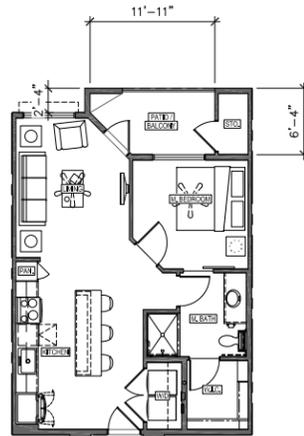
**UNIT A5**  
1st FLOOR  
GROSS LIVABLE AREA: 562 S.F.  
PATIO OR BALCONY AREA: 54 S.F.



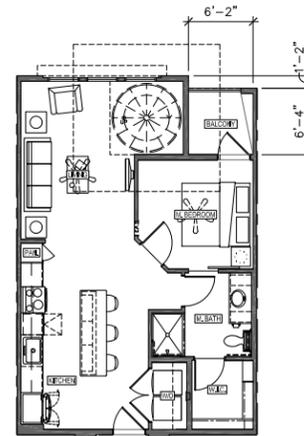
**UNIT A5**  
2nd - 4th FLOORS  
GROSS LIVABLE AREA: 562 S.F.  
PATIO OR BALCONY AREA: 54 S.F.



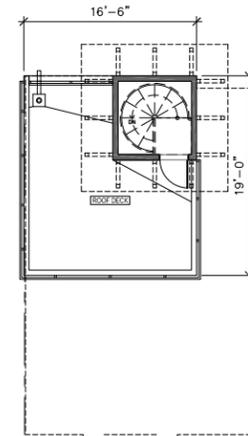
**UNIT A1**  
1st FLOOR  
GROSS LIVABLE AREA: 651 S.F.  
PATIO OR BALCONY AREA: 68 S.F.



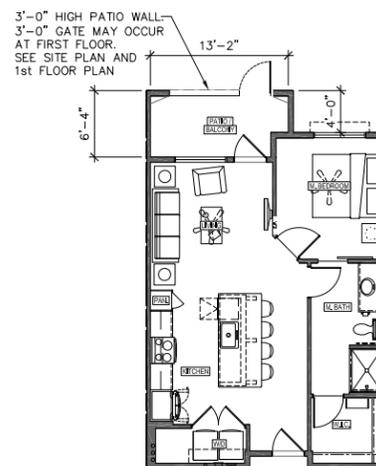
**UNIT A1**  
2nd - 4th FLOORS  
GROSS LIVABLE AREA: 651 S.F.  
PATIO OR BALCONY AREA: 68 S.F.



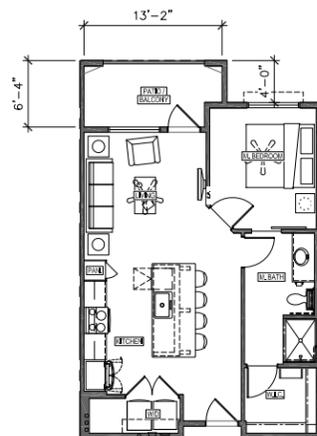
**UNIT A1 ROOF DECK UNIT**  
4th FLOOR  
GROSS LIVABLE AREA: 737 S.F.  
PATIO OR BALCONY AREA: 39 S.F.



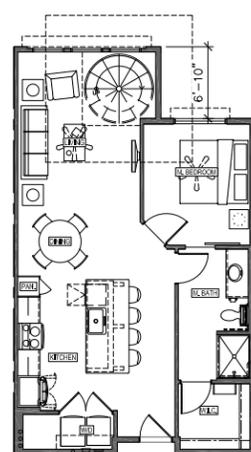
**UNIT A1 ROOF DECK**  
ROOF  
PATIO AREA: 250 S.F.



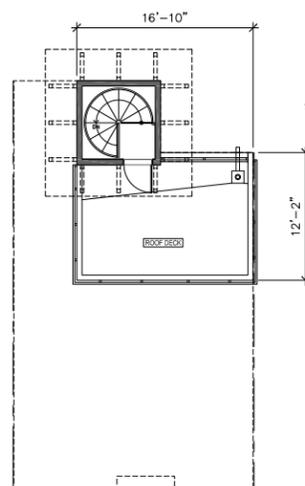
**UNIT A2**  
1st FLOOR  
GROSS LIVABLE AREA: 702 S.F.  
PATIO OR BALCONY AREA: 80 S.F.



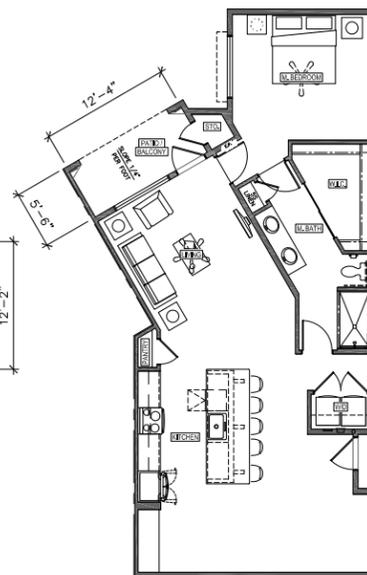
**UNIT A2**  
2nd - 4th FLOORS  
GROSS LIVABLE AREA: 702 S.F.  
PATIO OR BALCONY AREA: 80 S.F.



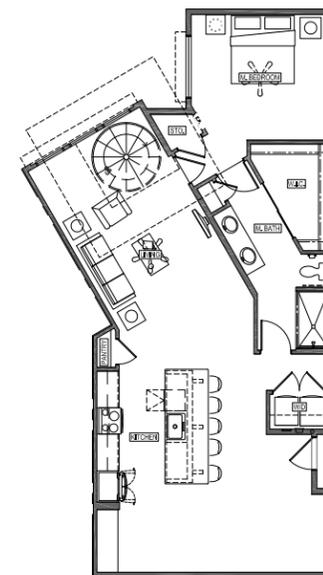
**UNIT A2 ROOF DECK UNIT**  
4th FLOOR  
GROSS LIVABLE AREA: 826 S.F.



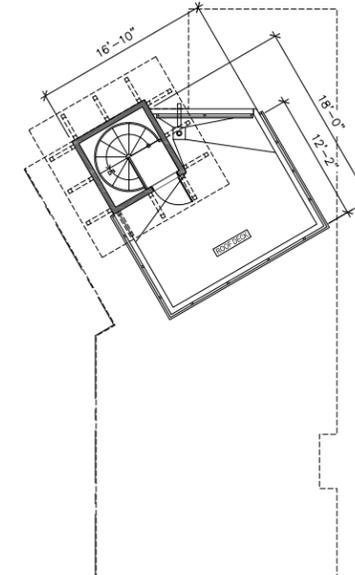
**UNIT A2 ROOF DECK**  
ROOF  
PATIO AREA: 196 S.F.



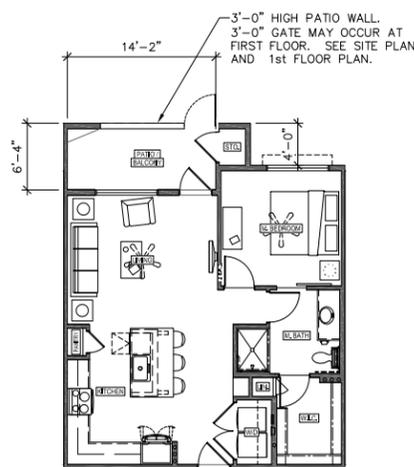
**UNIT A2 ALT**  
2nd - 3rd FLOORS  
GROSS LIVABLE AREA: 1,121 S.F.  
PATIO OR BALCONY AREA: 68 S.F.



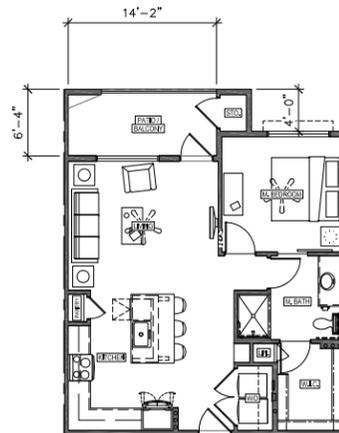
**UNIT A2 ALT ROOF DECK UNIT**  
4th FLOOR  
GROSS LIVABLE AREA: 1,204 S.F.



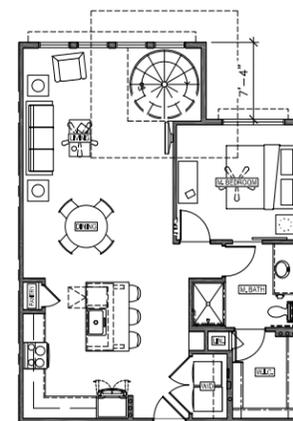
**UNIT A2 ALT ROOF DECK**  
ROOF  
PATIO AREA: 224 S.F.



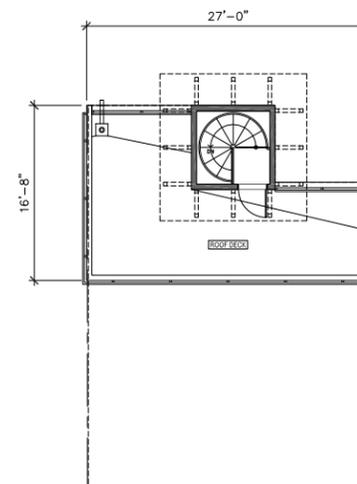
**UNIT A3**  
1st FLOOR  
GROSS LIVABLE AREA: 749 S.F.  
PATIO OR BALCONY AREA: 90 S.F.



**UNIT A3**  
2nd - 4th FLOORS  
GROSS LIVABLE AREA: 749 S.F.  
PATIO OR BALCONY AREA: 90 S.F.



**UNIT A3 ROOF DECK UNIT**  
4th FLOOR  
GROSS LIVABLE AREA: 914 S.F.

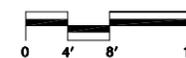


**UNIT A3 ROOF DECK**  
ROOF  
PATIO AREA: 320 S.F.



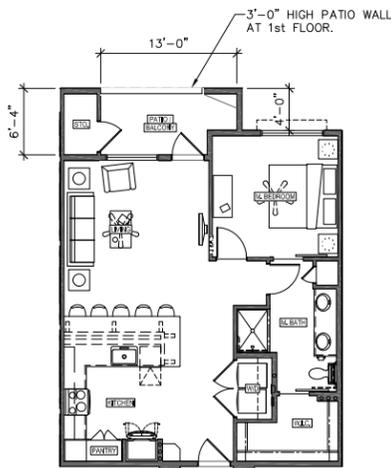
# 9400 EAST SHEA BOULEVARD

## KAPLAN ACQUISITIONS, LLC

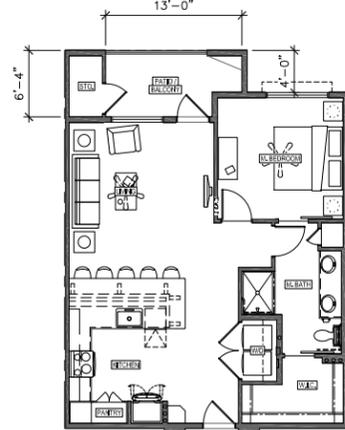


**FLOOR PLAN**  
UNIT PLANS  
SCALE: 1/8" = 1'-0"

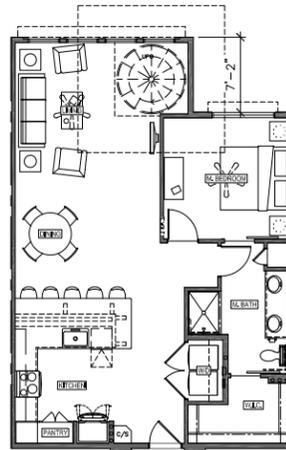
**A4.1**  
03-25-21



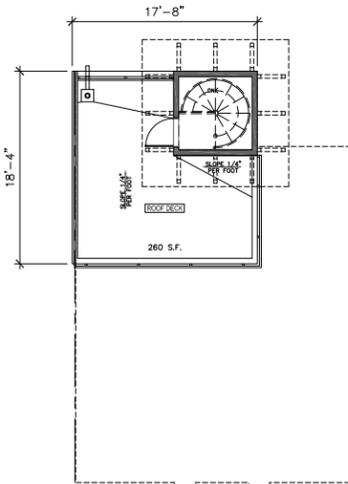
**UNIT A4**  
1st FLOOR  
GROSS LIVABLE AREA: 831 S.F.  
PATIO OR BALCONY AREA: 76 S.F.



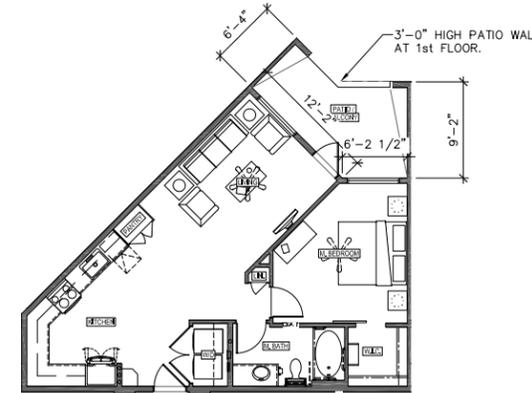
**UNIT A4**  
2nd - 4th FLOORS  
GROSS LIVABLE AREA: 831 S.F.  
PATIO OR BALCONY AREA: 76 S.F.



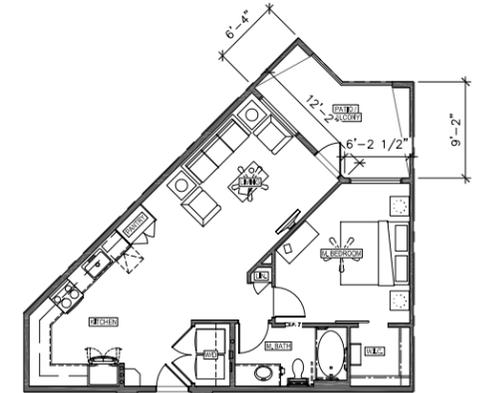
**UNIT A4 ROOF DECK UNIT**  
4th FLOOR  
GROSS LIVABLE AREA: 989 S.F.



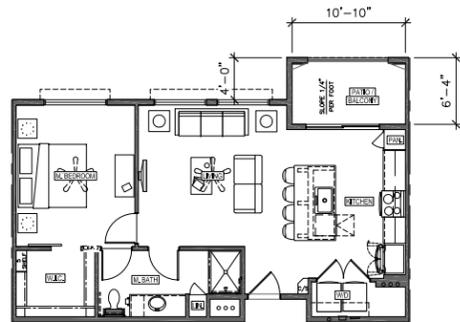
**UNIT A4 ROOF DECK**  
ROOF  
PATIO AREA: 260 S.F.



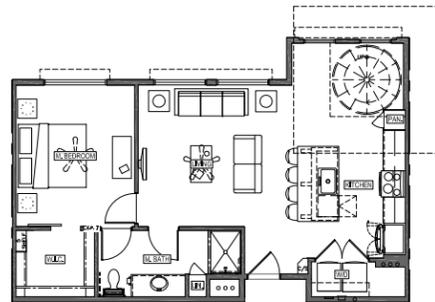
**UNIT A5**  
1st FLOOR  
GROSS LIVABLE AREA: 755 S.F.  
PATIO OR BALCONY AREA: 114 S.F.



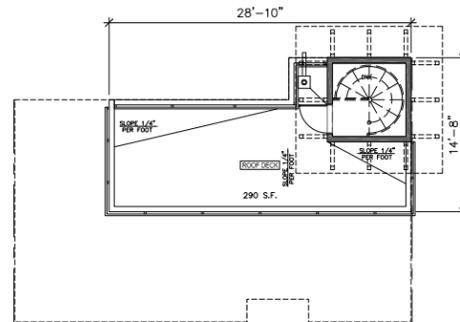
**UNIT A5**  
2nd - 4th FLOORS  
GROSS LIVABLE AREA: 755 S.F.  
PATIO OR BALCONY AREA: 114 S.F.



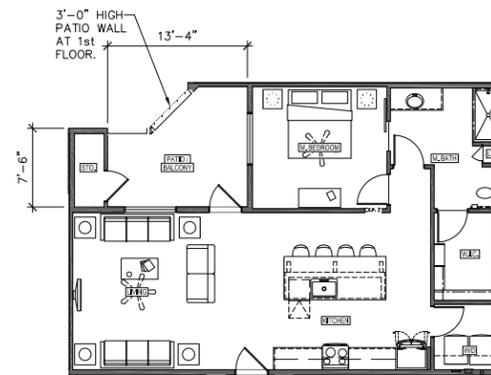
**UNIT A6**  
2nd - 3rd FLOORS  
GROSS LIVABLE AREA: 765 S.F.  
PATIO OR BALCONY AREA: 69 S.F.



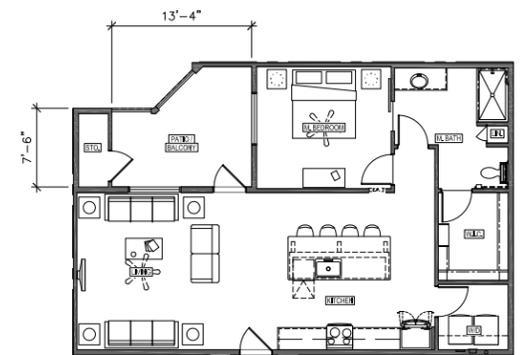
**UNIT A6 ROOF DECK UNIT**  
4th FLOOR  
GROSS LIVABLE AREA: 839 S.F.



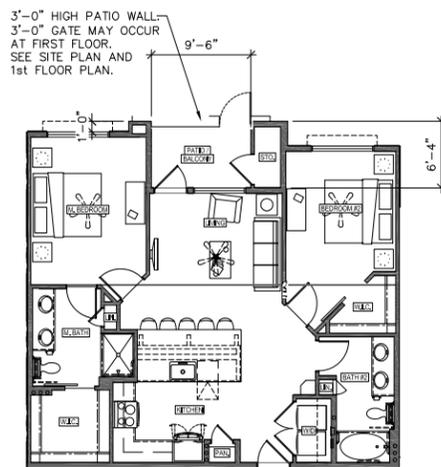
**UNIT A6 ROOF DECK**  
ROOF  
PATIO AREA: 290 S.F.



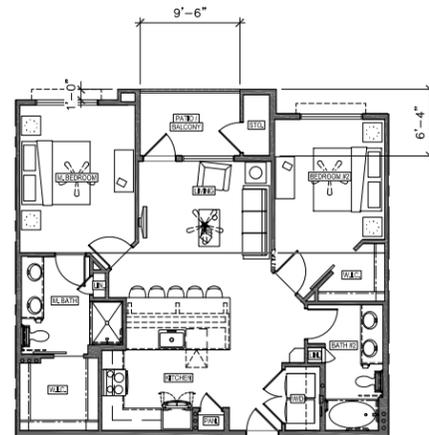
**UNIT A7**  
1st FLOOR  
GROSS LIVABLE AREA: 971 S.F.  
PATIO OR BALCONY AREA: 129 S.F.



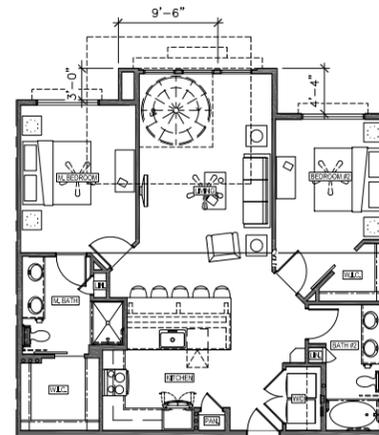
**UNIT A7**  
2nd - 4th FLOORS  
GROSS LIVABLE AREA: 971 S.F.  
PATIO OR BALCONY AREA: 129 S.F.



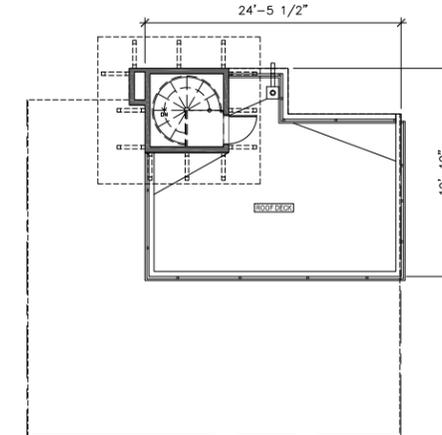
**UNIT B1**  
1st FLOOR  
GROSS LIVABLE AREA: 1,060 S.F.  
PATIO OR BALCONY AREA: 60 S.F.



**UNIT B1**  
2nd - 4th FLOORS  
GROSS LIVABLE AREA: 1,060 S.F.  
PATIO OR BALCONY AREA: 60 S.F.



**UNIT B1 ROOF DECK UNIT**  
4th FLOOR  
GROSS LIVABLE AREA: 1,173 S.F.

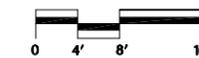


**UNIT B1 ROOF DECK**  
ROOF  
PATIO AREA: 370 S.F.



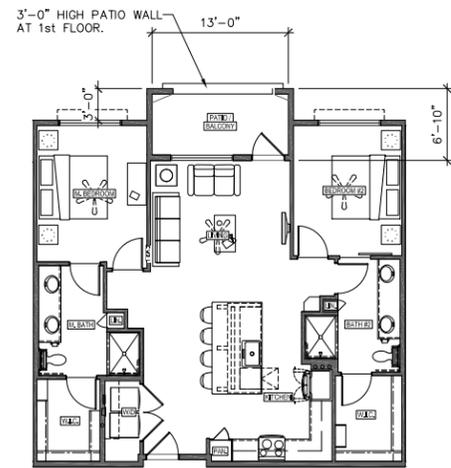
# 9400 EAST SHEA BOULEVARD

## KAPLAN ACQUISITIONS, LLC

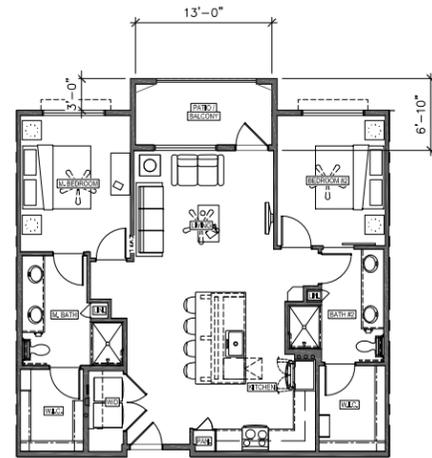


**FLOOR PLAN**  
UNIT PLANS  
SCALE: 1/8" = 1'-0"

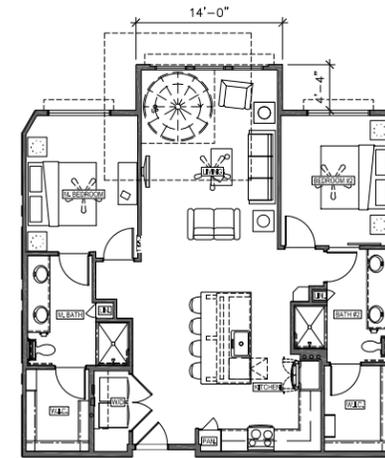
**A4.2**  
03-25-21



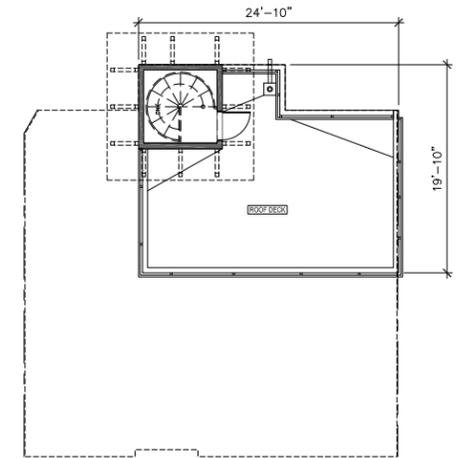
**UNIT B2**  
1st FLOOR  
GROSS LIVABLE AREA: 1,130 S.F.  
PATIO OR BALCONY AREA: 82 S.F.



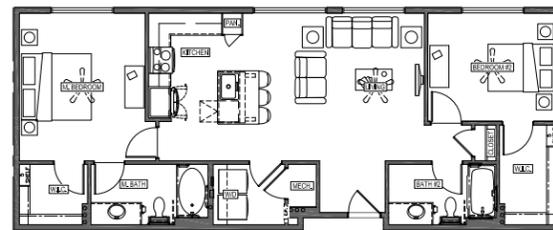
**UNIT B2**  
2nd - 4th FLOORS  
GROSS LIVABLE AREA: 1,130 S.F.  
PATIO OR BALCONY AREA: 82 S.F.



