

# DEVELOPMENT REVIEW BOARD REPORT



Meeting Date: March 17, 2022  
General Plan Element: *Character and Design*  
General Plan Goal: *Foster quality design that enhances Scottsdale as a unique southwestern desert community.*

## ACTION

<b>Rawhide Wash Flood Hazard Mitigation Project</b> 7-WM-2020	Request for a Wash Modification for a portion of the Rawhide Wash Regional Corridor, adjacent to several communities, for the purposes of flood hazard mitigation.
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## SUMMARY

### Staff Recommendation

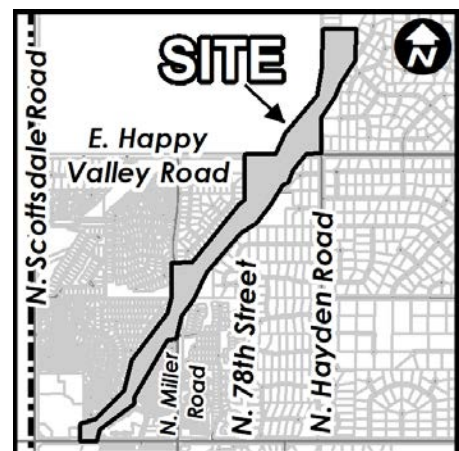
Approve, subject to the attached stipulations (Attachment #6)

### Key Issues

- Proposed flood hazard mitigation improvements (scour protection, earth levees, floodgates, etc.)
- Modification of existing flood walls
- Disturbance and revegetation of Natural Area Open Space
- Identification of future right-of-way improvements, required easements, and land acquisitions
- Established communities adjacent to project area
- Significant community input received

### Items for Consideration

- General Plan, as amended
- Environmentally Sensitive Lands Ordinance
- Conformance with Development Review Board Criteria
- Integration of Sensitive Design Principles
- Stormwater Ordinance
- FEMA flood control regulations
- Temporary drainage and pool barrier measures
- Update of existing pool barriers



## BACKGROUND

**Location:** Project is generally located from approximately 1,500 feet north of E. Happy Valley Road (at the N. Hayden Road alignment), south, to E, Pinnacle Peak Road.

**Zoning:** Project Area contain various zoning districts: (C-O/ESL, R1-5/ESL, R-4R/ESL, R1-10/ESL, R1-10/PRD/ESL, R1-43/ESL, and R1-43/PRD/ESL).

**Adjacent Uses**

North: AZ State Lands and various residential uses, including single-family and multi-family communities (i.e., Pinnacle Reserve East, Pinnacle Reserve II, Talara, Premier at Pinnacle Peak)

East: Various metes and bounds developments, various residential uses, including single-family and multi-family communities (i.e., Happy Valley Ranch, Santa Catalina Estates, La Vista, and Los Portones), and commercial office (Pinnacle Peak Office Park)

South: Various metes and bounds developments, various residential uses, including single-family and multi-family communities (i.e., Happy Valley Ranch, Santa Catalina Estates, La Vista, and Los Portones), and commercial office (Pinnacle Peak Office Park)

West: Various residential uses, including single-family and multi-family communities (i.e., Pinnacle Reserve East, Pinnacle Reserve II, Talara, Premier at Pinnacle Peak)

**Property Owner**

City of Scottsdale, Arizona State Land Department and various residential owners and homeowners associations

**Applicant**

City of Scottsdale  
Ashley Couch  
(480) 312-4317

**Landscape Architect/Designer**

Dig Studio  
Jay Hicks  
(602) 595-4101

**Engineer**

JE Fuller  
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(480) 222-5717

**DEVELOPMENT PROPOSAL**

The proposed request includes flood control measures and improvements to the subject portion of the Rawhide Wash to bring the floodway into conformance with the requirements identified in an updated Federal Emergency Management Agency (FEMA) drainage study. This request is a partnership between the City of Scottsdale, the Flood Control District of Maricopa County (FCD), and the City of Phoenix. Upgrades to this portion of the Rawhide Wash include construction of new floodwalls, modification of existing walls, installation of erosion control, addition of earth levees, and installation of floodgates.

**Development Review Board Criteria**

Staff confirms that the development proposal generally meets the applicable Development Review Board Criteria. The retrofitting of the required flood hazard mitigation improvements are designed to provide minimum disturbances to the Rawhide Wash amenity, while adhering to ordinance and policy requirements. For a detailed analysis of the Criteria, please see Attachment #4.

**Additional Requirements - Wash Modification**

The application involves a wash modification, pursuant to the requirements with the standards and policies specified in Chapter 37 of the City of Scottsdale Revised Code - Floodplain and Stormwater regulation, and the city’s Design Standards and Policy Manual (DSPM). Staff confirms that the development proposal meets the applicable requirements and demonstrates the wash modification criteria. For a detailed analysis of the requirements and criteria, please see Attachment #4.

The project provides a full floodplain analysis to address all aspects and requirements of FEMA regarding the existing special flood hazard areas and alluvial fan flooding of Rawhide Wash, including levee and interior drainage areas created by the proposed project improvements. The project includes preparation and submittal of a full Conditional Letter of Map Revision application to receive FEMA approval of the project elements and revision of existing flood insurance rate maps (FIRMs) affected by the project improvements.

**Sustainability**

The City of Scottsdale promotes the goal of sustainability through the incorporation of appropriate design considerations in the development of the built environment. This development proposal incorporates several design elements that align with the City’s goal of sustainability including use of native plant species, re-use of native plant salvage materials, a goal of minimum disturbance of Natural Open Space Areas (NAOS), erosion control measures to maintain the integrity of drainage elements, maintenance of regional trail system, and flood protection of established communities.

**STAFF RECOMMENDED ACTION**

Staff recommends that the Development Review Board approve the Rawhide Wash Flood Hazard Mitigation Project development proposal per the attached stipulations, finding that the Character and Design Element of the General Plan and Development Review Board Criteria have been met.

**RESPONSIBLE DEPARTMENTS**

**STAFF CONTACTS**


**Planning and Development Services**  
Current Planning Services

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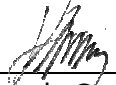
**APPROVED BY**

  
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Jesus Murillo, Report Author

\_\_\_\_\_  
March 7, 2022  
Date

  
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Brad Carr, AICP, LEED-AP, Planning & Development Area Manager  
Development Review Board Liaison  
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\_\_\_\_\_  
3/8/2022  
Date

  
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Planning, Economic Development, and Tourism  
Phone: 480-312-2664    Email: rgrant@scottsdaleaz.gov

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3/8/2022  
Date

## **ATTACHMENTS**

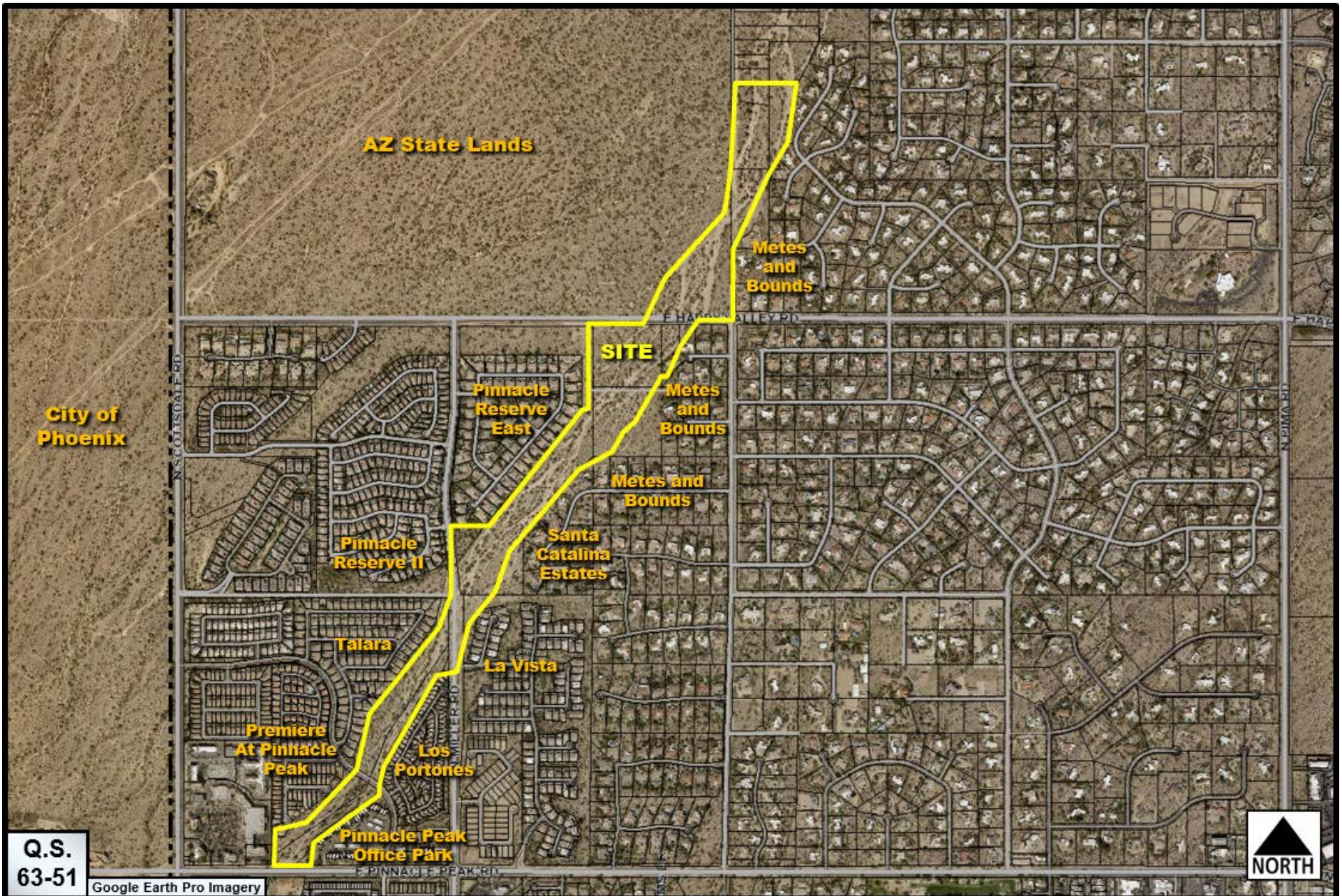
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1. Context Aerial
- 1A. Close-up Aerial
2. Zoning Aerial
3. Applicant's Narrative
4. Development Review Board Criteria Analysis
5. Development Information
6. Stipulations
7. Site Plan
8. Natural Area Open Space (NAOS) Impact Analysis
9. Landscape Plan
10. Existing and Proposed Wall Heights Plan and Elevations
11. Rawhide Wash Construction Access Routes
12. Material Board
13. Community Involvement Report
14. Public Correspondence



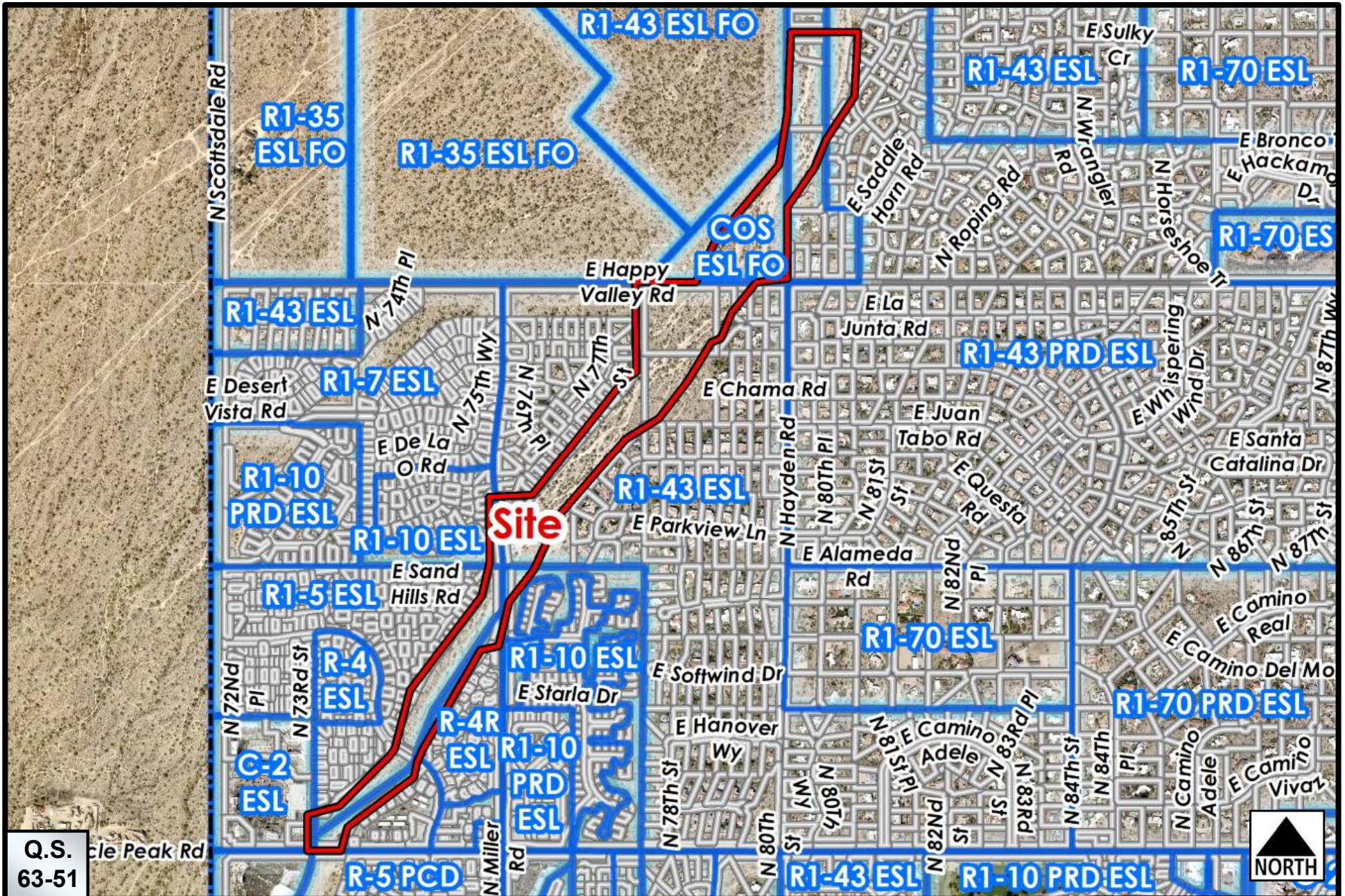
Context Aerial

7-WM-2020



Close-up Aerial

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Zoning Aerial

7-WM-2020



## **PROJECT NARRATIVE**

### **1.1 General**

The Rawhide Wash Flood Hazard Mitigation Project (Project) is a partnership between the Flood Control District of Maricopa County, City of Phoenix and City of Scottsdale. The Flood Control District of Maricopa County entered into design intergovernmental agreements (IGA FCD 2018A013) with the Cities of Scottsdale (IGA No. 2018-164-COS) and Phoenix to begin the final design process.

The Project generally includes design of a floodwall and levee system to contain the 100-year flood (1% chance of occurring in any given year) with required freeboard within the Rawhide Wash corridor from ½ mile north of Happy Valley Road to just upstream of Pinnacle Peak Road. The general project limits are shown on Figure 1.

Currently, Rawhide Wash is identified by the Federal Emergency Management Agency (FEMA) as an active alluvial fan floodplain with high flows during major storm events. Over 800 buildings (mostly houses) are located within the FEMA delineated Special Flood Hazard Area (SFHA). The Project was originally formulated as the Conveyance Alternative in the recently completed Pinnacle Peak West (PPW) Area Master Drainage Study (ADMS), which was led by the Flood Control District of Maricopa County (FCD), with the Cities of Scottsdale and Phoenix being key stakeholders. Additional post-PPW ADMS design concept work was performed by the FCD, in cooperation with Scottsdale and Phoenix, to refine the Conveyance Alternative and perform non-destructive testing and evaluation of existing floodwalls and erosion control measures constructed by past development within the project limits, to determine their suitability for incorporation into the Project and certifiability with FEMA. The results from those analyses and other conceptual design work on the Conveyance Alternative, form the basis of the Project.

### **1.2 Project Scope**

The Project will be designed for the 100-year flood and will predominantly contain the washes within its natural condition floodway corridor and remove the flow-path uncertainty associated with the alluvial fan apex. The major Project elements include:

- Construction of new floodwalls levees.
- Modification of existing floodwalls as needed to bring them into compliance with FEMA National Flood Insurance Program (NFIP) standards and requirements for a certified levee system. Existing floodwall modifications may include one or more of the following:
  - Increase the wall height to meet FEMA freeboard requirements.
  - Install new erosion protection or augment existing erosion protection at the base of the walls to protect the wall from erosion (i.e., scour).
  - Retrofit existing floodwalls to increase the structural strength of the walls to withstand the forces of water during a flood.







Figure 1 - Project Concept Map





- Roadway improvements at the Los Portones Drive crossing of Rawhide Wash to provide FEMA certifiable containment (Miller Road crossing will not be improved with this Project). Containment will be provided using a combination of roadway modifications and installation of automatic floodgates.
- Design and construction of interior drainage systems to convey local runoff generated on the land side of the floodwall levee system along and back into Rawhide Wash or other dedicated drainage-ways, using low impact methods and materials that are compatible with Scottsdale’s Environmentally Sensitive Lands Overlay and the Natural Area Open Space (NAOS) requirements.
- Application for a Federal Emergency Management Agency (FEMA) Conditional Letter of Map Revision (CLOMR) to revise the floodplain boundaries to reflect the Project improvements.

### **1.3 Project Schedule**

Project schedule anticipates completion of the design process by the end of 2021 and start of construction in early-2022, both pending continued funding by the Project partners and receipt of a FEMA issued CLOMR.

### **1.4 Alternatives Considered**

During the PPW ADMS conceptual alternative analysis, several alternatives were considered for mitigating the flood risk currently posed by Rawhide Wash. Alternatives considered included:

- Do Nothing
- Structurally stabilize flow breakouts near the current fan apex upstream of Happy Valley Road to remove the flowpath uncertainty and substantially maintain current drainage patterns
- Construct large on-line and off-line regional detention basins to attenuate (reduce) discharges and downstream flood risk, while simultaneously removing the flowpath uncertainty of the alluvial fan apex.
- Construction of terraced channel system with a well-defined low flow channel to convey the 10% probability event (10-year) and full containment of the 1% probability event (100-year) within a wide corridor of overbank. This option was also evaluated for a natural low-flow with grade control structures as well as a fully armored low-flow.
- Creation of a conveyance corridor that leverages the existing floodwalls and improvements and constructs new floodwalls or embankments to create a complete levee system from the fan apex to the downstream connection with the existing bridges and channel at and downstream of Pinnacle Peak Road. This was the alternative that formed the basis of the current project.

All these alternatives and supporting text, graphics and results are summarized in the following PPW ADMS reports. Links to download the reports from the FCDMC online library are included.

- JE Fuller Hydrology and Geomorphology, Inc. (JE Fuller), 2015a, *Pinnacle Peak West Area Drainage Master Study, Rawhide Wash Alternatives*, July 2015. FCD2011C024, Work Assignment No. 3.  
[http://apps.fcd.maricopa.gov/pub/docs/scanfcdlibrary/A122\\_114\\_PinnaclePeakWestADMSRawhideWashAlternatives.pdf](http://apps.fcd.maricopa.gov/pub/docs/scanfcdlibrary/A122_114_PinnaclePeakWestADMSRawhideWashAlternatives.pdf)





- JE Fuller, 2015b, *Pinnacle Peak West Area Drainage Master Study – Work Assignment #3 – Flood Hazard, Risk, Prioritization, and Alternatives*, July 2015. FCD2011C024, Work Assignment No. 3. [http://apps.fcd.maricopa.gov/pub/docs/scanfcdlibrary/A122\\_113\\_PinnaclePeakWestADMSFloodHazardRiskPrioritizationandAlternativeFinalWorkAssignment3.pdf](http://apps.fcd.maricopa.gov/pub/docs/scanfcdlibrary/A122_113_PinnaclePeakWestADMSFloodHazardRiskPrioritizationandAlternativeFinalWorkAssignment3.pdf)
- JE Fuller, 2016b, *Pinnacle Peak West Area Drainage Master Study, Rawhide Wash Alternatives Refinement*, June 2016. FCD2011C024, Work Assignment No. 6. [http://apps.fcd.maricopa.gov/pub/docs/scanfcdlibrary/A122\\_118PinnaclePeakWestAreaDrainageMasterStudy\\_RawhideWashAlternativesRefinement\\_ADMS.pdf](http://apps.fcd.maricopa.gov/pub/docs/scanfcdlibrary/A122_118PinnaclePeakWestAreaDrainageMasterStudy_RawhideWashAlternativesRefinement_ADMS.pdf)

## **1.5 Scottsdale General Plan**

Goal No. 2 of the Public Services and Facilities Element of the city’s adopted General Plan is, “Protect the health, safety, and welfare of the public from the impacts of flooding.” Approaches in this goal include:

- Promote sound floodplain and stormwater management.
- Develop and maintain a cost effective and efficient citywide drainage system in an environmentally sound manner.
- Identify the city’s drainage system management needs and improvements.
- Improve inadequate or undersized drainage facilities to solve both small neighborhood and large regional drainage and flood control problems.
- Use washes for open space, trails, and recreational facilities as long as the natural drainage properties of the wash are retained.

This project will provide 100-year flood protection to over 800 properties in Scottsdale. The city’s adopted path and trail master plan includes plans to construct a path and trail within the project corridor. Consequently, the project’s design allows for the future construction of this path and trail. This project will provide over 32 acres of native and revegetated Natural Area Open Space consistent with the city’s general plan and Environmentally Sensitive Lands Zoning Overlay. Therefore, overall this project is clearly consistent with the city’s adopted General Plan.

## **1.6 Zoning, Standards and Policy Compliance**

### **1.6.1 Zoning Ordinance 1.304**

Most of the project improvements and work will occur within currently dedicated drainage tracts and/or easements, with dedications to the city. In areas where land-rights do not currently exist, the city is working with the project partners to obtain the needed easements and/or property. By these actions, all project improvements will comply with this ordinance either by direct right or acquisition of land rights. The city will obtain and provide the evidence of title for all new easement and fee simple purchases.

### **1.6.2 Zoning Ordinance 1.904**

This narrative and the supporting documentation and project design plans and reports included with this application package provide the necessary responses and information to address the Development Review Board (DRB) criteria.



### 1.6.3 Zoning Ordinance 6.1010 – Environmentally Sensitive Lands

The entire project is situated within the city’s Environmentally Sensitive Lands Overlay (ESLO). As such, several of the existing dedicated drainage easements/tracts being used by the project were also designated as Natural Area Open Space (NAOS) either in whole or in part. The currently declared NAOS areas are indicated on the Site Plan discussed in Section 1.6.2 below.

Per the language at Ordinance 6.1060.B.2, the project would be considered as a regional drainage facility. The construction of the project improvements will include zones of full disturbance and partial disturbance. Full disturbance zones will include full native plant salvage and complete vegetation removal. Disturbed areas will be re-vegetated to match the existing wash landscape as closely as possible, including re-planting of salvaged trees where possible. The partial disturbance zones are comprised of the identified construction access routes along the wash sandy bottoms and substantially barren areas. Disturbance in these areas will be strictly limited and no native plants will be disturbed or removed. Tire imprints will ultimately be raked out to restore a natural looking sandy bed. In all cases of disturbance, the project will re-establish the native vegetation to match the existing desert wash environment as closely as possible.

Per Ordinance 6.1060.B.2, revegetated areas in a regional drainage facility are substituted one-for-one to meet NAOS requirements. This allowance will mean that the project improvements ultimate impact to the final disposition of the NAOS areas will be negligible.

Detailed tabulation of the NAOS area impacts by parcel, are summarized in Table B-1 in Appendix B. Reference the Site Plan provided in Appendix B for parcel and disturbance locations. In total, the project will fully disturb 12.6 acres of 70.8 acres of existing NAOS areas. The proposed access routes for the project will partially disturb an additional 6.0 acres. Approximately 0.26 acres or 0.37% of total NAOS area, will not be revegetated due to addition of physical floodwalls or other drainage infrastructure.

### 1.6.4 Zoning Ordinance 7.500 – Native Plant Materials

A full and separate Native Plant Submittal will be provided and addressed under separate cover.

## 1.7 Design Standards and Policies Manual (Chapters 2-1, 2-2, 4-1, 5, 8-3, and 10-1)

In general, most of the project work involves design and construction of floodwalls, buried erosion protection and miscellaneous other drainage infrastructure that have been designed in compliance with the Design Standards and Policies Manual (DSPM). Other road and utility improvements are only modifications to existing infrastructure. The design also considers ESLO requirements, and the design includes a full native plant inventory, salvage and landscaping plan. Noted highlights or special considerations are discussed in the following sections.

### 1.7.1 Floodwall Heights

Augmented existing and new floodwalls are used in the project to provide the flood containment and levee system. Portions of the existing floodwalls will be raised to provide the FEMA required freeboard needed for certification. In several locations throughout the project, the height of floodwall above the ground level will exceed the maximum 6-foot height specified in the Chapter 2-2.405.B.4. The nature of



the floodwall design and freeboard requirements forces the construction of walls greater than 6-feet in height and building terraced walls is impractical for this flood control project. The project's wall heights are detailed in a specially annotated set of the construction plan and profile drawings provided in Appendix G.

### **1.7.2 Site Grading/Restoration**

All site grading will be strictly limited to areas shown on the site plan and construction drawings. Non-disturbance areas will be roped off. Once the improvements are installed, the general design intent for the Rawhide Wash corridor is to restore the ground surface to the current natural conditions with a tolerance of none above and 6-inches below the existing grade, unless otherwise specified by the construction plans.

### **1.7.3 Drainage Design and Analyses**

The project hydrologic and hydraulic analyses have all been performed to comply with the Flood Control District of Maricopa County's Hydrology and Hydraulics Manuals and the city's DSPM standards in Chapter 4-1. All channel, culvert and storm drain designs consider protection for the 100-year runoff and meet the minimum standards of the DSPM standards. One exception is the 8" pipe size designed to drain a small catch basin near the land-ward side of the eastern floodgate at Los Portones Drive. The special conditions of the location will not allow for anything larger and the flow at the catch basin is only a couple of cfs, so the pipe has more than adequate capacity. The city's Stormwater Management group have provided advanced approval for this special condition. All of the project's hydrology, hydraulics, sediment transport and scour (HHSTS) analyses are summarized in the Design and HHSTS Reports provided in Appendix D. This information includes backup information for specialty products including the floodgates at Los Portones Drive, backflow prevention devices, etc.

### **1.7.4 FEMA Floodplain Management**

The project provides a full floodplain analysis to address all aspects and requirements of FEMA regarding the existing special flood hazard areas and alluvial fan flooding of Rawhide Wash, including levee and interior drainage areas created by the proposed project improvements. The project includes preparation and submittal of a full Conditional Letter of Map Revision application to receive FEMA approval of the project elements and revision of existing flood insurance rate maps (FIRMs) affected by the project improvements.