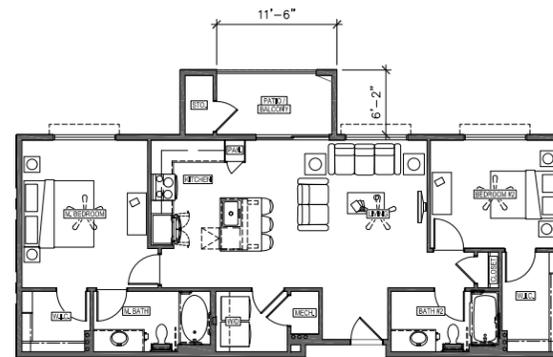
**UNIT B2 ROOF DECK UNIT**  
4th FLOOR  
GROSS LIVABLE AREA: 1,234 S.F.



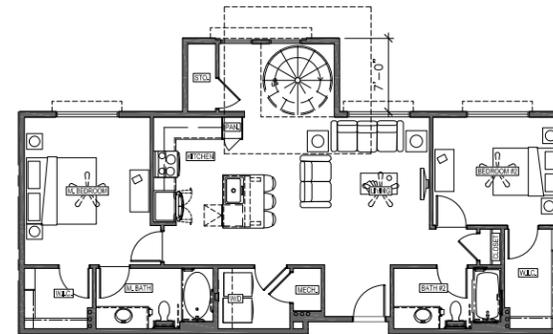
**UNIT B2 ROOF DECK**  
ROOF  
PATIO AREA: 377 S.F.



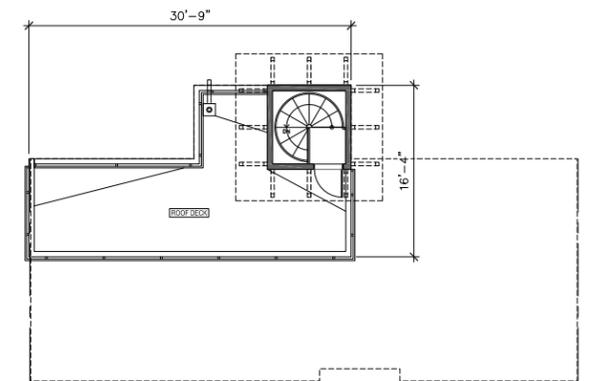
**UNIT B3**  
1st FLOOR  
GROSS LIVABLE AREA: 1,099 S.F.



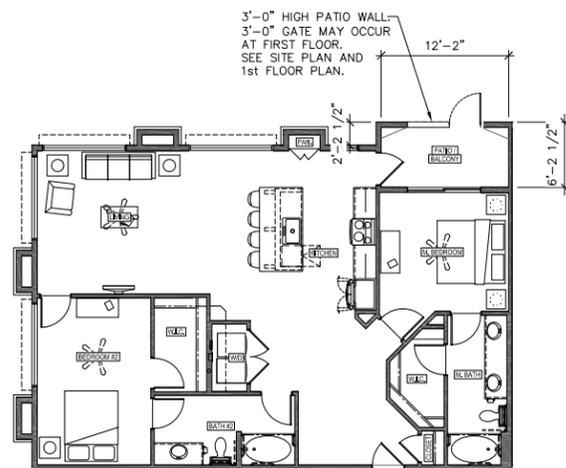
**UNIT B3**  
2nd - 3rd FLOORS  
GROSS LIVABLE AREA: 1,099 S.F.  
PATIO OR BALCONY AREA: 68 S.F.



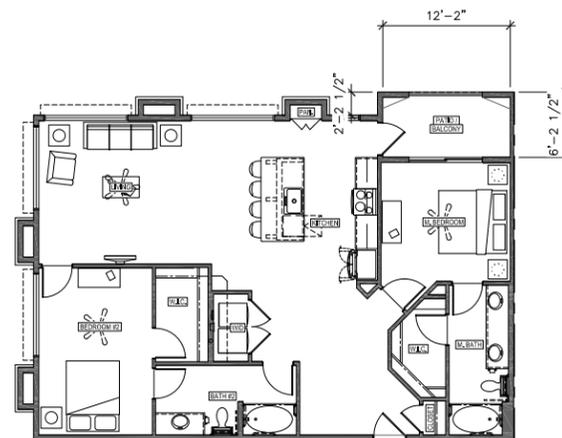
**UNIT B3 ROOF DECK UNIT**  
4th FLOOR  
GROSS LIVABLE AREA: 1,204 S.F.



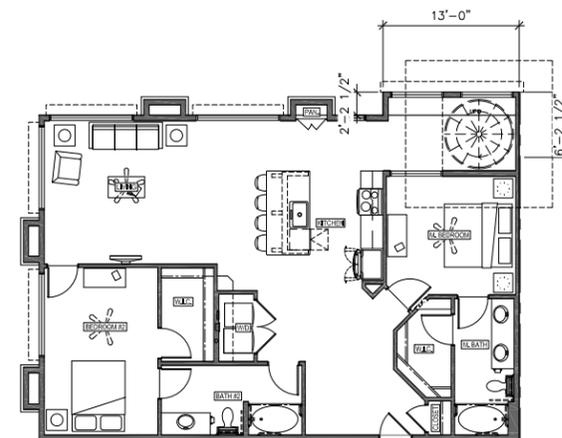
**UNIT B3 ROOF DECK**  
ROOF  
PATIO AREA: 328 S.F.



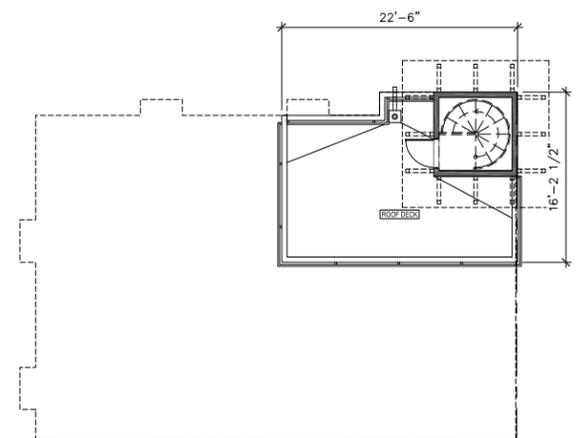
**UNIT B5**  
1st FLOOR  
GROSS LIVABLE AREA: 1,377 S.F.  
PATIO OR BALCONY AREA: 76 S.F.



**UNIT B5**  
2nd - 4th FLOORS  
GROSS LIVABLE AREA: 1,377 S.F.  
PATIO OR BALCONY AREA: 76 S.F.



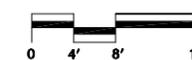
**UNIT B5 ROOF DECK UNIT**  
4th FLOOR  
GROSS LIVABLE AREA: 1,460 S.F.



**UNIT B5 ROOF DECK**  
ROOF  
PATIO AREA: 280 S.F.

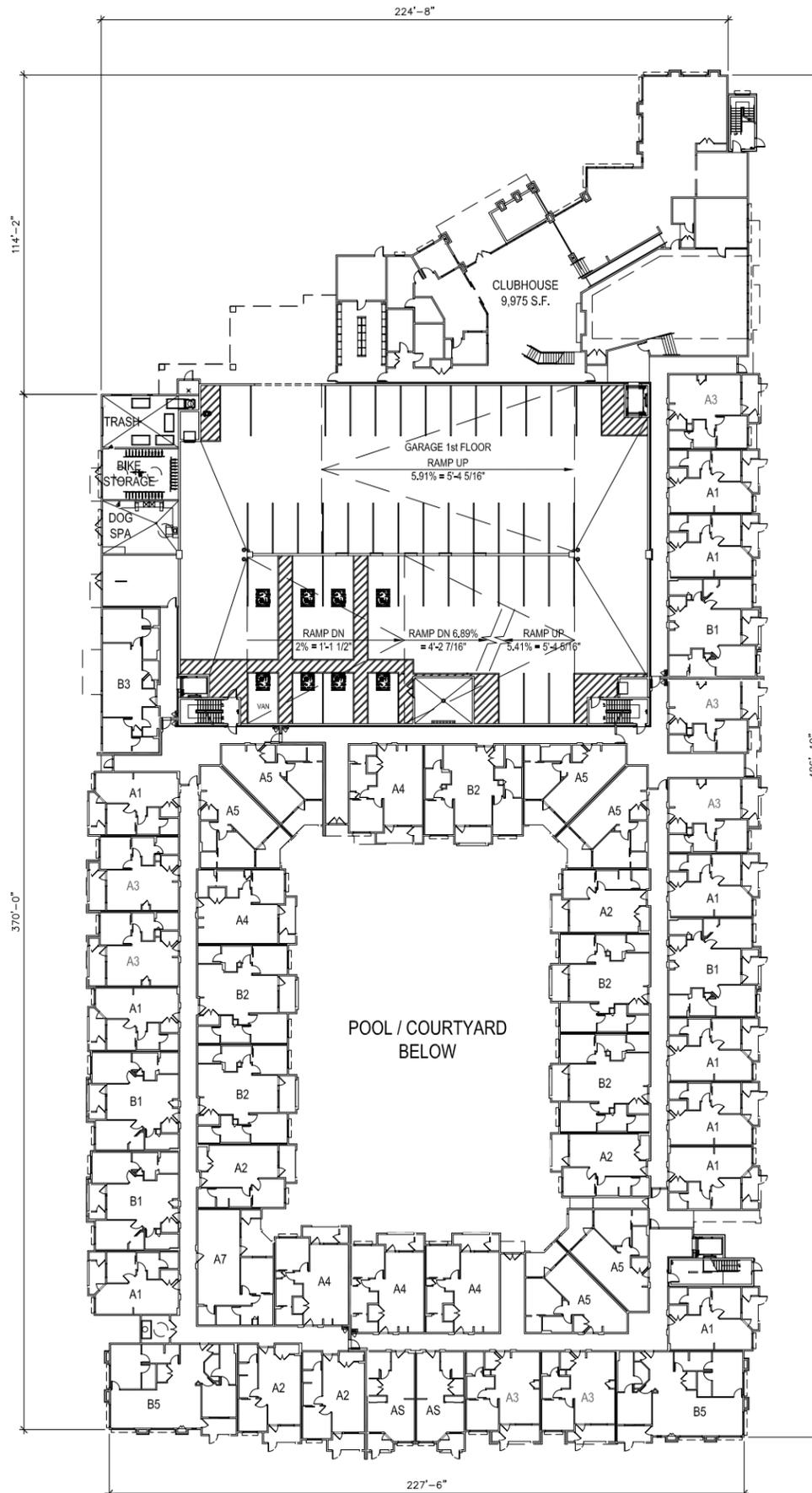
**bitform**  
architecture

**9400 EAST SHEA BOULEVARD**  
**KAPLAN ACQUISITIONS, LLC**



**FLOOR PLAN**  
UNIT PLANS  
SCALE: 1/8" = 1'-0"

**A4.3**  
03-25-21

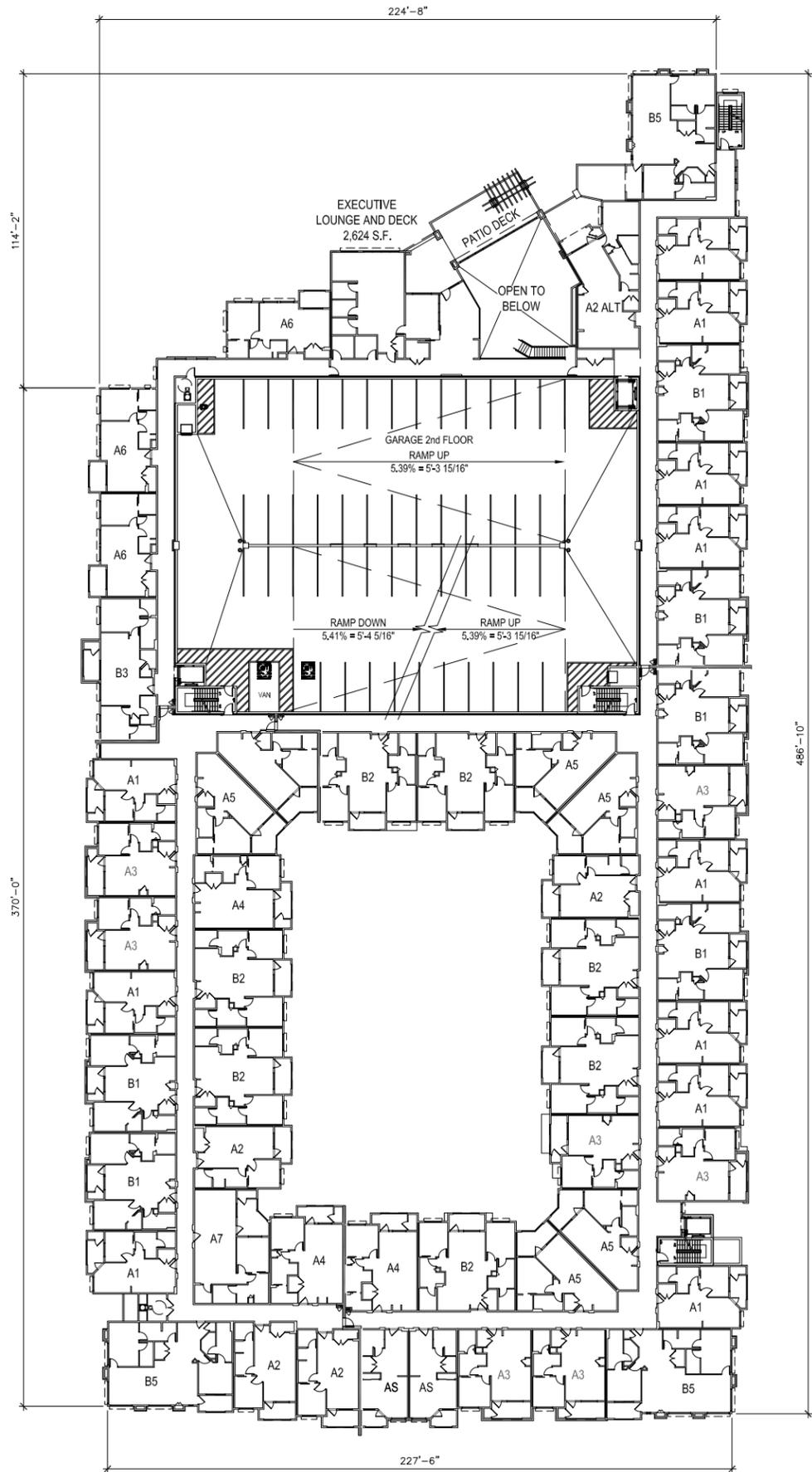


**9400 EAST SHEA BOULEVARD**  
**KAPLAN ACQUISITIONS, LLC**

**FLOOR PLAN**  
 BUILDING 1st FLOOR  
 SCALE: N.T.S.

**A4.4**  
 03-25-21



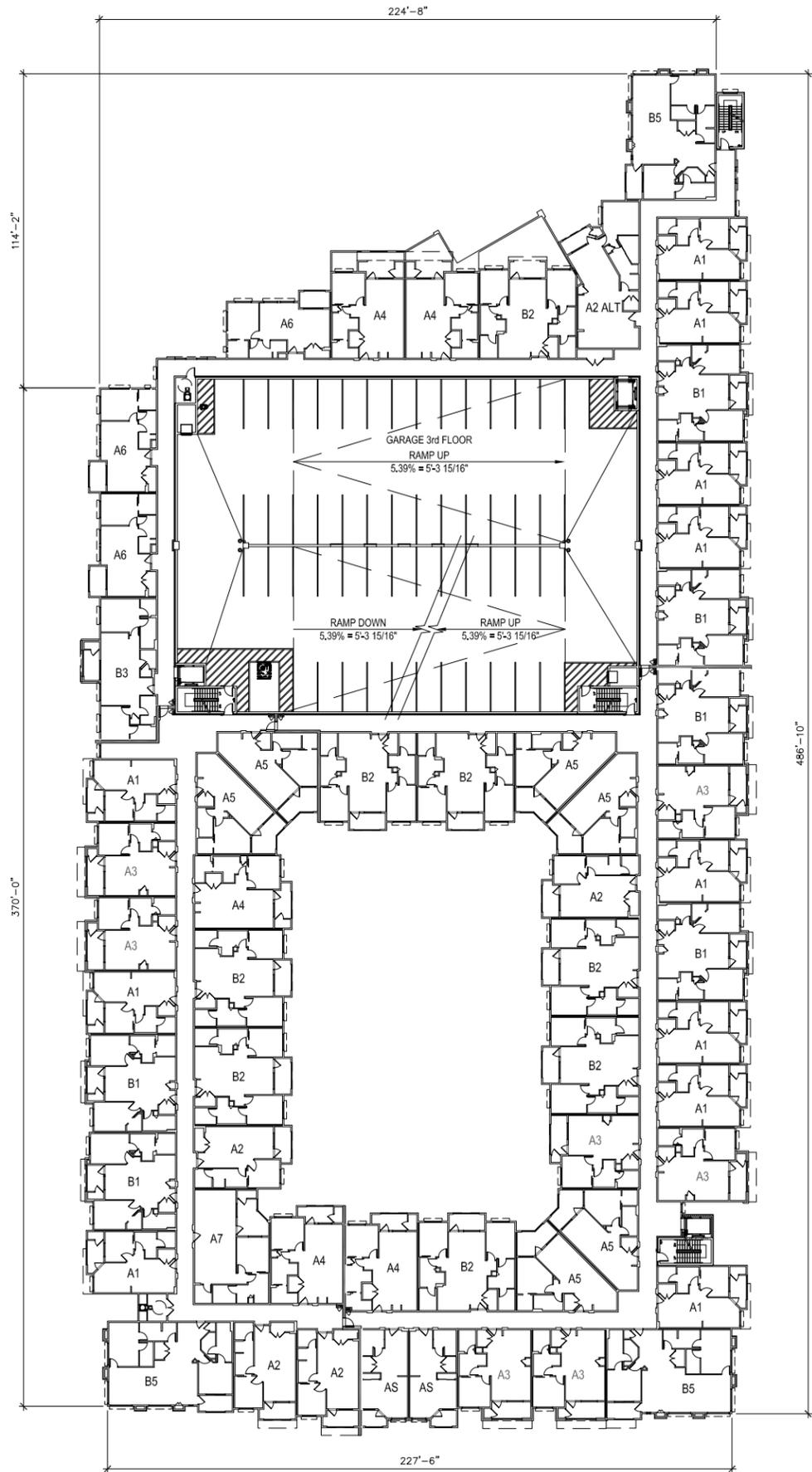


# 9400 EAST SHEA BOULEVARD

## KAPLAN ACQUISITIONS, LLC

FLOOR PLAN  
BUILDING 2nd FLOOR  
SCALE: N.T.S.

**A4.5**  
03-25-21

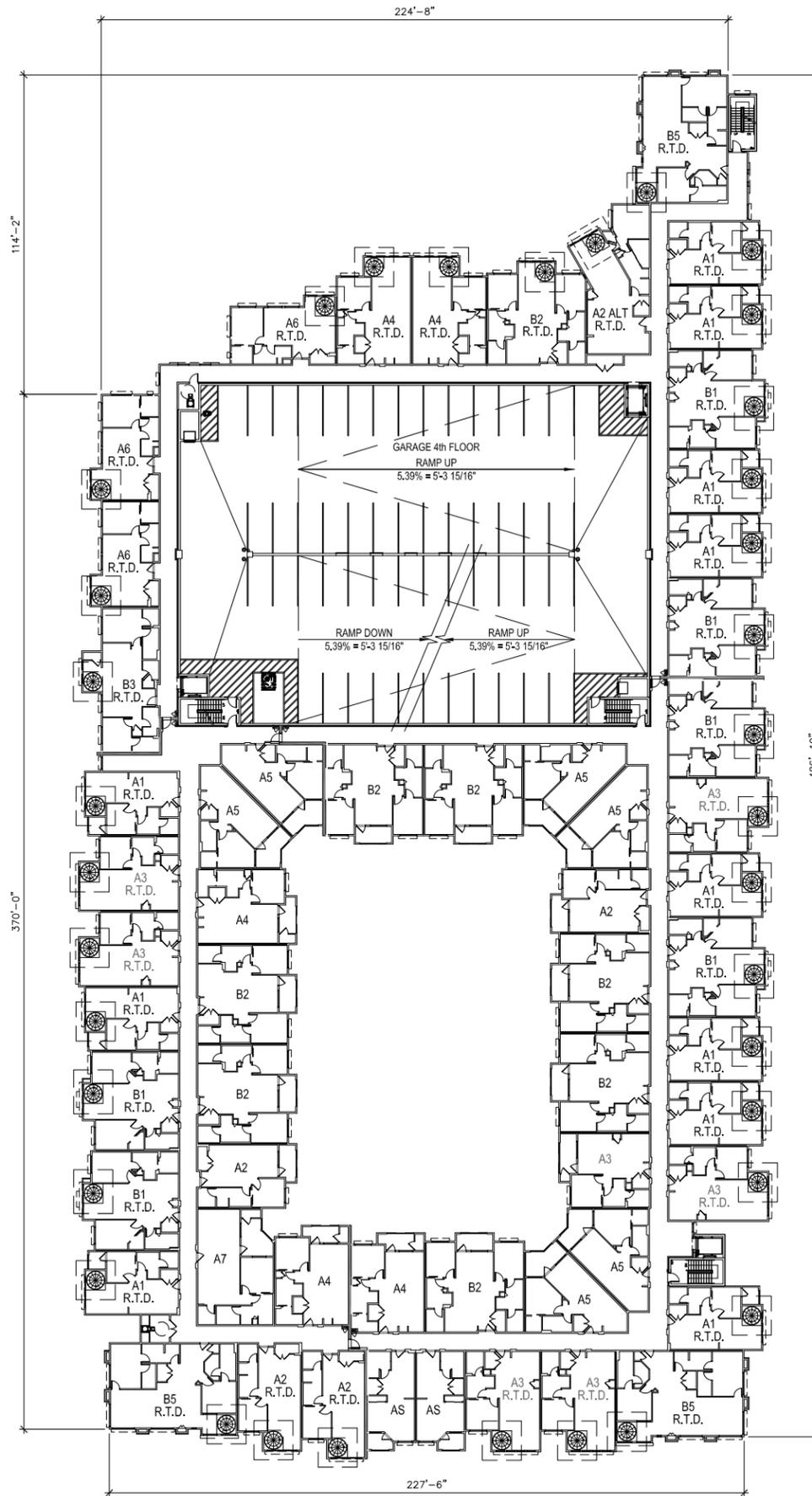


# 9400 EAST SHEA BOULEVARD

## KAPLAN ACQUISITIONS, LLC

FLOOR PLAN  
BUILDING 3rd FLOOR  
SCALE: N.T.S.

**A4.6**  
03-25-21



\*NOTE:  
R.T.D. = ROOFTOP DECK

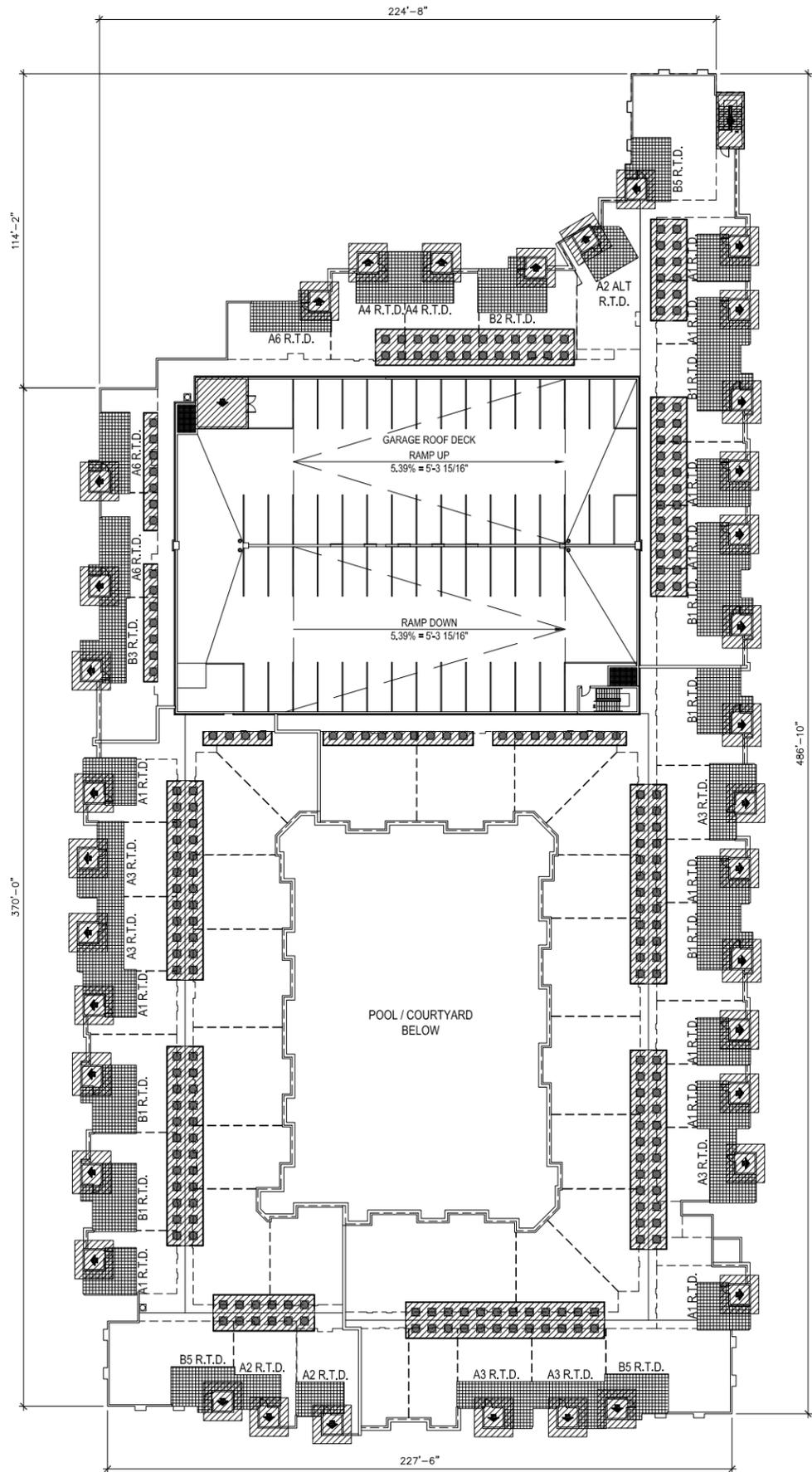


# 9400 EAST SHEA BOULEVARD

## KAPLAN ACQUISITIONS, LLC

FLOOR PLAN  
BUILDING 4th FLOOR  
SCALE: N.T.S.

**A4.7**  
03-25-21



SYMBOL LEGEND	
	DIRECTION OF ROOF SLOPE AT 1/4" PER FOOT MINIMUM
	MECHANICAL CONDENSING UNIT ON REDWOOD SLEEPERS
	INDICATES ROOFTOP DECK LOCATIONS
	INDICATES AREA ABOVE 48'-0"

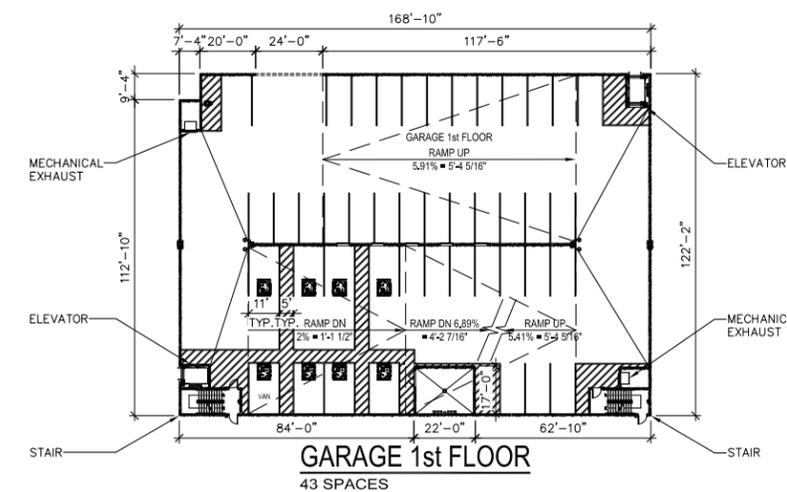
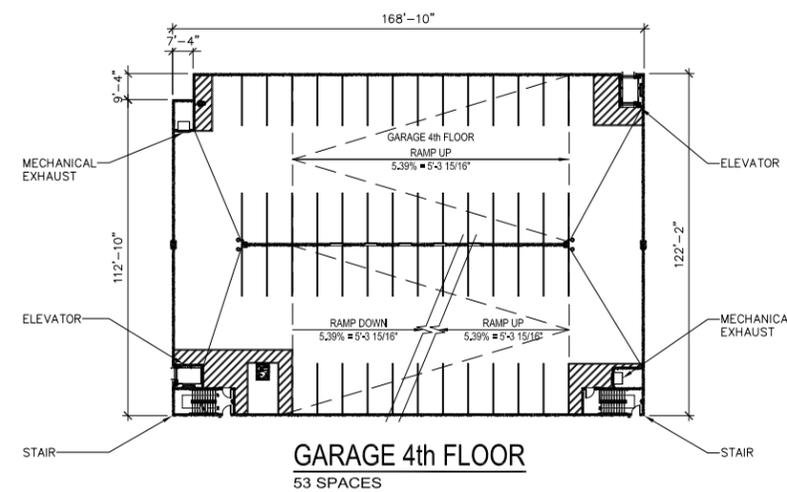
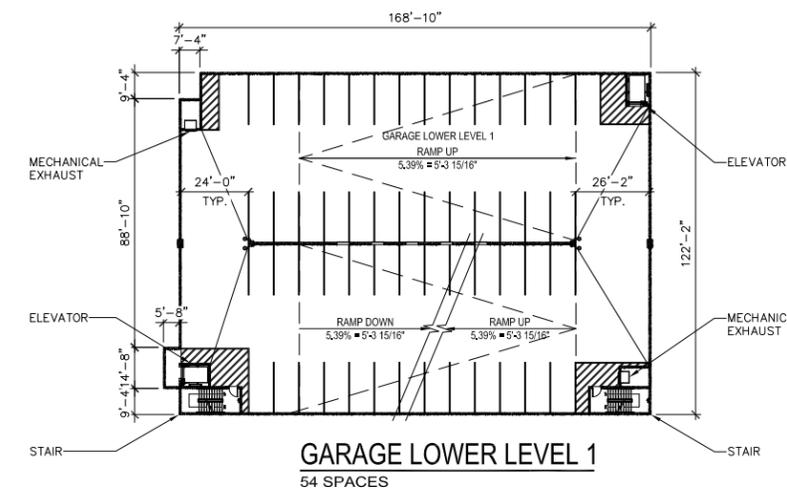
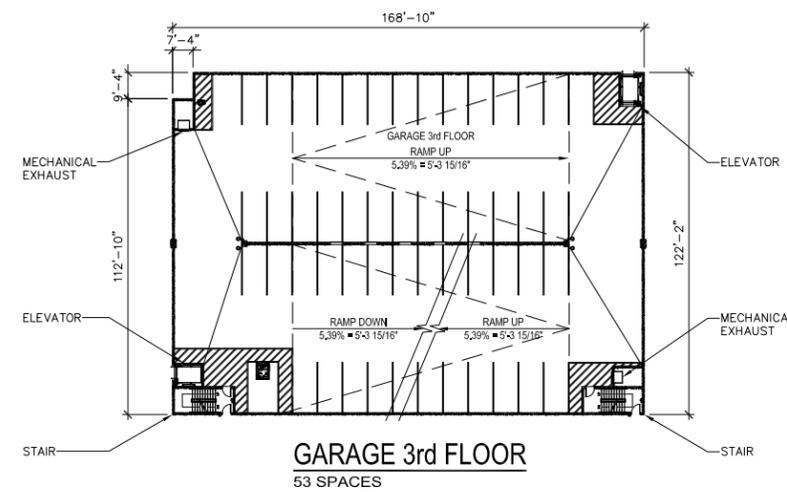
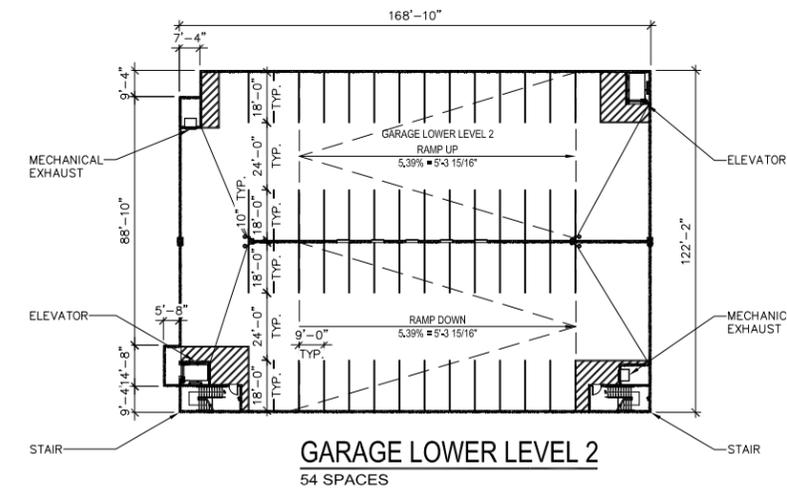
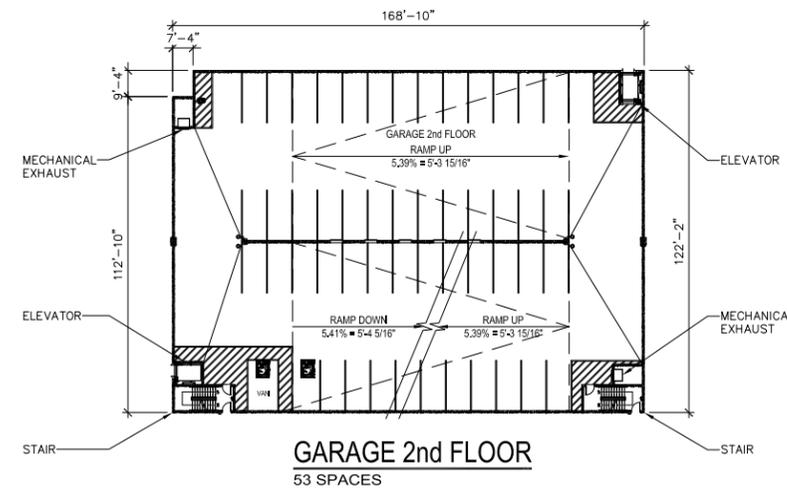
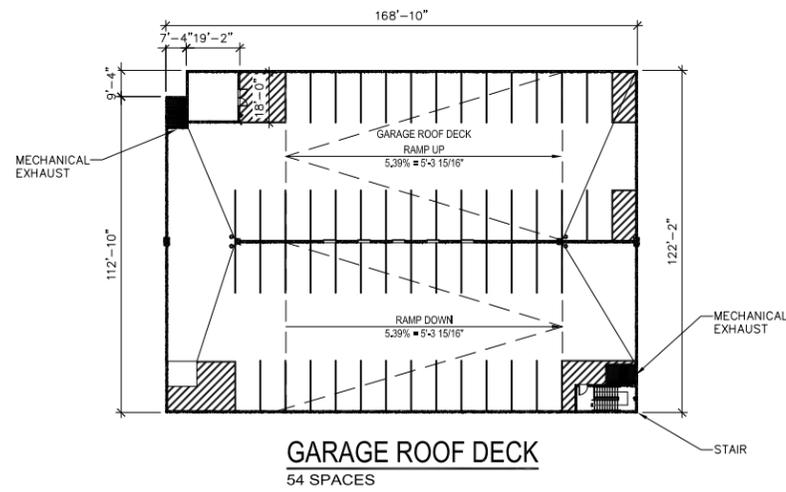
- | ROOF PLAN GENERAL NOTES |  |
|-------------------------|--|
| 1.                      | ALL PENETRATIONS OF FIRE-RESISTIVE ROOF OR WALLS SHALL BE PROTECTED BY MATERIALS AND INSTALLATION DETAILS THAT CONFORM TO UNDERWRITER'S LABORATORIES LISTINGS FOR "THROUGH-PENETRATION FIRE STOP SYSTEMS." CONTRACTOR SHALL SUBMIT SHOP DRAWING DETAILS, FURNISHED BY THE MANUFACTURER OF THE FIRE STOP MATERIAL, WHICH SHOW COMPLETE CONFORMANCE TO THE U.L. LISTING TO THE ARCHITECT, AND SUCH DRAWINGS SHALL BE AVAILABLE TO THE CITY OF SCOTTSDALE. THE DRAWINGS SHALL BE SPECIFIC FOR EACH PENETRATION, WITH APPROPRIATE U.L.# PROVIDED WITH ALL VARIABLES DEFINED. |
| 2.                      | DRAFTSTOPS ARE NOT REQUIRED PER 2015 I.B.C. SECTION 718.3.2 EXCEPTION 1.   |
| 3.                      | ROOFING SHALL BE INSTALLED IN ACCORDANCE WITH SPECIFICATIONS AND MANUFACTURER'S RECOMMENDATIONS.   |
| 4.                      | SEE BUILDING SECTIONS AND EXTERIOR ELEVATIONS FOR ADDITIONAL HEIGHTS.  |
| 5.                      | TYPICAL ROOF SLOPE IS 1/4" PER FOOT. ALL CRICKETS TO HAVE A MINIMUM SLOPE OF 1/4" PER FOOT.  |
| 6.                      | ALL ROOFS MUST BE A MINIMUM OF CLASS "B" RATING.   |
| 7.                      | ALL MECHANICAL EQUIPMENT SHALL NOT BE PLACED WITHIN 10' OF PERIMETER PARAPET.  |
| 8.                      | OPTIONAL FOAM ROOF SYSTEM - CLASS "A" SPRAYED POLYURETHANE FOAM A MINIMUM OF 1" THICK.   |
| 9.                      | MINIMUM 24" OF SEPARATION TO ADJACENT PENETRATIONS, CANT STRIP, SCUPPERS, ETC.   |
| 10.                     | NO PITCH POCKETS. USE STANDARD ROUND ROOF FLASHING AS AN ALTERNATIVE.  |
| 11.                     | NO USE OF 'L' OR SQUARE IRON ATTACHED TO ROOF FRAMING AND SEALED IN A PITCH POCKET. USE ROUND PIPE ATTACHED TO FRAMING AND SEALED WITH STANDARD ROOF FLASHING.   |
| 12.                     | DRAINAGE COLLECTED FROM A ROOF, AWNING OR CONDENSATE FROM MECHANICAL EQUIPMENT SHALL NOT FLOW OVER A PUBLIC WALKING SURFACE PER 2015 I.B.C. 3201.4.  |

**9400 EAST SHEA BOULEVARD**  
**KAPLAN ACQUISITIONS, LLC**

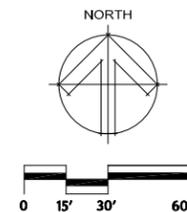
**FLOOR PLAN**  
**BUILDING ROOF**  
SCALE: N.T.S. **A4.8**  
03-25-21

**PARKING SUMMARY - (MULTI-FAMILY)**

<b>TOTAL PARKING: (MULTI-FAMILY)</b>	
REQUIRED: TABLE 9.103	
1 BEDROOM / STUDIO	156 x 1.3 = 203
2 BEDROOMS	63 x 1.7 = 107
OFFICE / FLEX: 1 SPACE PER 325 S.F.	X,XXX S.F./325 = XX
FITNESS CENTER (30%) 1 SPACE PER 325 S.F.	X,XXX S.F./325 = X
TOTAL REQUIRED:	XXX P.S.
<b>PROVIDED:</b>	
GARAGE PARKING	364 P.S.
SURFACE PARKING	11 P.S.
TOTAL PROVIDED: (1.7 SPACES PER UNIT)	375 P.S.
<b>ACCESSIBLE PARKING REQUIRED:</b>	
4% x 375 P.S. = 15 P.S.	
ACCESSIBLE PARKING PROVIDED: (3 VAN = 1.6 SPACES)	= 15 P.S.
<b>BICYCLE PARKING: SEC. 9.103</b>	
(1) SPACES PER 10 VEHICLE REQ'D	(342 x 0.1 = 34.2)
TOTAL PROVIDED	34 SPACES

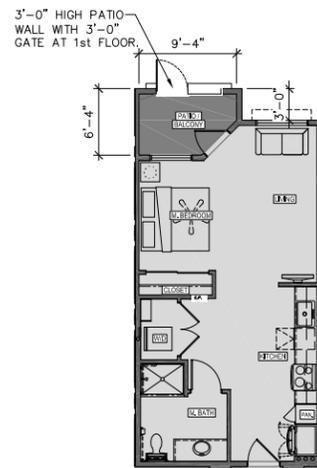


**9400 EAST SHEA BOULEVARD**  
**KAPLAN ACQUISITIONS, LLC**

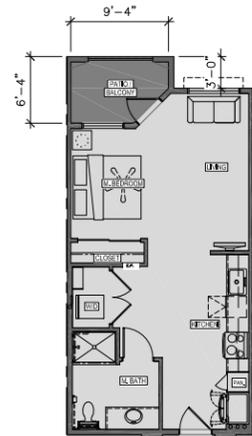


**FLOOR PLAN**  
**BUILDING GARAGE**  
SCALE: 1" = 30'-0"

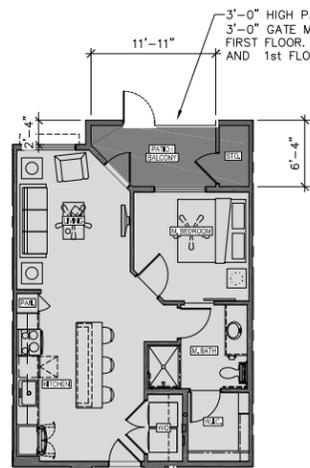
**A4.9**  
03-25-21



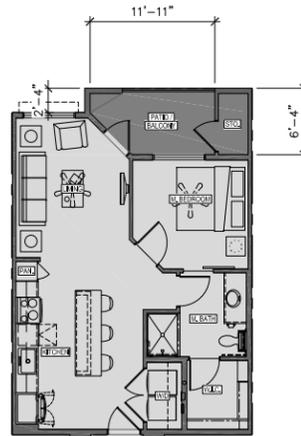
**UNIT AS**  
1st FLOOR  
GROSS LIVABLE AREA: 562 S.F.  
PATIO OR BALCONY AREA: 54 S.F.



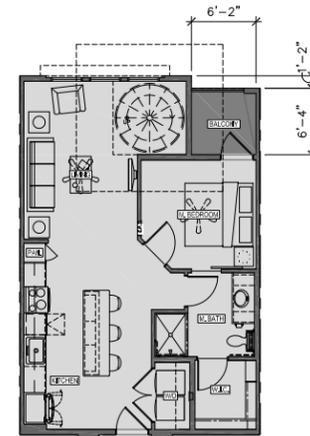
**UNIT AS**  
2nd - 4th FLOORS  
GROSS LIVABLE AREA: 562 S.F.  
PATIO OR BALCONY AREA: 54 S.F.



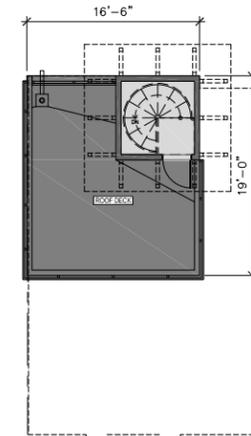
**UNIT A1**  
1st FLOOR  
GROSS LIVABLE AREA: 651 S.F.  
PATIO OR BALCONY AREA: 68 S.F.



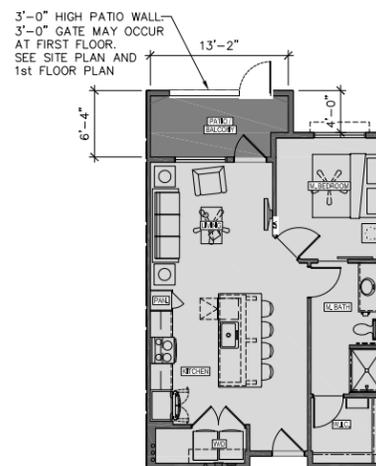
**UNIT A1**  
2nd - 4th FLOORS  
GROSS LIVABLE AREA: 651 S.F.  
PATIO OR BALCONY AREA: 68 S.F.



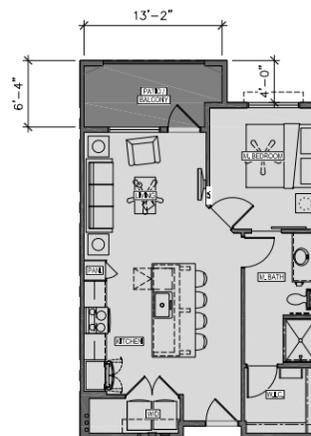
**UNIT A1 ROOF DECK UNIT**  
4th FLOOR  
GROSS LIVABLE AREA: 737 S.F.  
PATIO OR BALCONY AREA: 39 S.F.



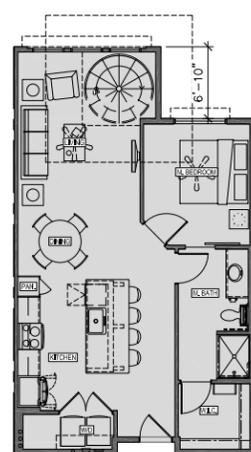
**UNIT A1 ROOF DECK**  
ROOF  
PATIO AREA: 250 S.F.



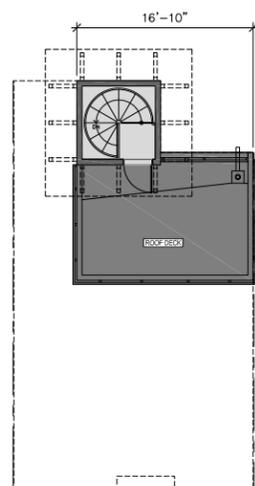
**UNIT A2**  
1st FLOOR  
GROSS LIVABLE AREA: 702 S.F.  
PATIO OR BALCONY AREA: 80 S.F.



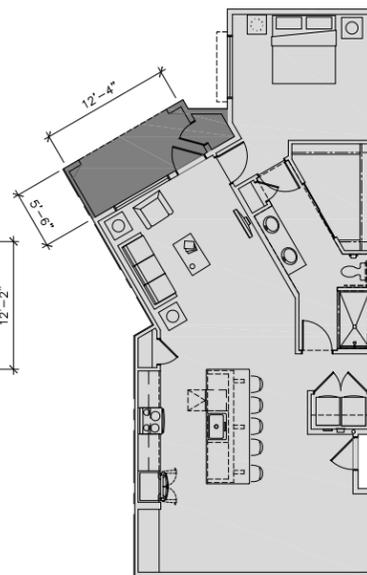
**UNIT A2**  
2nd - 4th FLOORS  
GROSS LIVABLE AREA: 702 S.F.  
PATIO OR BALCONY AREA: 80 S.F.



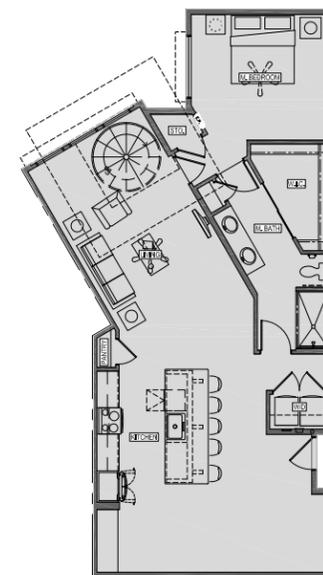
**UNIT A2 ROOF DECK UNIT**  
4th FLOOR  
GROSS LIVABLE AREA: 826 S.F.



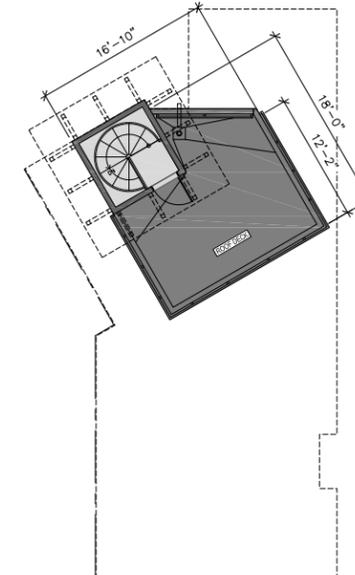
**UNIT A2 ROOF DECK**  
ROOF  
PATIO AREA: 196 S.F.



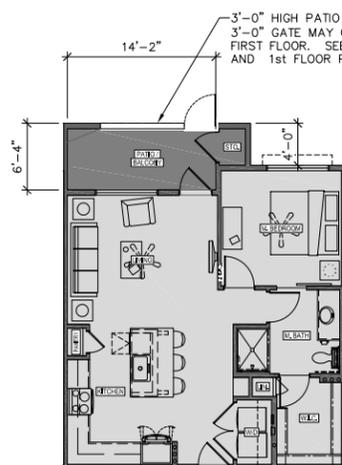
**UNIT A2 ALT**  
2nd - 3rd FLOORS  
GROSS LIVABLE AREA: 1,702 S.F.  
PATIO OR BALCONY AREA: 88 S.F.



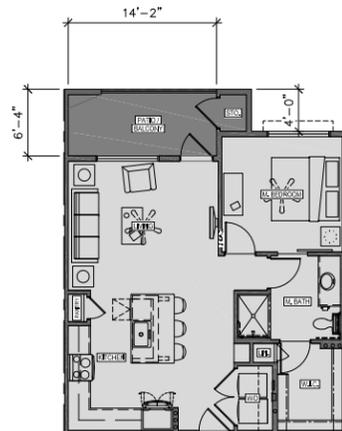
**UNIT A2 ALT ROOF DECK UNIT**  
4th FLOOR  
GROSS LIVABLE AREA: 1,804 S.F.