### **1.7.5 FloodBreak® Floodgates at Los Portones Drive**

The project levee system includes the installation of automatic floodgates at the east and west entrances to the wash crossing by Los Portones Drive. The floodgates are designed to deploy when floodwaters reach the gate location. The floodgates are lifted into place by the buoyant forces of the rising floodwater and then receded back to normal position when the floods pass. The system is also equipped with a manual hydraulic lift system as a back-up and as a maintenance tool. The crossing will also be equipped with flood warning signage and barrier arm devices to alert motorists to the both the presence of water at the crossing and deployment of the floodgates. Technical literature on the floodgates is provided with the Design Report in Appendix D of this package.



## 1.7.6 Landscape/Aesthetics

### 1.7.6.1 Landscape Plans

The project includes a full set of landscape and irrigation construction plans detailing the salvage and re-planting schemes for the project disturbance limits. A copy of those plans is provided in Appendix C.

### 1.7.6.2 Path/Trail

The project does not include any formal path or trail construction except for a realignment of the access sidewalk at the north side of the existing Pinnacle Peak Road bridge and drop structure, which will be constructed to a width of 11-feet as shown on the proposed improvement plans. Project improvements are configured to allow for future path and trail construction and location within the Rawhide Wash corridor and does not create any barriers to the future construction of these features. In addition, the floodwalls have been configured to include multiple offset locations to allow passage of human and wildlife to and from the Rawhide Wash corridor, and still maintain the levee certifiability of the system.

### 1.7.6.3 Floodwall and Drainage Structure Aesthetics

All raises to existing floodwalls will match to the existing wall materials and exterior treatments and colors. New floodwalls will be constructed using integrated color slump block and mortar washed joints. Block color will be a standard Brown or Spanish Brown color and the mortar will also be colored to match the block and finished with a flush/struck and brushed joint and mortar washed surface. Special considerations will be used at the Happy Valley Ranch HOA locations to meet the aesthetic requirements of that HOA. Poured concrete structures will be colored San Diego Buff or equivalent. The wall raises at Pinnacle Peak will be painted to match the current bridge paint colors. A material board showing the slump block and grout samples, photos of existing walls and an example photo of loose rock riprap is prepared and submitted as part of this DRB package.

## 1.7.7 Native Plants

As noted previously, a complete Native Plant application for the project will be submitted under a separate cover and application process and will include a complete inventory of the project area native plants per

## 1.8 Sensitive Design Principles

The city has identified 14 design principles for development that respect and enhance the unique climate, topography, vegetation, and historical context of Scottsdale's Sonoran Desert environment, all of which are considered amenities that help sustain the community and its quality of life. The following summarize how the project meets each of the principles:

**Principle 1:** *The design character of any area should be enhanced and strengthened by new development. Building design should consider the distinctive qualities and character of the surrounding context and, as appropriate, incorporate those qualities in its design. Building design should be sensitive to the evolving context of an area over time.*



The project is purposely designed to maintain the natural conveyance of a generally 300-plus wide corridor of Rawhide Wash. All structures are designed to mimic or match the existing development within the corridor and provide enhance flood protection for the surrounding development.

**Principle 2:** *Development, through appropriate siting and orientation of buildings, should recognize and preserve established major vistas, as well as protect natural features such as scenic views of the Sonoran Desert and mountains and archaeological and historical resources.*

The project area is substantially developed with mixed densities of single-family lots. Some properties are situated with rear yards that face into the wash. The project improvements are designed to minimize the disturbance of these views and still a FEMA certifiable levee design that will provide the intended flood risk reduction. Outside of these immediate properties, the project will have minimal impacts to other vistas. A full archaeological assessment has been performed for the entire wash and no significant resources have been identified. There are no historical buildings or resources located within the project.

**Principle 3:** *Development should be sensitive to existing topography and landscaping. A design should respond to the unique terrain of the site by blending with the natural shape and texture of the land while minimizing disturbances to the natural environment.*

Other than the floodwalls, the remaining areas of the project will essentially be restored to their existing natural conditions and will purposely maintain the existing topography and landscape character.

**Principle 4:** *Development should protect the character of the Sonoran Desert by preserving and restoring natural habitats and ecological processes.*

In addition to previously mention measures, the project will preserve the natural form and function of Rawhide Wash by allowing the wash to remain substantially natural and only alter the natural conditions by providing containment for large and infrequent flow events. This benefit will ensure a natural corridor is maintained for Rawhide Wash into the future, while providing substantial flood risk reduction.

**Principle 5:** *The design of the public realm, including streetscapes, parks, plazas and civic amenities, is an opportunity to provide identity to the community and to convey its design expectations. Streetscapes should provide continuity among adjacent uses through use of cohesive landscaping, decorative paving, street furniture, public art and integrated infrastructure elements.*

Other than the floodwalls and interior drainage structures at Pinnacle Peak Road, the project will impose minimal changes to the areas of public use and will endeavor to match the existing improvements and land uses as much as possible.

**Principle 6:** *Developments should integrate alternative modes of transportation, including bicycles and bus access, within the pedestrian network that encourage social contact and interaction within the community.*

The project has incorporated floodwall offsets at strategic locations to maintain access and interaction with the wash corridor for both humans and wildlife, in both existing developed and future



development areas. The floodgates proposed for Los Portones Drive will continue to provide vehicular, bicycle, and pedestrian access to the corridor during non-flood periods. Otherwise, the project does not have a significant transportation element in its design.

**Principle 7:** *Development should show consideration for the pedestrian by providing landscaping and shading elements as well as inviting access connections to adjacent developments. Design elements should be included to reflect a human scale, such as the use of shelter and shade for the pedestrian and a variety of building masses.*

These types of design considerations are not within the scope of the project. Pedestrian access to the project corridor will essentially remain as it currently is with no significant changes.

**Principle 8:** *Buildings should be designed with a logical hierarchy of masses to control the visual impact of a building's height and size, and to highlight important building volumes and features, such as the building entry.*

No buildings are part of the project scope.

**Principle 9:** *The design of the built environment should respond to the desert environment. Interior spaces should be extended into the outdoors both physically and visually when appropriate. Materials with colors and coarse textures associated with this region should be utilized. A variety of textures and natural materials should be used to provide visual interest and richness, particularly at the pedestrian level. Materials should be used honestly and reflect their inherent qualities. Features such as shade structures, deep roof overhangs and recessed windows should be incorporated.*

As noted above, there are no buildings in this project. The floodwall material selection and type take into account the natural desert environment and are designed to “blend in” as much as possible.

**Principle 10:** *Developments should strive to incorporate sustainable and healthy building practices and products. Design strategies and building techniques, which minimize environmental impact, reduce energy consumption, and endure over time, should be utilized.*

No buildings are part of the project scope. The project construction will minimize impacts to the natural wash as much as possible.

**Principle 11:** *Landscape design should respond to the desert environment by utilizing a variety of mature landscape materials indigenous to the arid region. The character of the area should be emphasized through the careful selection of planting materials in terms of scale, density, and arrangement. The landscaping should complement the built environment while relating to the various uses.*

The landscape for the project will purposely replicate the existing native plants and cacti as much as possible and will include re-planting of salvaged trees and cacti in the re-establishment of disturbed areas. Details of the landscape plans are discussed in the project design report in Appendix D and shown on the project’s landscape and irrigation plans in Appendix C.





**Principle 12:** *Site design should incorporate techniques for efficient water use by providing desert adapted landscaping and preserving native plants. Water, as a landscape element, should be used judiciously. Water features should be placed in locations with high pedestrian activity.*

All plants and vegetation within the wash corridor will be desert adapted and meet the ESLO ordinance requirements for type, size and densities. No water features are part of the project scope.

**Principle 13:** *The extent and quality of lighting should be integrally designed as part of the built environment. A balance should occur between the ambient light levels and designated focal lighting needs. Lighting should be designed to minimize glare and invasive overflow, to conserve energy, and to reflect the character of the area.*

No lighting is included in the project scope.

**Principle 14:** *Signage should consider the distinctive qualities and character of the surrounding context in terms of size, color, location and illumination. Signage should be designed to be complementary to the architecture, landscaping and design theme for the site, with due consideration for visibility and legibility.*

The project will not have any signage except for traffic safety and flood warning devices at Los Portones Drive. Those improvements will consider visibility and legibility.

## **1.9 ESLO Wash Modification Justification**

The following provide responses to the four justification statements for the project related wash modifications per the application requirement.

### **1.9.1 Justification No. 1**

The modifications proposed by the project will result in an equal or enhanced quality of open space through the preservation of the natural wash function and look, while providing for flood risk reduction to the surrounding properties and removing the flow path uncertainty associated with the current alluvial fan apex. The project will also add to the permanently dedicated open space lands through the acquisition of approximately 32 acres of natural floodplain, preserving those lands for permanent open space.

### **1.9.2 Justification No. 2**

All disturbed vegetation within the project limits will be restored using similar vegetation types and densities, including replanting of salvaged trees and cacti wherever possible. All plant material will be compliant with ESLO approved plant types as listed in the Scottsdale Revised Code.

### **1.9.3 Justification No. 3**

The wash is being modified by controlling the breakouts at the alluvial fan apex and maintaining the conveyance of the full apex discharge to the improvements and Pinnacle Peak Road (and downstream). The Pinnacle Peak Road bridge, Silverstone Channel and Scottsdale Road bridge have all been designed to receive and convey these flows. Extensive coordination with the affected property owners has been conducted (mostly Arizona State Land Department) and all support the project goals.



#### **1.9.4 Justification No. 4**

The design is primarily configured to be a contained conveyance system of floodwalls and floodgates that remove the flow path uncertainty at the alluvial fan apex and maintain that conveyance capacity downstream. That conveyance and containment will be provided through the structural floodwalls and floodgates. Other miscellaneous flows that would have normally entered the wash through open surface drainage downstream of the apex, will be collected and conveyed to the wash via culvert/storm drain systems with special backflow prevention measures. All of these flows are accommodated for in the design, contained within existing easements, and will not cause adverse impacts to the project or adjacent lands.

### **1.10 Other Supporting Documentation**

The following sections provide brief summaries of the documents and materials provided to support the application.

#### **1.10.1 Site Photos**

As seen in Figure 1, the Project covers over 1.7 miles of the 300 to 500-foot-wide Rawhide Wash corridor. A compilation of representative ground photos arranged and referenced to a recent, high resolutions drone-derived aerial photo base (provided by Ninyo & Moore, Inc. – a subconsultant to our project team) have been compiled to illustrate the project elements and existing conditions. Those photos are provided in Appendix A.

#### **1.10.2 Site Plan**

The site plan requirements are being met with two-sets of the documents. The first are the 90% design drawings and the second are a series of 40-scale sheet plots of the project corridor that show information not included on the construction drawings including estimated limits of disturbance, NAOS polygons, and other miscellaneous easement and right-of-way information. The 90% design drawings are included in Appendix C. The 40-scale site plans are included in Appendix B.

#### **1.10.3 Drainage Report**

A full design report that includes all drainage analyses for the 90% designs, is included with the submittal package as Appendix D.

#### **1.10.4 Revegetation Plan**

The project revegetation plan is shown in the construction drawing landscape architecture sheets, which are part of the Appendix B materials. Further – details related to the revegetation and landscape are summarized in the project design report included in Appendix D.

#### **1.10.5 Native Plant Submittal**

The native plant inventory and submittal package will be submitted under a separate cover.

#### **1.10.6 Cultural Resources Survey**

An archaeological survey of the Project area was conducted prior to performance of any geotechnical testing or investigations to ensure compliance with legal standards. A copy of that report is provided in Appendix E.



### 1.10.7 Citizen Involvement Report

Public Involvement has been an extensive part of the planning and design process for the Project, with efforts going back several years. A Citizen Involvement Report has been prepared for the Project and essentially a living document that is being continuously updated with each public involvement task and communication. Close public involvement will continue through the design and construction phases of the Project. The current version of the Citizen Involvement Report is provided in Appendix F.



# APPENDIX A

[Click here for Site photos](#)



# APPENDIX B

Click below for

[Site Plans](#)

[NAOS Impacts Summary](#)



# APPENDIX C

[Rawhide Wash Civil-Structural Plans](#)

[Rawhide Wash Landscape Plans](#)



# APPENDIX D

## [Project Design Report and Drainage Design Report](#)



# APPENDIX E

## Archaeological Survey Report





# APPENDIX F

## Citizen Involvement Report

**See Attachment #13**



# APPENDIX G

## Wall Height Exhibits

## DEVELOPMENT REVIEW BOARD CRITERIA ANALYSIS

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Per Section 1.904. of the Zoning Ordinance, in considering any application for development, the Development Review Board shall be guided by the following criteria:

1. The Board shall examine the design and theme of the application for consistency with the design and character components of the applicable guidelines, development standards, Design Standards and Policies Manual, master plans, character plan and General Plan.

- *The design and theme of the proposed wash modification meets the intent of the related and applicable guidelines, development standards, Design and Policies Manual, and General Plan. The proposed wash modification incorporates the necessary improvements, identified by the updated stormwater study, that would have been required at the time of development, had this information been available. Each developed property would have been required to provide improvements as proposed in this application. The properties developed adjacent to this section of the Rawhide Wash would have been required to provide the appropriate flood hazard mitigation improvements specified in this wash modification request. The developed properties would have been required to provide the identified wall heights, scour protection, street improvements, and levee system (See Attachment #3, Appendix G).*

*The recently completed Pinnacle Peak West (PPW) Area Master Drainage Study (ADMS), led by the Flood Control District of Maricopa County (FDC) provided the results that guided the proposed improvements. The proposed improvements variate from some of the governing ordinance and policy regulations, mentioned above, due to being retroactively applied to the developed properties. The proposal made all efforts to minimize the impact of the prescribed improvements, and to maintain the integrity of the relevant ordinances and policies.*

*Rawhide Wash is defined by FEMA as an active alluvial fan, and as such, poses an elevated flood risk due to the flow-path uncertainty at the flow apex located about ½ mile north of Happy Valley Road. The Pinnacle Peak West Area Drainage Master Study/Plan identified flood risks to structures, people, and traffic, with the Rawhide Wash flooding downstream of the apex showing the most risk. The Rawhide Wash Flood Hazard Mitigation Project was proposed to provide an engineered control of the apex and a conveyance corridor to confine the associated flood risk to a defined natural corridor that ranges between 300 and 450-feet in width. The proposed improvements will ultimately remove over 850 Scottsdale homes and another 20-plus commercial structures from an alluvial fan special flood hazard designation.*

*The project hydrologic and hydraulic analyses have all been performed to comply with the Flood Control District of Maricopa County's Hydrology and Hydraulics Manuals and the city's DSPM standards in Chapter 4-1. All channel, culvert and storm drain designs consider protection for the 100-year runoff and meet the minimum standards of the DSPM standards. One exception is the 8" pipe size designed to drain a small catch basin near the land-ward side of the eastern floodgate at Los Portones Drive. The special conditions of the location will not allow for anything larger and the flow at the catch basin is only a couple of cfs, so the pipe has more than adequate capacity. The City's Stormwater Management Department has provided advanced approval for this special condition.*

2. The architectural character, landscaping and site design of the proposed development shall:
- a. Promote a desirable relationship of structures to one another, to open spaces and topography, both on the site and in the surrounding neighborhood;
  - b. Avoid excessive variety and monotonous repetition;

- c. Recognize the unique climatic and other environmental factors of this region to respond to the Sonoran Desert environment, as specified in the Sensitive Design Principles;
- d. Conform to the recommendations and guidelines in the Environmentally Sensitive Lands (ESL) Ordinance, in the ESL Overlay District; and
- e. Incorporate unique or characteristic architectural features, including building height, size, shape, color, texture, setback or architectural details, in the Historic Property Overlay District.
- *The proposal does not include any new, or modification of any existing, structures within the scope of the project. The scope of the project is limited to flood hazard mitigation improvements. The only existing improvements that would be modified by this proposal are exciting subdivision flood walls and a portion of N. Los Portones Drive(See Attachment #3 - Appendix G and Attachment #7).*

*The project area is substantially developed with mixed densities of single-family lots. Some properties are situated with rear yards that face into the wash. The project improvements are designed to minimize the disturbance of these views and still a FEMA certifiable levee design that will provide the intended flood risk reduction. Outside of these immediate properties, the project will have minimal impacts to other vistas. The project is purposely designed to maintain the natural conveyance of a generally 300-plus wide corridor of Rawhide Wash. All structures are designed to mimic or match the existing development within the corridor and provide enhance flood protection for the surrounding development. Other than the floodwalls, the remaining areas of the project will essentially be restored to their existing natural conditions and will purposely maintain the existing topography and landscape character.*

*The Zoning Ordinance states that any modification of a desert wash that has a 100-year storm flow of 50 cubic feet per second (cfs), or greater, will require a modification approved by the Zoning Administrator as described in the ESL Zoning Ordinance. The reconstruction or relocation of a natural channel may be considered only when it has been demonstrated that there is no other reasonable approach available. Recent stormwater information identified the need to improve and reconstruct portions of the Rawhide Wash by increasing the height of existing flood walls, addition of new floodwalls, new floodgates, and erosion preventative measures to mitigate the flood hazards discovered in the flood control study.*

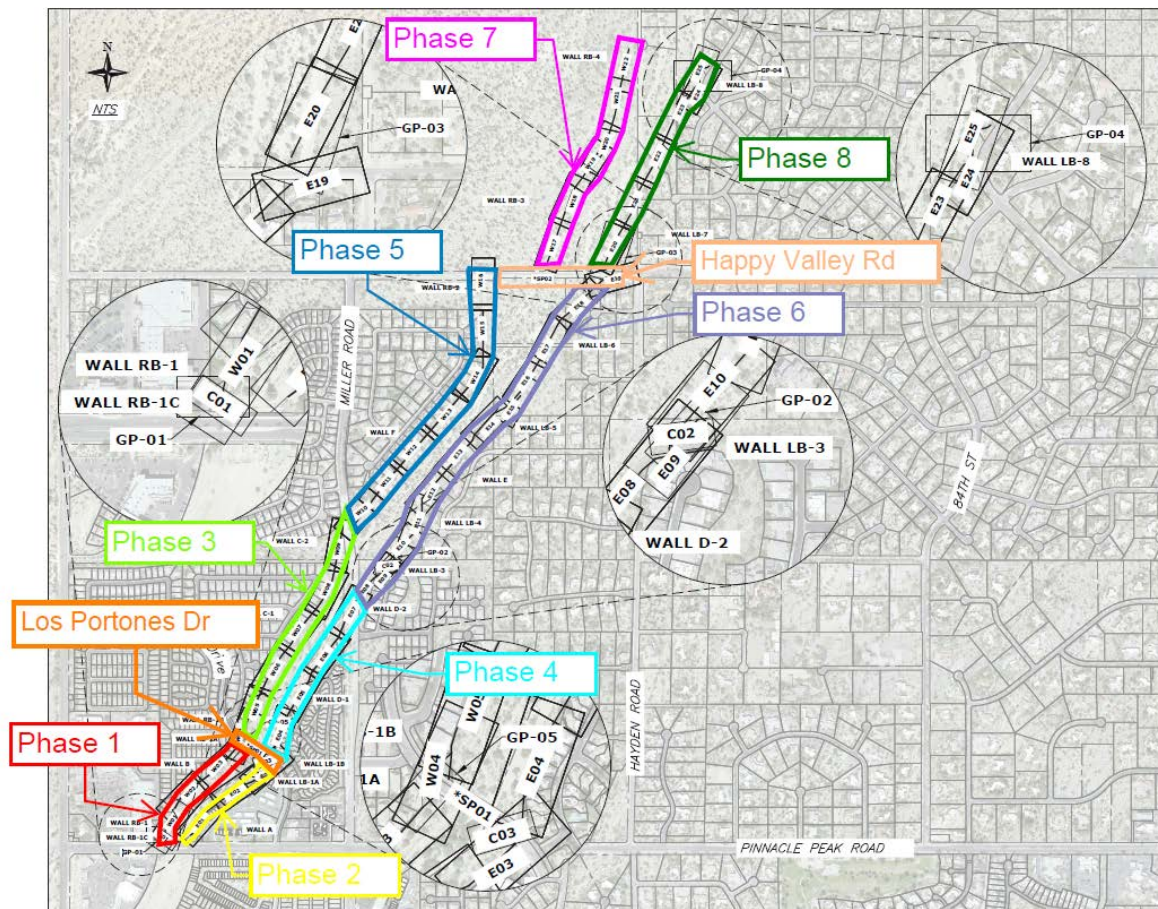
*Proposed wall improvements will be constructed and completed to match the existing wall type, color, and finish. Currently there exists a variety of wall types, colors, and view fence designs. All raises to existing floodwalls will match to the existing wall materials and exterior treatments and colors. New floodwalls will be constructed using integrated color slump block and mortar washed joints. Block color will be a standard Brown or Spanish Brown color and the mortar will also be colored to match the block and finished with a flush/struck and brushed joint and mortar washed surface. Special considerations will be used at the Happy Valley Ranch HOA locations to meet the aesthetic requirements of that HOA. Poured concrete structures will be colored San Diego Buff or equivalent. The wall raises at Pinnacle Peak will be painted to match the current bridge paint colors. A material board showing the slump block and grout samples, photos of existing walls and an example photo of loose rock riprap is prepared and submitted as part of this DRB package (See Attachment #3 - Appendix G).*

*Relocated desert wash channels shall be designed and constructed in a manner that restores the wash to a natural condition, with revegetation of native desert plants that are typical to local washes, and with contours that blend into the natural topography. In addition to*

previously mention measures, the project will preserve the natural form and function of Rawhide Wash by allowing the wash to remain substantially natural and only alter the natural conditions by providing containment for large and infrequent flow events. This benefit will ensure a natural corridor is maintained for Rawhide Wash into the future, while providing substantial flood risk reduction (See Attachment #3 - Appendix D).. The proposed application will adhere to a design that naturally blends the grading contours into undisturbed areas. Please see paragraph 4 below for wash modification analysis.

The construction of the project will generally progress from south to north beginning with the work near Pinnacle Peak Road. The CMAR has preliminarily identified the project segments per the following graphic (See "Figure 1" below).

Figure 1: Project Phasing Plan



Work in each segment will include work on the walls, installation/augmentation of the gabions, finish grading and revegetation, and any other miscellaneous work in the area (storm drains, catch basins, etc.). Work on existing walls will be focused to one or two lots at a time to minimize the time the rear yards are exposed. Actual contractor presence and construction activities will begin with the native plant salvage and utility relocation efforts. It is anticipated that Los Portones Drive will be closed for several months while the improvements in that area are being constructed. The utility relocations and native plant salvage work may begin as soon as April 2022. The heavy construction will likely begin in June 2022 with approximately a 14-month duration.

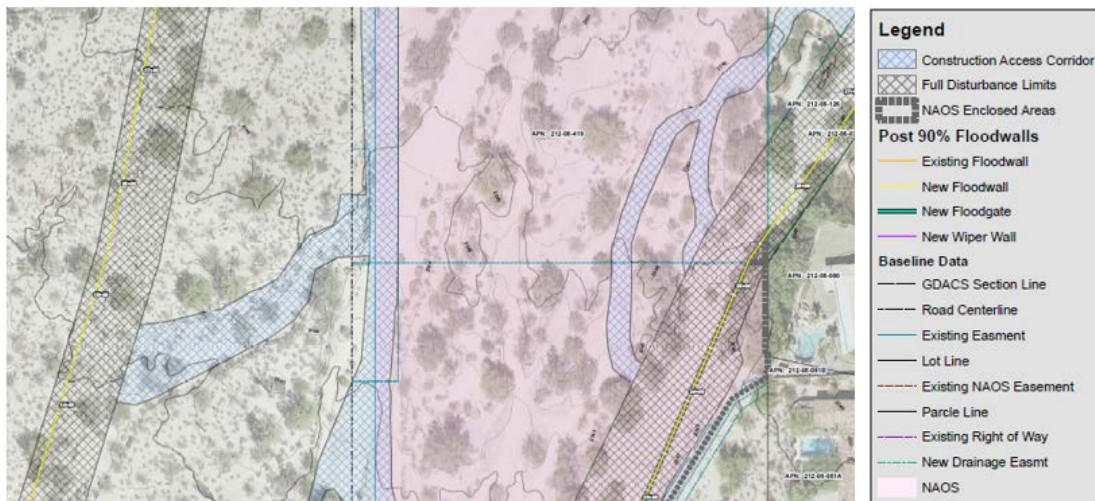
*Public safety and well-being will be top priority for the CMAR and project partners. At a minimum, the following measures will be used to protect the public and residents near or within the construction area:*

- *Aggressive water placement to control dust*
- *Use of temporary fencing at rear yards receiving wall improvements, to minimize access from the wash side and safely contain pets and animals.*
- *Location of staging areas to minimize impact and noise to residents*
- *Strict adherence to approved disturbance limits to preserve the natural form and character of the wash.*
- *Closure of Los Portones Drive to expedite improvement construction and minimize interface with traffic.*
- *Continuous communication of project progress, issues, and schedule with residents and especially those receiving improvements to their existing walls.*
- *Reasonable working hours to minimize noise disturbances during non-standard business hours.*

*Temporary drainage measures will be used to protect the ongoing work during rainfall events that produce flooding in Rawhide Wash. For events with significant flood potential, the CMAR will be required to relocate materials and equipment out of the active flow areas to avoid causing inadvertent diversions for flood impacts. Working the project from south to north will ensure that the full conveyance capacity is available prior to building the portions of the system that will control the apex flows and not allow any breakouts to the west.*

*The Rawhide Wash Mitigation project has created a “Construction Access Routes” plan and site plans that identifies existing Natural Area Open Space and the areas that will be disturbed and utilized for construction access. The plans illustrate areas that will not be disturbed because they have been identified as “protected terraces,” material storage areas, project disturbances areas, and wash access routes that utilizes the sandy bottoms of the wash (See Attachment #12). These elements were identified to create the least amount of disturbance to the Rawhide Wash. See example of site plan in “Figure 2” below.*

**Figure 2: Project Site Plan**



3. Ingress, egress, internal traffic circulation, off-street parking facilities, loading and service areas and pedestrian ways shall be designed as to promote safety and convenience.