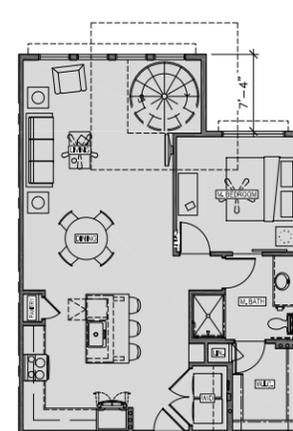
**UNIT A2 ALT ROOF DECK**  
ROOF  
PATIO AREA: 226 S.F.



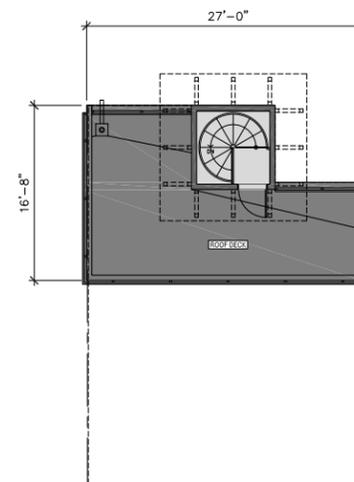
**UNIT A3**  
1st FLOOR  
GROSS LIVABLE AREA: 749 S.F.  
PATIO OR BALCONY AREA: 90 S.F.



**UNIT A3**  
2nd - 4th FLOORS  
GROSS LIVABLE AREA: 749 S.F.  
PATIO OR BALCONY AREA: 90 S.F.



**UNIT A3 ROOF DECK UNIT**  
4th FLOOR  
GROSS LIVABLE AREA: 914 S.F.



**UNIT A3 ROOF DECK**  
ROOF  
PATIO AREA: 320 S.F.

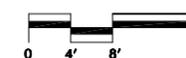


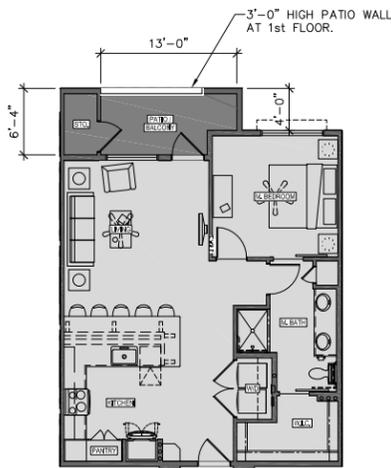
# 9400 EAST SHEA BOULEVARD

## KAPLAN ACQUISITIONS, LLC

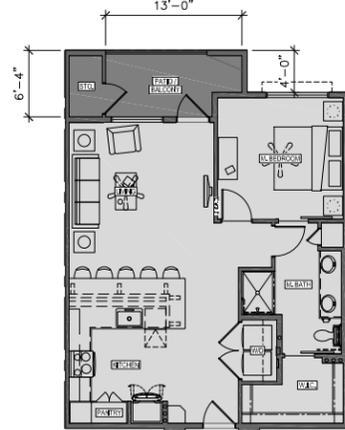
FLOOR PLAN  
WORKSHEET  
UNIT PLANS  
SCALE: 1/8" = 1'-0"

**A5.1**  
03-25-21

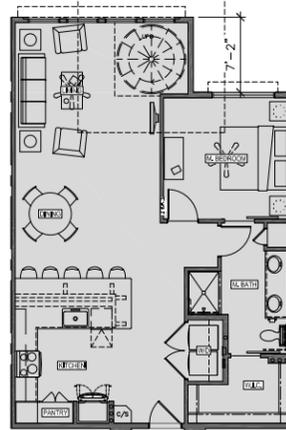




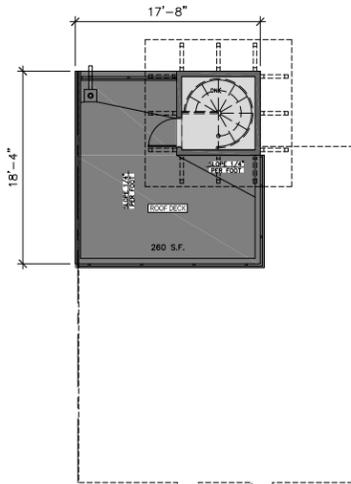
**UNIT A4**  
1st FLOOR  
GROSS LIVABLE AREA: 831 S.F.  
PATIO OR BALCONY AREA: 76 S.F.



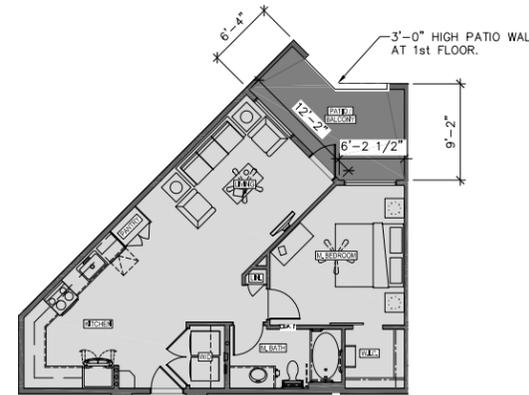
**UNIT A4**  
2nd - 4th FLOORS  
GROSS LIVABLE AREA: 831 S.F.  
PATIO OR BALCONY AREA: 76 S.F.



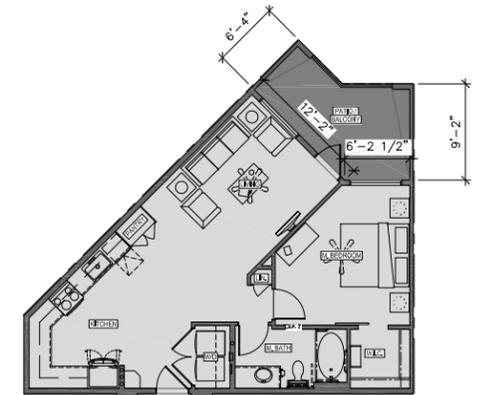
**UNIT A4 ROOF DECK UNIT**  
4th FLOOR  
GROSS LIVABLE AREA: 989 S.F.



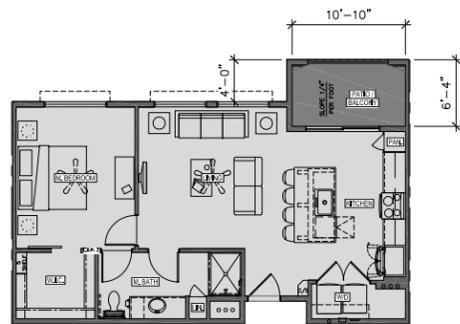
**UNIT A4 ROOF DECK**  
ROOF  
PATIO AREA: 260 S.F.



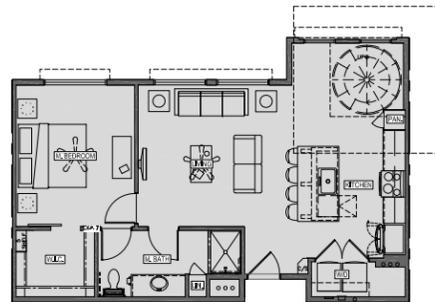
**UNIT A5**  
1st FLOOR  
GROSS LIVABLE AREA: 755 S.F.  
PATIO OR BALCONY AREA: 114 S.F.



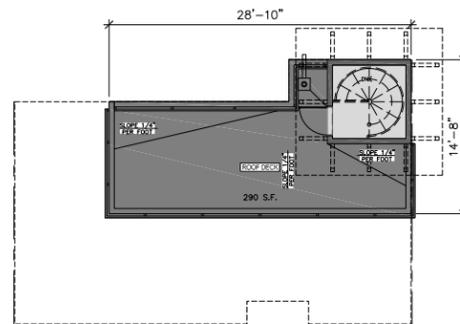
**UNIT A5**  
2nd - 4th FLOORS  
GROSS LIVABLE AREA: 755 S.F.  
PATIO OR BALCONY AREA: 114 S.F.



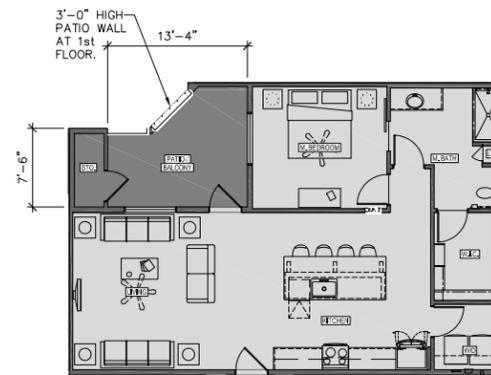
**UNIT A6**  
2nd - 3rd FLOORS  
GROSS LIVABLE AREA: 765 S.F.  
PATIO OR BALCONY AREA: 69 S.F.



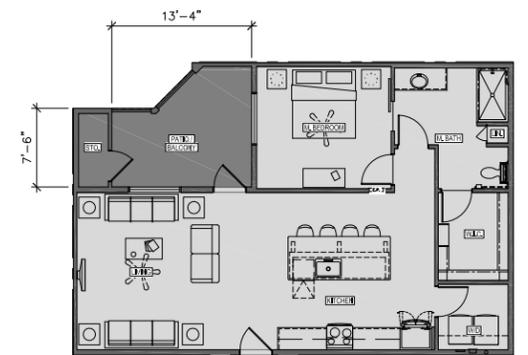
**UNIT A6 ROOF DECK UNIT**  
4th FLOOR  
GROSS LIVABLE AREA: 839 S.F.



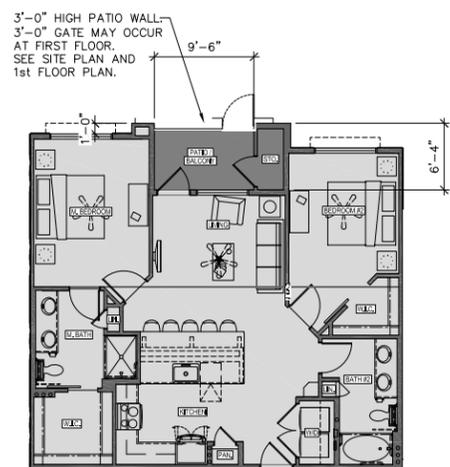
**UNIT A6 ROOF DECK**  
ROOF  
PATIO AREA: 290 S.F.



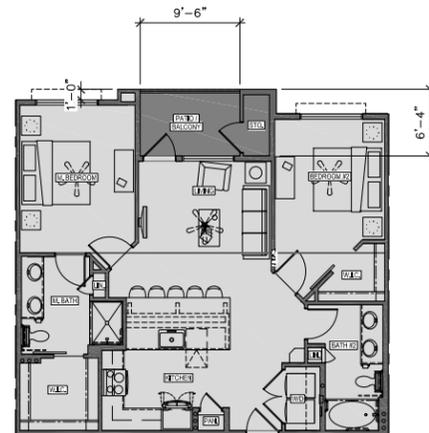
**UNIT A7**  
1st FLOOR  
GROSS LIVABLE AREA: 971 S.F.  
PATIO OR BALCONY AREA: 129 S.F.



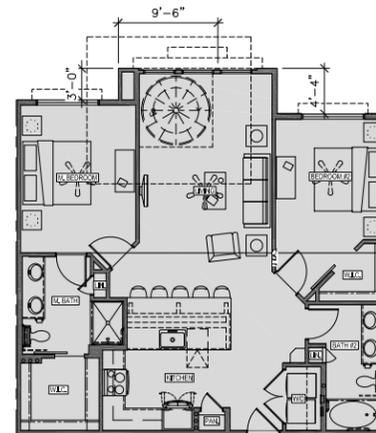
**UNIT A7**  
2nd - 4th FLOORS  
GROSS LIVABLE AREA: 971 S.F.  
PATIO OR BALCONY AREA: 129 S.F.



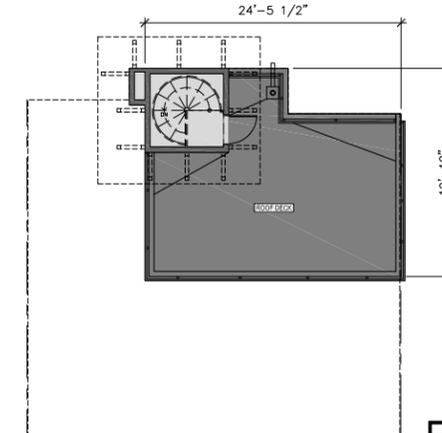
**UNIT B1**  
1st FLOOR  
GROSS LIVABLE AREA: 1,060 S.F.  
PATIO OR BALCONY AREA: 60 S.F.



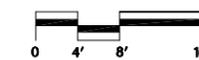
**UNIT B1**  
2nd - 4th FLOORS  
GROSS LIVABLE AREA: 1,060 S.F.  
PATIO OR BALCONY AREA: 60 S.F.



**UNIT B1 ROOF DECK UNIT**  
4th FLOOR  
GROSS LIVABLE AREA: 1,173 S.F.



**UNIT B1 ROOF DECK**  
ROOF  
PATIO AREA: 370 S.F.

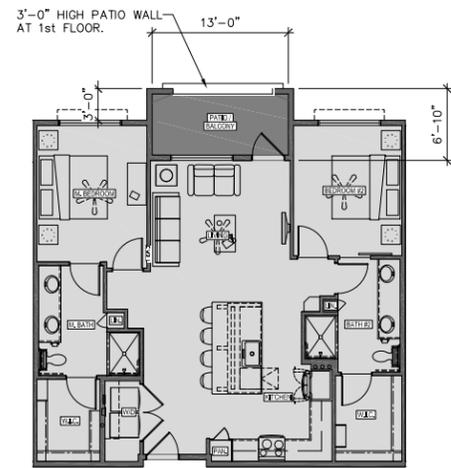


**FLOOR PLAN  
WORKSHEET**  
UNIT PLANS  
SCALE: 1/8" = 1'-0"

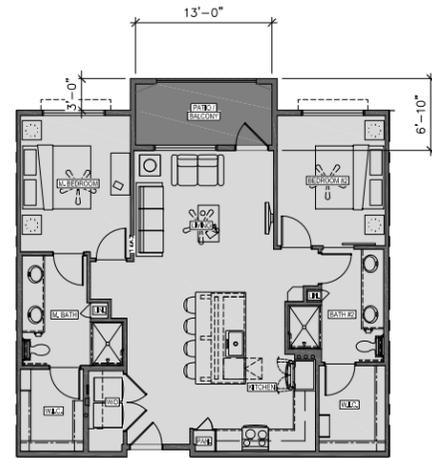
**A5.2**  
03-25-21



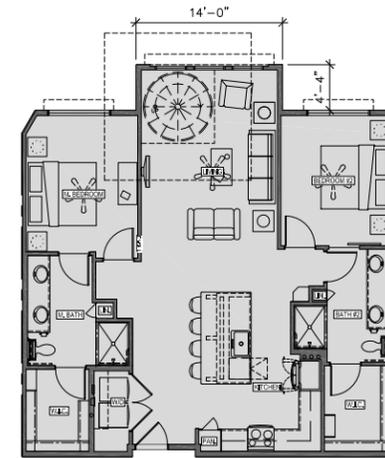
**9400 EAST SHEA BOULEVARD**  
**KAPLAN ACQUISITIONS, LLC**



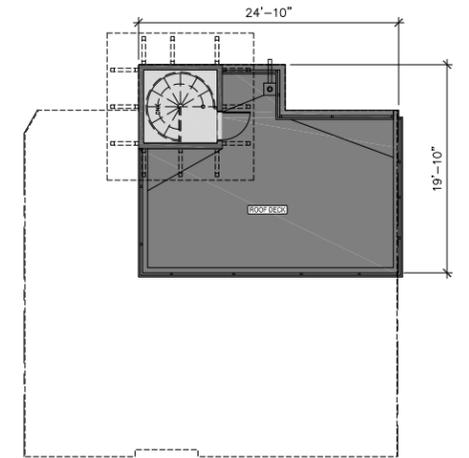
**UNIT B2**  
1st FLOOR  
GROSS LIVABLE AREA: 1,130 S.F.  
PATIO OR BALCONY AREA: 82 S.F.



**UNIT B2**  
2nd - 4th FLOORS  
GROSS LIVABLE AREA: 1,130 S.F.  
PATIO OR BALCONY AREA: 82 S.F.



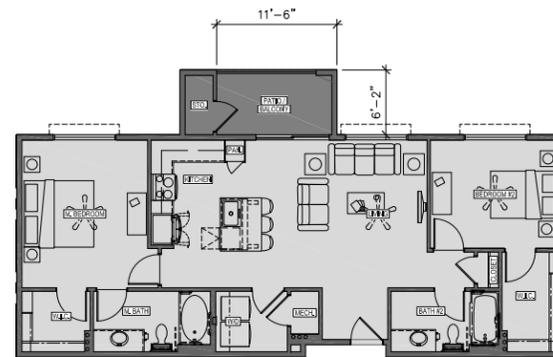
**UNIT B2 ROOF DECK UNIT**  
4th FLOOR  
GROSS LIVABLE AREA: 1,234 S.F.



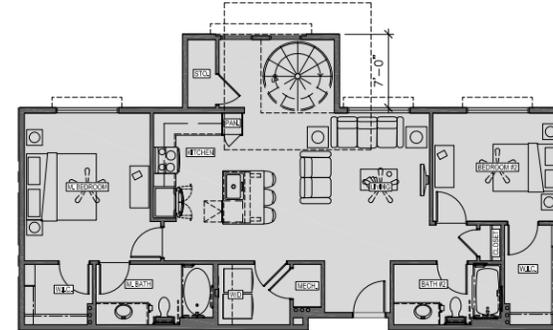
**UNIT B2 ROOF DECK**  
ROOF  
PATIO AREA: 377 S.F.



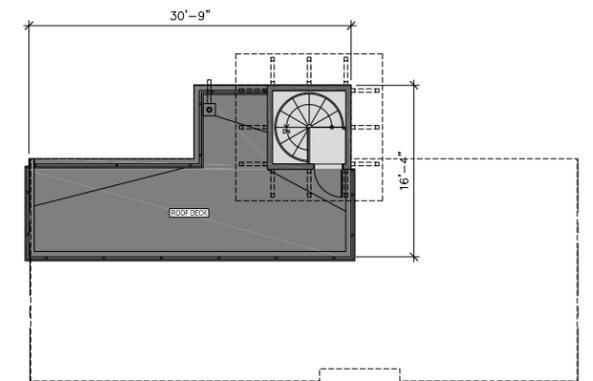
**UNIT B3**  
1st FLOOR  
GROSS LIVABLE AREA: 1,099 S.F.



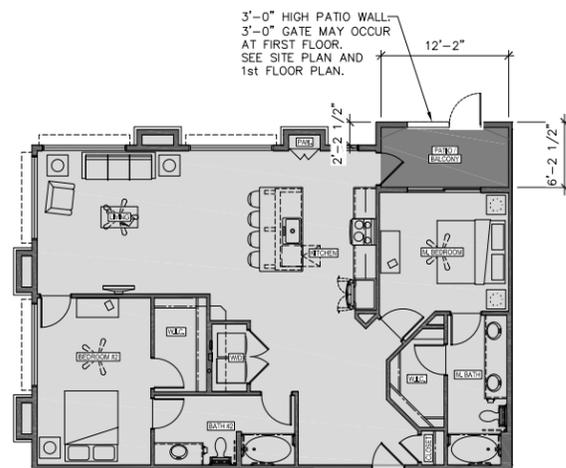
**UNIT B3**  
2nd - 3rd FLOORS  
GROSS LIVABLE AREA: 1,099 S.F.  
PATIO OR BALCONY AREA: 68 S.F.



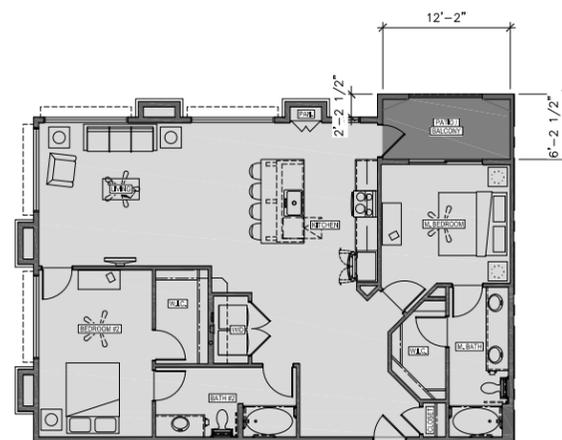
**UNIT B3 ROOF DECK UNIT**  
4th FLOOR  
GROSS LIVABLE AREA: 1,204 S.F.



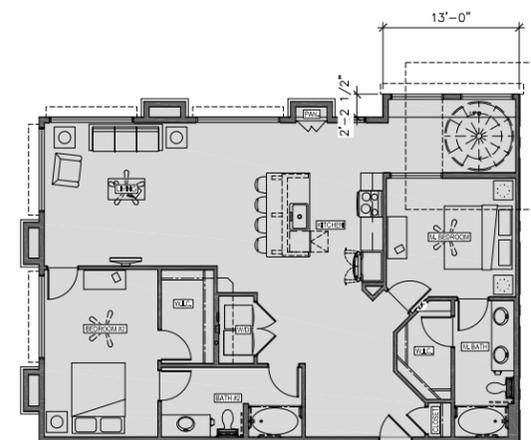
**UNIT B3 ROOF DECK**  
ROOF  
PATIO AREA: 328 S.F.



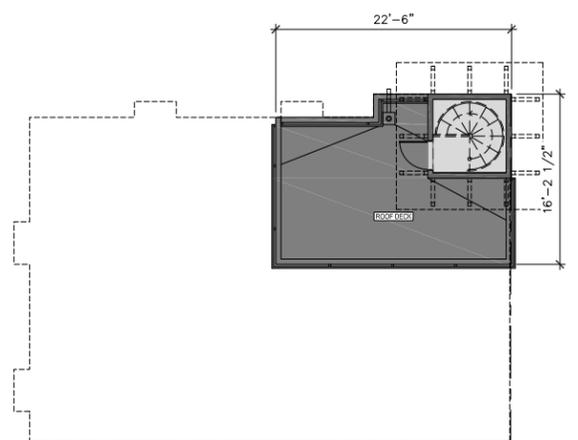
**UNIT B5**  
1st FLOOR  
GROSS LIVABLE AREA: 1,377 S.F.  
PATIO OR BALCONY AREA: 76 S.F.



**UNIT B5**  
2nd - 4th FLOORS  
GROSS LIVABLE AREA: 1,377 S.F.  
PATIO OR BALCONY AREA: 76 S.F.



**UNIT B5 ROOF DECK UNIT**  
4th FLOOR  
GROSS LIVABLE AREA: 1,460 S.F.



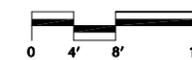
**UNIT B5 ROOF DECK**  
ROOF  
PATIO AREA: 280 S.F.



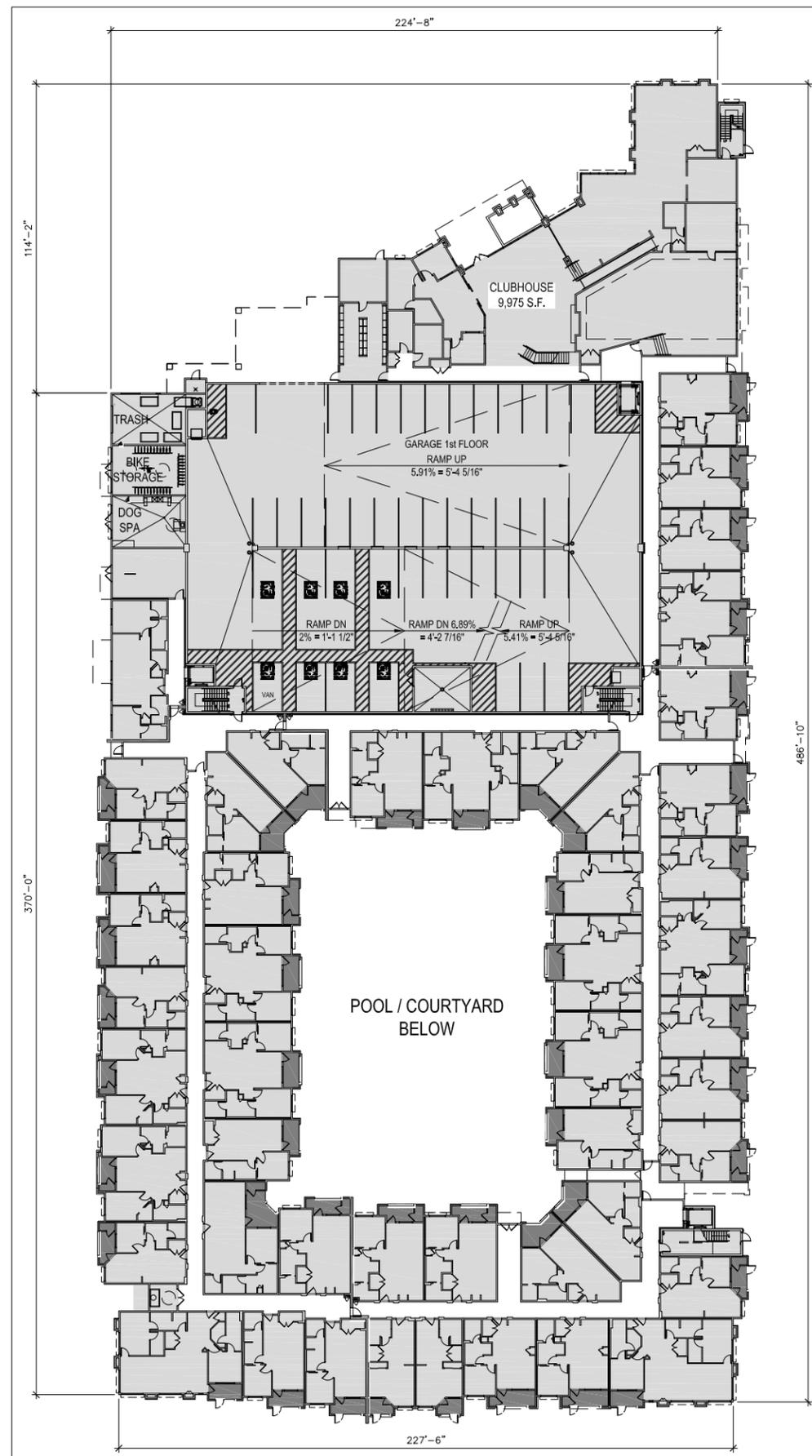
# 9400 EAST SHEA BOULEVARD

## KAPLAN ACQUISITIONS, LLC

**FLOOR PLAN WORKSHEET**  
UNIT PLANS  
SCALE: 1/8" = 1'-0"



**A5.3**  
03-25-21

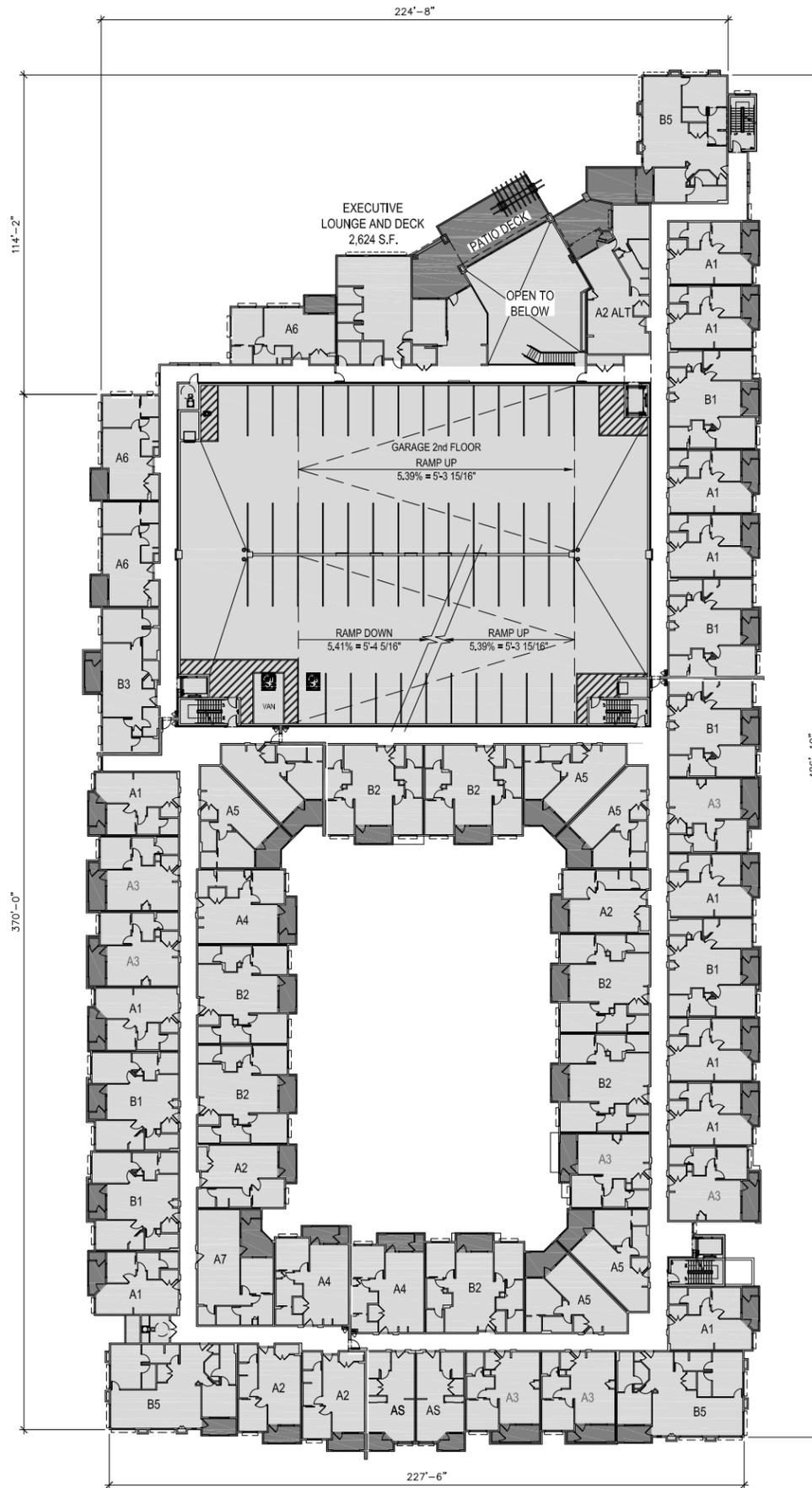


**9400 EAST SHEA BOULEVARD**  
**KAPLAN ACQUISITIONS, LLC**

FLOOR PLAN WORKSHEET  
 BUILDING 1st FLOOR  
 SCALE: N.T.S.

**A5.4**  
 03-25-21



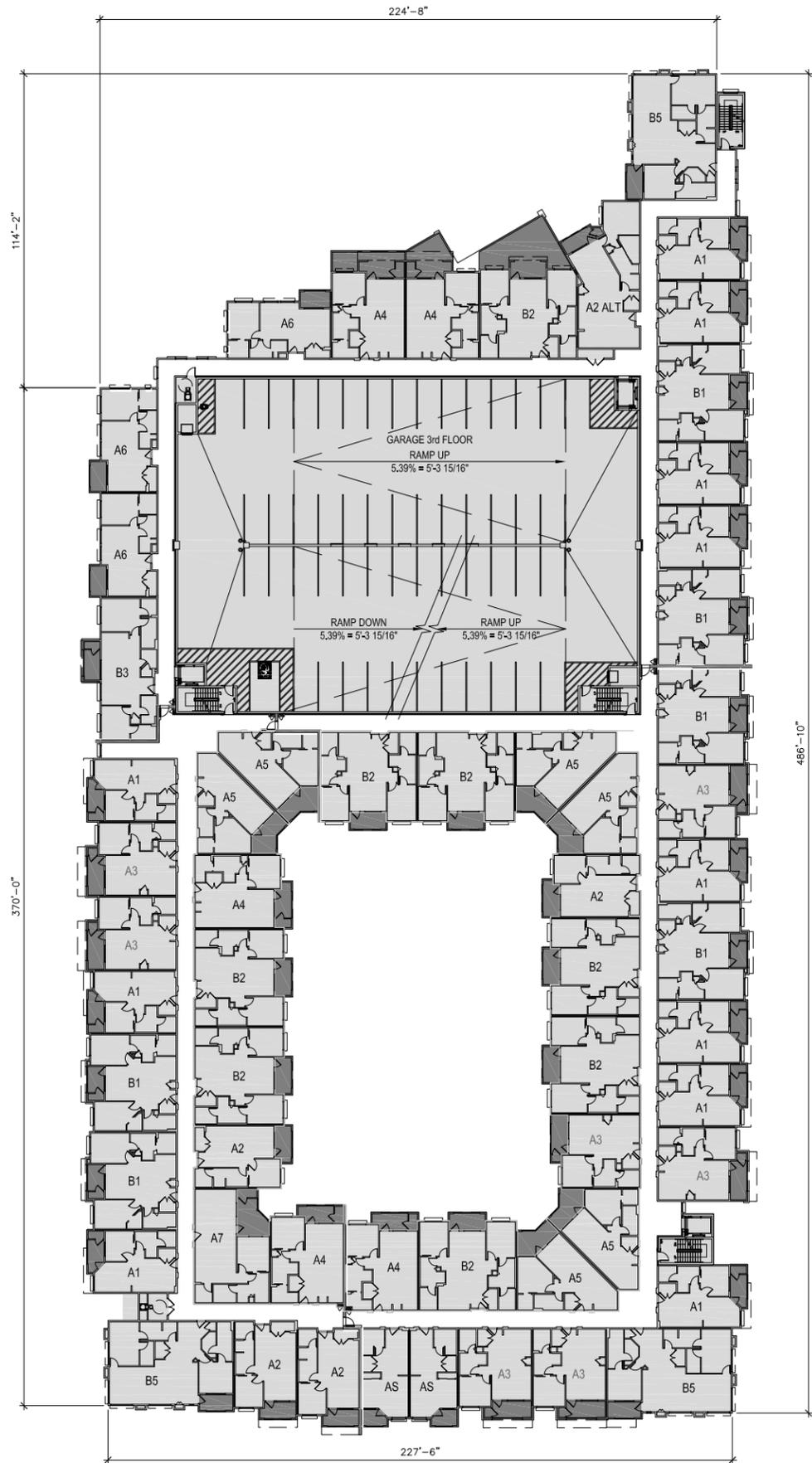


**9400 EAST SHEA BOULEVARD**  
**KAPLAN ACQUISITIONS, LLC**

FLOOR PLAN WORKSHEET  
 BUILDING 2nd FLOOR  
 SCALE: N.T.S.

**A5.5**  
 03-25-21



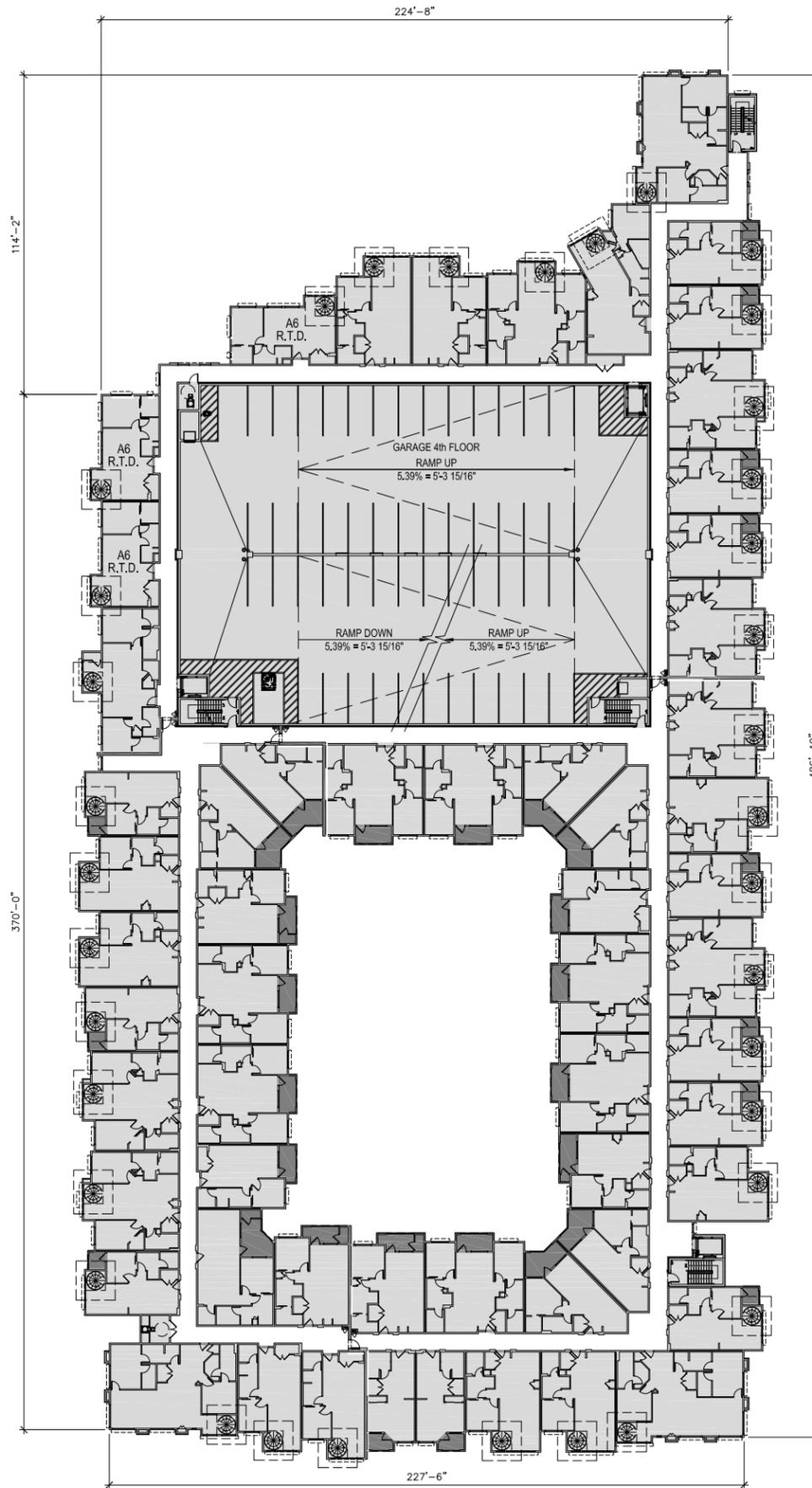


# 9400 EAST SHEA BOULEVARD

## KAPLAN ACQUISITIONS, LLC

FLOOR PLAN WORKSHEET  
BUILDING 3rd FLOOR  
SCALE: N.T.S.

**A5.6**  
03-25-21



\*NOTE:  
R.T.D. = ROOFTOP DECK

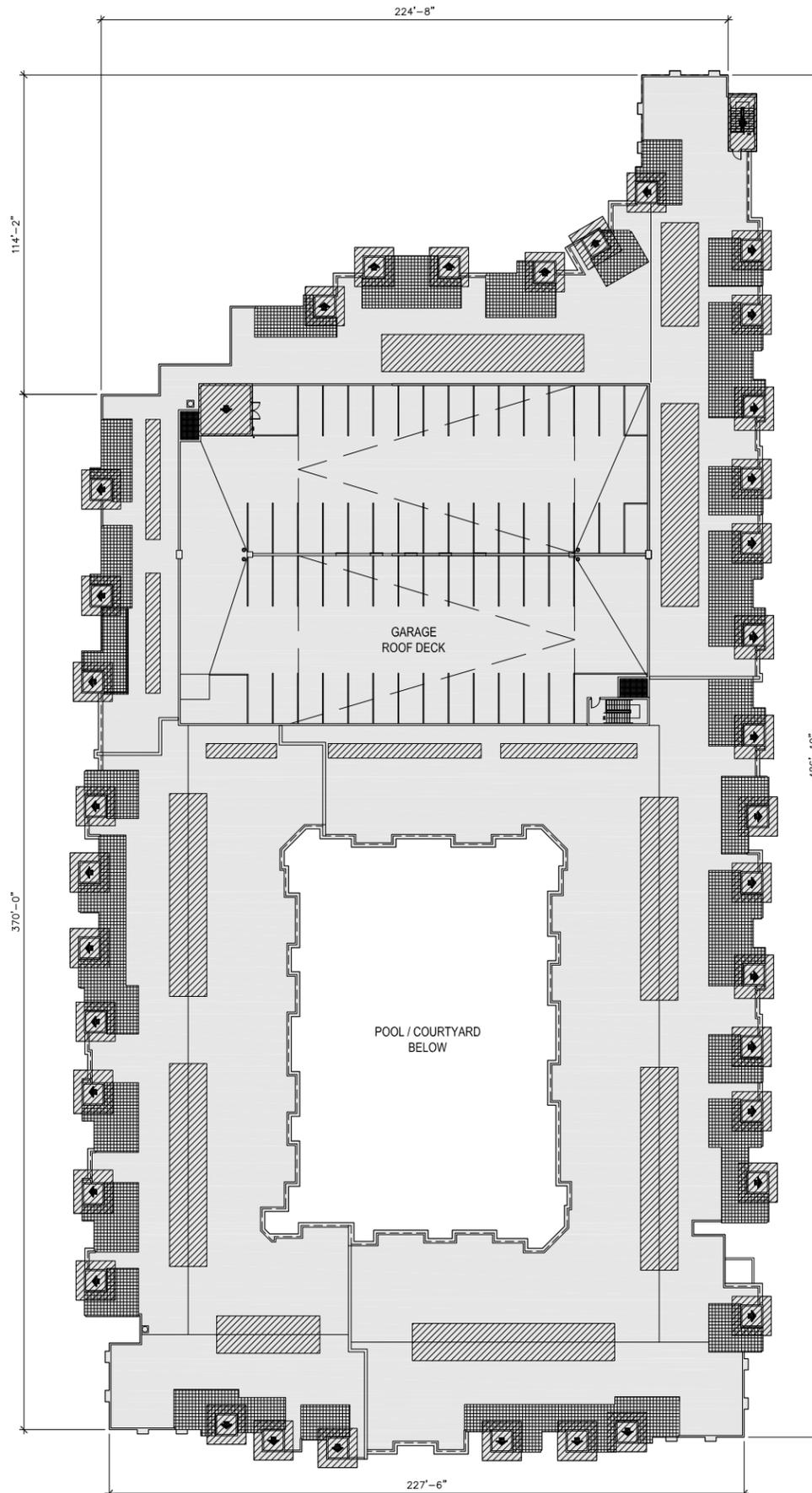


# 9400 EAST SHEA BOULEVARD

## KAPLAN ACQUISITIONS, LLC

FLOOR PLAN WORKSHEET  
BUILDING 4th FLOOR  
SCALE: N.T.S.

**A5.7**  
03-25-21



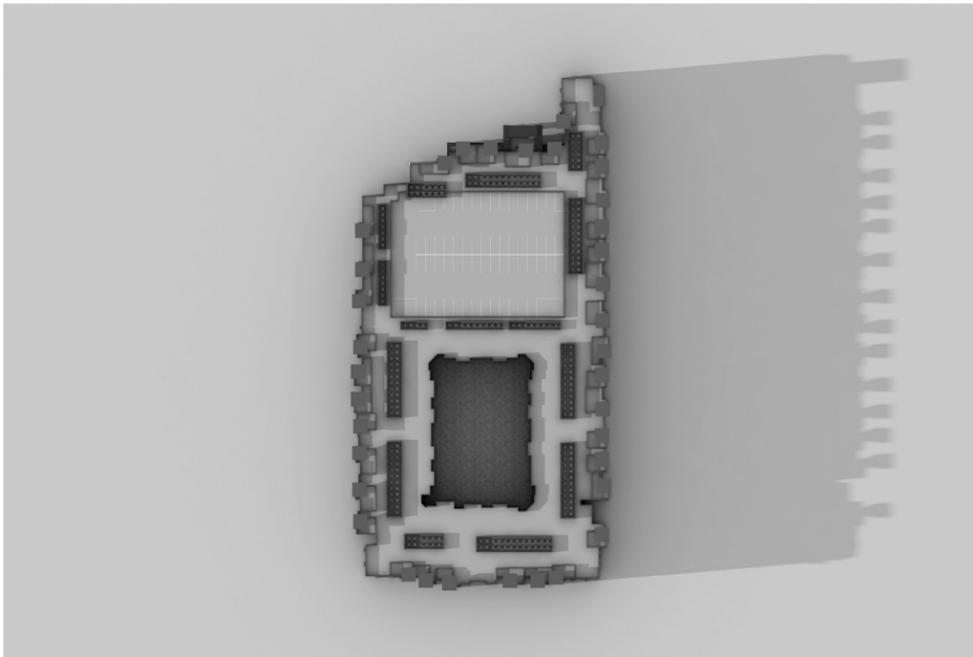
ROOFTOP DECK ENCLOSURE AREA		10,917 S.F.
AREA ABOVE AVERAGE ROOF HEIGHT OF 48'-0"		7,752 S.F.
TOTAL ROOF AREA		89,777 S.F.
ROOF AREA % ABOVE AVERAGE ROOF HEIGHT OF 48'-0" = 18,669 S.F. / 89,777 S.F. = 20.8%		
ROOF AREA CALCULATION, 30% MAXIMUM PER 5.5005.D		
ROOF TOP DECK UNITS:		
A1	=	11
A2	=	2
A2 ALT	=	1
A3	=	6
A4	=	2
A6	=	3
B1	=	6
B2	=	1
B3	=	1
B5	=	3
36 TOTAL ROOF TOP DECK UNITS		



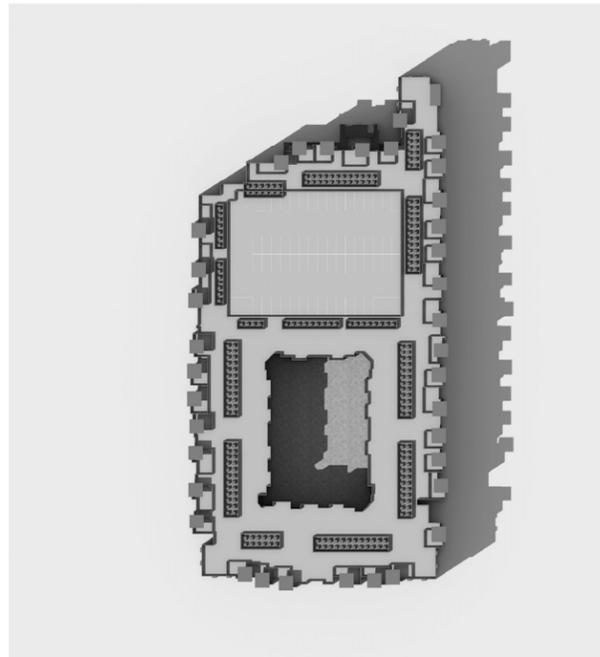
**9400 EAST SHEA BOULEVARD**  
**KAPLAN ACQUISITIONS, LLC**

FLOOR PLAN WORKSHEET  
 BUILDING ROOF  
 SCALE: N.T.S.