- *The proposed wash modification will alter very limited areas of ingress and egress. The application will not modify any existing parking facilities, loading service areas, or internal circulations. The wash modification mainly focuses on improvements adjacent to the wash itself. There is a portion of the project that took into account a future project that will complete N. Miller Road, between E. Happy Valley Road and E. Pinnacle Peak Road. That capital improvement project will be presented to the Development Review Board as a separate application and vote.*

*The Rawhide Wash serves as dual purposes: regional drainageway and regional trail circulation. The Rawhide Wash is one of many important elements that provides recreational access throughout the City. The wash is utilized by many residents that enjoy hiking, walking, running, biking, and equestrian riding in the desert landscape. The project, when completed, will not prevent the recreational use from continuing. The project will also try to provide temporary access during some stages of construction.*

*The project does include a flood mitigation improvement to N. Los Portones Drive, just north of E. Pinnacle Peak Road, where the right-of-way crosses Rawhide Wash. The project proposes a FloodBreak improvement that would contain stormwater to the limits of the wash boundary. The FloodBreak floodgates proposed for N. Los Portones Drive are designed to be part of the road surface when not deployed. When floodwaters rise at the crossing, the floodgates will automatically raise with the floodwaters using buoyancy forces. When the floodwaters recede, the gates will automatically lower back into their tray and become part of the road surface again. The following graphics illustrate the concept (See "Figure 3" below).*

**Figure 3: Floodgate in non-deployed position (left) and being mechanically deployed (right)**



4. ESLO Wash Modification Criteria. It is the intent of this Ordinance to leave washes in place and in natural conditions where practical. When necessary, modifications to natural watercourses and all walls and fences crossing natural watercourses shall be designed in accordance with the standards and policies specified in Chapter 37 (Floodplain and Stormwater Regulation) of the Scottsdale Revised Code, and the Design Standards & Policies Manual. Requests to modify, redirect, or divert watercourses of fifty (50) cfs or greater flow in a one-hundred-year event shall include the following:

- a. Proposed modifications will result in an equal or enhanced quality of open space:

- *The modifications proposed by the project will result in an equal or enhanced quality of open space through the preservation of the natural wash function and look, while providing for flood risk reduction to the surrounding properties and removing the flow path uncertainty associated with the current alluvial fan apex. The project will also add to the permanently dedicated open space lands through the acquisition of approximately 32 acres of natural floodplain, preserving those lands for permanent open space.*
- b. Modifications will include restoration of the watercourse with vegetation of the same type and density removed:
- *One of the main project goals is to maintain the existing landscape and native vegetation within the Rawhide Wash corridor as much as possible. In areas requiring disturbance, native plant salvage will be conducted per city requirements and ordinances. Disturbed areas will be substantially graded to match the pre-construction grade and elevations. Revegetation of the disturbed areas will include replanting salvaged trees and cacti and augmenting as needed with tall-pot trees and shrubs using techniques developed by the Flood Control District of Maricopa County (FCDMC). A native seed mix will be applied to all surfaces except the active sandy-bottom areas of the wash. Temporary irrigation will be established as needed for the replanted salvage trees and other revegetation requiring irrigation, operated for the allowed 3-year period, and then removed. The FCDMC tall-pot trees do not require irrigation and have a relatively high survival rate.*
- All disturbed vegetation within the project limits will be restored using similar vegetation types and densities as undisturbed areas, including replanting of salvaged trees and cacti wherever possible. All plant material will be compliant with ESLO approved plant types as listed in the Scottsdale Revised Code.*
- c. Is the wash being directed or modified, if yes, the wash must enter and exit the site at the historic locations, and the result of the modifications shall not impact drainage considerations for adjacent properties:
- *The wash is being modified by controlling the breakouts at the alluvial fan apex and maintaining the conveyance of the full apex discharge to the improvements and Pinnacle Peak Road (and downstream). The Pinnacle Peak Road bridge, Silverstone Channel and Scottsdale Road bridge have all been designed to receive and convey these flows. Extensive coordination with the affected property owners has been conducted (mostly Arizona State Land Department) and all support the project goals.*
- d. Is the wash being diverted into a structural solution, if yes, the change must not impact the drainage conditions on adjacent properties and shall not reduce the integrity of any upstream or downstream corridor as meaningful open space:
- *The design is primarily configured to be a contained conveyance system of floodwalls and floodgates that remove the flow path uncertainty at the alluvial fan apex and maintain that conveyance capacity downstream. That conveyance and containment will be provided through the structural floodwalls and floodgates. Other miscellaneous flows that would have normally entered the wash through open surface drainage downstream of the apex, will be collected and conveyed to the wash via culvert/storm drain systems with special backflow prevention measures. All of these flows are accommodated for in the design, contained within existing easements, and will not cause adverse impacts to the project or adjacent lands.*



## **DEVELOPMENT INFORMATION**

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### **Project History**

The project design began with the concept design of the preferred conveyance alternative identified in the Pinnacle Peak West Area Drainage Master Study/Plan. At each major design step, the design details and the hydrology, hydraulics, sediment transport, and scour analyses (HHSTS) were updated and refined. The first step was to prepare a thirty-percent design and HHSTS package. A value engineering session was then conducted to identify potential cost-saving measures that would still meet the project objectives. The results of the value engineering session were incorporated, and the project design and HHSTS were advanced to a sixty-percent level. The sixty-percent package was initially submitted to the city as part of the DRB pre-application package.

Shortly after the sixty-percent design, the project partners chose to procure a construction manager at risk (CMAR) contractor and the project delivery converted to a CMAR process, wherein the CMAR contractor became part of the design process. Once the CMAR contractor was brought up to speed, the design and HHSTS advanced to 90% and a formal DRB package was submitted to the city. A native plant inventory of the anticipated project disturbance areas was also conducted around that time and submitted with the DRB package.

Shortly after that submittal, the Miller Road Project was initiated by the city. The Miller Road Project had a direct nexus with the Rawhide Wash Flood Hazard Mitigation Project at the Miller Road crossing of Rawhide Wash and effectively changed the scope of the Rawhide Project. The Rawhide Project was placed on hold until the Miller Road Project decided how the city wanted Miller Road to cross the wash. A bridge crossing was eventually selected, and the Rawhide and Miller Road Projects worked out the connections between the two projects. The proposed Miller Road bridge and attendant floodwalls and erosion protection measures were incorporated into the Rawhide Project's HHSTS analyses and was made part of the Rawhide Project's levee system. The 90% design and HHSTS package was modified to reflect the Miller Road Project's bridge and attendant floodwalls and erosion protection and was resubmitted to the city to replace the prior DRB submittal package. Modifications the project design and HHSTS have been made to address DRB review comments and the package stands at a ninety-five-percent level.

In a parallel process, the Rawhide Project developed a full Conditional Letter of Map Revision (CLOMR) package for submittal to the Federal Emergency Management Agency (FEMA) to seek preliminary approval of the Rawhide Project and Miller Road bridge improvements as meeting the National Flood Insurance Program (NFIP) levee standards. That package included all of the post-Miller Road bridge 90% design and HHSTS data.

Other reports and analyses performed included a significant nexus analysis (SNA) and approved jurisdictional determination (AJD) for Rawhide Wash per Section 404 of the Clean Water Act, biological and cultural resource assessments of the project area to satisfy the Endangered Species Act and National Historic Preservation Act, and a native landscape characterization

### **Community Involvement**

The proposal application is a collaboration between Maricopa County Flood Control District, the City of Phoenix, and the City of Scottsdale. The first public outreach announcements were in relationship to the intergovernmental agreements between the City of Scottsdale and the Flood Control District. The intergovernmental agreements identified the design measures taken to address the Special Flood Hazard Area (SFHA) identified by the Federal Emergency Management Agency (FEMA) in the Pinnacle Peak West (PPW) Area Master Drainage Study (ADMS). There were over 800 buildings located within

the SFHA. The proposal project had performed a series of public outreach measures prior to the Wash Modification application (7-WM-2020) being submitted as a formal request through the City of Scottsdale's development process. The project has conducted public outreach measures for approximately seven years. With the initial stages of the process, prior to the submittal of the Wash Modification application, the project team had:

- Contacted 33 community stakeholders
- Provide information to 397 residents and community representatives
- Conducted two public meetings meeting which held the attendance of 284 attendees

The project team also performed a series of additional surveys, "Floor Talk" events, one-on-one meetings, group meetings, stakeholders' meetings, and email notifications. Those involved were able to provide comments and ask questions about the PPW ADMS study. Please see Attachment #13 for a complete and detailed account of the public outreach performed prior to the submittal of the Wash Modification Application (May of 2020). City of Scottsdale planning staff began attending stakeholder meetings approximately a year prior to the submittal of the application, in addition to the Stormwater Department staff conducting the earlier meetings.

During the City's development review of the Wash Modification application, the project team continued the public outreach efforts. During this period, City of Scottsdale staff continued participated in communications and site visits with concerned residents and owners. The project coordinator became an additional recourse for city residents. Concerned residents were informed of each submittal, and comments returned to the submittal team. Staff also conducted on-site meetings with the process of the native plant inventory (See Attachment #14).

The Rawhide Project team has continued pro-active engagement with the community and residents that will be impacted by the project improvements. Since the resubmittal of the final "Citizen Involvement Report" (included in this report), the wash modification project team has conducted the following outreach:

- August 2021 – email and phone coordination with APN 212-05-211 (Dooley Property) on salvage of trees and requests for having salvaged trees returned to a location near their property,
- August 2021 – prepared and distributed community wide a project newsletter updating the residents on the project elements.
- September 2021 – Conducted public meeting with the Los Portones HOA community (includes Premier at Pinnacle Peak, Talara and Los Portones Townhomes residents). Presented project progress and answered questions/concerns.
- September 2021 – email exchange with Loreen Leitzen to answer follow-up questions to the public meeting.
- January 2022 – email exchange with Loreen Leitzen to provide an update on the project activities and schedule.
- February 2022 – email coordination with Happy Valley Ranch HOA representative (Ron Finkel) on concerns about recent tree tags and implications to the residents and promises made. Assured Ron that the project will protect the trees we committed to protect and will look at others to see if they can be protected as well.

- February 2022 – email coordination and site meeting with APN 212-12-290 (Braunstein Property – Brandy Solinski and parents Don & Roberta Braunstein) owners to discuss their concerns and answer questions about the project impacts to their property.
- March 2022 - Met with individual residents during native plant inventory, and an on-site meeting with at La Vista at Pinnacle Peak residents.

As alluded to in the paragraphs above, the project team and City staff have received significant public correspondence (See Attachment #14). The community has expressed concerns with differencing elements of the proposal. Initial comments focused on the reason for the project’s proposal and the need for the project at this time. Some of the more common expressed concerns include:

- Loss of mature vegetation in the wash and/or adjacent to their homes,
- Loss of view due to required wall raises and/or new wall construction,
- Concerns about increased dust, noise, vibrations, insect/snake activity, Valley Fever, lot security, and other typical construction related issues,
- Concerns with duration of completion of the project (i.e. timing, noise, etc.),
- Objections to the granting of easements required for maintenance and inspection of the floodwall per FEMA requirements,
- Confirmation of effects on properties concerning flood insurance,
- Concerns over the associated N. Miller Road project,
- Unauthorized motorized use of the wash by trespassers,
- Raising portions of floodwalls to provide screening and “safety,”
- Whom would benefit from the project.

Resident requests, and proposed solutions, included the following elements:

- Planting particular salvage trees/cacti back to original locations,
- Not moving forward with the project,
- Adding gate access through rear walls
- Adding additional block to existing walls to add privacy from the future Miller Road improvements
- Using very specific block and mortar type/color for new walls (Happy Valley Ranch HOA).

Staff, and the applicant team, have attempted to mitigate the concerns and accommodate the special requests. Some of the resident requests and solutions were not possible for the project to implement, and staff and the project team have tried to provide the residents responses as to why the requests cannot be completed.

### **Context**

The subject project area includes an approximate mile and a quarter of the Rawhide Wash. The northern boundary of the project area is located approximately 1,500 feet north of E. Happy Valley Road. The project extends south, to E. Pinnacle Peak Road. The western/northern edge of the wash area is lined with AZ State Lands and various residential uses, including single-family and multi-family communities (i.e., Pinnacle Reserve East, Pinnacle Reserve II, Talara, Premier at Pinnacle Peak). The southern/eastern boundary of the was is flanked with various metes and bounds developments, various residential uses, including single-family and multi-family communities (i.e., Happy Valley Ranch, Santa Catalina Estates, La Vista, and Los Portones), and commercial office (Pinnacle Peak Office Park).

**Stipulations for the  
Development Review Board Application:  
Rawhide Wash Flood Hazard Mitigation Project  
Case Number: 7-WM-2020**

These stipulations are intended to protect the public health, safety, welfare, and the City of Scottsdale.

**APPLICABLE DOCUMENTS AND PLANS:**

1. Except as required by the Scottsdale Revised Code (SRC), the Design Standards and Policies Manual (DSPM), and the other stipulations herein, the site design and construction shall substantially conform to the following documents:
  - a. The location and configuration of all site improvements shall be consistent with the site plan submitted by JE Fuller, with a city staff date of March 17, 2022.
  - b. Landscape improvements, including quantity, size, and location shall be installed to be consistent with the preliminary landscape plan submitted by Dig Studio, with a city staff date of March 17, 2022.
  - c. The case drainage report submitted by JE Fuller and accepted in concept by the Stormwater Management Department of the Planning and Development Services.
  - d. The location and configuration of wall improvements shall be consistent with the wall height analysis plans and elevations submitted by JE Fuller, with a city staff date of March 17, 2022.
  - e. The location and configuration of site disturbances and access paths shall be consistent with the Rawhide Wash Flood Mitigation Construction Access Routes plan submitted by JE Fuller, with a city staff date of March 17, 2022.
  - f. The disturbances of NAOS areas shall be limited to be consistent with the NAOS Impacts Analysis table submitted by JE Fuller, with a city staff date of March 17, 2022.

**ARCHAEOLOGICAL RESOURCES:**

**Ordinance**

- A. Any development on the property is subject to the requirements of Scottsdale Revised Code, Chapter 46, Article VI, Section 46-134 - Discoveries of archaeological resources during construction.

**SITE DESIGN:**

**DRB Stipulations**

2. Final plans submittal shall provide detailed construction plans identifying floodgate construction and details.
3. Shared use path located at the N. Pinnacle Peak Road culvert shall be a minimum 10-foot-wide as, per staff and applicant correspondence.
4. Final plans submittal shall provide engineer signed and sealed project safety rail assessment memorandum. Memorandum may be updated and provided as part of the final plans package.

5. All relevant waterlines and sewerlines shall be identified with final plans submittal and shall provide all construction drawing profiles and confirm/provide sufficient protection as per DSPM requirements. Water resources shall approve the plans prior to final plans approval.

**NATURAL AREA OPEN SPACE (NAOS):**

**Ordinance**

- B. Disturbed NAOS shall be revegetated to a natural state and densities where improvements or scour protection is not located. Designated NAOS areas that shall contain scour protection shall reseed to a natural state and provide trees according to the landscape plan.

**DRB Stipulations**

6. Disturbances shall be in accordance with NAOS Impacts Analysis table.

**LANDSCAPE DESIGN:**

**Ordinance**

- C. The property owner shall obtain approval of a Salvage/Native Plant Plan Application and obtain a permit to remove any tree.

**DRB Stipulations**

7. Prior to the issuance of any building permit for the development project, the property owner shall submit landscape improvement plans that demonstrate how the salvaged vegetation from the site will be incorporated into the design of the landscape improvements.
8. Prior to the issuance of any building permit for the development project, the property owner shall submit landscape improvement plans that demonstrate the utilization of the City of Scottsdale Supplement to MAG Standard Specifications for the landscape and irrigation improvements within the public rights-of-way.
9. With the final plans submittal, the property owner shall update the landscape plans to show all utility lines and ensure that all new trees are placed at least eight (8) feet away from any utility lines.
10. All sidewalks shall be integral colored concrete to match Davis, San Diego Buff.
11. All curb ramps for public and pedestrian sidewalks that intersect public and private streets, or driveways that intersect public and private streets, shall have truncated domes that are colored to match Frazee Western Reserve (8617N) color, or Sherman Williams (SW7055) Enduring Bronze (246-C7).

**DRAINAGE AND FLOOD CONTROL:**

**DRB Stipulations**

12. With the civil construction document submittal, the property owner shall submit a final drainage report that demonstrates consistency with the DSPM and the case drainage report accepted in concept by the Stormwater Manager or designee.
13. Demonstrate consistency with the accepted master drainage plan and report.
  - a. For any design that modifies the accepted master drainage report, the property owner shall submit a site-specific addendum to the final drainage report and plan, subject to review and acceptance by the Stormwater Manager or designee.

- b. An addendum generated by the final drainage analysis for this site shall be added to the appendix of the final drainage report.

14. All headwalls and drainage structures shall be integrally colored concrete to blend with the color of the surrounding natural desert.

**MULTI-USE TRAILS AND PATHS:**

**DRB Stipulations**

15. Prior to the issuance of any building permit for the development project, the property developer shall submit and obtain approval of civil construction documents to construct a minimum 10-foot-wide shared use path located at the N. Pinnacle Peak Road culvert. The alignment of the multi-use trail shall be subject to approval by the city's Transportation General Manager or designee and shall be designed in conformance with the Design Standards and Policies Manual. The owner shall provide signs and markers for all trails as specified in the Design Standards and Policies Manual. The location and design of the signs and markers shall be shown on the civil construction documents.

**EASEMENTS DEDICATIONS:**

**DRB Stipulations**

16. Prior to the issuance of any building permit for the development project, the property developer shall provide evidence of acquired access and/or drainage easements as appropriate for the commencement and completion of the project.

- a. A continuous Vista Corridor Easement to cover any watercourse with a peak flow rate of 750 cubic feet per second or greater, based on the 100-year – 2-hour rain event. The minimum width of the easement(s) shall be one hundred feet. Each easement shall include, at a minimum, any existing low flow channels, all major vegetation, and the area between the tops of the banks of the watercourse.
- b. A continuous Public Non-Motorized Access Easement to the City of Scottsdale to contain any portion of the public sidewalk or trail access in locations where the sidewalk crosses on to a private lot.

17. Prior to the issuance of any building permit for the development project, the property developer shall provide evidence of acquired parcels of land as appropriate for the commencement and completion of the project.

**ADDITIONAL ITEMS:**

**DRB Stipulations**

18. MARSHALLING AND STORAGE YARDS. Any use of City right-of-way, including alleys, for marshalling and/or storage yards shall require prior approval of the City's Transportation Department and payment of any associated fees through the application of a Marshalling and Storage yard permit.

19. SIGNAGE. Signage shall be provided in accordance with code to identify restriction of motorized vehicle access.

**RAWHIDE WASH  
FLOOD HAZARD  
MITIGATION PROJECT  
FCD 2018C015 - WA#1  
COS 284-PA-2019  
CASE NO. 7-WM-2020**

**Legend**

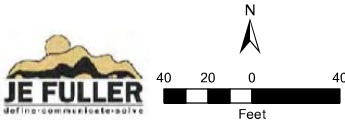
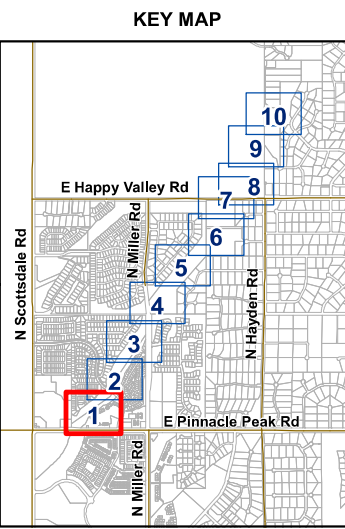
- Construction Access Corridor
- Full Disturbance Limits
- NAOS Enclosed Areas

**Post 90% Floodwalls**

- Existing Floodwall
- New Floodwall
- New Floodgate
- New Wiper Wall

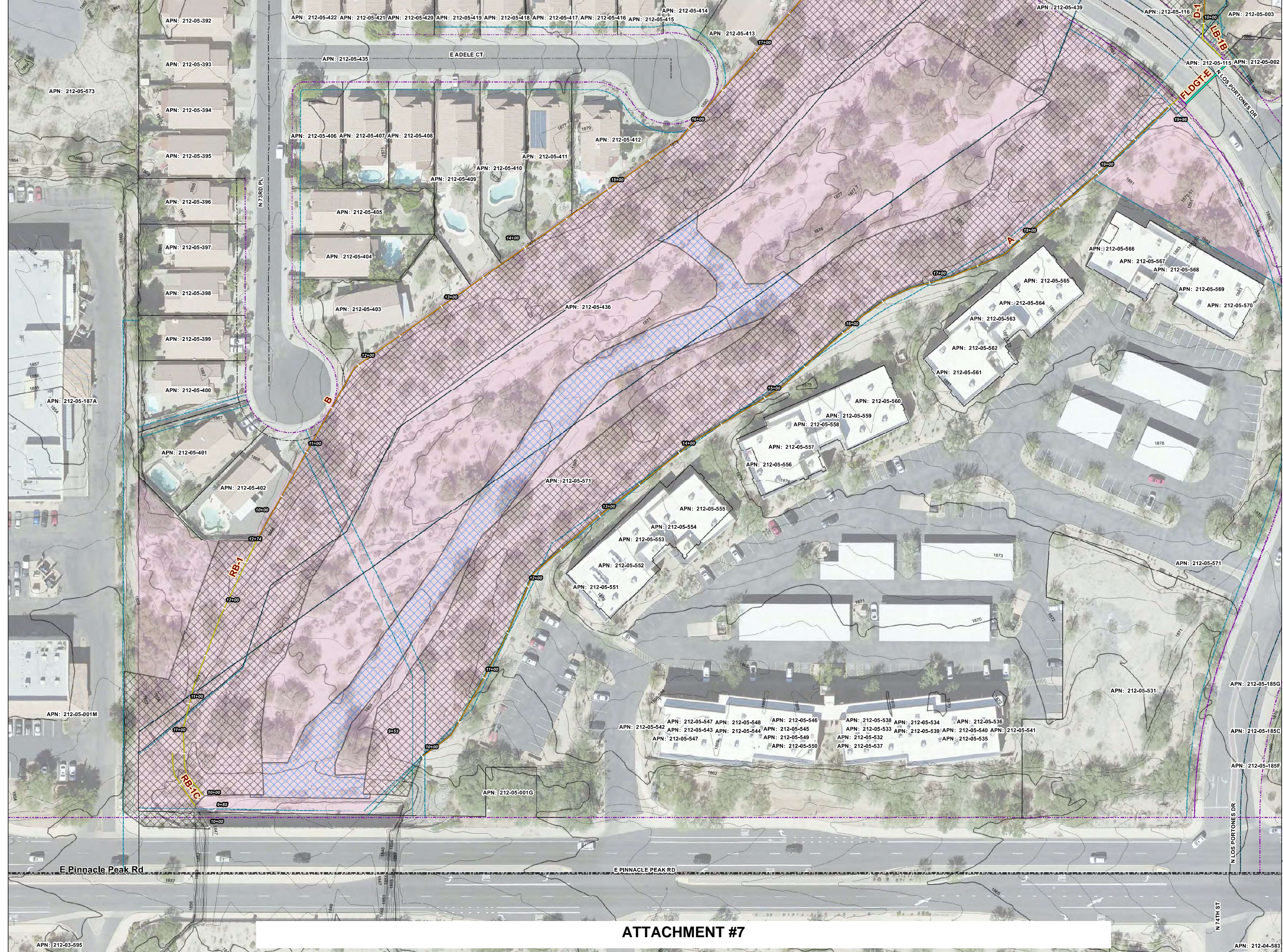
**Baseline Data**

- GDACS Section Line
- Road Centerline
- Existing Easment
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- Parcle Line
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- New Drainage Easmt
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**PROJECT  
SITE PLAN**

Sheet 1 of 10







**RAWHIDE WASH  
FLOOD HAZARD  
MITIGATION PROJECT  
FCD 2018C015 - WA#1  
COS 284-PA-2019  
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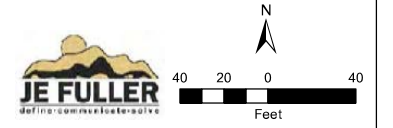
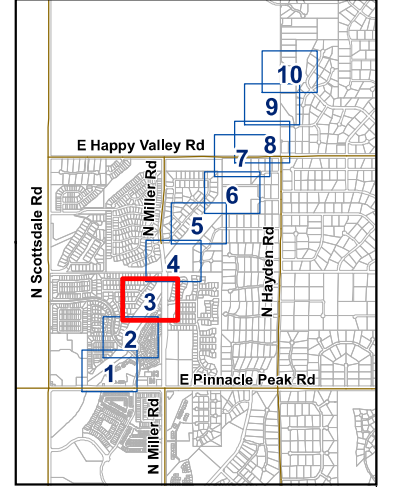
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SEE MILLER ROAD  
PROJECT FOR  
DISTURBANCE LIMITS



**KEY MAP**



**PROJECT  
SITE PLAN**

**RAWHIDE WASH  
FLOOD HAZARD  
MITIGATION PROJECT  
FCD 2018C015 - WA#1  
COS 284-PA-2019  
CASE NO. 7-WM-2020**

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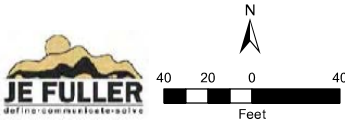
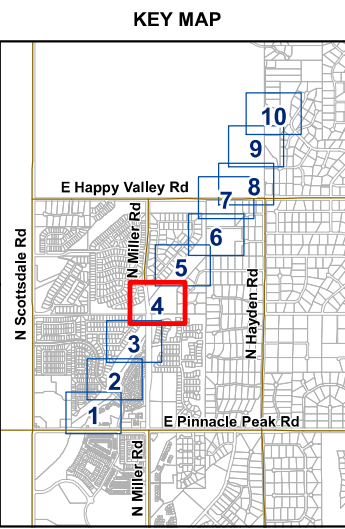
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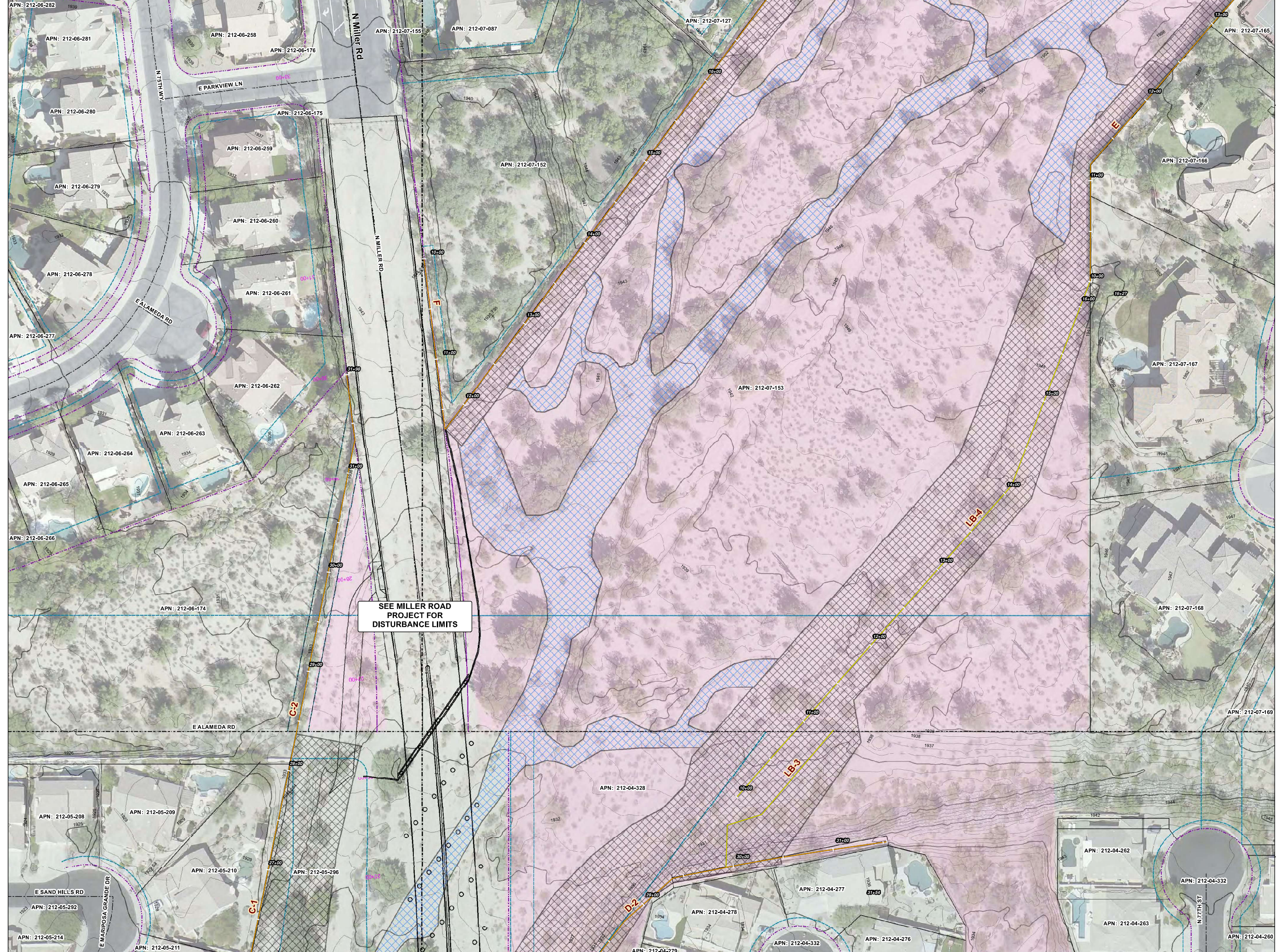
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**PROJECT  
SITE PLAN**