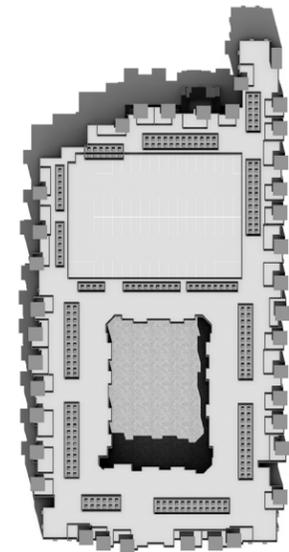
**A5.8**  
 03-25-21



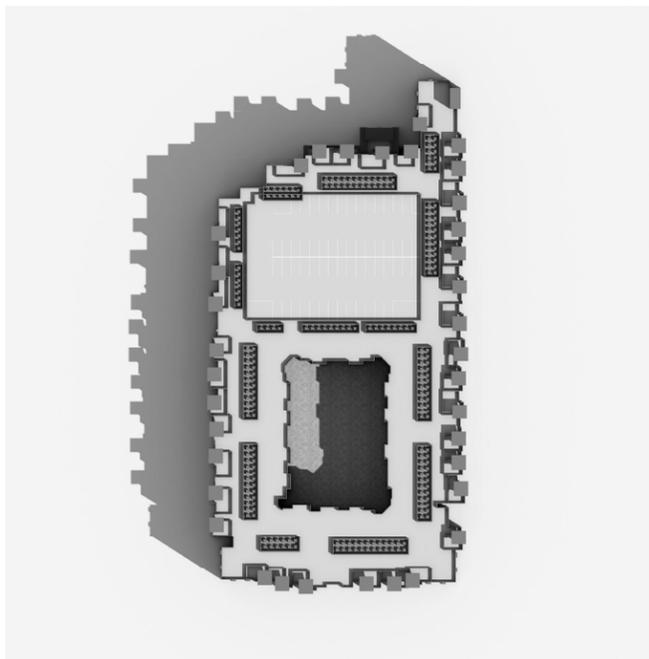
MARCH 21st - 6PM



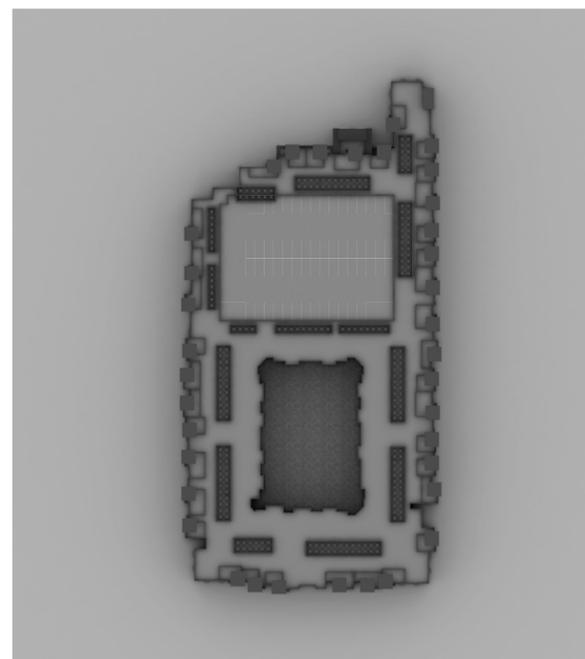
MARCH 21st - 3PM



MARCH 21st - 12PM



MARCH 21st - 9AM



MARCH 21st - 6AM

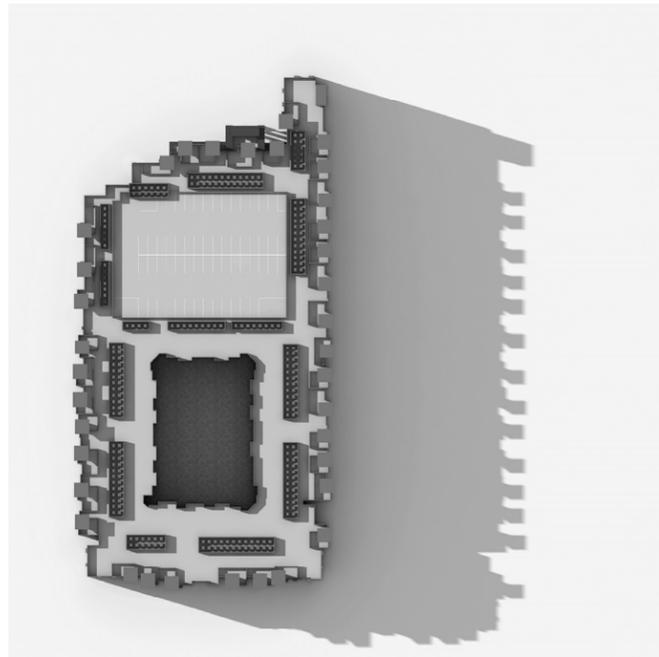


# 9400 EAST SHEA BOULEVARD KAPLAN ACQUISITIONS, LLC

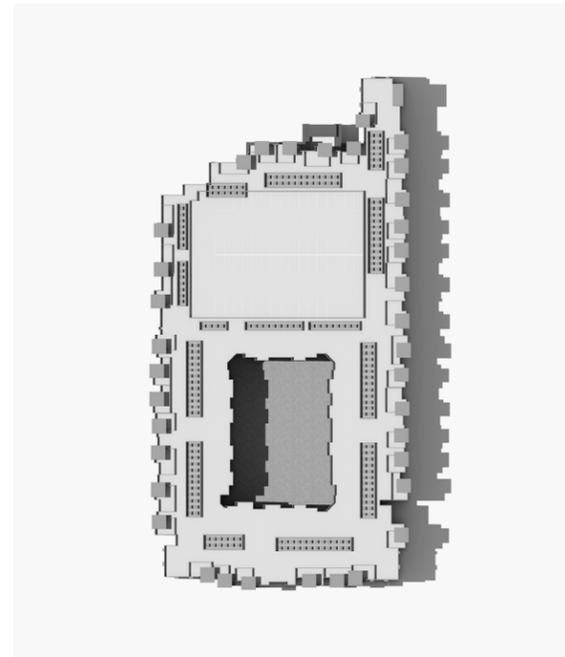


SOLAR ANALYSIS  
MARCH  
SCALE: N.T.S.

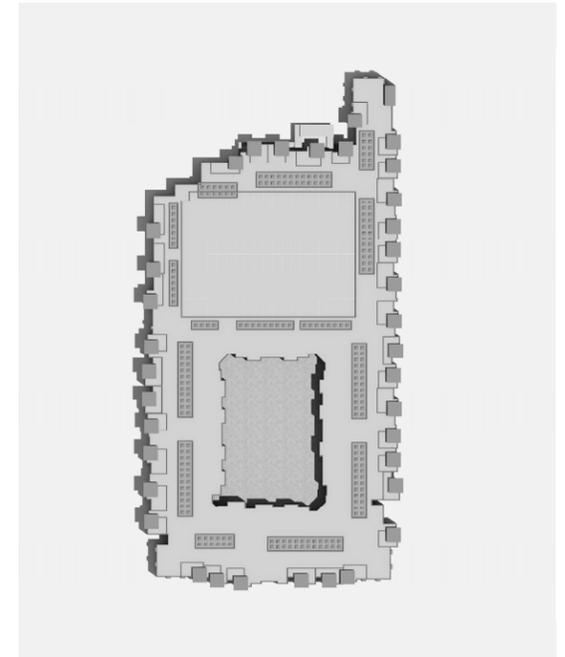
**A6.1**  
03-25-21



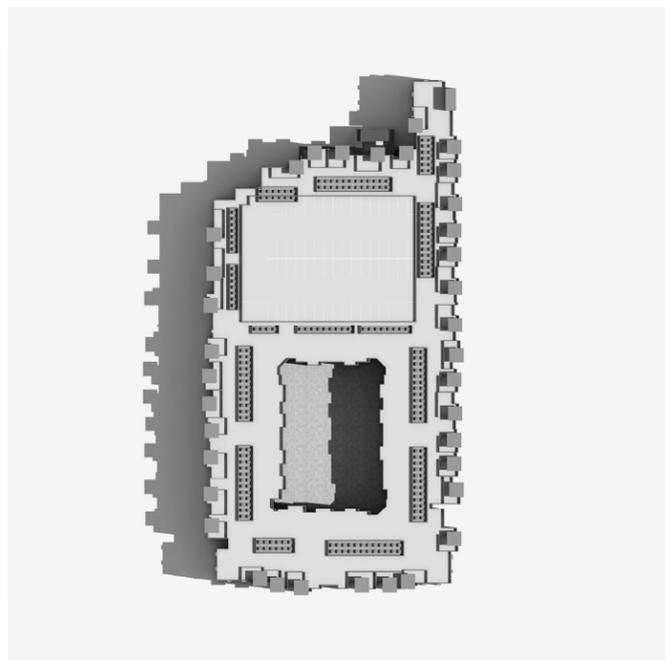
JUNE 21st - 6PM



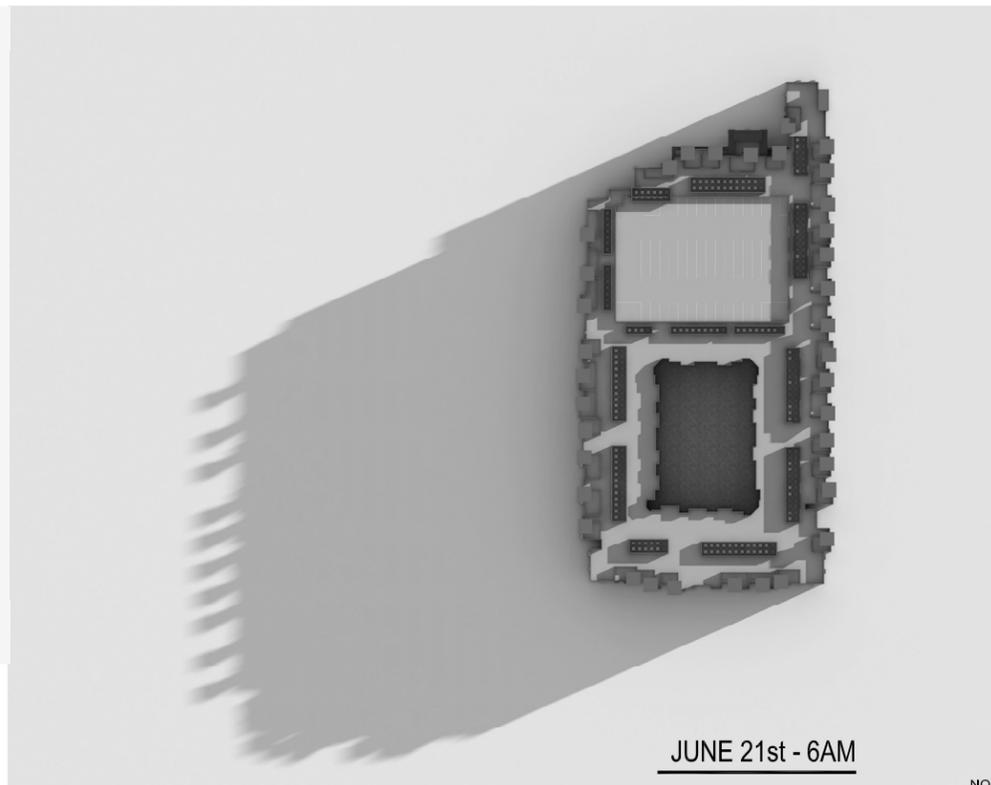
JUNE 21st - 3PM



JUNE 21st - 12PM



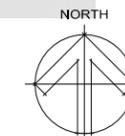
JUNE 21st - 9AM



JUNE 21st - 6AM

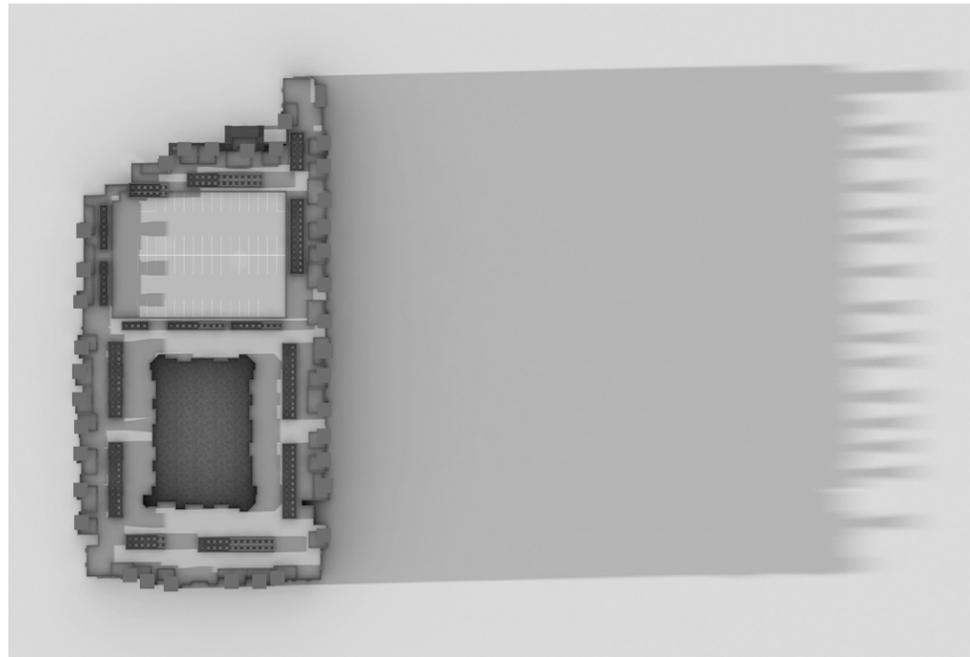


# 9400 EAST SHEA BOULEVARD KAPLAN ACQUISITIONS, LLC

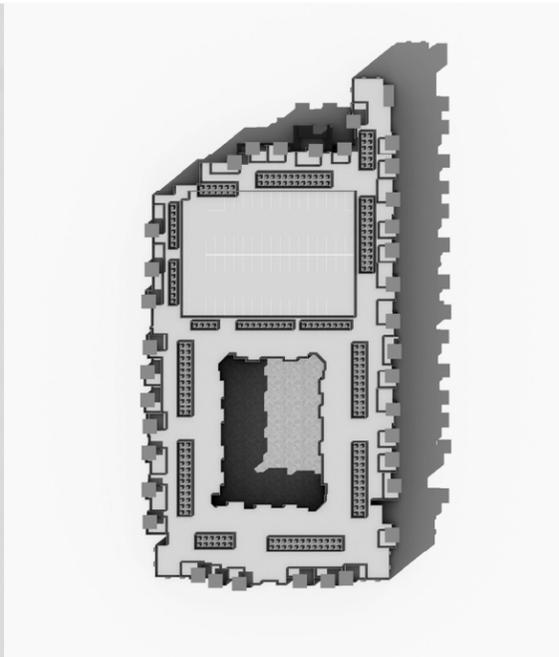


SOLAR ANALYSIS  
JUNE  
SCALE: N.T.S.

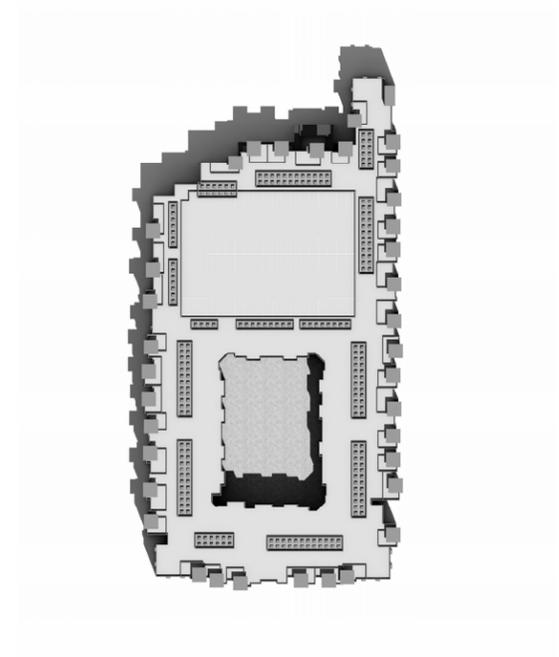
**A6.2**  
03-25-21



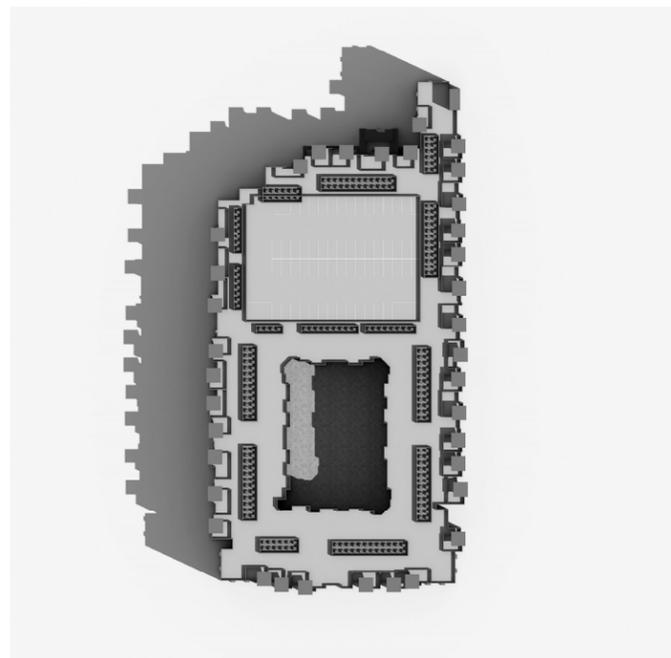
SEPTEMBER 21st - 6PM



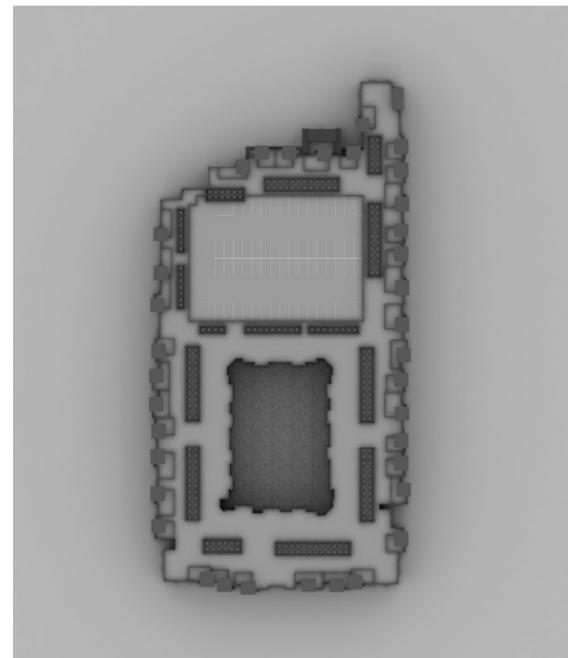
SEPTEMBER 21st - 3PM



SEPTEMBER 21st - 12PM



SEPTEMBER 21st - 9AM



SEPTEMBER 21st - 6AM

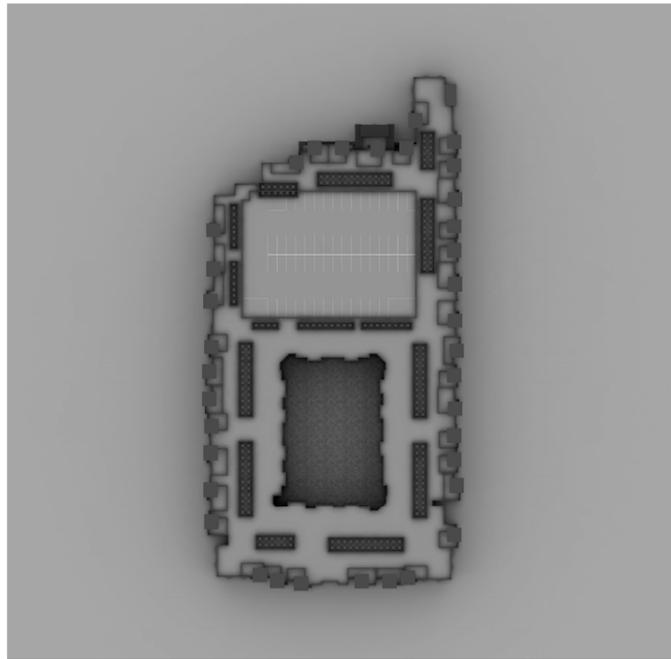


# 9400 EAST SHEA BOULEVARD KAPLAN ACQUISITIONS, LLC

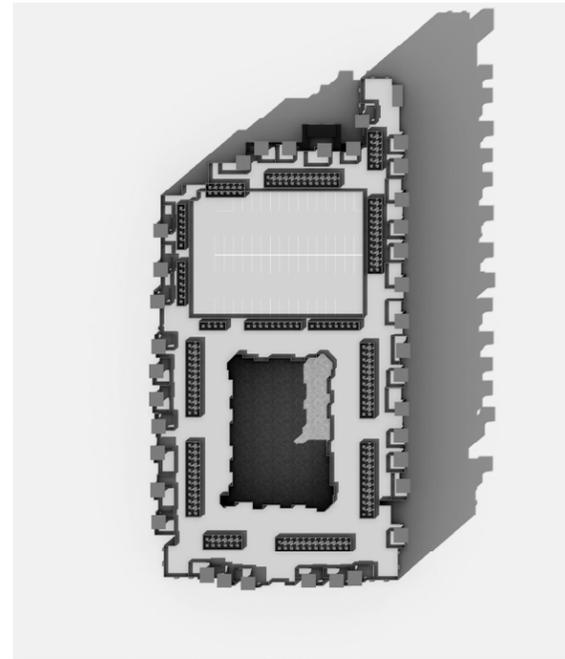


SOLAR ANALYSIS  
SEPTEMBER  
SCALE: N.T.S.

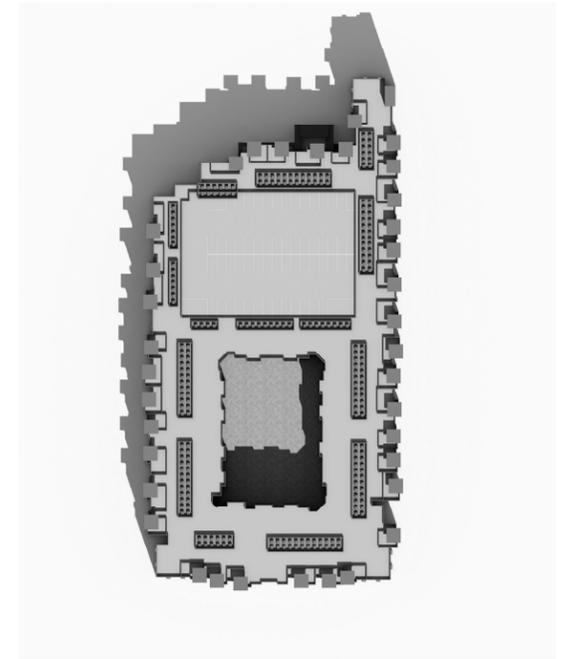
**A6.3**  
03-25-21



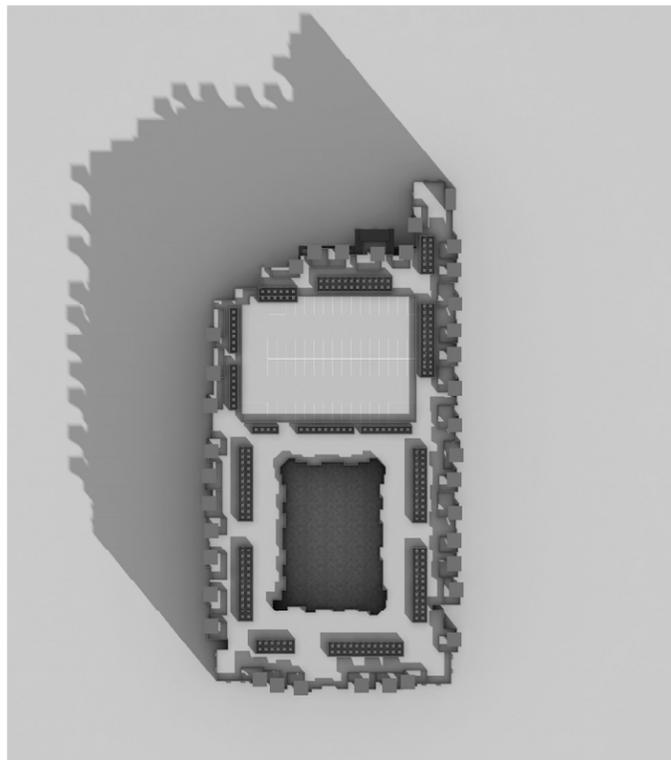
DECEMBER 21st - 6PM



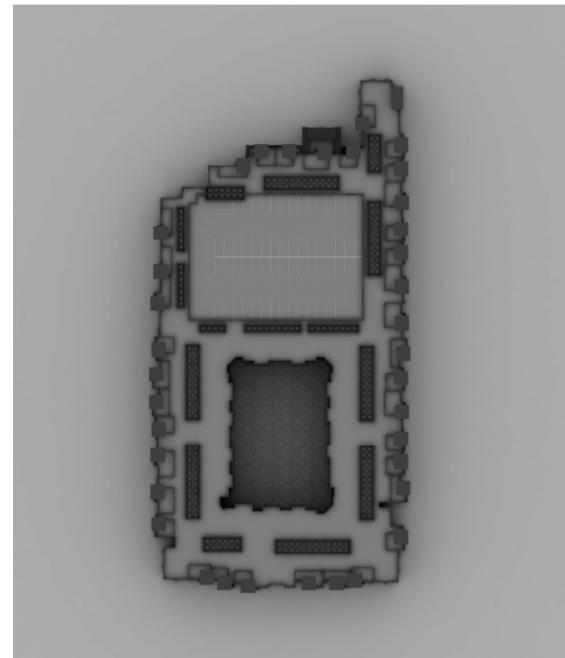
DECEMBER 21st - 3PM



DECEMBER 21st - 12PM



DECEMBER 21st - 9AM



DECEMBER 21st - 6AM

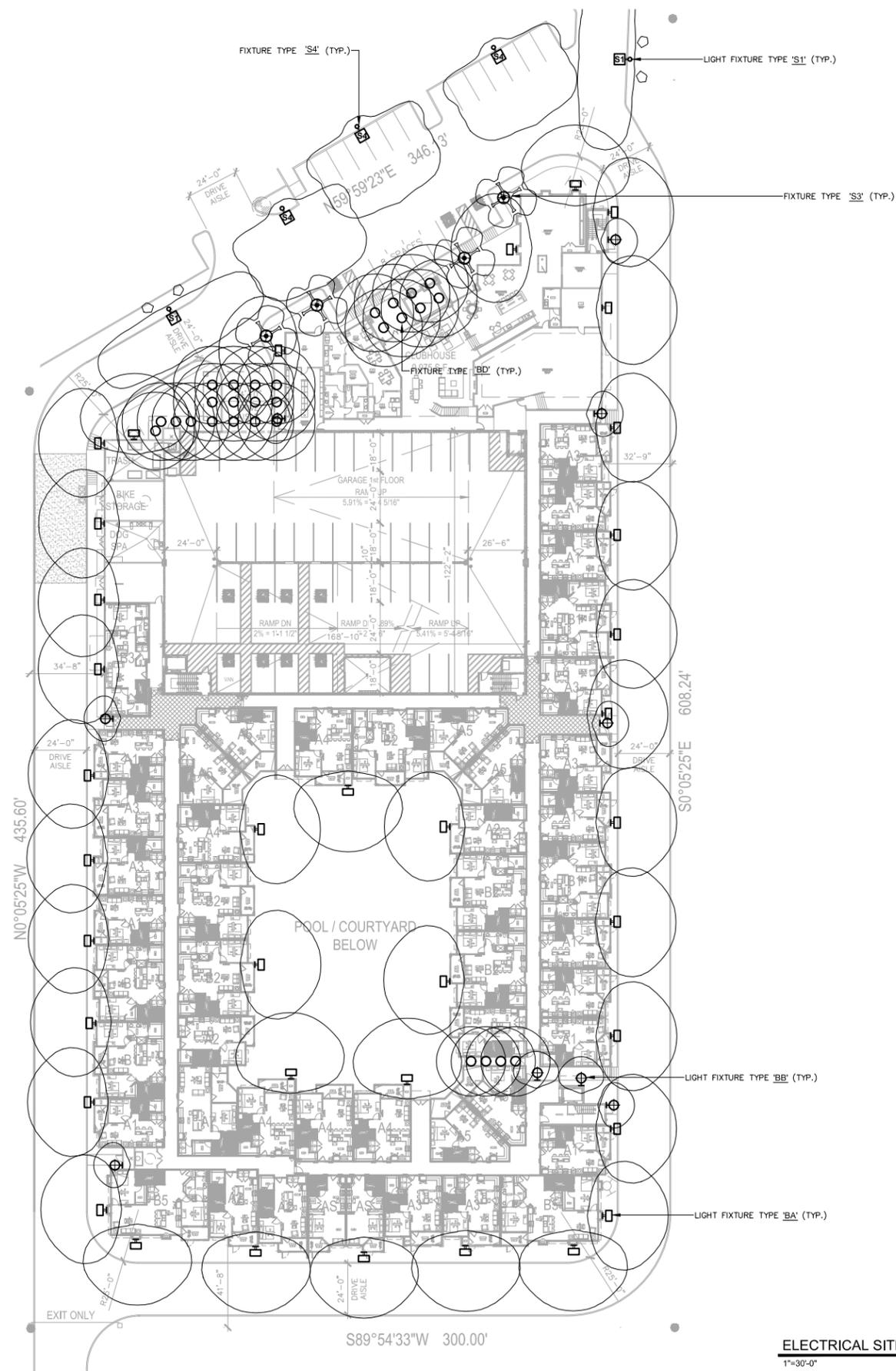


# 9400 EAST SHEA BOULEVARD KAPLAN ACQUISITIONS, LLC



SOLAR ANALYSIS  
DECEMBER  
SCALE: N.T.S.