Sheet 4 of 10







**RAWHIDE WASH  
FLOOD HAZARD  
MITIGATION PROJECT  
FCD 2018C015 - WA#1  
COS 284-PA-2019  
CASE NO. 7-WM-2020**










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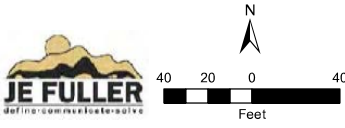
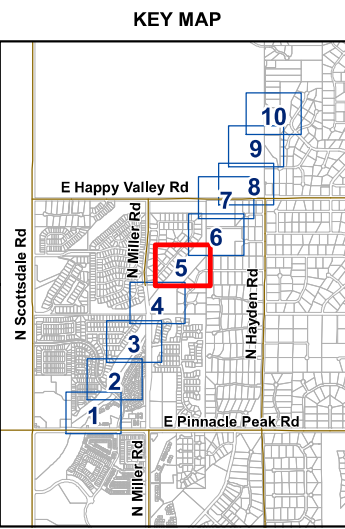
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**PROJECT  
SITE PLAN**

Sheet 5 of 10







**RAWHIDE WASH  
FLOOD HAZARD  
MITIGATION PROJECT  
FCD 2018C015 - WA#1  
COS 284-PA-2019  
CASE NO. 7-WM-2020**










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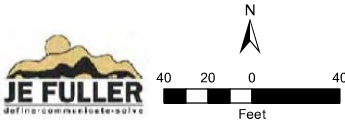
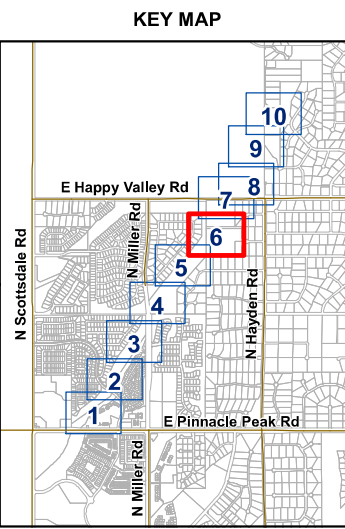
-  Construction Access Corridor
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**Post 90% Floodwalls**

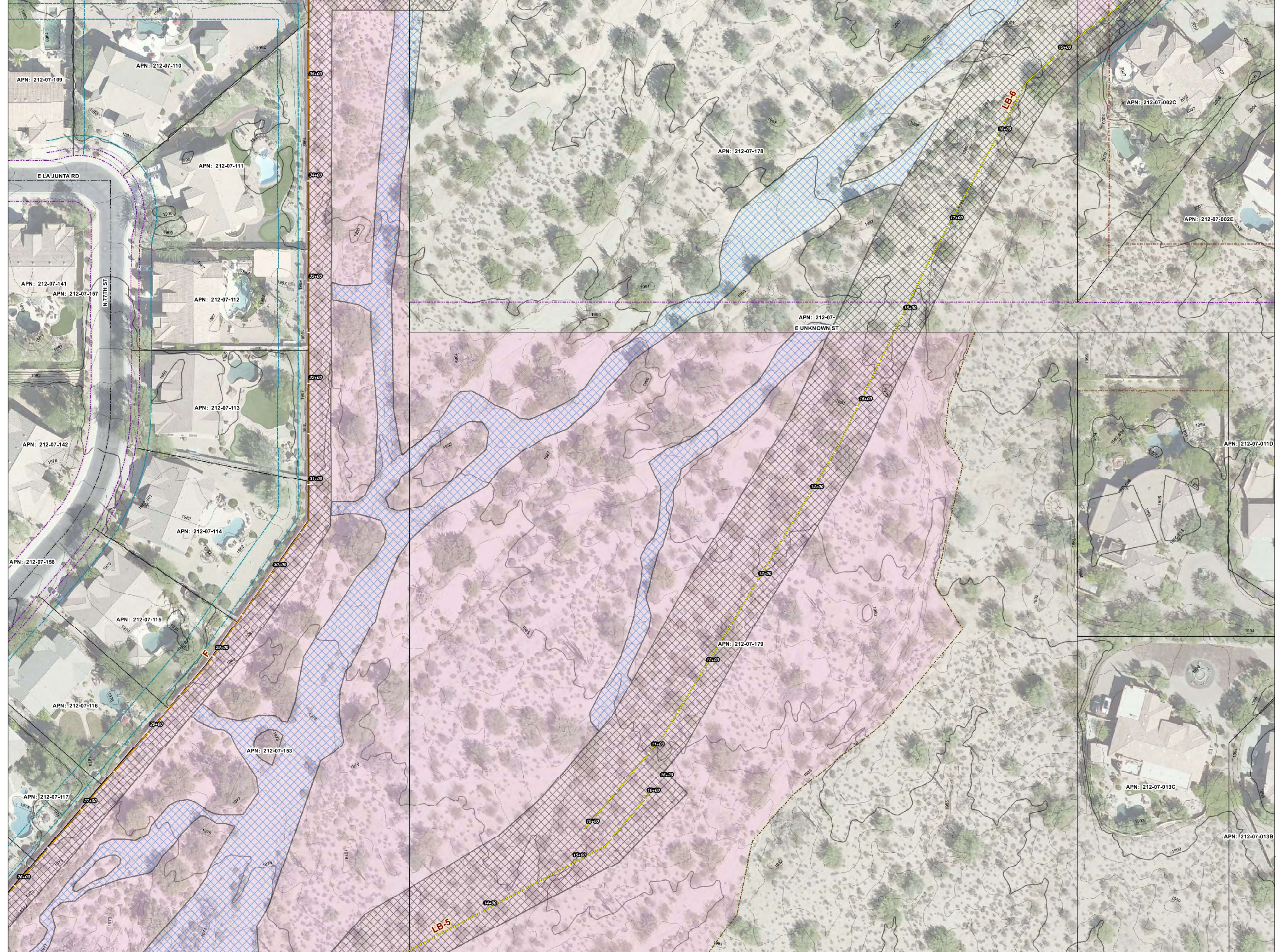
-  Existing Floodwall
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**PROJECT  
SITE PLAN**







**RAWHIDE WASH  
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







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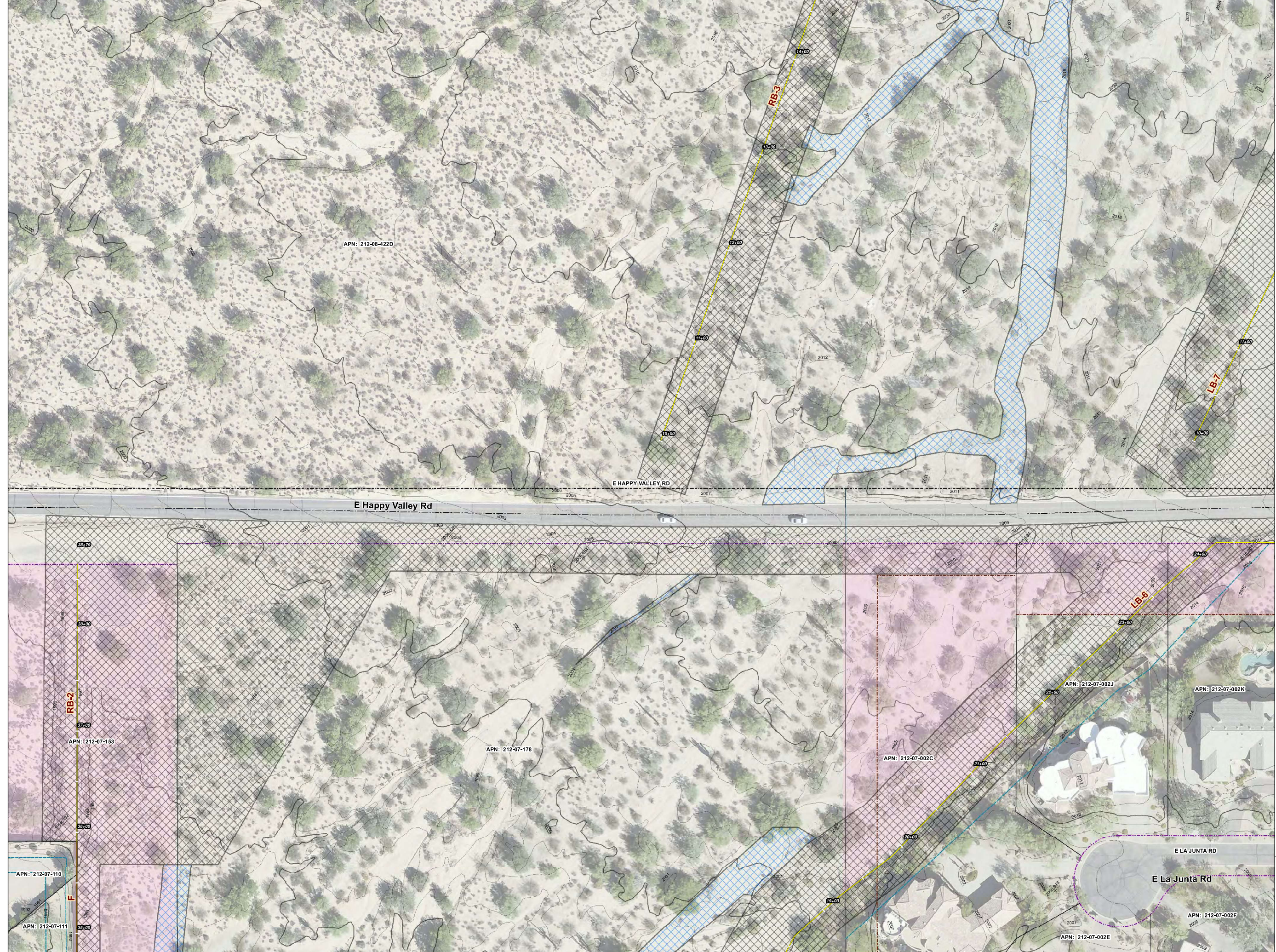
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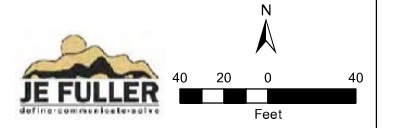
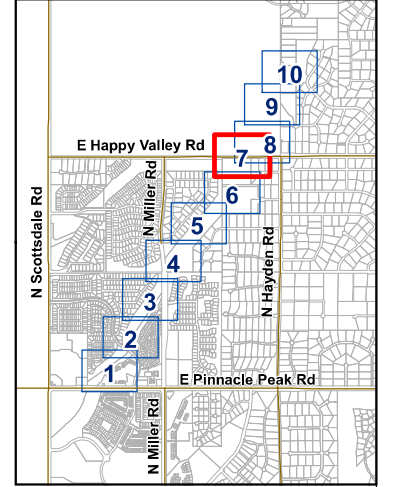
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**KEY MAP**







**PROJECT  
SITE PLAN**

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MITIGATION PROJECT  
FCD 2018C015 - WA#1  
COS 284-PA-2019  
CASE NO. 7-WM-2020**










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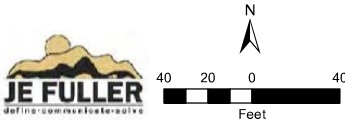
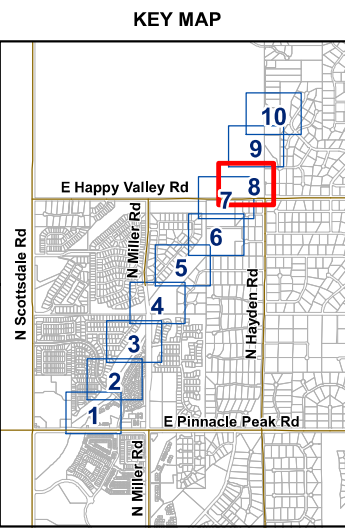
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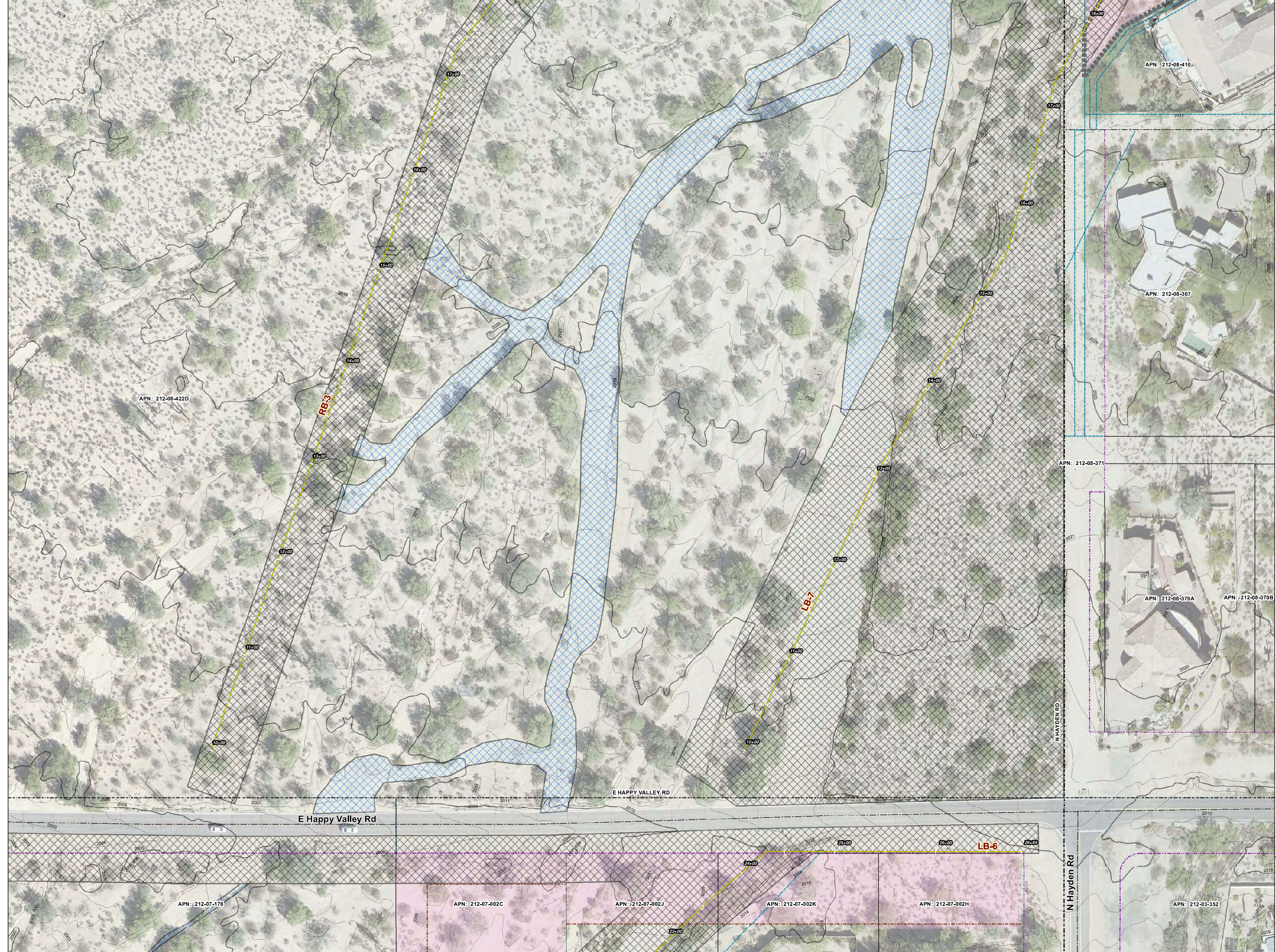
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**PROJECT  
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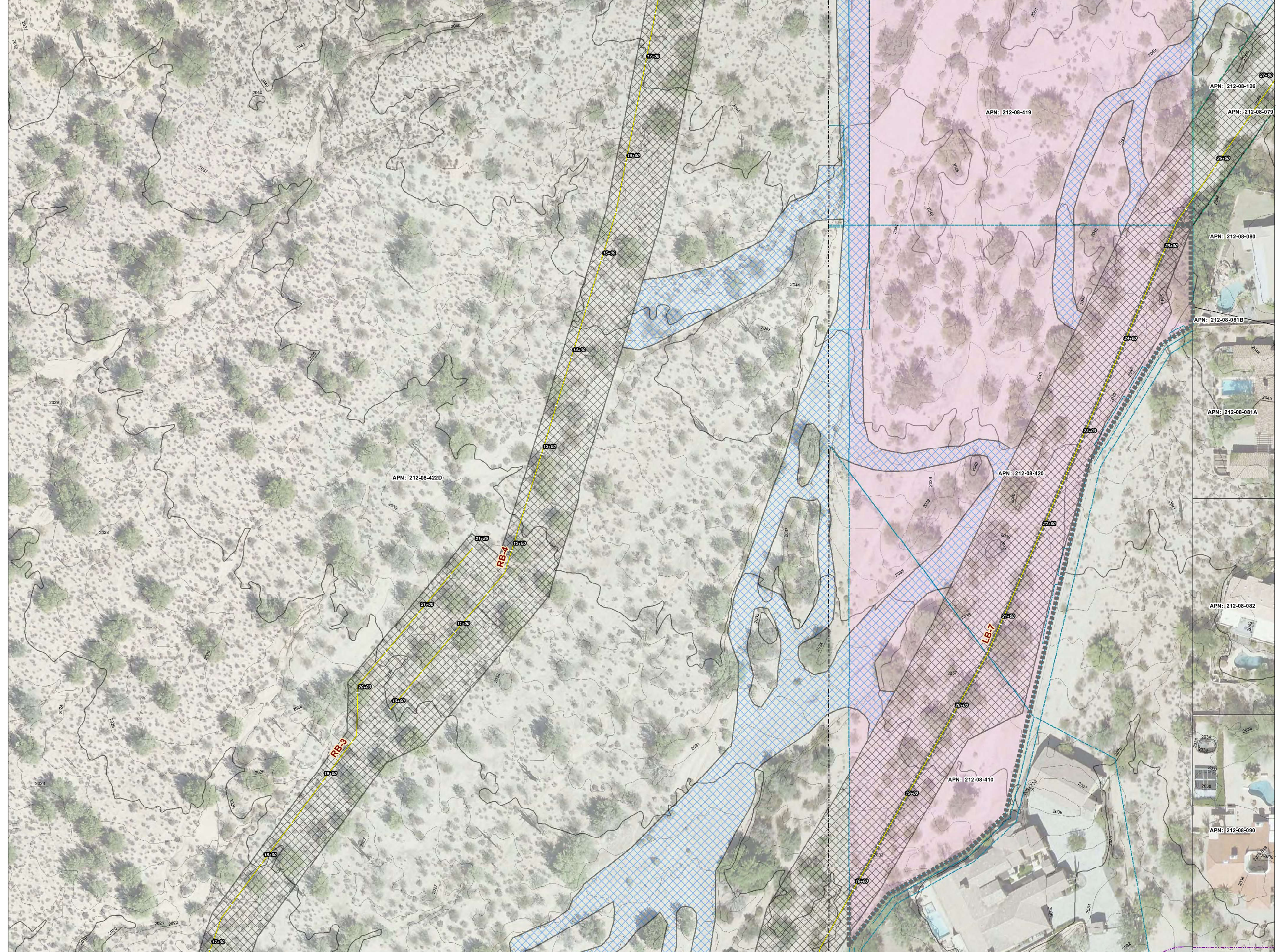
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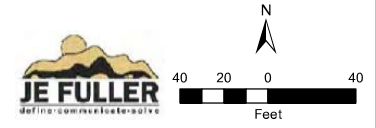
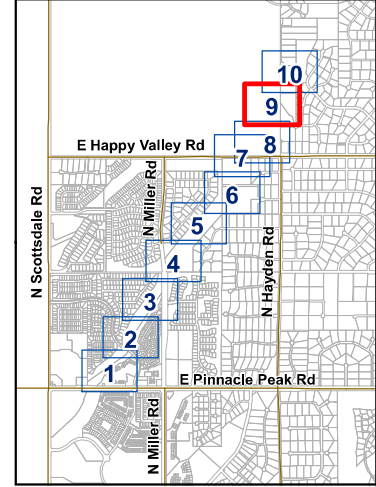
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**KEY MAP**







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







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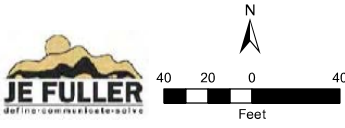
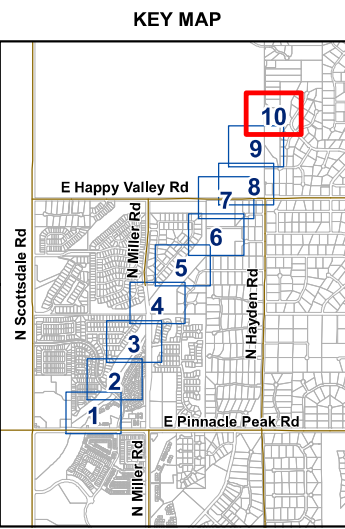
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**PROJECT  
SITE PLAN**

Sheet 10 of 10

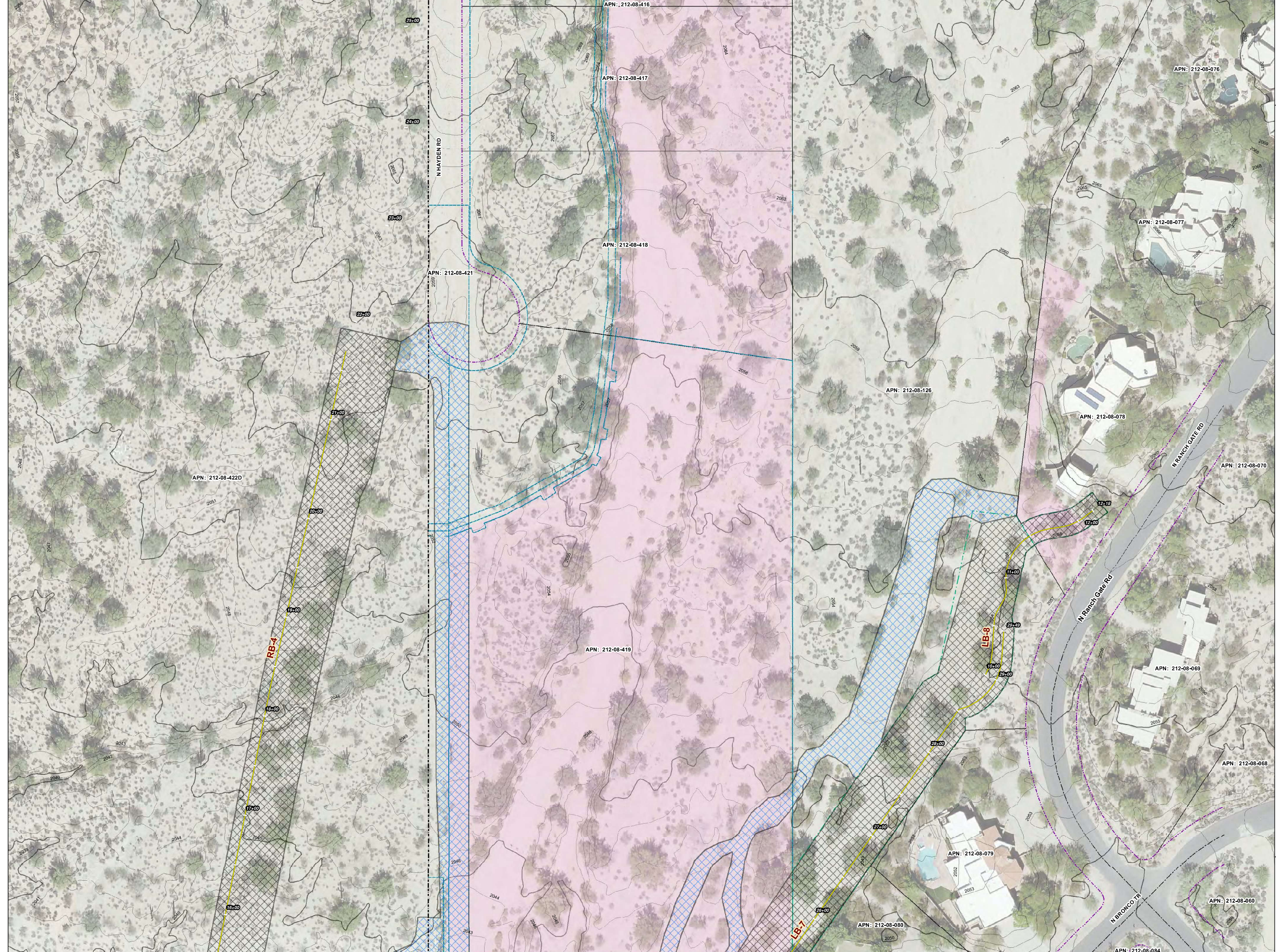




TABLE B-1

Rawhide Wash FHMP; FCD2018C015, WA#1  
 City of Scottsdale 284-PA-2019; Case No. 7-WM-2020  
 JE Fuller / Hydrology & Geomorphology, Inc.