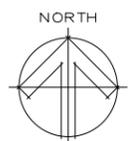
**A6.4**  
03-25-21



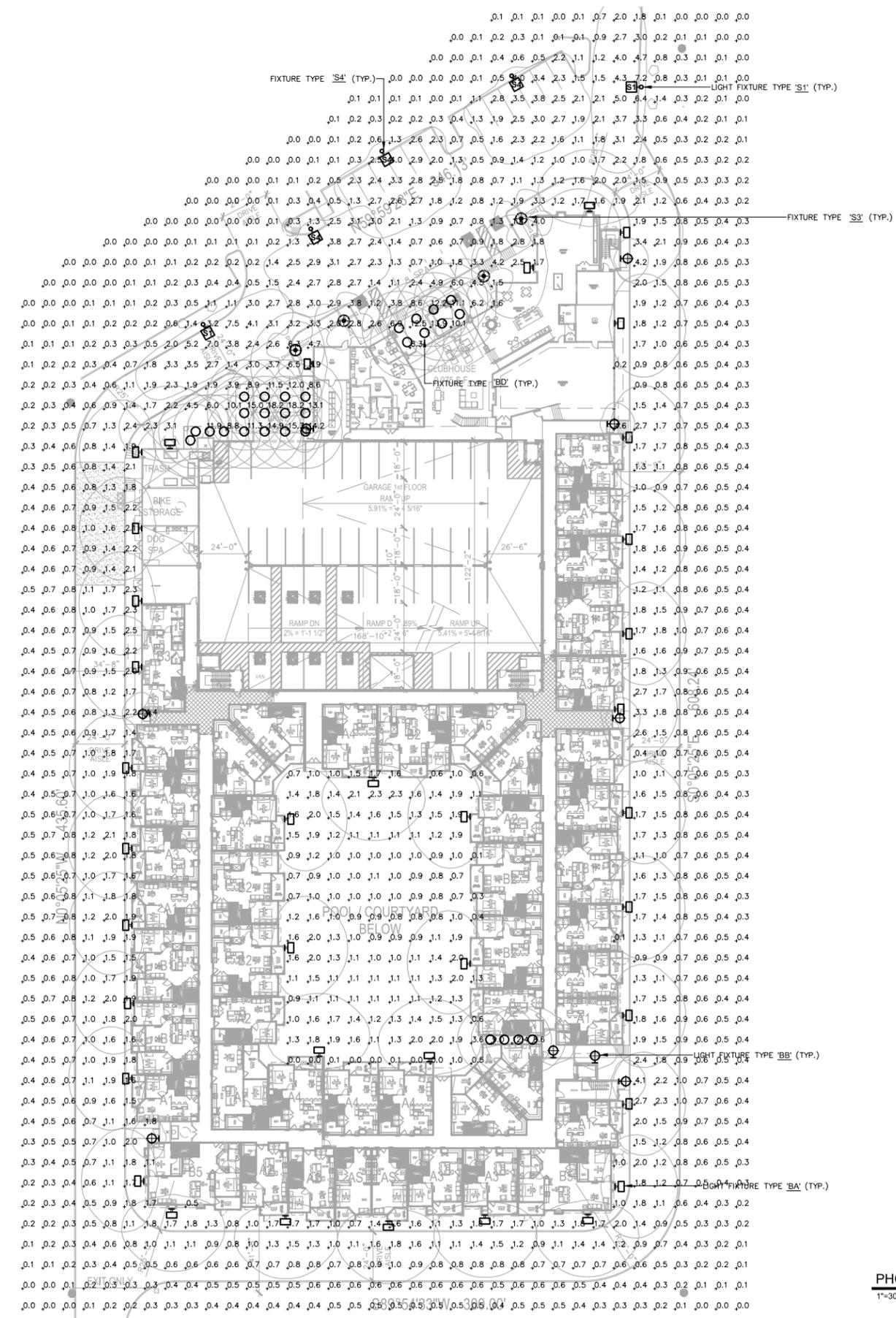
# 9400 EAST SHEA BOULEVARD

## KAPLAN ACQUISITIONS, LLC

ELECTRICAL SITE LIGHTING PLAN  
1"=30'-0"



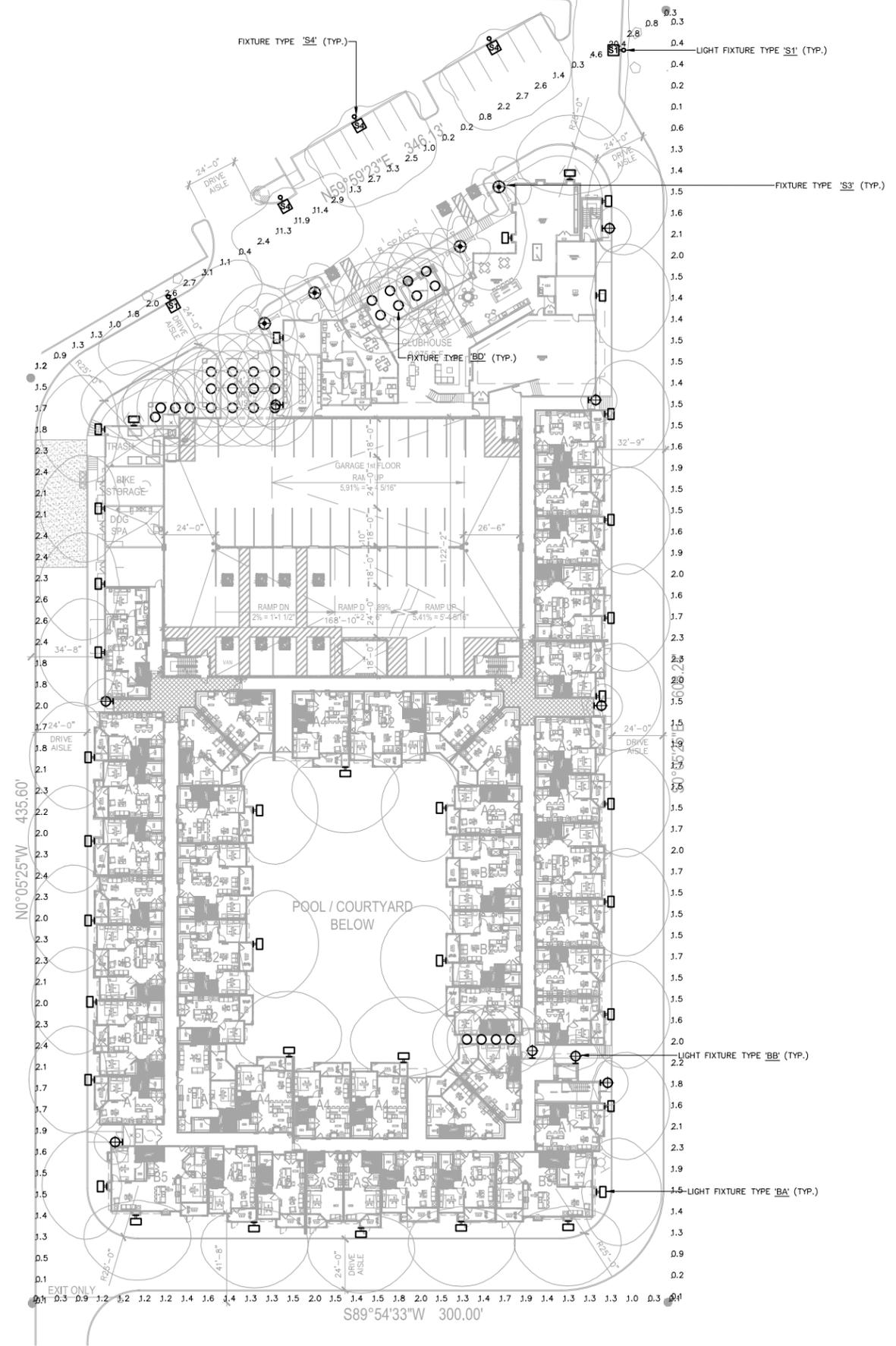
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Light Loss Factor	Wattage
⊞	BA	45	DesignPlan	FA770-W	Area Light	LED	0.9	36
⊞	BB	6	DesignPlan	FA100-W	Wall Sconce	LED	0.9	12
○	BC	8	Prescolite	LF6SL 6LFSL 11L 30K	6" LED OPEN DOWNLIGHT	LED	0.9	12.6
○	BD	25	Prescolite	LF6SL 6LFSL 20L 30K	6" LED OPEN DOWNLIGHT	LED	0.9	22.1
⊞	S1	16	Hubbell Lighting	VPS 36L-65 3K7 4	Pole Light	LED	0.9	66.7
⊞	S2	10	Hubbell Lighting	VPS 36L-65 3K7 5W	Pole Light	LED	0.9	66.7
⊞	S3	1	Hubbell Lighting	VPS 36L-65 3K7 2	Pole Light	LED	0.9	66.7
⊞	S4	4	Lumux Lighting	PL3014/LED/120-277/	Column Light	LED	0.9	45



# 9400 EAST SHEA BOULEVARD KAPLAN ACQUISITIONS, LLC

PHOTOMETRIC PLAN  
1"=30'-0"





Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
East - Vertical	+	1.5 fc	2.3 fc	0.1 fc	23.0:1	15.0:1
North - Vertical	+	3.1 fc	20.4 fc	0.2 fc	102.0:1	15.5:1
South - Vertical	+	1.3 fc	2.0 fc	0.1 fc	20.0:1	13.0:1
West - Vertical	+	1.9 fc	2.6 fc	0.1 fc	26.0:1	5.5:1

STATISTICS

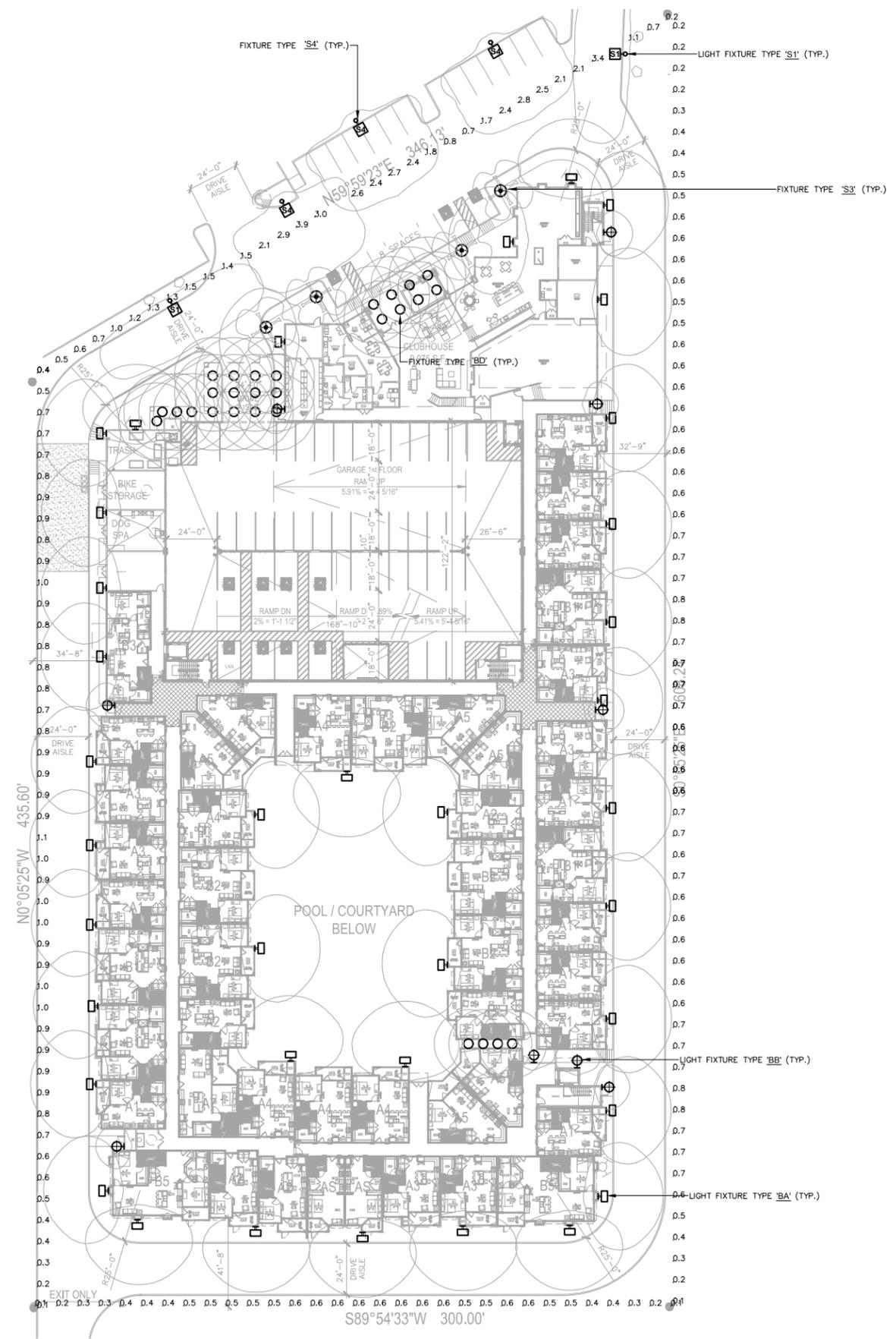


PHOTOMETRIC PLAN - VERTICAL FC 6'  
ABOVE GRADE AT PROPERTY LINE

1"=30'-0"

# 9400 EAST SHEA BOULEVARD

## KAPLAN ACQUISITIONS, LLC



Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
East - Horizontal	+	0.6 fc	0.8 fc	0.1 fc	8.0:1	6.0:1
North - Horizontal	+	2.0 fc	9.2 fc	0.2 fc	46.0:1	10.0:1
South - Horizontal	+	0.5 fc	0.6 fc	0.1 fc	6.0:1	5.0:1
West - Horizontal	+	0.8 fc	1.1 fc	0.1 fc	11.0:1	8.0:1

STATISTICS

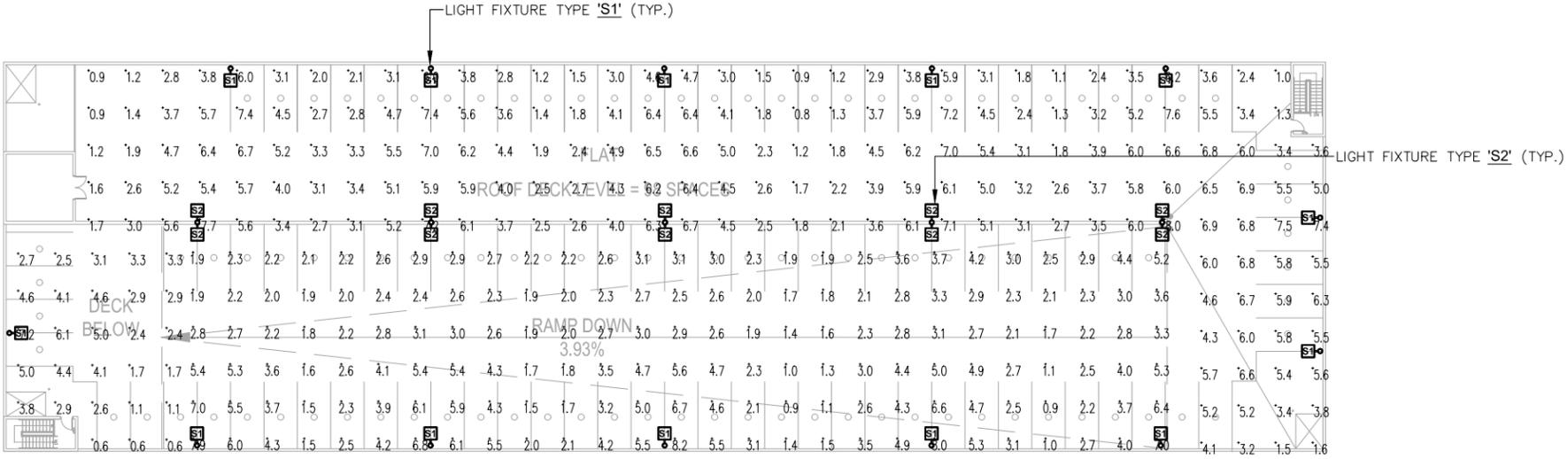
PHOTOMETRIC PLAN - HORIZONTAL FC  
MEASURE AT GRADE

1"=30'-0"



# 9400 EAST SHEA BOULEVARD

## KAPLAN ACQUISITIONS, LLC



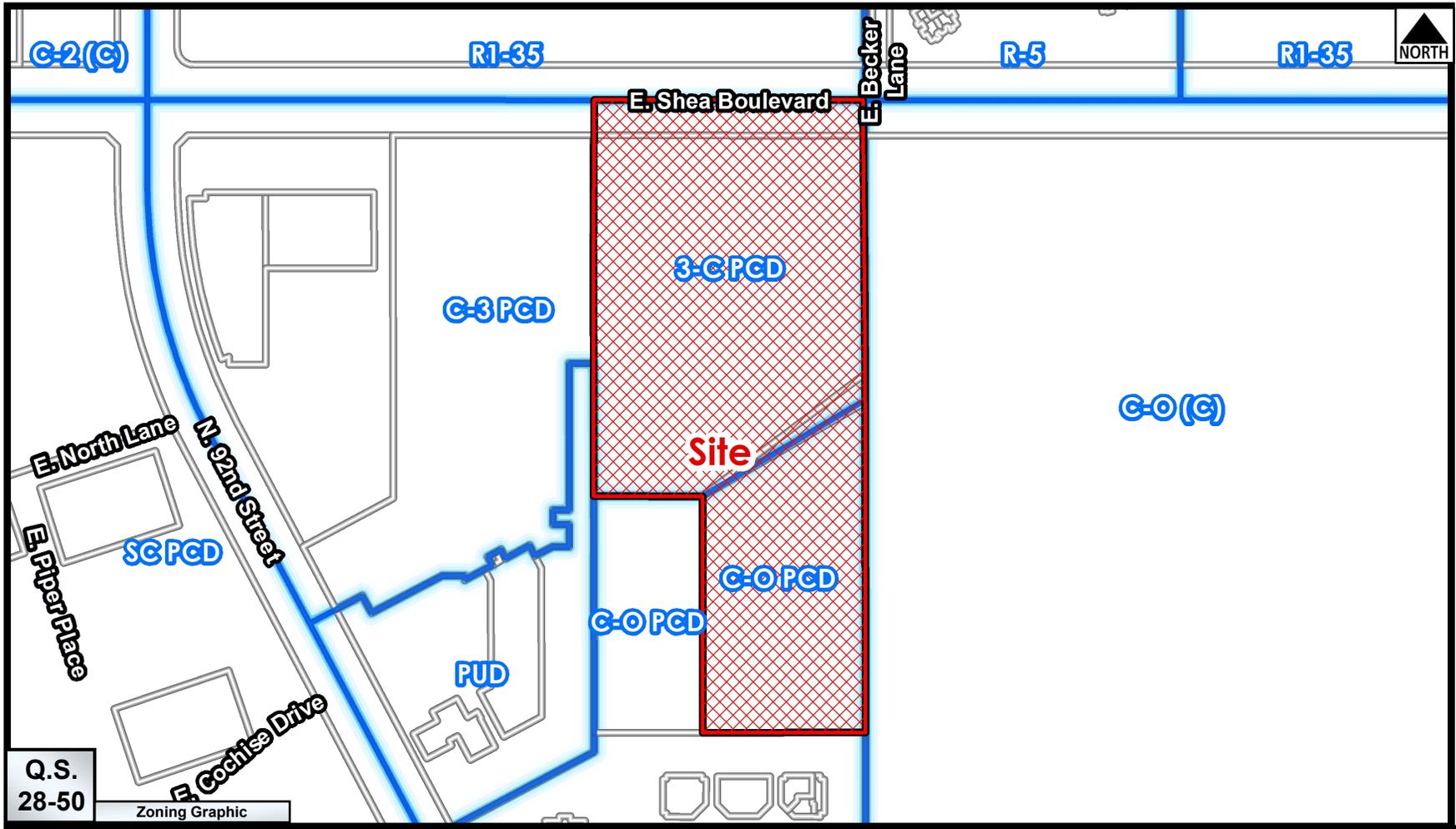
PARKING STRUCTURE UPPER DECK - PHOTOMETRIC AND LIGHTING PLAN  
1"=20'-0"

# 9400 EAST SHEA BOULEVARD

## KAPLAN ACQUISITIONS, LLC



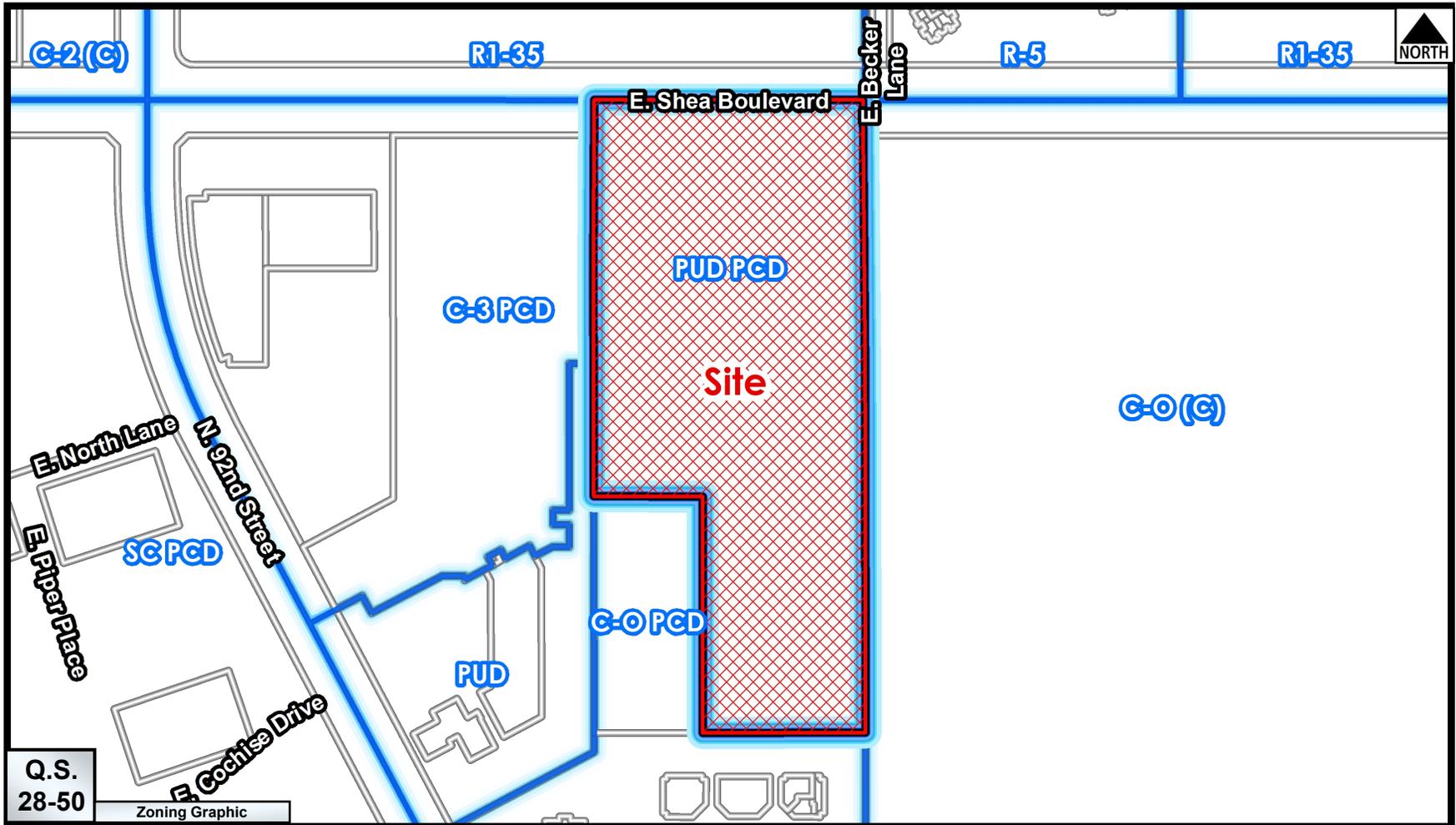




Q.S.  
28-50  
Zoning Graphic

Existing Zoning

16-ZN-2019



Q.S.  
28-50

Zoning Graphic

Proposed Zoning

16-ZN-2019



## 1. INTRODUCTION AND EXECUTIVE SUMMARY

### 1.1. PURPOSE OF REPORT AND STUDY OBJECTIVES

Lōkahi, LLC (Lōkahi) was retained by Kaplan Development Group to complete a Traffic Impact & Mitigation Analysis for the proposed District at 9400 Shea development. The development is located at 9400 E. Shea Boulevard in Scottsdale, Arizona. The objective of this Traffic Impact & Mitigation Analysis is to analyze the traffic related impacts of the proposed development to the adjacent roadway network. See **Figure 1** for the vicinity map.