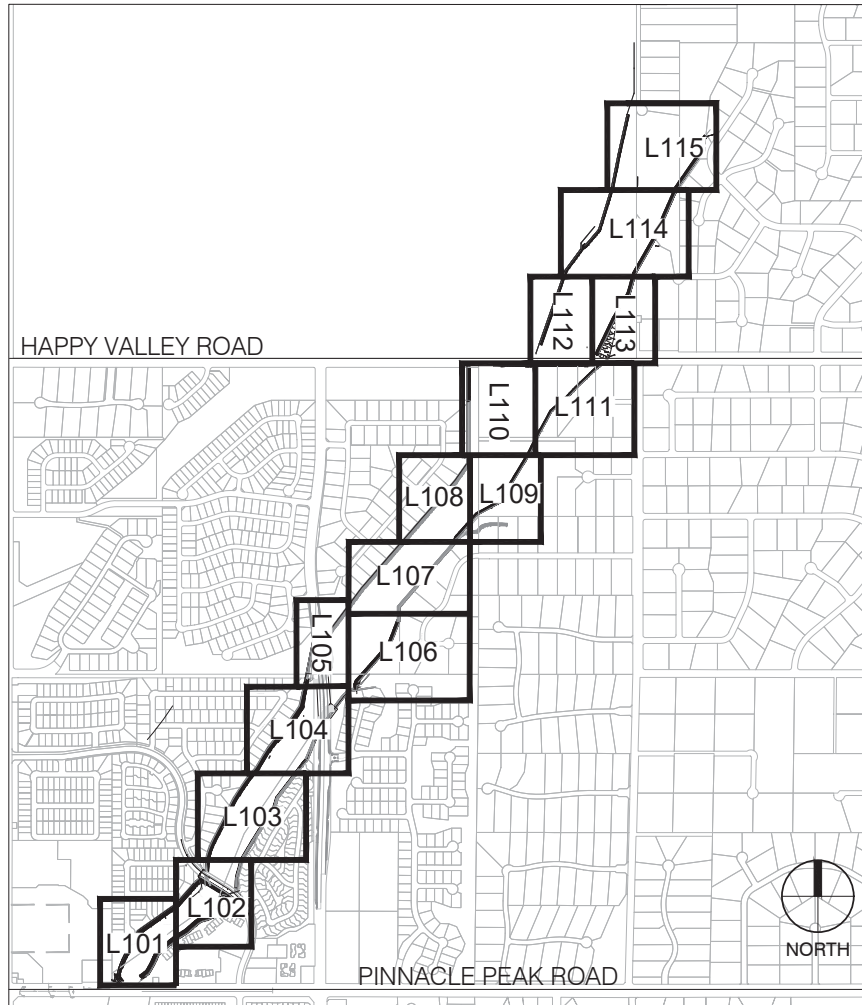
DATE: August 2, 2021

PARCEL DESCRIPTION/NAME	PARCEL APN	TRACT/ LOT	Site Plan Sheet(s)	LOCATION ADDRESS	NAOS Dedicated Area	NAOS IMPACTS								Revegetation Summaries		
						Full Disturbance		Access/Travel Route Corridor		TOTAL of ALL Disturbances		"Enclosed" NAOS Area Created by Project		Reveg Area in Acres	Non Reveg Area in Acres	Non Reveg Percent Reduction in Total NAOS
						Area in Acres	Percent of NAOS	Area in Acres	Percent of NAOS	Area in Acres	Percent of NAOS	Area in Acres	Percent of NAOS			
La Vista Replat_532PLAT502	212-04-328	A	3 & 4	7652 E MARIPOSA GRANDE DR	19.52	0.864	4.43%	0.106	0.54%	0.97	4.97%	0	5.51%	0.935	0.035	0.18%
Premiere at Pinnacle Peak_350PLAT383	212-05-436	C	1 & 2	E. Los Portones Dr	4.21	2.06	48.93%	0.228	5.42%	2.288	54.35%	0	59.76%	2.279	0.009	0.21%
Pinnacle Peak Office Park_753PLAT1610	212-05-571	A	1 & 2	7399 E PINNACLE PEAK RD	0.212	0	0.00%	0	0.00%	0	0.00%	0	0.00%	0	0	0.00%
Pinnacle Peak Office Park_753PLAT1610	212-05-571	B	1 & 2	7400 E PINNACLE PEAK RD	3.133	1.929	61.57%	0.37	11.81%	2.299	73.38%	0	85.19%	2.299	0	0.00%
Kort Residence (Doc No. 19980371713)	212-07-002C	---	7 & 8	7910 E LA JUNTA RD	1.05	0.418	39.81%	0	0.00%	0.418	39.81%	0	39.81%	0.39	0.028	2.67%
Novicki Residence (Doc No. 19950269526)	212-07-002J	---	7 & 8	7930 E LA JUNTA RD	0.25	0.191	76.40%	0	0.00%	0.191	76.40%	0	76.40%	0.186	0.005	2.00%
Narayanan Residence (Doc No. 19970388012)	212-07-002K	---	7 & 8	7950 E LA JUNTA RD	0.25	0.09	36.00%	0	0.00%	0.09	36.00%	0	36.00%	0.077	0.013	5.20%
Pinnacle Peak Reserve East_420PLAT473	212-07-153	B	4 - 7	24201 N MILLER RD	27.61	4.113	14.90%	3.933	14.24%	8.046	29.14%	0	43.39%	8.015	0.031	0.11%
Cothrun Residence_1180PLAT222	212-07-179	1	5 & 6	7910 E CHAMA RD	6.69	1.454	21.73%	0.415	6.20%	1.869	27.94%	0	34.14%	1.8259	0.0431	0.64%
Doherty Easmt (MCR #193-39)	212-08-078	68	10	25412 N RANCH GATE RD	0.186	0.03	16.13%	0	0.00%	0.03	16.13%	0	16.13%	0.024	0.006	3.23%
Arroyo Bonito Lot 9 (978PLAT363)	212-08-419	9	9	25431 N HAYDEN RD	4.306	0.077	1.79%	0.351	8.15%	0.428	9.94%	0.004	18.09%	0.4243	0.0037	0.09%
Ramirez Lot 2a (MCR # 1518-01)	212-08-441	2a	8 & 9	8014 E SADDLE HORN RD	3.414	1.339	39.22%	0.369	10.81%	1.708	50.03%	0.801	60.84%	1.622	0.086	2.52%
<b>PROJECT-WIDE TOTALS:</b>					<b>70.831</b>	<b>12.565</b>	<b>17.74%</b>	<b>5.772</b>	<b>8.15%</b>	<b>18.337</b>	<b>25.89%</b>	<b>0.805</b>	<b>1.14%</b>	<b>18.0772</b>	<b>0.2598</b>	<b>0.37%</b>

# RAWHIDE WASH

90% LANDSCAPE CONSTRUCTION DOCUMENTS

KEYMAP:



## TEAM INFORMATION:

OWNER/DEVELOPER:  
MARICOPA FLOOD CONTROL DISTRICT  
NAZAR NABATY  
2801 W DURANGO ST.  
PHOENIX, ARIZONA 85009  
P: 602.506.4592  
E: NAZARNABATY@MAIL.MARICOPA.GOV

LANDSCAPE ARCHITECT:  
DIG STUDIO INC.  
JAY HICKS  
600 N. 4TH ST., SUITE D  
PHOENIX, ARIZONA 85004  
P: 602.595.4101  
E: jay@digstudio.com

CIVIL ENGINEER:  
JE FULLER  
SCOTT OGDEN  
8400 S KYRENE RD, SUITE 201  
TEMPE, AZ 85284  
P: 480.752.2124  
E: SCOTT@JEFULLER.COM

## CITY OF SCOTTSDALE LANDSCAPE GENERAL NOTES

- AREAS OF DECOMPOSED GRANITE (IF YOUR IN A ELSO AREA, DELETE THE "DECOMPOSED GRANITE" AND PUT "SALVAGED DESERT SURFACE SOIL") WITHOUT PLANT MATERIALS/GROUNDCOVERS SHALL NOT EXCEED DIMENSIONS OF MORE THAN 7 FEET IN ANY ONE DIRECTION, MEASURED BETWEEN PLANT CANOPIES AND/OR COVERAGE.
- A MINIMUM OF 50 PERCENTAGE (UNLESS OTHERWISE STIPULATED BY THE DEVELOPMENT REVIEW BOARD, AND/OR THE ZONING ORDINANCE REQUIREMENTS) OF THE PROVIDED TREES SHALL BE MATURE TREES, PURSUANT TO THE CITY OF SCOTTSDALE'S ZONING ORDINANCE ARTICLE X, SECTION 10.301, AS DEFINED IN THE CITY OF SCOTTSDALE'S ZONING ORDINANCE ARTICLE III, SECTION 3.100.
- A SINGLE TRUNK TREE'S CALIPER SIZE, THAT IS TO BE EQUAL TO OR LESS THAN 4-INCHES, SHALL BE DETERMINED BY UTILIZING THE SMALLEST DIAMETER OF THE TRUNK 6-INCHES ABOVE FINISHED GRADE ADJACENT TO THE TRUNK. A TREE'S CALIPER SIZE, FOR SINGLE TRUNK TREES THAT ARE TO HAVE A DIAMETER GREATER THAN 4-INCHES, SHALL BE DETERMINED BY UTILIZING THE SMALLEST DIAMETER OF THE TRUNK 12-INCHES ABOVE FINISHED GRADE ADJACENT TO THE TRUNK. A MULTIPLE TRUNK TREE'S CALIPER SIZE IS MEASURED AT 6" ABOVE THE LOCATION THAT THE TRUNK SPLITS ORIGINATES, OR 6" ABOVE FINISHED GRADE IF ALL TRUNKS ORIGINATE FROM THE SOIL.
- AREA WITHIN THE SIGHT DISTANCE TRIANGLES IS TO BE CLEAR OF LANDSCAPING, SIGNS, OR OTHER VISIBILITY OBSTRUCTIONS WITH A HEIGHT GREATER THAN 1.5 FEET. TREES WITHIN THE SIGHT TRIANGLE SHALL HAVE A SINGLE TRUNK AND A CANOPY THAT BEGINS AT 8 FEET IN HEIGHT UPON INSTALLATION. ALL HEIGHTS ARE MEASURED FROM NEAREST STREET LINE ELEVATION.
- NO TURF AREAS ARE TO BE PROVIDED.
- RETENTION/DETENTION BASINS SHALL BE CONSTRUCTED SOLELY FROM THE APPROVED CIVIL PLANS. ANY ALTERATION OF THE APPROVED DESIGN (ADDITIONAL FILL, BOULDERS, ETC.) SHALL REQUIRE ADDITIONAL FINAL PLANS STAFF REVIEW AND APPROVAL.
- ALL RIGHTS-OF-WAY ADJACENT TO THIS PROPERTY SHALL BE LANDSCAPED AND MAINTAINED BY THE PROPERTY OWNER.
- PRIOR TO THE ESTABLISHMENT OF WATER SERVICE, NON-RESIDENTIAL PROJECTS WITH AN ESTIMATED ANNUAL WATER DEMAND OF TEN (10) ACRE-FEET OR MORE SHALL SUBMIT A
- CONSERVATION PLAN IN CONFORMANCE WITH SECTIONS 49-245 THROUGH 49-248 OF THE CITY CODE TO THE WATER CONSERVATION OFFICE.
- TURF SHALL BE LIMITED TO THE MAXIMUM AREA SPECIFIED IN SECTIONS 49-245 THROUGH 49-248 OF THE CITY CODE AND SHALL BE SHOWN ON LANDSCAPE PLANS SUBMITTED AT THE TIME OF FINAL PLANS.
- NO LIGHTING IS APPROVED WITH THE SUBMITTAL.
- THE APPROVAL OF THESE PLANS RECOGNIZE THE CONSTRUCTION OF A LOW VOLTAGE SYSTEM AND DOES NOT AUTHORIZE ANY VIOLATION OF THE CURRENT CITY OF SCOTTSDALE ADOPTED ELECTRICAL CODE.
- THE LANDSCAPE SPECIFICATION SECTION(S) OF THESE PLANS HAVE NOT REVIEWED AND SHALL NOT BE PART OF THE CITY OF SCOTTSDALE'S APPROVAL.
- ALL SIGNS REQUIRE SEPARATE PERMITS AND APPROVALS.
- NEW LANDSCAPING, INCLUDING SALVAGED PLANT MATERIAL, AND LANDSCAPING INDICATED TO REMAIN, WHICH IS DESTROYED, DAMAGED, OR EXPIRES DURING CONSTRUCTION SHALL BE REPLACED WITH LIKE SIZE, KIND, AND QUANTITY PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY / LETTER OF ACCEPTANCE TO THE SATISFACTION OF THE INSPECTION SERVICES STAFF.
- ALL REVEGETATED NAOS SHALL BE WATERED FOR 3 YEARS. AT THE END OF 3 YEARS, THE IRRIGATION SYSTEMS TO THE REVEGETATED NAOS SHALL BE PERMANENTLY DISCONNECTED.
- NO IRRIGATION SHALL BE PROVIDED TO UNDISTURBED NATURAL AREA OPEN SPACE (NAOS) AREAS.
- PROVIDE THE NATURAL AREA OPEN SPACE (NAOS) AND LIMITS OF CONSTRUCTION (LOC) PROTECTION PROGRAM ON THE PLANS:

### NATURAL AREA OPEN SPACE (NAOS) AND LIMITS OF CONSTRUCTION (LOC) PROTECTION PROGRAM:

- NO BUILDING, GRADING, OR CONSTRUCTION ACTIVITY SHALL ENCROACH INTO AREAS DESIGNATED AS NAOS, OR OUTSIDE THE DESIGNATED LIMITS OF CONSTRUCTION ENVELOPE.
- ALL NAOS AND AREA OUTSIDE OF THE LOC SHALL BE PROTECTED FROM DAMAGE PRIOR TO, AND DURING CONSTRUCTION BY THE FOLLOW METHODS:
  - A REGISTERED LAND SURVEYOR SHALL STAKE ALL NAOS AND LOC DISTURBANCE BASED ON THIS EXHIBIT.
  - + THREE (3) FOOT TALL STEEL REBAR, OR CITY OF SCOTTSDALE INSPECTION SERVICES APPROVED SIMILAR, SHALL BE SET ALONG THE NAOS AND LOC, AND CONNECTED WITH GOLD ROPING BY THE CONTRACTOR PRIOR TO ANY CLEARING OR GRADING.
  - ALL CACTUS SUBJECT TO THE CITY OF SCOTTSDALE'S NATIVE PLANT ORDINANCE DIRECTLY ADJACENT, WITHIN TWO FEET, OF THE NAOS AND LOC LINE SHALL BE FENCED WITH WIRE FENCING TO PREVENT DAMAGE.
  - THE CONTRACTOR SHALL MAINTAIN THE STAKING, ROPING, AND FENCING INTACT DURING THE DURATION OF THE CONSTRUCTION ACTIVITY.
- THE CONTRACTOR SHALL REMOVE STAKING, ROPING, AND FENCING AFTER RECEIPT OF THE LETTER OF ACCEPTANCE/CERTIFICATE OF OCCUPANCY FROM THE CITY OF SCOTTSDALE FOR ALL CONSTRUCTION WORK.

## CITY OF SCOTTSDALE GENERAL NOTES

- ALL IMPROVEMENT CONSTRUCTION SHALL COMPLY WITH THE LATEST MARICOPA COUNTY ASSOCIATION OF GOVERNMENTS STANDARD SPECIFICATIONS AND DETAILS FOR PUBLIC WORKS CONSTRUCTION AS AMENDED BY THE LATEST VERSION OF THE CITY OF SCOTTSDALE SUPPLEMENTAL STANDARD SPECIFICATIONS AND DETAILS AND CITY OF SCOTTSDALE'S DESIGN STANDARDS & POLICIES MANUAL (DS&PM). IF THERE IS A CONFLICT, THE LATTER SHALL APPLY. ALL FACILITIES CONSTRUCTION SHALL COMPLY WITH THE LATEST BUILDING CODES AS AMMENDED AND ADOPTED BY THE CITY OF SCOTTSDALE.
- THE ENGINEERING DESIGNS ON THESE PLANS ARE APPROVED BY THE CITY IN SCOPE AND NOT IN DETAIL. IF CONSTRUCTION QUANTITIES ARE SHOWN ON THESE PLANS, THEY ARE NOT VERIFIED BY THE CITY.
- BASED ON THE INFORMATION SUBMITTED ON THE PLANS AND ASSOCIATED DOCUMENTS, THE CITY HAS REVIEWED AND FOUND THEM TO BE IN ACCORDANCE WITH THE CITY'S MUNICIPAL CODE AND ARE ACCEPTABLE FOR PERMIT ISSUANCE. THIS ACCEPTANCE BY THE CITY DOES NOT AUTHORIZE VIOLATIONS OF ANY APPLICABLE CODE, ORDINANCE OR STANDARD AS ADOPTED BY THE MUNICIPAL CODE.
- APPROVAL OF THE PLANS BY THE CITY IS VALID FOR SIX MONTHS. IF A PERMIT FOR THE CONSTRUCTION HAS NOT BEEN ISSUED WITHIN SIX MONTHS OF REVIEW, THE PLANS SHALL BE RESUBMITTED TO THE CITY FOR REAPPROVAL.
- ANY DEVIATION FROM THE APPROVED PLANS SHALL BE REVIEWED AND APPROVED BY THE CITY PRIOR TO THAT CHANGE BEING INCORPORATED INTO THE PROJECT.
- A CITY CAPITAL PROJECTS INSPECTOR WILL INSPECT ALL WORK WITHIN THE CITY RIGHTS-OF-WAY, EASEMENTS AND FACILITIES.
- ANY SPECIAL INSPECTION REQUIRED SHALL BE IN ADDITION TO ANY ROUTINE INSPECTION BY THE CITY.
- CITY ENCROACHMENT AND BUILDING PERMITS ARE REQUIRED FOR WORK IN PUBLIC RIGHTS-OF-WAY, EASEMENTS GRANTED FOR PUBLIC PURPOSES AND FACILITIES. PERMITS WILL BE ISSUED BY THE CITY THROUGH THE CITY'S ONE STOP SHOP. COPIES OF ALL PERMITS SHALL BE RETAINED ON-SITE AND SHALL BE AVAILABLE FOR INSPECTION AT ALL TIMES. FAILURE TO PRODUCE THE REQUIRED PERMITS WILL RESULT IN IMMEDIATE WORK STOPPAGE UNTIL THE PROPER PERMIT DOCUMENTATION IS OBTAINED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FOR SALVAGING PROTECTED NATIVE PLANTS PRIOR TO THE START OF CONSTRUCTION.
- WHEREVER EXCAVATION IS DONE CONTACT THE BLUE STAKE CENTER AT (602) 263-1100 TWO WORKING DAYS BEFORE EXCAVATION IS TO BEGIN. THE CENTER WILL SEE THAT THE LOCATION OF THE UNDERGROUND UTILITY LINES IS IDENTIFIED FOR THE PROJECT.
- ALL EXCAVATION AND GRADING WHICH IS NOT IN PUBLIC RIGHTS-OF-WAY OR IN EASEMENTS GRANTED FOR PUBLIC PURPOSES MUST CONFORM TO SECTION 1803 AND APPENDIX J OF THE LATEST INTERNATIONAL CODE COUNCIL AS ADOPTED AND AMMENDED BY THE CITY OF SCOTTSDALE. A PERMIT FOR THIS GRADING MUST BE SECURED FROM THE CITY.
- THRUST RESTRAINT, WHERE REQUIRED, ON ALL CITY WATER LINES SHALL BE PROVIDED USING MEGALUG MECHANICAL JOINT RESTRAINTS OR CITY-APPROVED EQUAL.
- ANY ASPHALT MIX DESIGN USED ON CITY PROJECTS SHALL HAVE BEEN APPROVED FOR THAT USE PER SECTION 5-10 THE CITY'S DS&PM AND APPEAR ON THE "APPROVED LIST OF ASPHALT MIXES" AS DISTRIBUTED BY THE EAST VALLEY ASPHALT COMMITTEE (EVAC).
- THE CONTRACTOR SHALL BE RESPONSIBLE TO REMOVE AND REPLACE, AT NO ADDITIONAL COST TO THE CITY, ANY AND ALL PAVEMENT, SIDEWALK, CURB AND GUTTER, DRAINAGE STRUCTURES, ETC. OUTSIDE THE PAY LIMIT THAT ARE DAMAGED DUE TO THEIR ACTIVITIES ON THE PROJECT. THIS INCLUDES, BUT IS NOT LIMITED TO, THE REMOVAL AND REPLACEMENT OF NEWLY CRACKED ROADWAY INFRASTRUCTURE, THE REMOVAL AND REPLACEMENT OF EXISTING CRACKED ROADWAY INFRASTRUCTURE WHERE THE CRACKS HAVE BEEN ENLARGED DUE TO THE CONTRACTOR'S OPERATIONS, THE REMOVAL AND REPLACEMENT OF DEFORMED ROADWAY INFRASTRUCTURE. ALL SAWCUTS USED FOR THE REMOVAL OF THESE ITEMS SHALL BE PERPENDICULAR AND PARALLEL TO THE CENTERLINE CONTROLLING THAT ITEM, OR AT THE DIRECTION OF THE CITY'S CAPITAL PROJECTS INSPECTOR.
- ALL CAPITAL IMPROVEMENT PROJECTS SHALL MEET THE PROCEDURES AND STANDARDS FOR THE USE OF TEMPORARY/SECURITY FENCING AROUND THE PERIMETER OF CONSTRUCTION SITES, AS DEFINED IN THE CITY'S ZONING ORDINANCE, ARTICLE VII, SECTION 7.700.

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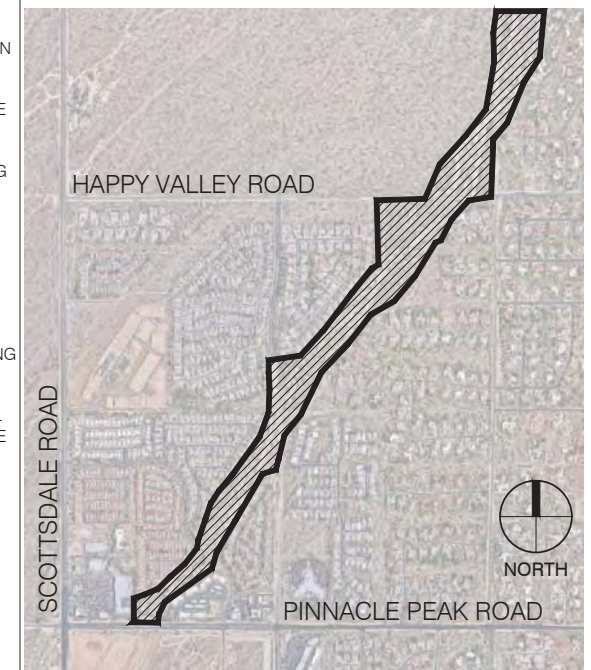
## ADDITIONAL LANDSCAPE NOTE

- THORNY TREES, SHRUBS AND CACTI SHALL BE PLANTED SO THAT THEIR MATURE SIZE/CANOPY WILL BE AT LEAST 4 FEET AWAY FROM ANY WALKWAYS OR PARKING AREA CURBING.

## LANDSCAPE STIPULATION

- 70% OF TREES SHALL BE MATURE, AS DEFINED IN ARTICLE III OF THE ZONING ORDINANCE

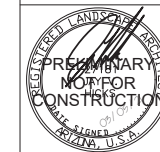
## VICINITY MAP: NTS



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NO.	REVISION	BY	DATE

FLOOD CONTROL DISTRICT  
OF MARICOPA COUNTY  
ENGINEERING DIVISION

RAWHIDE WASH FLOOD HAZARD MITIGATION  
FINAL DESIGN - FCD2018C015 - WA#1 - PCN 122.01.30



	BY	DATE
DESIGNED	PW	06/19/2019
DRAWN	PW, YY	03/05/2021
CHECKED	JH	

**Dig** 600 N 4TH ST SUITE D  
PHOENIX, AZ 85004  
(602) 595-4101

EXP. 6/30/2023  
DRAWING NO. L001  
LANDSCAPE COVER SHEET  
SHEET OF 1 OF 59







CITY OF PHOENIX INVENTORY AND SALVAGE NOTES



1. THE CITY OF PHOENIX GENERAL NOTES ARE THE ONLY NOTES APPROVED ON THIS PLAN. ADDITIONAL GENERAL NOTES GENERATED BY THE SEALANT AND PLACED ON THE PLANS ARE NOT APPROVED AS PART OF THIS PLAN AND ARE NOTED AS SUCH ON THE PLANS.
2. PLANT MATERIALS MUST BE INDIVIDUALLY TAGGED IN THE FIELD AT THE TIME THE INVENTORY PLANS ARE SUBMITTED. TAGGED MATERIAL MUST BE CLEARLY MARKED WITH WATERPROOF INK AND INCLUDE THE NUMBER WHICH CORRESPONDS TO THE NUMBER SHOWN ON THE PLAN. A FIELD REVIEW WILL NOT OCCUR UNTIL CLEARLY MARKED TAGS ARE IN PLACE ON EACH PLANT TO BE INCLUDED IN THE INVENTORY. ADDITIONAL FEES MAY BE CHARGED FOR ADDITIONAL SITE VISITS.
3. TAGS MUST BE ATTACHED SO THAT THEY WILL REMAIN ON THE PLANT FOR THE DURATION OF THE SALVAGE AND NURSERY STORAGE PERIOD. PLANT MATERIALS WITHOUT NUMBERED TAGS IN THE NURSERY WILL NOT BE COUNTED TOWARD THE TOTAL REQUIREMENT FOR THE PROJECT.
4. ALL SALVAGEABLE MATERIAL IS TO BE CLEARLY FLAGGED WITH TAPE OR PLASTIC TAGS VISIBLE FROM ALL DIRECTIONS. TAGS SHALL BE NUMBERED TO CORRESPOND WITH THE PLANT INVENTORY PLAN AND LEGEND. COLOR CODE TAGS AS FOLLOWS: RED= SALVAGE AND RELOCATE, WHITE= PRESERVE AND PROTECT IN PLACE, BLUE= DESTROY, NOT SALVAGEABLE AND CANNOT REMAIN IN PLACE
5. CONTACT THE PARKS & RECREATION DEPARTMENT, FORESTRY SUPERVISOR, AT 602-262-6862, TO VERIFY OWNERSHIP OF ANY PLANT MATERIAL IN THE PUBLIC R.O.W. PRIOR TO ANY PLANT RE-LOCATIONS OR REMOVALS. OBTAIN WRITTEN PERMISSION FROM THE PARKS AND RECREATION DEPARTMENT PRIOR TO THE RE-LOCATION OR REMOVAL OF ANY CITY PLANT MATERIAL OR EQUIPMENT.
6. CONTACT THE STREET TRANSPORTATION DEPARTMENT HORTICULTURIST, AT 602-262-6284, PRIOR TO THE RE-LOCATION OR REMOVAL OF EXISTING PLANT MATERIAL IN THE A.D.O.T. R.O.W. THAT IS ON THE CITY'S SIDE OF THE SOUND WALL. OBTAIN WRITTEN PERMISSION FROM THE STREET TRANSPORTATION DEPARTMENT PRIOR TO THE RE-LOCATION OR REMOVAL OF ANY PLANT MATERIAL OR EQUIPMENT.
7. A SALVAGE PERMIT SHALL BE OBTAINED AND COMPLETED PRIOR TO THE GRADING AND DRAINAGE PERMIT BEING ISSUED. NO CLEARING OR GRUBBING MAY OCCUR PRIOR TO THE PURCHASE OF THE SALVAGE PERMIT, FIELD APPROVAL OF THE CONSTRUCTION FENCE, AND ALL SALVAGED PLANTS PLACED IN THE NURSERY AND FIELD INSPECTED.
8. ALL PROTECTIVE FENCING SHALL BE IN PLACE BEFORE ANY EARTH MOVING EQUIPMENT IS MOVED ONTO THE SITE AND BEFORE ANY SALVAGE CLEARING OR GRUBBING TAKES PLACE. CALL 602-262-7811 TO SCHEDULE AN INSPECTION OF CONSTRUCTION FENCE.
9. ALL MATERIAL TO BE SALVAGED SHALL BE REMOVED AND PLACED IN THE DESIGNATED NURSERY AREA BEFORE ANY CLEARING OR GRADING TAKES PLACE. CALL 602-262-7811 TO SCHEDULE AN INSPECTION AFTER SALVAGE IS COMPLETED.
10. ALL TAGGED MATERIALS MUST REMAIN IN NURSERY OR ON-SITE UNTIL NURSERY CHECK IS APPROVED.
11. NO NAILS, WIRES, OR OTHER OBJECTS THAT DAMAGE THE CAMBIUM OR CAUSE INJURY TO THE TREE MAY BE USED DURING THE SALVAGE PROCESS. ALL EFFORTS SHALL BE TAKEN BY USING PADDING OR OTHER METHODS TO PRESERVE THE INTEGRITY OF THE BARK.
12. TREES AND PROTECTED PLANT MATERIAL OR MATERIAL NOTED FOR SALVAGE THAT ARE DESTROYED OR DIE DURING THE SALVAGE, RELOCATION, OR MAINTENANCE PERIOD WILL BE REPLACED WITH A PLANT OF EQUAL OR GREATER SIZE AND TYPE BY THE RESPONSIBLE PARTY A MINIMUM OF 90 DAYS BEFORE THE COMPLETION OF THE PROJECT. NO CERTIFICATES OF OCCUPANCY WILL BE ISSUED BEFORE ALL REQUIRED MATERIAL HAS BEEN REPLACED. ALL REPLACEMENT MATERIAL SHALL BE APPROVED BY THE DEVELOPMENT SERVICES LANDSCAPE ARCHITECT. A MAXIMUM OF 10% OF THE SALVAGEABLE PLANT MATERIAL WILL NOT BE REQUIRED TO BE REPLACED IF LOST.
13. ALL REQUIREMENTS OF THE STATE OF ARIZONA, INCLUDING THE "NOTICE OF INTENT TO CLEAR LAND," SHALL BE MET NOTWITHSTANDING ANY APPROVALS BY THE CITY OF PHOENIX.
14. FILE NOTICE OF INTENT (NOI) TO CLEAR LAND WITH THE STATE OF ARIZONA, 602-542-6408. PROVIDE A COPY OF THE NOI PERMIT TO THE INSPECTOR. <http://www.azda.gov/ESD/clearland.pdf>
15. PROVIDE A COPY OF THE COUNTY DUST CONTROL PERMIT TO THE INSPECTOR.
16. NO SALVAGE MATERIAL SHALL BE REMOVED FROM THE SITE WITHOUT DEVELOPMENT SERVICES LANDSCAPE ARCHITECT APPROVAL.
17. ALL TAGGED MATERIAL MUST REMAIN IN NURSERY OR ON-SITE UNTIL NURSERY CHECK IS APPROVED.
18. KNOWINGLY OR NEGLIGENTLY PROVIDING FALSE OR MISLEADING INFORMATION TO THE CITY OF PHOENIX REGARDING SALVAGEABLE MATERIALS MAY RESULT IN DELAYS AND/OR SUSPENSION OF PERMITS AND INSPECTIONS.
19. PLAN APPROVAL IS VALID FOR 180 DAYS. PRIOR TO PLAN APPROVAL EXPIRATION, ALL ASSOCIATED PERMITS SHALL BE PURCHASED OR THE PLANS SHALL BE RESUBMITTED FOR EXTENSION OF PLAN APPROVAL. THE EXPIRATION, EXTENSION, AND REINSTATEMENT OF SALVAGE PLANS AND PERMITS SHALL FOLLOW THE SAME GUIDELINES AS THOSE INDICATED IN THE PHOENIX BUILDING CONSTRUCTION CODE ADMINISTRATIVE PROVISIONS SECTION 105.3 FOR BUILDING PERMITS.

ADDITIONAL NOTES

1. ALL TREES TO BE PROTECTED WITHIN THE CONSTRUCTION AREA SHALL BE IDENTIFIED WITH WHITE SURVEY TAPE WRAPPED AROUND THE TRUNK. GROUPING OF MORE THAN ONE TREE WITHIN THE TREE PROTECTION ZONE MAY OCCUR.
2. TO PREVENT TREE ROOT SMOTHERING, SOIL STOCKPILES, SUPPLIES, EQUIPMENT OR ANY OTHER MATERIAL SHALL NOT BE PLACED OR STORED WITHIN A TREE DRIP LINE OR WITHIN 25 FEET OF A TREE TRUNK, WHICHEVER IS GREATER.
3. TRENCHES SHALL BE HAND DUG WITHIN THE DRIP LINE IN AREAS WHERE ROOTS TWO INCHES IN DIAMETER AND GREATER ARE PRESENT, OR WHEN IN CLOSE PROXIMITY TO LOW BRANCHING TREES. WHENEVER POSSIBLE, ROOTS TWO INCHES OR GREATER IN DIAMETER SHALL BE TUNNELED OR BORED UNDER AND SHALL BE COVERED TO PREVENT DEHYDRATION.
4. TREE ROOTS SHALL NOT BE CUT UNLESS CUTTING IS UNAVOIDABLE. WHEN ROOT CUTTING IS UNAVOIDABLE, A CLEAN SHARP CUT WITH AN APPROVED PRUNING SAW SHALL BE MADE TO AVOID SHREDDING OR SMASHING. ROOT CUTS SHOULD BE MADE BACK TO A LATERAL ROOT. WHENEVER POSSIBLE, TREE ROOTS SHOULD BE CUT BETWEEN LATE FALL AND BUD OPENING, WHEN ROOT ENERGY SUPPLIES ARE HIGH AND CONDITIONS ARE LEAST FAVORABLE FOR DISEASE-CAUSING AGENTS. EXPOSED ROOTS SHALL BE COVERED IMMEDIATELY TO PREVENT DEHYDRATION. ROOTS SHALL BE COVERED WITH SOIL OR BURLAP AND KEPT MOIST. BACKFILL MATERIAL AROUND DAMAGED ROOTS SHALL BE A LIGHT MULCH/SAND MIXTURE TO PROMOTE ROOT RECOVERY.
5. WATERING OF PROTECTED TREES IN WHICH ROOTS WERE CUT SHALL BE PROVIDED BY THE CONTRACTOR. WATERING SCHEDULE TO BE ESTABLISHED BY CITY ARBORIST.
6. HORIZONTAL BORING RATHER THAN TRENCHING SHOULD BE USED FOR UTILITY PLACEMENT WITHIN DRIP LINE OF TREE WHENEVER POSSIBLE.
7. FENCING MATERIAL SHALL ENCIRCLE ANY TREE WHOSE OUTER DRIP LINE EDGE IS WITHIN 25 FEET OF ANY CONSTRUCTION ACTIVITIES.
8. FENCING MATERIAL SHALL BE AT A MINIMUM TWO (2) STRANDS OF GOLD ROPE ON T- BAR POSTS. POSTS ARE TO BE PLACED 30' FEET ON CENTER AND AT ALL ANGLE POINTS. SEE DETAIL 2, THIS SHEET.
9. FENCING MATERIAL SHALL BE SET AT THE DRIP LINE OR 25 FEET FROM TREE TRUNK, WHICHEVER IS GREATER, AND MAINTAINED IN AN UPRIGHT POSITION THROUGHOUT THE DURATION OF CONSTRUCTION ACTIVITIES.
10. ANY GRADE CHANGES OR RETAINING WALL/TREE WELL INSTALLATION WITHIN THE DRIP LINE SHALL BE APPROVED BY CITY ARBORIST.

**DEMOLITION LEGEND**

	<u>TREE TO BE REMOVED</u>	215
	<u>TREE TO BE SALVAGED</u>	257
	<u>TREE TO REMAIN IN PLACE - PROTECT IN PLACE</u>	433
	<u>CACTUS TO BE REMOVED</u>	5
	<u>CACTUS TO BE SALVAGED</u>	63
	<u>CACTUS TO REMAIN IN PLACE - PROTECT IN PLACE</u>	64

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NO.	REVISION	BY	DATE
 <b>FLOOD CONTROL DISTRICT OF MARICOPA COUNTY ENGINEERING DIVISION</b>			
<b>RAWHIDE WASH FLOOD HAZARD MITIGATION FINAL DESIGN - FCD2018C015 - WA#1 - PCN 122.01.30</b>			
 EXP. 6/30/2023	BY	DATE	
	DESIGNED	PW	06/19/2019
	DRAWN	PW, YY	03/05/2021
	CHECKED	JH	
DRAWING NO. LS001	LANDSCAPE INVENTORY AND SALVAGE NOTES		SHEET OF 2 OF 59

**PLANT SCHEDULE**

TREES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	HEIGHT
	CER FLO	8	CERCIDIUM FLORIDUM / BLUE PALO VERDE	15 GAL SALVAGE	4'
	CER FL2	24	CERCIDIUM FLORIDUM / BLUE PALO VERDE	24" BOX SALVAGE	5'-7'
	CER FL3	14	CERCIDIUM FLORIDUM / BLUE PALO VERDE	36" BOX SALVAGE	8'-9'
	CER FL5	4	CERCIDIUM FLORIDUM / BLUE PALO VERDE	48" BOX PLUS SALVAGE	13'-24'
	CER FL4	4	CERCIDIUM FLORIDUM / BLUE PALO VERDE	48" BOX SALVAGE	10'-12'
	EXI XXL	64	EXISTING CACTI / PROTECT IN PLACE	-	VARIES
	EXI 417	436	EXISTING TREE / PROTECT IN PLACE	-	VARIES
	OLN TE2	7	OLNEYA TESOTA / DESERT IRONWOOD	36" BOX SALVAGE	6'-8'
	OLN TE4	15	OLNEYA TESOTA / DESERT IRONWOOD	48" BOX PLUS SALVAGE	11'-36'
	OLN TE3	7	OLNEYA TESOTA / DESERT IRONWOOD	48" BOX SALVAGE	9'-10'
	OL TE	33	OLNEYA TESOTA / DESERT IRONWOOD	TALL POT	
	PAR LE2	43	PARKINSONIA MICROPHYLLA / FOOTHILLS PALO VERDE	24" BOX SALVAGE	4'-5'
	PAR LE3	52	PARKINSONIA MICROPHYLLA / FOOTHILLS PALO VERDE	36" BOX SALVAGE	6'-8'
	PAR LE5	38	PARKINSONIA MICROPHYLLA / FOOTHILLS PALO VERDE	48" BOX PLUS SALVAGE	14'-30'
	PAR LE4	25	PARKINSONIA MICROPHYLLA / FOOTHILLS PALO VERDE	48" BOX SALVAGE	9'-13'
	PA MI	32	PARKINSONIA MICROPHYLLUM / FOOTHILLS PALO VERDE	TALL POT	
	PRO GL2	3	PROSOPIS GLANDULOSA / HONEY MESQUITE	15 GAL SALVAGE	4'-5'
	PRO GL3	5	PROSOPIS GLANDULOSA / HONEY MESQUITE	24" BOX SALVAGE	6'-8'
	PRO GL4	2	PROSOPIS GLANDULOSA / HONEY MESQUITE	36" BOX SALVAGE	9'-10'
	PRO GL6	4	PROSOPIS GLANDULOSA / HONEY MESQUITE	48" BOX PLUS SALVAGE	14'-20'
	PRO GL5	3	PROSOPIS GLANDULOSA / HONEY MESQUITE	48" BOX SALVAGE	11'-13'

CACTUS	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	CACTUS
	CAR GIG	54	CARNEGIEA GIGANTEA / SAGUARO	SALV.	VARIES
	ECH GRU	8	ECHINOCACTUS GRUSONII / GOLDEN BARREL CACTUS	SALV.	3'-7'
	FOU SPL	1	FOUQUIERIA SPLENDENS / OCOTILLO	SALV.	7'

GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	SPACING
	HYD	859,839 SF	HYDROSEED - GENERAL	SEED	
	HYD H2	164,892 SF	HYDROSEED - NON-WOODY / HYDROSEED	SEED	

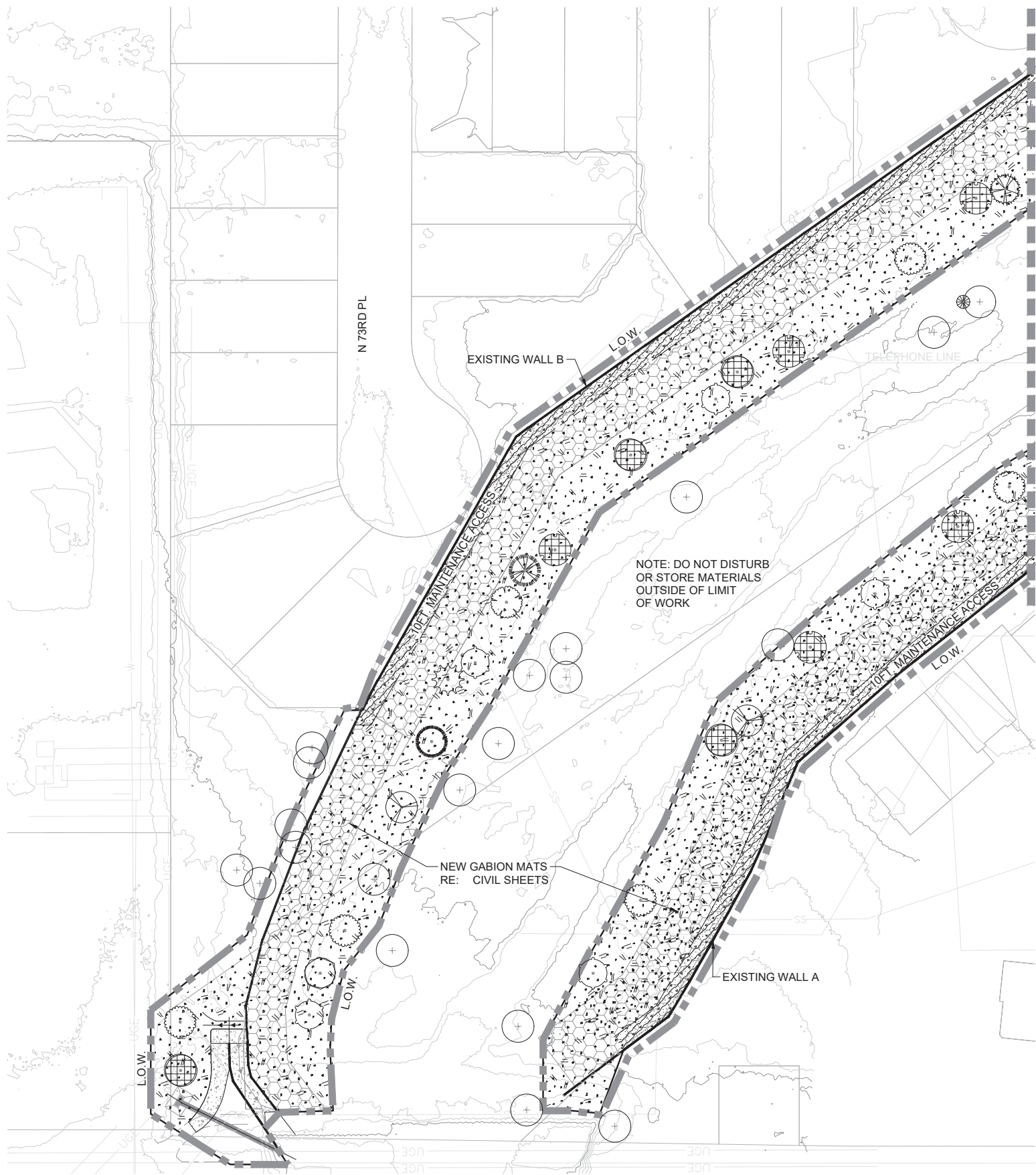
SAGUAROS ARE CODED AS THE SAME NUMBER SHOWN ON PAGES 3-7

HYDRSEED NOTE:  
USE THE FOLLOWING NATIVE SEED MIX:

GENERAL MIX:	SCIENTIFIC NAME	COMMON NAME	PLS/ACRE
	ACACIA CONSTRICTA	WHITETHORN ACACIA	1.0
	ACACIA GREGGII	CATCLAW ACACIA	4.0
	AMBROSIA DELTOIDEA	TRIANGLE-LEAF BURSAGE	3.0
	BAILEYA MULTIRADIATA	DESERT MARIGOLD	0.5
	CELTIS PALLIDA	DESERT HACKBERRY	2.0
	PARKINSONIA FLORIDA	BLUE PALO VERDE	4.0
	CHILOPSIS LINEARIS	DESERT WILLOW	1.0
	DIGITARIA CALIFORNICA	ARIZONA COTTONTOP	0.5
	ESCHOLTZIA MEXICANA	MEXICAN GOLD POPPY	0.5
	LESQUERELLA GORDONII	GORDON BLADDERPOD	0.5
	LARREA TRIDENTATA	CREOSOTE	4.5
	LYCIUM ANDERSONII	DESERT WOLFBERRY	0.5
	OLNEYA TESOTA	IRONWOOD	2.0
	ORTHOCARPUS PURPURASCENS	OWL CLOVER	0.25
	PROSOPIS VELUTINA	VELVET MESQUITE	3.0
	SPHAERALCEA AMBIGUA	GLOBE MALLOW	0.25
	SPOROBOLUS AIROIDES	ALKALI SACATON	0.25
	SPOROBOLUS CRYPTANDRUS	SAND DROPSEED	0.25
	PLANTAGO OVATA	DESERT INDIAN WHEAT	1.0
	SENNA COVEII	DESERT SENNA	1.0

MAINTENANCE BUFFER MIX (NON-WOODY):	SCIENTIFIC NAME	COMMON NAME	PLS/ACRE
	AMBROSIA DELTOIDEA	TRIANGLE-LEAF BURSAGE	3.0
	AMBROSIA DUMOSA	WHITE BURSAGE	0.5
	ARISTIDA PURPUREA	PURPLE THREE-AWN	2.0
	BAILEYA MULTIRADIATA	DESERT MARIGOLD	1.0
	DIGITARIA CALIFORNICA	ARIZONA COTTONTOP	0.5
	ENCELIA FARINOSA	BRITTLEBUSH	1.5
	ESCHSCHOLTZIA MEXICANA	MEXICAN GOLD POPPY	0.5
	LESQUERELLA GORDONII	GORDON BLADDERPOD	0.5
	LUPINUS SPARSIFLORUS	DESERT LUPINE	0.5
	PHACELIA CRENULATA	ARIZONA DESERT BLUEBELLS	1.5
	PLANTAGO OVATA	DESERT INDIAN WHEAT	1.0
	SENNA COVESII	DESERT SENNA	1.0
	SPHAERALCEA AMBIGUA	GLOBE MALLOW	1.0
	SPOROBOLUS AIROIDES	ALKALI SACATON	0.25
	SPOROBOLUS CRYPTANDRUS	SAND DROPSEED	0.1

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NO.	REVISION	BY	DATE
<p>FLOOD CONTROL DISTRICT OF MARICOPA COUNTY ENGINEERING DIVISION</p>			
<p>RAWHIDE WASH FLOOD HAZARD MITIGATION FINAL DESIGN - FCD2018C015 - WA#1 - PCN 122.01.30</p>			
	DESIGNED	PW	06/19/2019
	DRAWN	PW, YY	03/05/2021
	CHECKED	JH	
<p><b>Dig</b> 600 N 4TH ST SUITE D PHOENIX, AZ 85004 (602) 595-4101</p>		<p>SHEET OF 23 OF 59</p>	
DRAWING NO. LP100		LANDSCAPE PLANTING SCHEDULE	



**PLANT SCHEDULE L101**

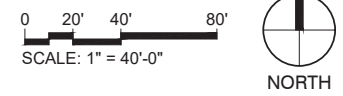
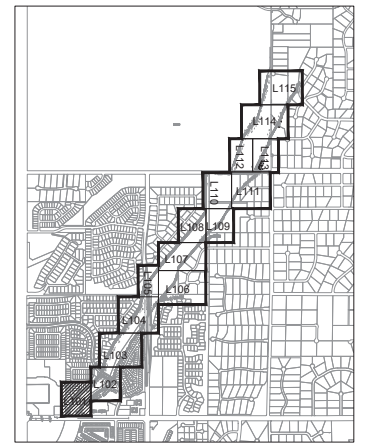
TREES	CODE	QTY	BOTANICAL / COMMON NAME
	CER FL2	1	CERCIDIUM FLORIDUM BLUE PALO VERDE
	EXI XXL	1	EXISTING CACTI PROTECT IN PLACE
	EXI 417	20	EXISTING TREE PROTECT IN PLACE
	OLN TE2	1	OLNEYA TESOTA DESERT IRONWOOD
	OLN TE4	1	OLNEYA TESOTA DESERT IRONWOOD
	OLN TE3	1	OLNEYA TESOTA DESERT IRONWOOD
	OL TE	4	OLNEYA TESOTA DESERT IRONWOOD
	PAR LE2	1	PARKINSONIA MICROPHYLLA FOOTHILLS PALO VERDE
	PAR LE3	5	PARKINSONIA MICROPHYLLA FOOTHILLS PALO VERDE
	PAR LE5	1	PARKINSONIA MICROPHYLLA FOOTHILLS PALO VERDE
	PAR LE4	5	PARKINSONIA MICROPHYLLA FOOTHILLS PALO VERDE
	PA MI	5	PARKINSONIA MICROPHYLLUM FOOTHILLS PALO VERDE
	PRO GL2	2	PROSOPIS GLANDULOSA HONEY MESQUITE
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME
	HYD	87,175 SF	HYDROSEED - GENERAL
	HYD H2	9,848 SF	HYDROSEED - NON-WOODY HYDROSEED

NOTE: ALL EXISTING WALLS INDICATED ON PLANS ARE TO REMAIN IN PLACE AND MAY BE MODIFIED DURING CONSTRUCTION PER CIVIL PLANS.

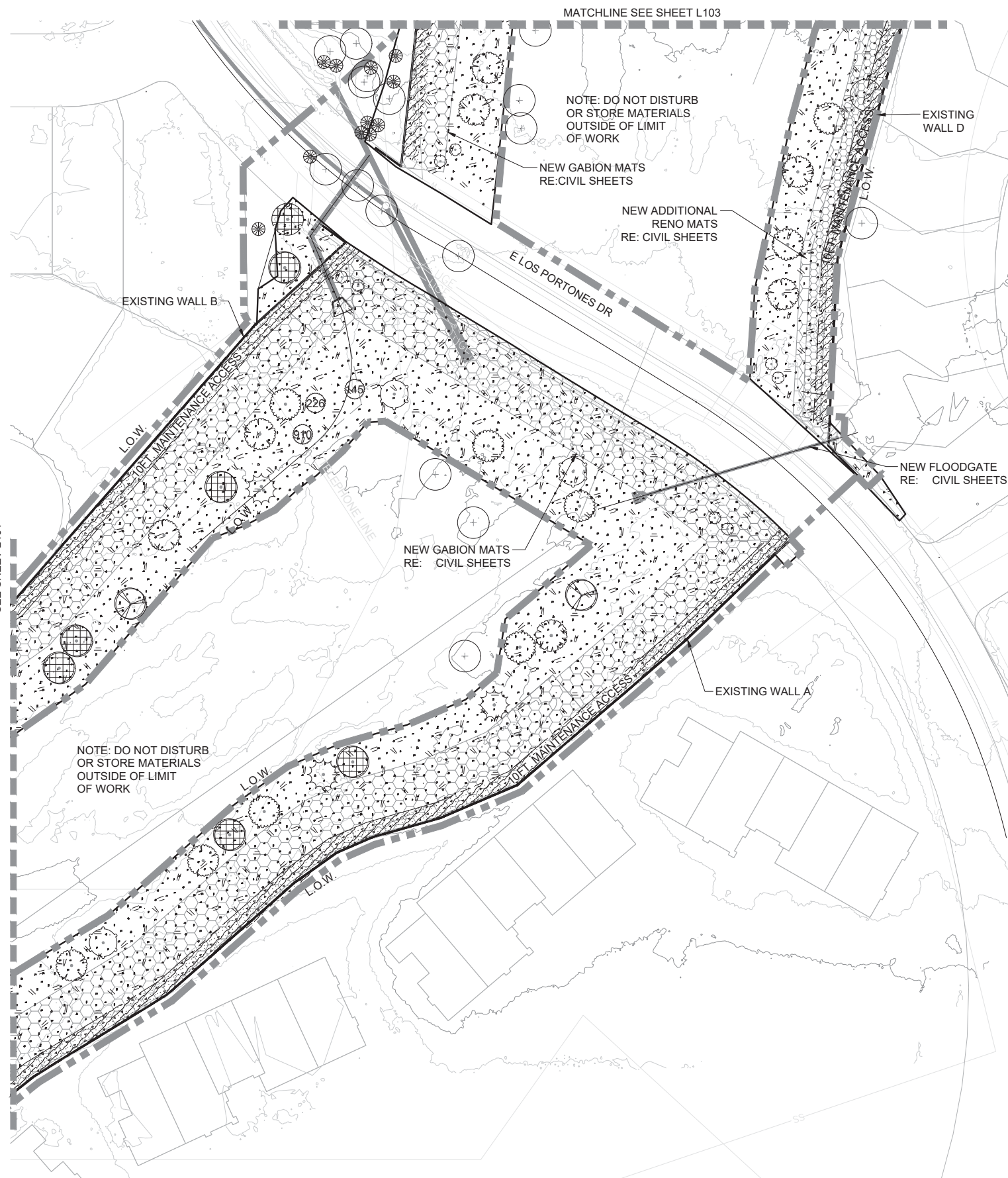
**LEGEND**

	PARCEL LINES
	UNDERGROUND ELECTRICAL
	STORM SEWER
	TV LINE
	WATER LINE
	EXISTING GABION MAT TO REMAIN IN PLACE
	NEW GABION MAT RE: CIVIL SHEETS

**KEYMAP:**



3			
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NO.	REVISION	BY	DATE
<b>RAWHIDE WASH FLOOD HAZARD MITIGATION</b> FINAL DESIGN - FCD2018C015 - WA#1 - PCN 122.01.30			
	BY	DATE	
DESIGNED	PW	06/19/2019	
DRAWN	PW, YY	03/05/2021	
CHECKED	JH		
		600 N 4TH ST SUITE D PHOENIX, AZ 85004 (602) 595-4101	
DRAWING NO. LP101		SHEET OF 24 OF 59	



**PLANT SCHEDULE L102**

TREES	CODE	QTY	BOTANICAL / COMMON NAME
	CER FLO	2	CERCIDIUM FLORIDUM BLUE PALO VERDE
	CER FL3	1	CERCIDIUM FLORIDUM BLUE PALO VERDE
	EXI XXL	11	EXISTING CACTI PROTECT IN PLACE
	EXI 417	17	EXISTING TREE PROTECT IN PLACE
	OL TE	6	OLNEYA TESOTA DESERT IRONWOOD
	PAR LE2	8	PARKINSONIA MICROPHYLLA FOOTHILLS PALO VERDE
	PAR LE3	7	PARKINSONIA MICROPHYLLA FOOTHILLS PALO VERDE
	PAR LE4	3	PARKINSONIA MICROPHYLLA FOOTHILLS PALO VERDE
	PA MI	1	PARKINSONIA MICROPHYLLUM FOOTHILLS PALO VERDE
	PRO GL3	2	PROSOPIS GLANDULOSA HONEY MESQUITE

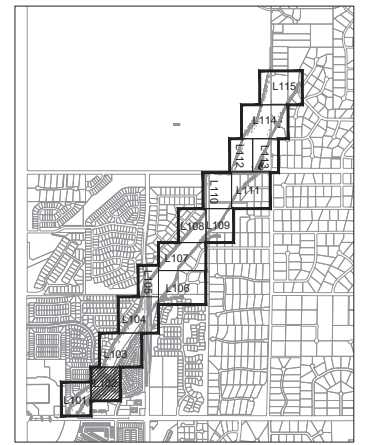
CACTUS	CODE	QTY	BOTANICAL / COMMON NAME
	CAR GIG	3	CARNEGIEA GIGANTEA SAGUARO
	ECH GRU	8	ECHINOCACTUS GRUSONII GOLDEN BARREL CACTUS
	FOU SPL	1	FOUQUIERIA SPLENDENS OCOTILLO

GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME
	HYD	89,220 SF	HYDROSEED - GENERAL
	HYD H2	12,818 SF	HYDROSEED - NON-WOODY HYDROSEED

NOTE: ALL EXISTING WALLS INDICATED ON PLANS ARE TO REMAIN IN PLACE AND MAY BE MODIFIED DURING CONSTRUCTION PER CIVIL PLANS.