The proposed residential development will be comprised of 219 multifamily residential units of which there will be 8 studio units, 148 one-bedroom units, and 63 two-bedroom units.

### 1.2. EXECUTIVE SUMMARY

This report presents the analyses and the results of a traffic study prepared for the proposed District at 9400 Shea development that will be located approximately 850 feet south of Shea Boulevard and approximately 425 feet east of 92<sup>nd</sup> Street, in Scottsdale, Arizona. The proposed development will be comprised of 219 multifamily residential units of which there will be 8 studio units, 148 one-bedroom units, and 63 two-bedroom units.

This Traffic Impact and Mitigation Analysis includes:

- Level of service analysis of existing conditions for the weekday AM and PM peak hours
- Trip Generation for the proposed development
- Level of service analysis for the opening year (2023) weekday AM and PM peak hours
  - 2023 Build

The following are the ten (10) intersections included in this study:

- Shea Boulevard and 92<sup>nd</sup> Street (1)
- Shea Boulevard and Driveway/Paradise Memorial Gardens (2)
- Shea Boulevard and Driveway A (3)
- Shea Boulevard and Becker Lane/Driveway B (4)
- Shea Boulevard and 96<sup>th</sup> Street (5)
- 92<sup>nd</sup> Street and Cochise Drive/Driveway C (6)
- 92<sup>nd</sup> Street and Driveway D (7)
- 92<sup>nd</sup> Street and Ironwood Square Drive (8)
- 92<sup>nd</sup> Street and Ironwood Lane/Driveway E (9)
- 96<sup>th</sup> Street and Ironwood Square Drive (10)



### Existing Capacity Analysis

The AM and PM peak hour existing conditions capacity analysis were completed for the ten (10) existing study intersections. Four (4) of the ten (10) intersections currently operate with movements at a LOS E or LOS F. This includes the following intersections:

#### Shea Boulevard and 92<sup>nd</sup> Street (1) - Signalized

- NB left AM and PM peak hours operate at LOS E
- SB left PM peak hour operates at LOS E
- SB right PM peak hour operates at LOS E
- WB left AM and PM peak hours operate at LOS E

#### Shea Boulevard and Driveway/Paradise Memorial Gardens (2) – Unsignalized

- NB left PM peak hour operates at LOS F

#### Shea Boulevard and 96<sup>th</sup> Street (5) – Signalized

- NB left AM and PM peak hours operate at LOS E
- NB through AM peak hour operates at LOS E
- NB right AM and PM peak hours operate at LOS E and F, respectively
- SB left PM peak hour operates at LOS E
- SB through AM and PM peak hours operate at LOS E
- SB right AM and PM peak hour operates at LOS E and F, respectively

#### 92<sup>nd</sup> Street and Driveway C/Cochise Drive (6) - Unsignalized

- WB shared left-through-right PM peak hour operates at LOS E

### Trip Generation

The proposed development is anticipated to generate 1,192 weekday trips, with 79 trips occurring during the AM peak hour and 97 trips occurring during the PM peak hour.

### Future Conditions

The opening year (2023) analyses was completed with the build out (build) of the proposed development. An annual growth rate of 0.25% was applied to the existing traffic volumes to create the future background traffic volumes for year 2023.

### Year 2023

Capacity analyses were completed for both the AM and PM peak hours for year 2023, with the build out of the proposed District at 9400 Shea development. All movements operate at a LOS D or better, or are maintained at the existing level of service, with the exception of the following movement:



### Shea Boulevard and Driveway/Paradise Memorial Gardens (2) – Unsignalized

- NB left AM and PM peak hour operates at LOS F

*Delays at stop controlled intersections in urban areas during peak hours are not uncommon. Typically, drivers will opt to make these turn movements at signalized intersections.*

### **Recommendations**

It is concluded that the proposed District at 9400 Shea development will have a minimal impact to the adjacent roadway network.



## CITIZEN REVIEW & NEIGHBORHOOD INVOLVEMENT REPORT

9400 E. Shea Blvd.

September 11, 2020

### Overview

This Citizen Review Report is being performed in association with a request for a Zoning District Map Amendment from C-3 PCD/C-O PCD to PUD PCD and a Non-major General Plan Amendment from Commercial to Mixed-Use Neighborhoods of an approximately 11+/- acre site located at 9375 E. Shea Blvd. The proposed project would result in a mixed-use development that would include new residential combined with the existing retail/office uses. This Citizen Review Report will be updated throughout the process.

The entire project team is sensitive to the importance of neighborhood involvement and creating a positive relationship with property owners, residents, business owners, homeowners associations, and other interested parties. Communication with these parties will be ongoing throughout the process. Work on compiling a list of impacted and interested stakeholders and neighborhood outreach began prior to the application filing and will also continue throughout the process. Communication with impacted and interested parties has taken place with verbal, written, electronic, and door-to-door contact.

### Community Involvement

The outreach team has been communicating with neighboring property owners, HOA's, and community members by telephone, one-on-one meetings, and door-to-door outreach since July 2019. The outreach team visited **over 110 residential neighbors** to get their feedback on the project. A majority of this feedback was either neutral or favorable to this proposal. Members of the outreach team will continue to be available to meet with any neighbors who wish to discuss the project. Additionally, they will be contactable via telephone and/or e-mail to answer any questions relating to the project.

## ATTACHMENT #9

Surrounding property owners, HOAs and other interested parties were noticed via first class mail regarding the project. The distribution of this notification met the City's 750' radius mailing requirements as specified in the Citizen Review Checklist. This notification contained information about the project, as well as contact information. This contact person will continue to provide, as needed, additional information and the opportunity to give feedback. The notification also contained information regarding a neighborhood Open Houses that was held on September 26, 2019 for those who wished to learn more about the project. The site and time were posted on an Early Notification Sign on the property.

10 interested people (see attached sign-in sheets) attended the Open House. Attendees mainly had questions regarding vehicular access and onsite circulation. All questions were addressed at the Open House to the best of our ability and knowledge. No additional questions or comments have been received at this time.

Prior to the Open House, the outreach team communicated with the leadership of the McCormick Ranch POA and the Scottsdale Ranch Community Association. Both groups were pleased to see that there is not planned access to 94<sup>th</sup> Street. The outreach team will continue to be available to respond to any neighbors who have questions or comments.

Subsequent to the September 26, 2019 Open House, the proposal changed slightly due the elimination of one parcel in the request. As a result of the change, a second Virtual Open House was held, consistent with COVID 19 protocols, on September 10, 2020. Surrounding property owners, HOA's, and other interested parties were notified via first class mail regarding the Virtual Open House. The distribution of this notification met the City's 750' radius mailing requirements as specified in the Citizen Review Checklist.

Information about the revised project was available online for over 36 hours as well as an opportunity for neighbors to either call or email the development team with questions or comments about the project. The website address and the accompanying day and time for the public to ask questions and provide comments was also posted on the notification sign on the property.

44 individuals viewed the information on the website. Three people contacted the development team: the property owner to the west of our site, an individual condo owner in the Ironwood Office Condo Community, and an attorney representing the Ironwood Office Condos.

Questions were asked about the height of the building, the location of the pool, and the proposed access points. These questions were addressed to the best of our ability and knowledge. In addition, the development team reached out the McCormick Ranch POA and the Scottsdale Ranch Community Association to update them about the new proposal.

A vital part of the outreach process is to allow people to express their concerns and understand issues and attempt to address them in a professional and timely matter. Again, the entire team realizes the importance of the neighborhood involvement process and is committed to communication and outreach for the project.

**ATTACHMENTS:**

- Notification Letters (2019 and 2020).
- Notification Lists (2019 and 2020).
- Affidavit of Postings (2019 and 2020).
- Sign-in sheets from the 2019 Open House.
- August 25, 2020, Email from Divyesh Patel (i.e., abutting property owner west) allowing pedestrian connection/improvements to retail shopping center.

**Scott L. Bernstein, M.D., F.A.C.P.**  
9458 E. Ironwood Square Drive, Suite 102  
Scottsdale, AZ 85258

Doris McClay  
City of Scottsdale  
Planning & Development Department  
7447 E. Indian School Road  
Scottsdale, AZ 85251

Re: Letter of Opposition regarding to Cases 6-GP-2019 and 16-ZN-2019 (9400 East Shea Boulevard)

Dear Ms. McClay:

On behalf of the Ironwood Office Suites Condominium Association (the "Ironwood Office Suites"), I am writing to express our opposition to zoning cases 6-GP-2019 and 16-ZN-2019. The Ironwood Office Suites consists of nine condominiums and three medical offices east of 92<sup>nd</sup> Avenue, both north and south of Ironwood Square Drive.

The Ironwood Office Suites are part of the larger commercial complex that was originally developed as part of the larger McCormick Ranch Planned Community District. All of the parcels in the immediate area are zoned Commercial Office. Most of the surrounding businesses are active office uses or compatible retail services.

#### **Incompatible Use**

We have reviewed the proposed rezoning application Cases 6-GP-2019 and 16-ZN-2019 (9400 East Shea Boulevard). We are opposed to this multifamily use. We strongly believe the proposed multifamily is not compatible with the commercial nature of the center or the surrounding businesses. The proposed rezoning applications are trying to shoe horn a 4-story residential apartment complex onto a vacant parcel immediately north of the Ironwood Office Suites. The applications propose a height and density that is incompatible with the heights of the surrounding commercial buildings and a density that will cause a tremendous traffic burden on the surrounding businesses. In fact, the City's draft 2035 General Plan describes the City vision for the area which is Employment: Office.

#### **Incompatible Density**

The PUD request includes two parcels (one developed and one vacant) to qualify for the acreage in the PUD. Other than the addition of a few bike racks, the rezoning application does not contain any significant changes to the northern 6.8 acres of the property, which is already developed. When the vacant portion of the property is considered alone, the actual density is 110 dwelling units per acre. This is the type of high density you may see in downtown Scottsdale or downtown Tempe. But, this type of density does not belong in this McCormick

**ATTACHMENT #10**

Ranch area. Moreover, this type of dense residential product certainly does not belong in a planned commercial office district.

### **Misuse of the Easement**

We understand there is an existing cross access easement between the Ironwood Office Suites parcel and the vacant subject parcel. The purpose of the cross access easement was to allow traffic to flow between various commercial office parcels. Allowing a high density residential use to access the easement is not consistent with the original intent of the easement. A high density multifamily project will bring a large number of residents and residential traffic which will need to drive through Ironwood Office Suites to access the surrounding arterial streets. This volume of residential traffic is greater than originally contemplated by the easement and is inconsistent with the purpose of the easement.

There are many medical offices within the Ironwood Office Suites, along with other healthcare related services. Ironwood Office Suites provides a broad range of medical care to a variety of patients. Many of our patients have ambulatory issues and walk to/from our medical offices through the parking lot. Adding hundreds of apartment residents who need to drive through the Ironwood Office Suites to access Ironwood Square Drive will create a very dangerous situation for visitors and employees of Ironwood Office Suites.

### **Traffic Burden**

In addition to the burden on the cross access easement, this parcel does not have any direct access to Shea Boulevard. Shea Boulevard is a six lane road. Residential traffic waiting to turn left onto Shea Boulevard usually waits a very long time to safely cross three lanes of traffic. Waiting residential traffic will back up on the parcel and cause congestion in Ironwood Office Suites parking lot causing further delay and danger to our patients.

I respectfully request that you deny this request based on the incompatible density, unsafe traffic patterns, and incompatible height of the proposed multifamily project.

Sincerely,

A handwritten signature in blue ink, appearing to read 'S. Bernstein', written in a cursive style.

Scott L. Bernstein, M.D., F.A.C.P.

President

Ironwood Office Suites Condominium Association



**Michael J. Kurimcak**  
Vice President Real Estate  
Michael.Kurimcak@CVSHealth.com

January 29, 2021

Doris McClay  
City of Scottsdale  
Planning & Development Department  
7447 E. Indian School Road  
Scottsdale, AZ 85251

Re: Letter of Opposition to Zoning Cases 6-GP-2019 and 16-ZN-2019 regarding the proposed "9400 East Shea Residential Community" by Kaplan Development Group (the "Developer") to be located at 9375 East Shea Boulevard, Scottsdale, AZ (the "Proposed Development"). Our reference no. Caremark 97749 (a/k/a 48017).

Dear Ms. McClay:

CaremarkPCS Health, LP, a wholly owned subsidiary of CVS Health Corporation ("CVS"), hereby objects to Zoning Cases 6-GP-2019 and 16-ZN-2019 and the proposal by the Developer to build the Proposed Development consisting of a 331 residential family unit development with cross access easements through the "CVS Premises" (as hereinafter defined). It is CVS' understanding that part of the Proposed Development would require a cross access easement through the property currently leased by CVS. CVS is the sole tenant of the major commercial property located adjacent to the Proposed Development, which CVS leased property is located at 9501 E. Shea Boulevard in Scottsdale (the "CVS Premises"). The CVS Premises is owned by Drug (AZ) QRS 14-42, Inc. (a subsidiary of W.P. Carey, Incorporated) and consists of approximately 354,888 square feet of rental space. Over 1,500 employees work at the CVS Premises. The Developer's proposal includes a second access point for the Proposed Development that would go through the CVS Premises, including the parking field and the loop road through the CVS Premises.

The Developer's proposal requesting that the City of Scottsdale permit a cross-access easement between the Proposed Development and the CVS Premises should be rejected. Such a use would materially interfere with the use and occupancy by CVS of the CVS Premises pursuant to the terms of the CVS lease and is inconsistent with the commercial nature of the CVS Premises. The proposed cross-access easement between a large residential development and the CVS Premises, a major commercial property, would significantly increase the traffic flow through the commercial office complex containing the CVS Premises. Allowing a high-density residential use to freely access the CVS Premises as detailed in the Proposed Development would create an unreasonable burden to CVS' operations, including, without limitation, traffic congestion, pedestrian safety, security risks and vandalism.

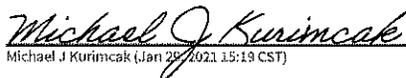
Employees working at the CVS Premises regularly walk around the CVS Premises, as well as between the CVS Premise and the adjacent commercial center. A major increase in traffic from

the Proposed Development through the commercial property comprising the CVS Premises would create an increased risk to pedestrians, especially given that the CVS Premises was not designed for such additional traffic flow. There is also a significant increased security risk to CVS employees if such access were created. CVS' employees work in the buildings throughout the night. Continual traffic and free access through the common areas of the CVS Premises from an adjoining residential property would create an undue security burden to CVS's employees and is not consistent with CVS' leasehold interests. An unwarranted and new cross access right through the CVS Premises would be inconsistent with the class A office property environment that CVS bargained for and is entitled to expect and enjoy in accordance with the terms of the terms of the CVS lease.

The CVS Premises and the Proposed Development are both part of a planned commercial district. Adding high density residential would unreasonably burden the commercial district in terms of security, noise, and general upkeep. The CVS Premises is an "open campus". Creating cross access from the Proposed Development through the CVS campus would dramatically increase not only vehicular traffic, but would also create a major thru-way for pedestrians and cyclists from the residences. Such pedestrian and cyclist activity is inconsistent with the use and operation of a commercial development and would unduly increase the potential liability of CVS, as the sole commercial tenant.

The Proposed Development and the cross access through the CVS Premises is inconsistent with the commercial use of the CVS campus, would violate CVS' rights as tenant to the CVS Premises, and would create an undue risk to CVS. CVS respectfully requests that the City of Scottsdale deny the Developer's request for the Proposed Development and a cross access easement through the CVS Premises. Please contact the undersigned or Jack Tavernaro at [Jack.Tavernaro@CVSHealth.com](mailto:Jack.Tavernaro@CVSHealth.com) for further information. Thank you.

CaremarkPCS Health, LP

  
Michael J Kurimcak (Jan 29, 2021 15:19 CST)

Michael J. Kurimcak  
Vice President Real Estate

## McClay, Doris

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**From:** Mike Wilson <mwilson@wilsonps.net>  
**Sent:** Thursday, April 15, 2021 5:02 AM  
**To:** McClay, Doris  
**Cc:** Scott L. Bernstein, MD, PC; Taylor Koblenz  
**Subject:** 9400 Shea Application

**⚠ External Email: Please use caution if opening links or attachments!**

Hi Doris,

As you know, Ironwood Office Suites Condominium Association is located immediately south of the proposed 9400 Shea general plan amendment and rezone applications. The Board of the Ironwood Office Suites Condominium Association Board has directed Wilson Property Services, the property management company for the Association, to **oppose** these applications.

The 9400 Shea applications are a complete misapplication of the PUD zoning district. The commercial development along the Shea Boulevard frontage is zoned, it is built, it is operating—it does not need to be rezoned, for other than the fact that the developer is inappropriately using the PUD zoning district to “back door” high-density residential onto a property that has never been planned or designated for residential uses. Adjoining properties should be able to rely on those long-term plans—they should not be saddled with the impacts of 9400 Shea, simply because the property owner can ‘fetch’ the highest price from Kaplan.

Additionally, this proposed apartment complex, with its height and density, is absolutely incompatible with surrounding uses, and will contribute to a significant increase in traffic in an already congested area. Funneling high-density residential traffic through a medical office campus creates traffic/pedestrian conflicts and is unsafe for patients, many of which are elderly and families. I am not familiar with any other medical office campus in the City of Scottsdale that has this type of in appropriate ‘cut-through’ traffic—Ironwood Office Suites should not be the first.

I believe you are also aware that CVS Health, which operates to the immediate east, is also **opposed** to the 9400 Shea development proposal, citing many of the same concerns as Ironwood Office Suites Condominium Association.

In closing, I understand that City Staff is currently reviewing now the fourth different iteration the 9400 Shea development proposal (which also suggests that this is the wrong project for this property). Ironwood Office and CVS Health, which bound two entire sides of the rezone area, qualify to file a legal protest, requiring a  $\frac{3}{4}$  vote of the City Council. We ask that you take Ironwood Office Suites’ and CVS Health’s concerns, opposition, and their ability to require a  $\frac{3}{4}$  vote into consideration as the City conducts its review.

I don’t think that I have e-mailed you before and am hoping that this is the right address. Please confirm receipt.

Thank you.

Mike Wilson  
President  
Wilson Property Services, Inc.  
Agent of Association Board

480-874-2600

## McClay, Doris

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**From:** Jim Riggs <hoyatrojan@aol.com>  
**Sent:** Monday, April 06, 2020 11:12 AM  
**To:** Grant, Randy; Curtis, Tim  
**Subject:** 92nd Street Zoning

**⚠ External Email: Please use caution if opening links or attachments!**

Randy:

As you know we own the 2-acre parcel on the southwestern corner of the proposed rezoning case – District at 9400 Shea. The zoning case also includes the 3.6-acre parcel to the east of my parcel and the larger existing commercial center parcel (6.8 acres) to the north, both owned by 94 Hundred Shea LLP.

Our 2-acre parcel was a part of the original zoning case submittal to the City in Mid-October 2019. This came about after a year of trying to assemble the two interior parcels and meetings with Mayor Lane, Suzanne, Virginia and other councilmen who expressed clear desire that the two parcels be zoned and developed together.

As of recently, we have been a part of the City staff's discussions and concerns regarding access (vehicular and pedestrian) as the case moved through the City staff review process. Since those discussions, we have held meetings with the applicant and their attorneys.

As of 4/1/2020, we have fallen out of escrow with the applicant, and the applicant (over our objection and desire to work together) has chosen to remove our parcel from the zoning case. The removal our property requires the application to be totally revamped from a site plan, access and density standpoint. We are adamantly opposed to this latest move by the applicant as an attempt to leverage us as they have no legal rights to cross our parcel (vehicular or pedestrian) to the west of them. We intend to file a legal protest and will be informing Scottsdale Ranch HOA and the adjacent parcel owners of this significant change to the plan.

The removal of our property is against the logical master planning of this 'donut' set of parcels surrounded by existing development and the basis for the City claiming they would support our application. The removal of our property negatively magnifies the latest vehicular and pedestrian access to the proposed multi-family portion of the zoning case, south of the exiting commercial center. In discussions with CVS and the office complex to the south, they have not, nor will they, authorize access through their properties. Access from the original zoning case made sense from our property to the west through the office complex to 92<sup>nd</sup> Street. This allowed for easy pedestrian and vehicle access to the west to the office complex, Sprouts center, the hospital campus and the greenbelt. The removal of our parcel effectively shuts that

out of the equation and any rezoning that does not include our parcel should be denied.

In discussions with the property owners of the office buildings west of our property and the owners of the Sprouts center, we intend to file a legal protest on the revised zoning proposal. We have conducted an analysis and believe we have the necessary land area to meet the legal protest threshold. The legal protest will also demonstrate how the applicant has not satisfied their outreach requirements and resolving issues with surrounding property owners.

Furthermore, we believe this major modification to the rezoning case should require the applicant to start over. We believe the removal of a vital property from this 'supposed' master plan is a major setback for the proposal and does not adequately master plan the remainder of vacant land in the 'donut.' We believe an open house should be required for adequate input on the major modification to the rezoning request allowing all adjacent property owners input on the new site design, access and density. We believe neighborhood notification letters, site posting and staff's review should all start over. This "major" pedestrian and vehicle access change at the end of the staff review of the original zoning site plan should necessitate a withdrawal of the original case or at least a re-start of the public outreach and staff review process.

We look forward to hearing from staff on the next course of action on this case. If staff decides to move forward with hearings with this hastily modified zoning case, we will reach out to all of the City Council, the Mayor, the City Manager and Planning Commission members to demonstrate our objections to the latest move by these applicants.

We do not want to go this route and sincerely hope to collaborate with the applicant to rezone both parcels. Please let me know a time this week we can discuss this in more detail via phone.

Jim

**Jim Riggs**

m - 602-292-2398

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