LEGEND	
	PARCEL LINES
	UNDERGROUND ELECTRICAL
	STORM SEWER
	TV LINE
	WATER LINE
	EXISTING GABION MAT TO REMAIN IN PLACE
	NEW GABION MAT RE: CIVIL SHEETS

**KEYMAP:**

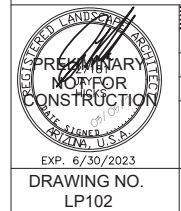


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NO.	REVISION	BY	DATE

FLOOD CONTROL DISTRICT OF MARICOPA COUNTY  
ENGINEERING DIVISION

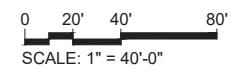
RAWHIDE WASH FLOOD HAZARD MITIGATION  
FINAL DESIGN - FCD2018C015 - WA#1 - PCN 122.01.30

	BY	DATE
DESIGNED	PW	06/19/2019
DRAWN	PW, YY	03/05/2021
CHECKED	JH	

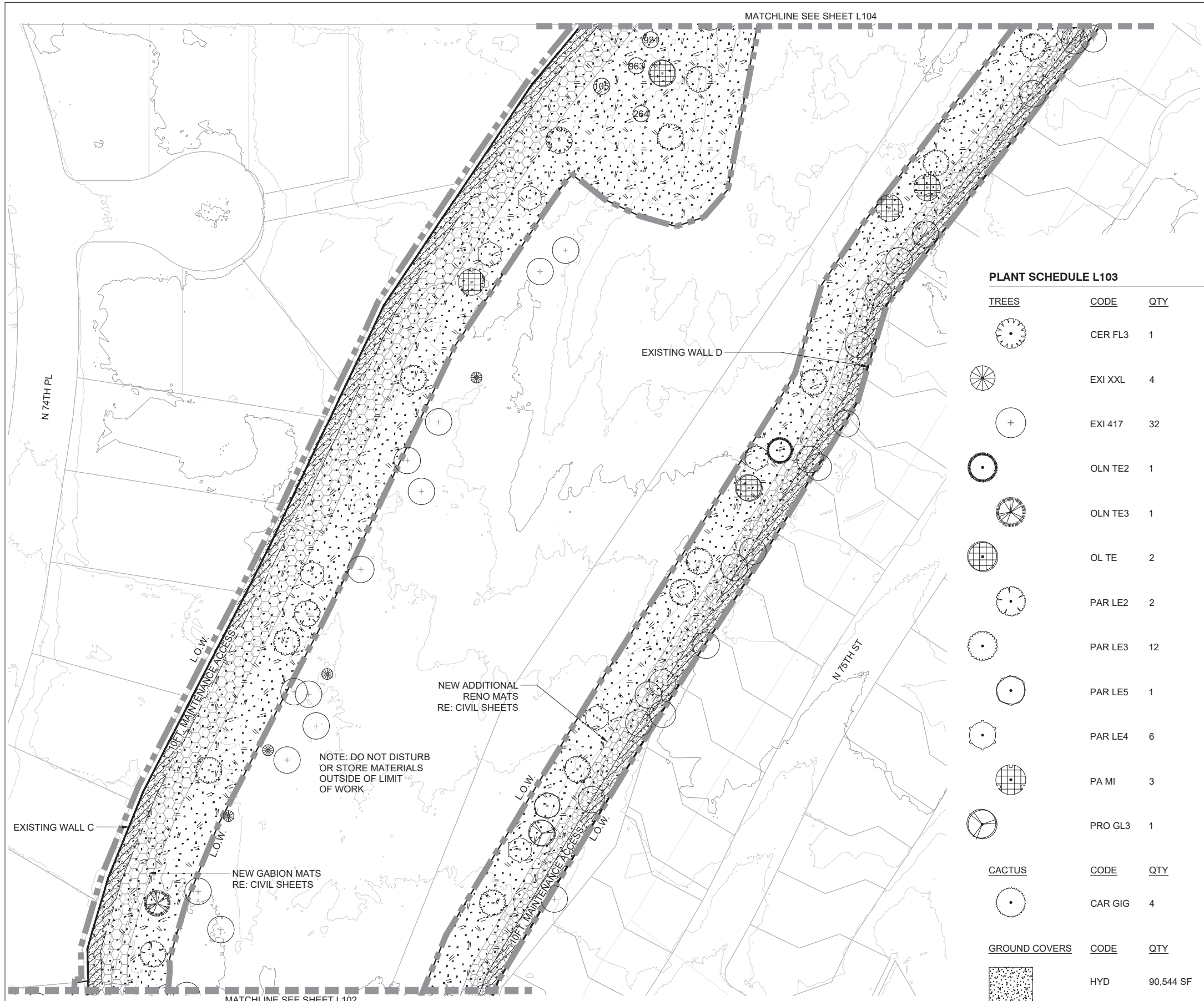


**Dig** 600 N 4TH ST SUITE D  
PHOENIX, AZ 85004  
(602) 595-4101

EXP. 6/30/2023  
DRAWING NO. LP102



SEE SHEET L101



MATCHLINE SEE SHEET L104

MATCHLINE SEE SHEET L102

0 20' 40' 80'  
SCALE: 1" = 40'-0"



**LEGEND**

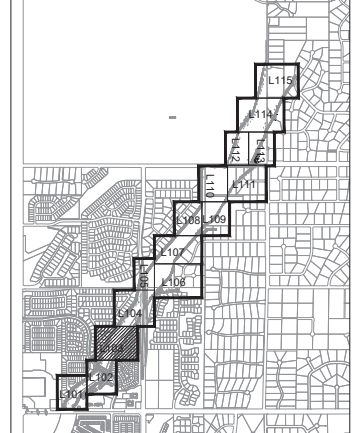
	PARCEL LINES
	UNDERGROUND ELECTRICAL
	STORM SEWER
	TV LINE
	WATER LINE
	EXISTING GABION MAT TO REMAIN IN PLACE
	NEW GABION MAT RE: CIVIL SHEETS

NOTE: ALL EXISTING WALLS INDICATED ON PLANS ARE TO REMAIN IN PLACE AND MAY BE MODIFIED DURING CONSTRUCTION PER CIVIL PLANS.

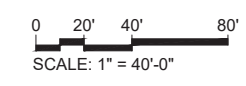
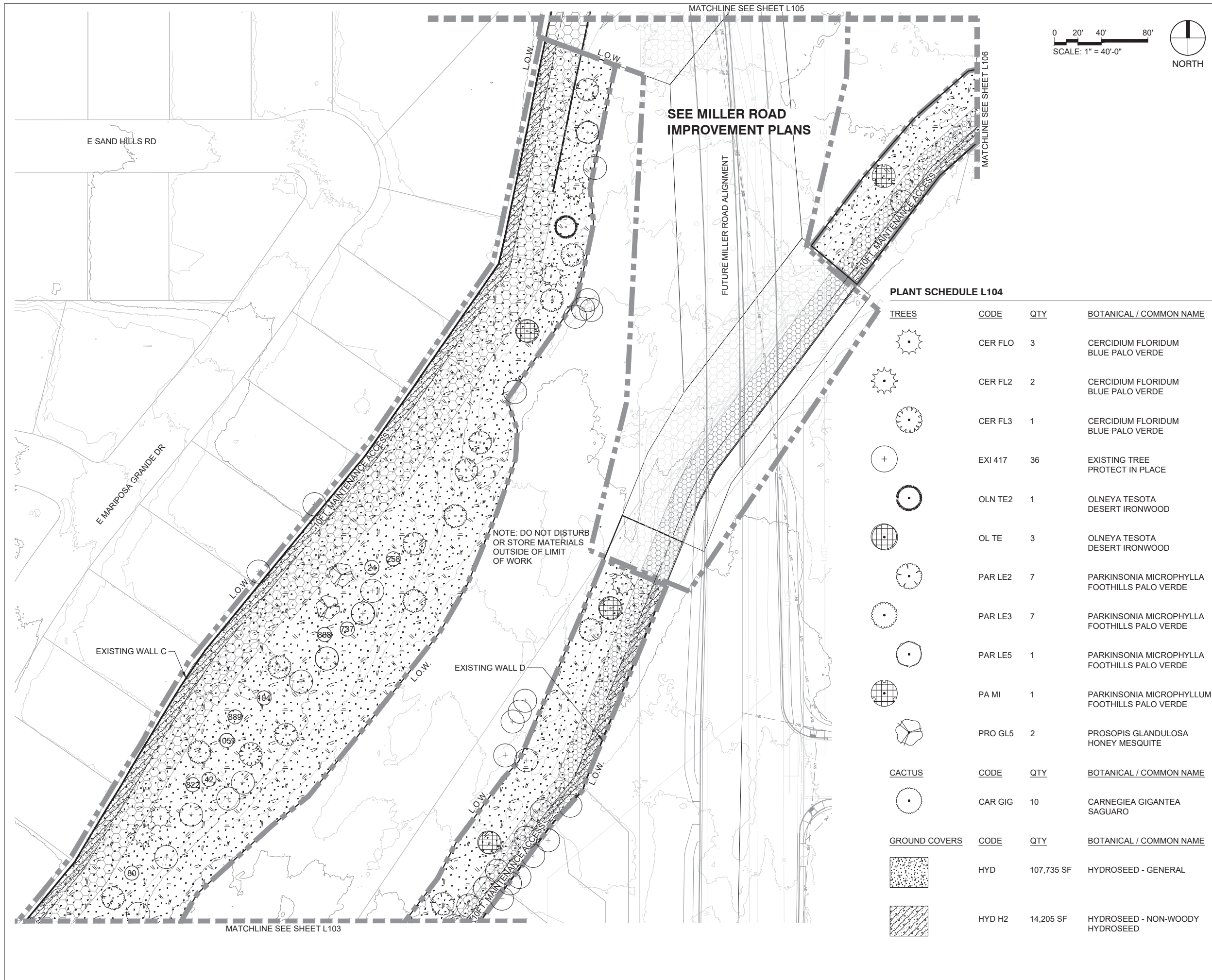
**PLANT SCHEDULE L103**

TREES	CODE	QTY	BOTANICAL / COMMON NAME
	CER FL3	1	CERCIDIUM FLORIDUM BLUE PALO VERDE
	EXI XXL	4	EXISTING CACTI PROTECT IN PLACE
	EXI 417	32	EXISTING TREE PROTECT IN PLACE
	OLN TE2	1	OLNEYA TESOTA DESERT IRONWOOD
	OLN TE3	1	OLNEYA TESOTA DESERT IRONWOOD
	OL TE	2	OLNEYA TESOTA DESERT IRONWOOD
	PAR LE2	2	PARKINSONIA MICROPHYLLA FOOTHILLS PALO VERDE
	PAR LE3	12	PARKINSONIA MICROPHYLLA FOOTHILLS PALO VERDE
	PAR LE5	1	PARKINSONIA MICROPHYLLA FOOTHILLS PALO VERDE
	PAR LE4	6	PARKINSONIA MICROPHYLLA FOOTHILLS PALO VERDE
	PA MI	3	PARKINSONIA MICROPHYLLUM FOOTHILLS PALO VERDE
	PRO GL3	1	PROSOPIS GLANDULOSA HONEY MESQUITE
CACTUS	CODE	QTY	BOTANICAL / COMMON NAME
	CAR GIG	4	CARNEGIEA GIGANTEA SAGUARO
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME
	HYD	90,544 SF	HYDROSEED - GENERAL
	HYD H2	16,395 SF	HYDROSEED - NON-WOODY HYDROSEED

**KEYMAP:**



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NO.	REVISION	BY	DATE
<b>RAWHIDE WASH FLOOD HAZARD MITIGATION</b> FINAL DESIGN - FCD2018C015 - WA#1 - PCN 122.01.30			
		BY	DATE
	DESIGNED	PW	06/19/2019
	DRAWN	PW, YJ	03/05/2021
	CHECKED	JH	
		600 N 4TH ST SUITE D PHOENIX, AZ 85004 (602) 595-4101	
DRAWING NO. LP103		LANDSCAPE PLAN	
		SHEET OF 26 OF 59	



**LEGEND**

	PARCEL LINES
	UNDERGROUND ELECTRICAL
	STORM SEWER
	TV LINE
	WATER LINE
	EXISTING GABION MAT TO REMAIN IN PLACE
	NEW GABION MAT RE: CIVIL SHEETS

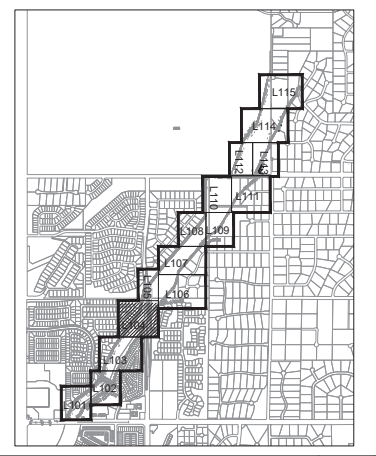
NOTE: ALL EXISTING WALLS INDICATED ON PLANS ARE TO REMAIN IN PLACE AND MAY BE MODIFIED DURING CONSTRUCTION PER CIVIL PLANS.

**PLANT SCHEDULE L104**

TREES	CODE	QTY	BOTANICAL / COMMON NAME
	CER FLO	3	CERCIDIUM FLORIDUM BLUE PALO VERDE
	CER FL2	2	CERCIDIUM FLORIDUM BLUE PALO VERDE
	CER FL3	1	CERCIDIUM FLORIDUM BLUE PALO VERDE
	EXI 417	36	EXISTING TREE PROTECT IN PLACE
	OLN TE2	1	OLNEYA TESOTA DESERT IRONWOOD
	OL TE	3	OLNEYA TESOTA DESERT IRONWOOD
	PAR LE2	7	PARKINSONIA MICROPHYLLA FOOTHILLS PALO VERDE
	PAR LE3	7	PARKINSONIA MICROPHYLLA FOOTHILLS PALO VERDE
	PAR LE5	1	PARKINSONIA MICROPHYLLA FOOTHILLS PALO VERDE
	PA MI	1	PARKINSONIA MICROPHYLLUM FOOTHILLS PALO VERDE
	PRO GL5	2	PROSOPIS GLANDULOSA HONEY MESQUITE
CACTUS	CODE	QTY	BOTANICAL / COMMON NAME
	CAR GIG	10	CARNEGIEA GIGANTEA SAGUARO
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME
	HYD	107,735 SF	HYDROSEED - GENERAL
	HYD H2	14,205 SF	HYDROSEED - NON-WOODY HYDROSEED

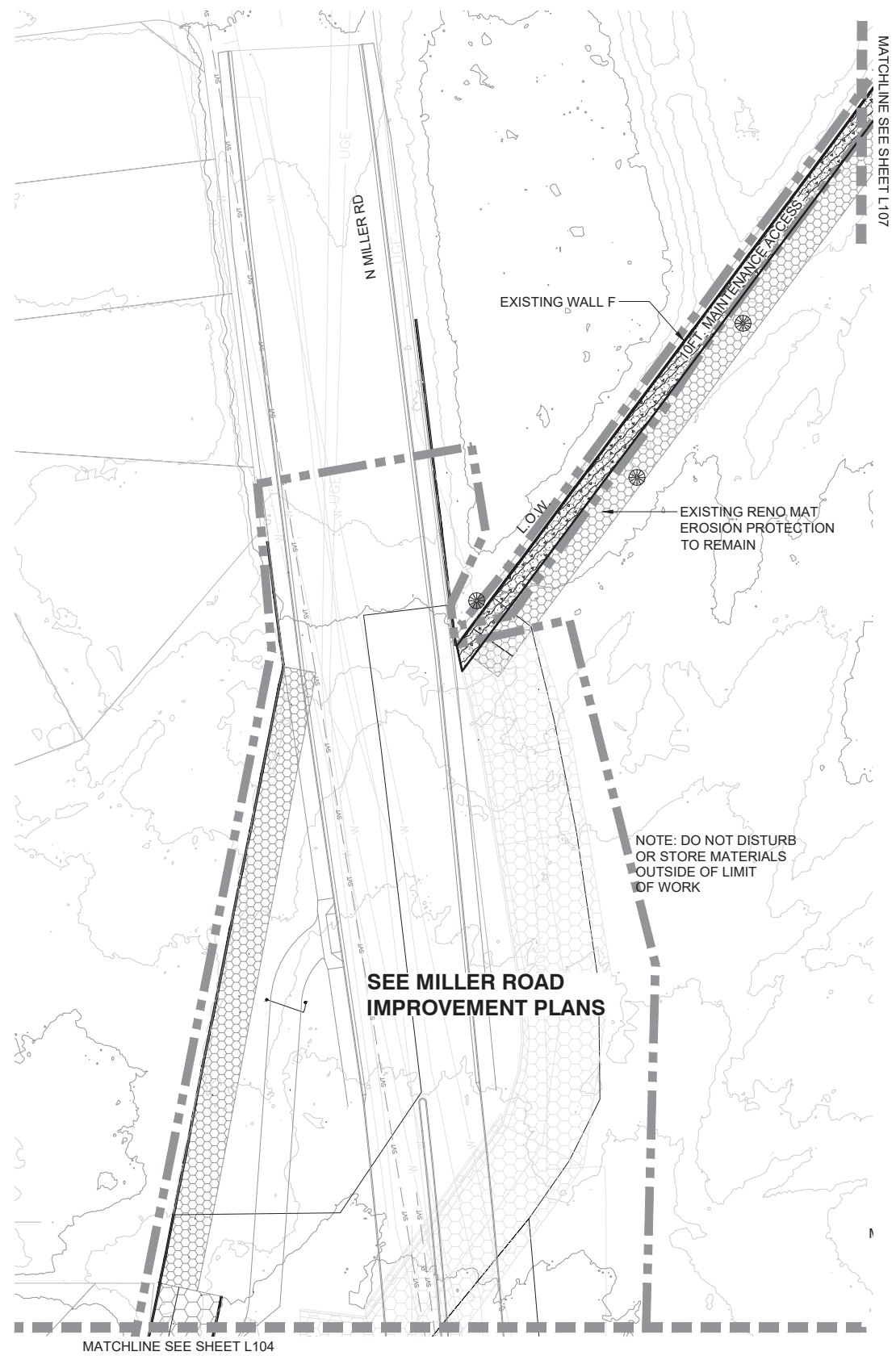
NOTE: DO NOT DISTURB OR STORE MATERIALS OUTSIDE OF LIMIT OF WORK

**KEYMAP:**



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NO.	REVISION	BY	DATE
<b>RAWHIDE WASH FLOOD HAZARD MITIGATION</b> FINAL DESIGN - FCD2018C015 - WA#1 - PCN 122.01.30			
	DESIGNED	PW	06/19/2019
	DRAWN	PW, YY	03/05/2021
	CHECKED	JH	
DRAWING NO. LP104		LANDSCAPE PLAN	
		SHEET OF 27 OF 59	





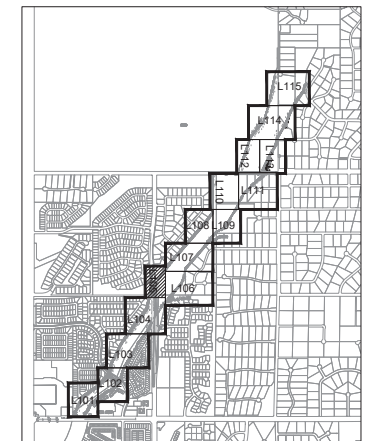
**PLANT SCHEDULE L105**

TREES	CODE	QTY	BOTANICAL / COMMON NAME
	EXI XXL	3	EXISTING CACTI PROTECT IN PLACE
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME
	HYD H2	3,476 SF	HYDROSEED - NON-WOODY HYDROSEED

NOTE: ALL EXISTING WALLS INDICATED ON PLANS ARE TO REMAIN IN PLACE AND MAY BE MODIFIED DURING CONSTRUCTION PER CIVIL PLANS.

LEGEND	
	PARCEL LINES
	UNDERGROUND ELECTRICAL
	STORM SEWER
	TV LINE
	WATER LINE
	EXISTING GABION MAT TO REMAIN IN PLACE
	NEW GABION MAT RE: CIVIL SHEETS

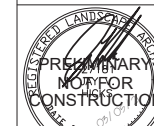
KEYMAP:



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NO.	REVISION	BY	DATE

FLOOD CONTROL DISTRICT  
OF MARICOPA COUNTY  
ENGINEERING DIVISION

RAWHIDE WASH FLOOD HAZARD MITIGATION  
FINAL DESIGN - FCD2018C015 - WA#1 - PCN 122.01.30



	BY	DATE
DESIGNED	PW	06/19/2019
DRAWN	PW, YY	03/05/2021
CHECKED	JH	

**Dig** 600 N 4TH ST SUITE D  
PHOENIX, AZ 85004  
(602) 595-4101

SHEET OF  
28 OF 59

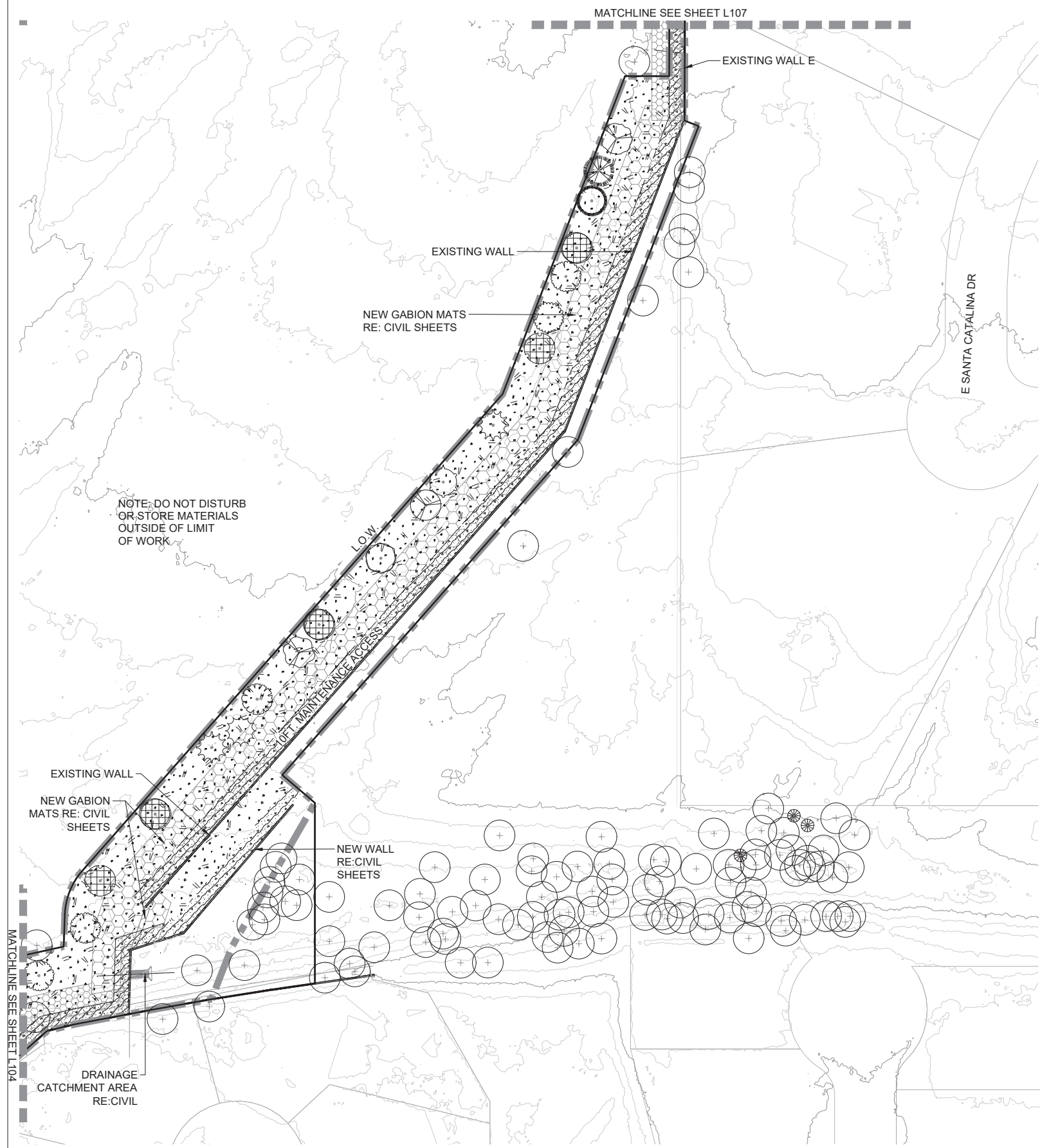
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SCALE: 1" = 40'-0"



EXP. 6/30/2023  
DRAWING NO.  
LP105

LANDSCAPE PLAN

MATCHLINE SEE SHEET L107



**PLANT SCHEDULE L106**

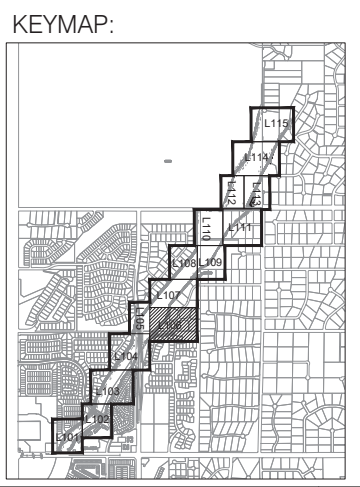
TREES	CODE	QTY	BOTANICAL / COMMON NAME
	CER FLO	1	CERCIDIUM FLORIDUM BLUE PALO VERDE
	CER FL2	2	CERCIDIUM FLORIDUM BLUE PALO VERDE
	CER FL3	1	CERCIDIUM FLORIDUM BLUE PALO VERDE
	EXI XXL	3	EXISTING CACTI PROTECT IN PLACE
	EXI 417	110	EXISTING TREE PROTECT IN PLACE
	OLN TE2	1	OLNEYA TESOTA DESERT IRONWOOD
	OLN TE3	1	OLNEYA TESOTA DESERT IRONWOOD
	OL TE	3	OLNEYA TESOTA DESERT IRONWOOD
	PAR LE2	3	PARKINSONIA MICROPHYLLA FOOTHILLS PALO VERDE
	PAR LE3	1	PARKINSONIA MICROPHYLLA FOOTHILLS PALO VERDE
	PAR LE5	1	PARKINSONIA MICROPHYLLA FOOTHILLS PALO VERDE
	PAR LE4	1	PARKINSONIA MICROPHYLLA FOOTHILLS PALO VERDE
	PA MI	2	PARKINSONIA MICROPHYLLUM FOOTHILLS PALO VERDE
	PRO GL2	1	PROSOPIS GLANDULOSA HONEY MESQUITE
	PRO GL4	1	PROSOPIS GLANDULOSA HONEY MESQUITE
	PRO GL5	1	PROSOPIS GLANDULOSA HONEY MESQUITE

GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME
	HYD	29,564 SF	HYDROSEED - GENERAL
	HYD H2	9,553 SF	HYDROSEED - NON-WOODY HYDROSEED

**LEGEND**

	PARCEL LINES
	UNDERGROUND ELECTRICAL
	STORM SEWER
	TV LINE
	WATER LINE
	EXISTING GABION MAT TO REMAIN IN PLACE
	NEW GABION MAT RE: CIVIL SHEETS

NOTE: ALL EXISTING WALLS INDICATED ON PLANS ARE TO REMAIN IN PLACE AND MAY BE MODIFIED DURING CONSTRUCTION PER CIVIL PLANS.



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NO.	REVISION	BY	DATE

FLOOD CONTROL DISTRICT  
OF MARICOPA COUNTY  
ENGINEERING DIVISION

RAWHIDE WASH FLOOD HAZARD MITIGATION  
FINAL DESIGN - FCD2018C015 - WA#1 - PCN 122.01.30

	BY	DATE
DESIGNED	PW	06/19/2019
DRAWN	PW, YY	03/05/2021
CHECKED	JH	



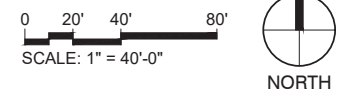
**Dig** 600 N 4TH ST SUITE D  
PHOENIX, AZ 85004  
(602) 595-4101

EXP. 6/30/2023

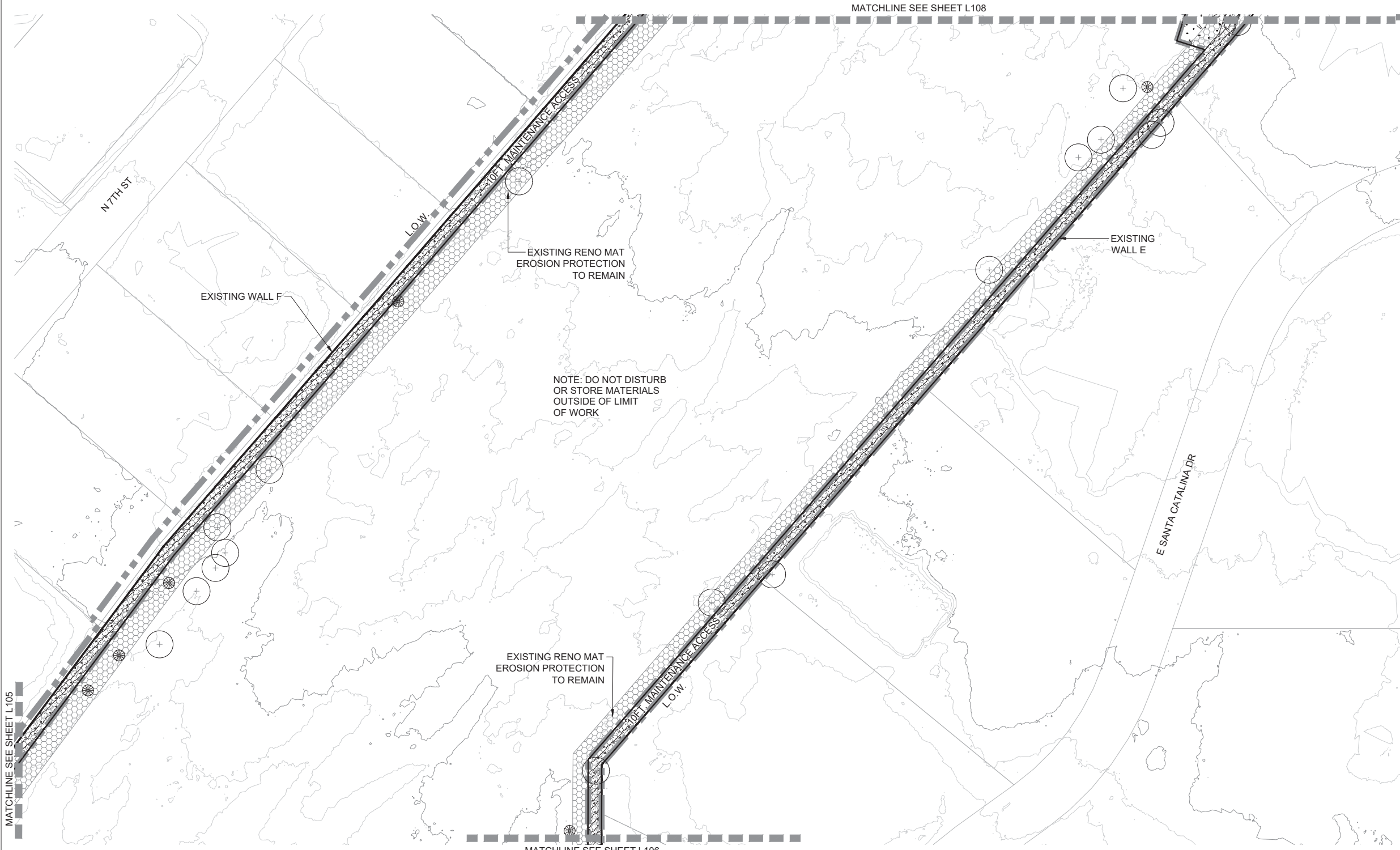
DRAWING NO. LP106

LANDSCAPE PLAN

SHEET OF 29 OF 59



MATCHLINE SEE SHEET L108



NOTE: DO NOT DISTURB OR STORE MATERIALS OUTSIDE OF LIMIT OF WORK

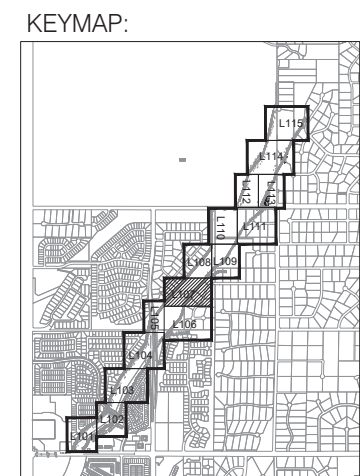
**LEGEND**

	PARCEL LINES
	UNDERGROUND ELECTRICAL
	STORM SEWER
	TV LINE
	WATER LINE
	EXISTING GABION MAT TO REMAIN IN PLACE
	NEW GABION MAT RE: CIVIL SHEETS

NOTE: ALL EXISTING WALLS INDICATED ON PLANS ARE TO REMAIN IN PLACE AND MAY BE MODIFIED DURING CONSTRUCTION PER CIVIL PLANS.

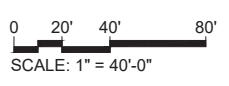
MATCHLINE SEE SHEET L106

MATCHLINE SEE SHEET L106

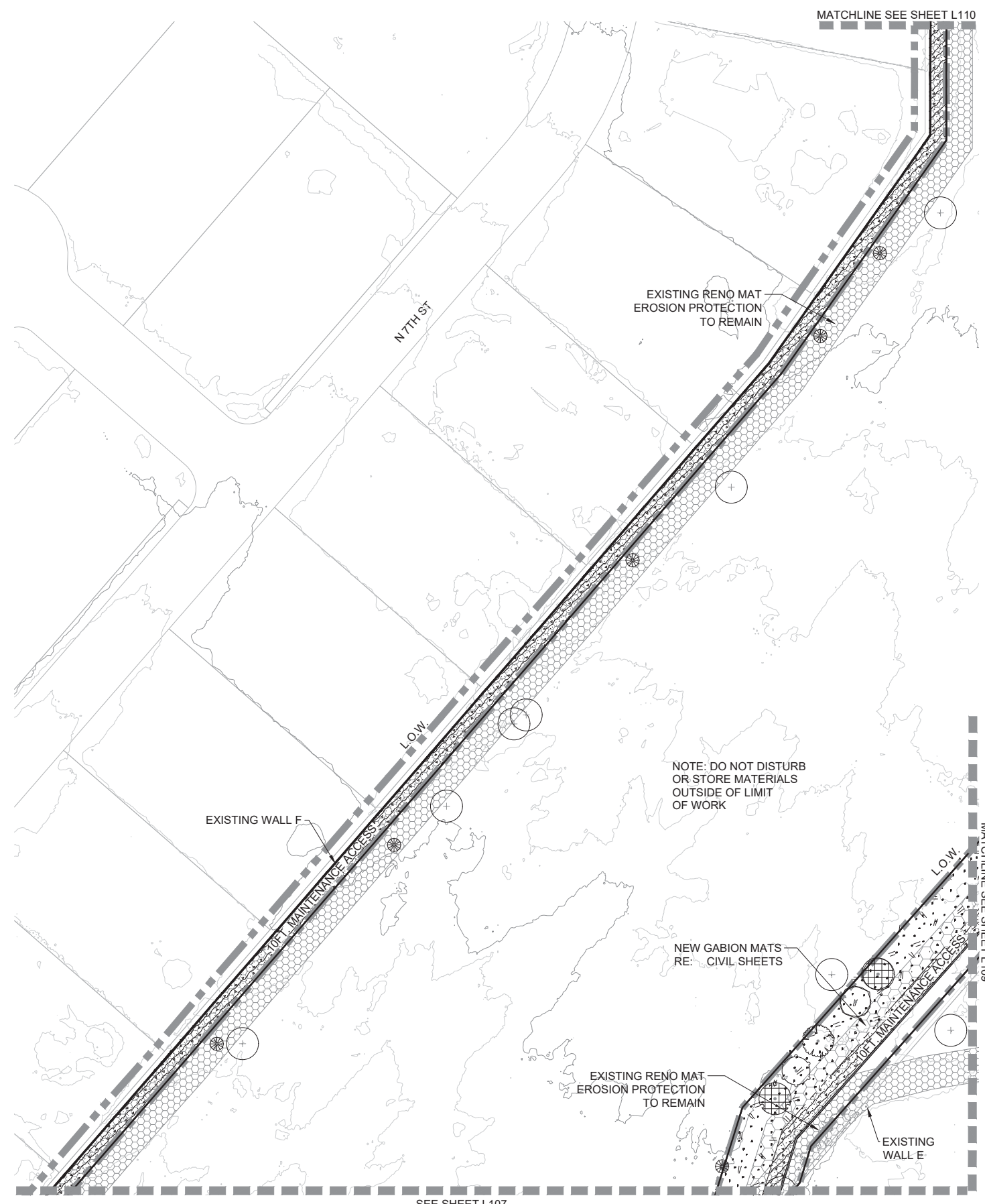


**PLANT SCHEDULE L107**

TREES	CODE	QTY	BOTANICAL / COMMON NAME
	EXI XXL	6	EXISTING CACTI PROTECT IN PLACE
	EXI 417	17	EXISTING TREE PROTECT IN PLACE
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME
	HYD	526 SF	HYDROSEED - GENERAL
	HYD H2	14,627 SF	HYDROSEED - NON-WOODY HYDROSEED



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NO.	REVISION	BY	DATE
<p><b>FLOOD CONTROL DISTRICT OF MARICOPA COUNTY ENGINEERING DIVISION</b></p> <p>RAWHIDE WASH FLOOD HAZARD MITIGATION FINAL DESIGN - FCD2018C015 - WA#1 - PCN 122.01.30</p>			
		BY	DATE
		DESIGNED PW	06/19/2019
		DRAWN PW, YY	03/05/2021
		CHECKED JH	
		<p>600 N 4TH ST SUITE D PHOENIX, AZ 85004 (602) 595-4101</p>	
DRAWING NO. LP107		LANDSCAPE PLAN	



**PLANT SCHEDULE L108**

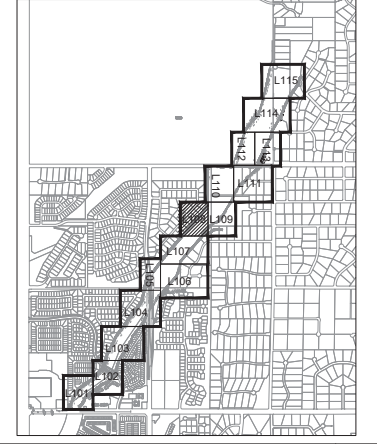
TREES	CODE	QTY	BOTANICAL / COMMON NAME
	EXI XXL	6	EXISTING CACTI PROTECT IN PLACE
	EXI 417	8	EXISTING TREE PROTECT IN PLACE
	OL TE	1	OLNEYA TESOTA DESERT IRONWOOD
	PAR LE2	1	PARKINSONIA MICROPHYLLA FOOTHILLS PALO VERDE
	PAR LE5	1	PARKINSONIA MICROPHYLLA FOOTHILLS PALO VERDE
	PAR LE4	1	PARKINSONIA MICROPHYLLA FOOTHILLS PALO VERDE
	PA MI	1	PARKINSONIA MICROPHYLLUM FOOTHILLS PALO VERDE
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME
	HYD	7,383 SF	HYDROSEED - GENERAL
	HYD H2	16,136 SF	HYDROSEED - NON-WOODY HYDROSEED

NOTE: ALL EXISTING WALLS INDICATED ON PLANS ARE TO REMAIN IN PLACE AND MAY BE MODIFIED DURING CONSTRUCTION PER CIVIL PLANS.

**LEGEND**

	PARCEL LINES
	UNDERGROUND ELECTRICAL
	STORM SEWER
	TV LINE
	WATER LINE
	EXISTING GABION MAT TO REMAIN IN PLACE
	NEW GABION MAT RE: CIVIL SHEETS

**KEYMAP:**



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NO.	REVISION	BY	DATE

FLOOD CONTROL DISTRICT OF MARICOPA COUNTY  
ENGINEERING DIVISION

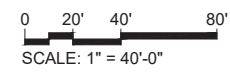
RAWHIDE WASH FLOOD HAZARD MITIGATION  
FINAL DESIGN - FCD2018C015 - WA#1 - PCN 122.01.30

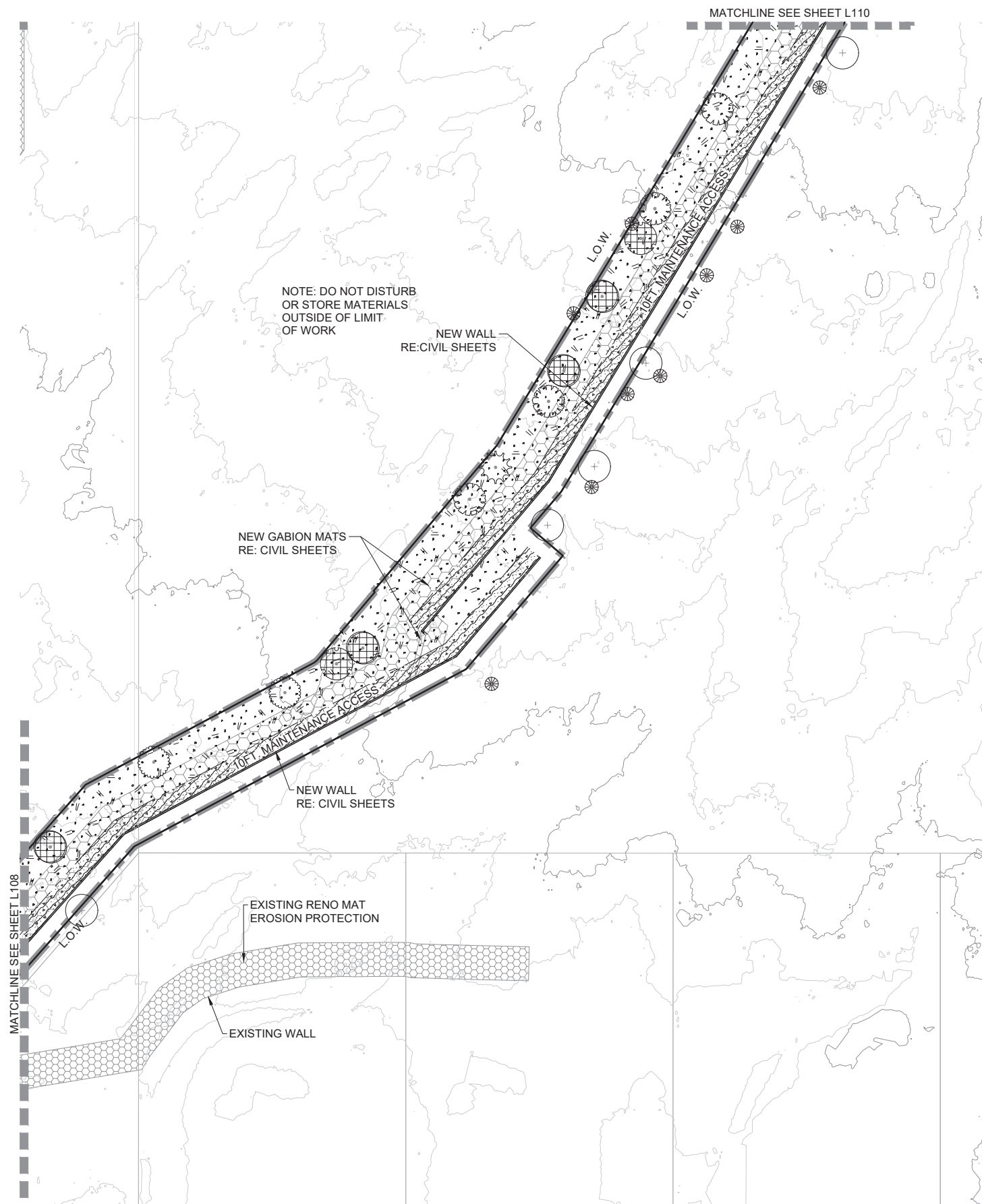
	BY	DATE
DESIGNED	PW	06/19/2019
DRAWN	PW, YY	03/05/2021
CHECKED	JH	



**Dig** 600 N 4TH ST SUITE D  
PHOENIX, AZ 85004  
(602) 595-4101

DRAWING NO. LP108 LANDSCAPE PLAN SHEET OF 31 OF 59





**PLANT SCHEDULE L109**

TREES	CODE	QTY	BOTANICAL / COMMON NAME
	CER FL2	1	CERCIDIUM FLORIDUM BLUE PALO VERDE
	CER FL3	4	CERCIDIUM FLORIDUM BLUE PALO VERDE
	EXI XXL	9	EXISTING CACTI PROTECT IN PLACE
	EXI 417	5	EXISTING TREE PROTECT IN PLACE
	OL TE	4	OLNEYA TESOTA DESERT IRONWOOD
	PAR LE3	2	PARKINSONIA MICROPHYLLA FOOTHILLS PALO VERDE
	PA MI	2	PARKINSONIA MICROPHYLLUM FOOTHILLS PALO VERDE

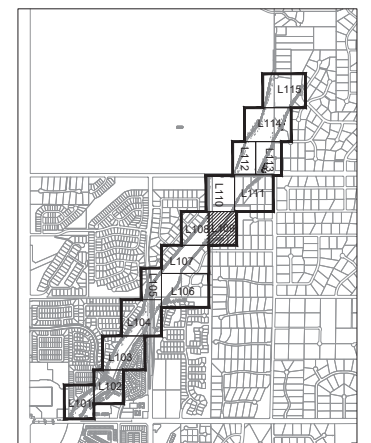
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME
	HYD	23,532 SF	HYDROSEED - GENERAL
	HYD H2	8,468 SF	HYDROSEED - NON-WOODY HYDROSEED

NOTE: ALL EXISTING WALLS INDICATED ON PLANS ARE TO REMAIN IN PLACE AND MAY BE MODIFIED DURING CONSTRUCTION PER CIVIL PLANS.

**LEGEND**

	PARCEL LINES
	UNDERGROUND ELECTRICAL
	STORM SEWER
	TV LINE
	WATER LINE
	EXISTING GABION MAT TO REMAIN IN PLACE
	NEW GABION MAT RE: CIVIL SHEETS

**KEYMAP:**



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NO.	REVISION	BY	DATE

FLOOD CONTROL DISTRICT  
OF MARICOPA COUNTY  
ENGINEERING DIVISION

RAWHIDE WASH FLOOD HAZARD MITIGATION  
FINAL DESIGN - FCD2018C015 - WA#1 - PCN 122.01.30

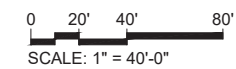
	BY	DATE
DESIGNED	PW	06/19/2019
DRAWN	PW, YY	03/05/2021
CHECKED	JH	

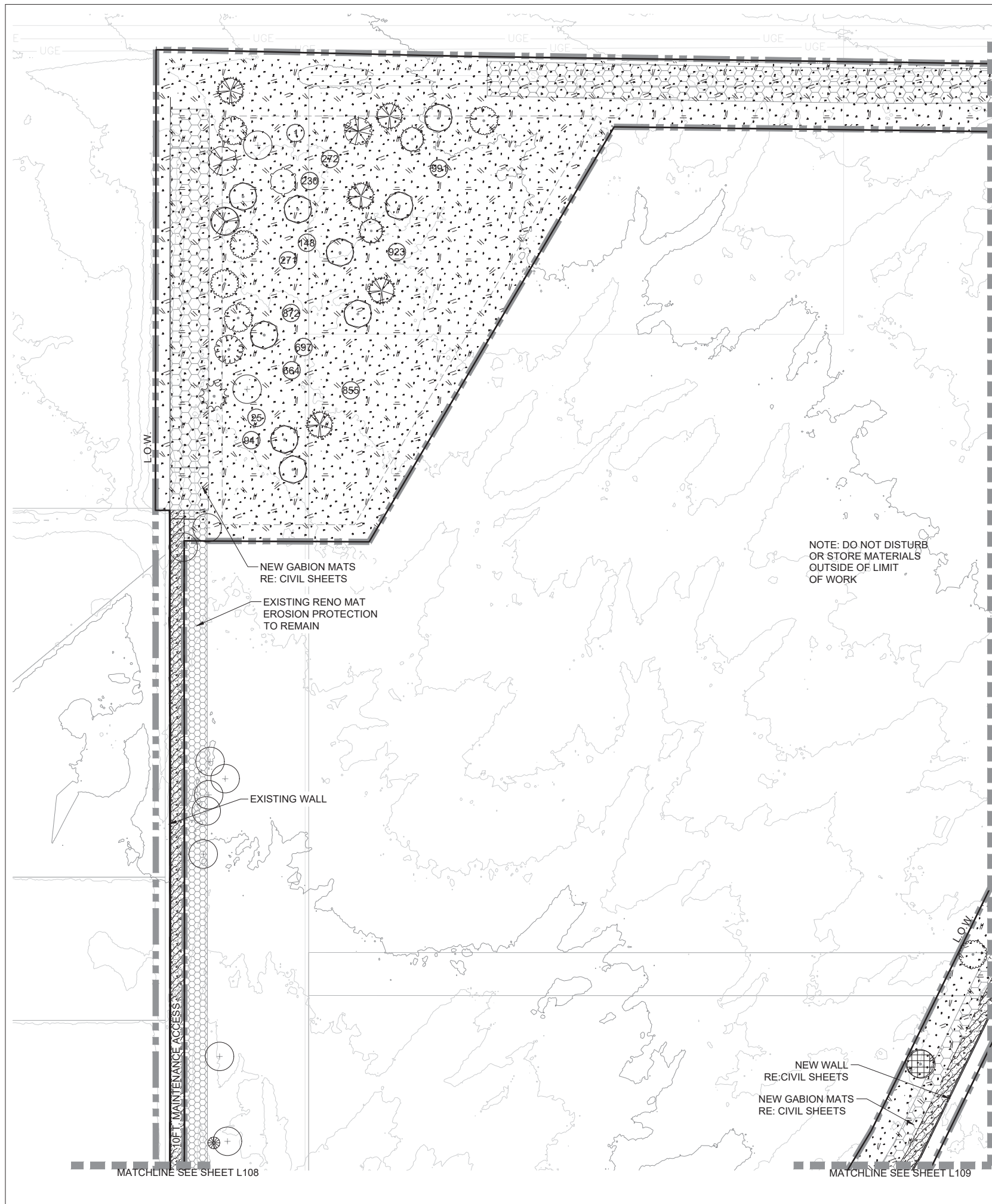


**Dig** 600 N 4TH ST SUITE D  
PHOENIX, AZ 85004  
(602) 595-4101

EXP. 6/30/2023

DRAWING NO. LP109 LANDSCAPE PLAN SHEET OF 32 OF 59

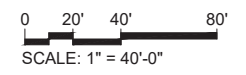




**PLANT SCHEDULE L110**

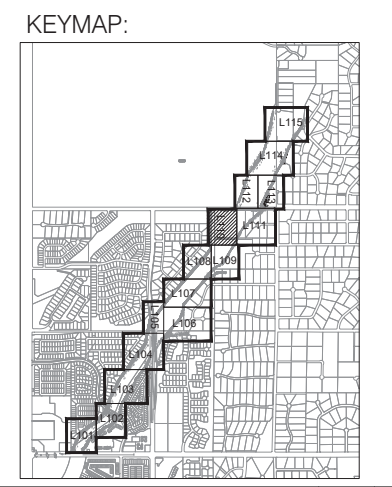
TREES	CODE	QTY	BOTANICAL / COMMON NAME
	CER FL2	1	CERCIDIUM FLORIDUM BLUE PALO VERDE
	CER FL3	1	CERCIDIUM FLORIDUM BLUE PALO VERDE
	CER FL5	2	CERCIDIUM FLORIDUM BLUE PALO VERDE
	EXI XXL	1	EXISTING CACTI PROTECT IN PLACE
	EXI 417	11	EXISTING TREE PROTECT IN PLACE
	OLN TE4	5	OLNEYA TESOTA DESERT IRONWOOD
	OL TE	1	OLNEYA TESOTA DESERT IRONWOOD
	PAR LE2	3	PARKINSONIA MICROPHYLLA FOOTHILLS PALO VERDE
	PAR LE3	3	PARKINSONIA MICROPHYLLA FOOTHILLS PALO VERDE
	PAR LE5	9	PARKINSONIA MICROPHYLLA FOOTHILLS PALO VERDE
	PAR LE4	1	PARKINSONIA MICROPHYLLA FOOTHILLS PALO VERDE
	PRO GL3	1	PROSOPIS GLANDULOSA HONEY MESQUITE
	PRO GL4	1	PROSOPIS GLANDULOSA HONEY MESQUITE
	PRO GL6	1	PROSOPIS GLANDULOSA HONEY MESQUITE
CACTUS	CODE	QTY	BOTANICAL / COMMON NAME
	CAR GIG	13	CARNEGIEA GIGANTEA SAGUARO
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME
	HYD	99,788 SF	HYDROSEED - GENERAL
	HYD H2	4,555 SF	HYDROSEED - NON-WOODY HYDROSEED

NOTE: ALL EXISTING WALLS INDICATED ON PLANS ARE TO REMAIN IN PLACE AND MAY BE MODIFIED DURING CONSTRUCTION PER CIVIL PLANS.

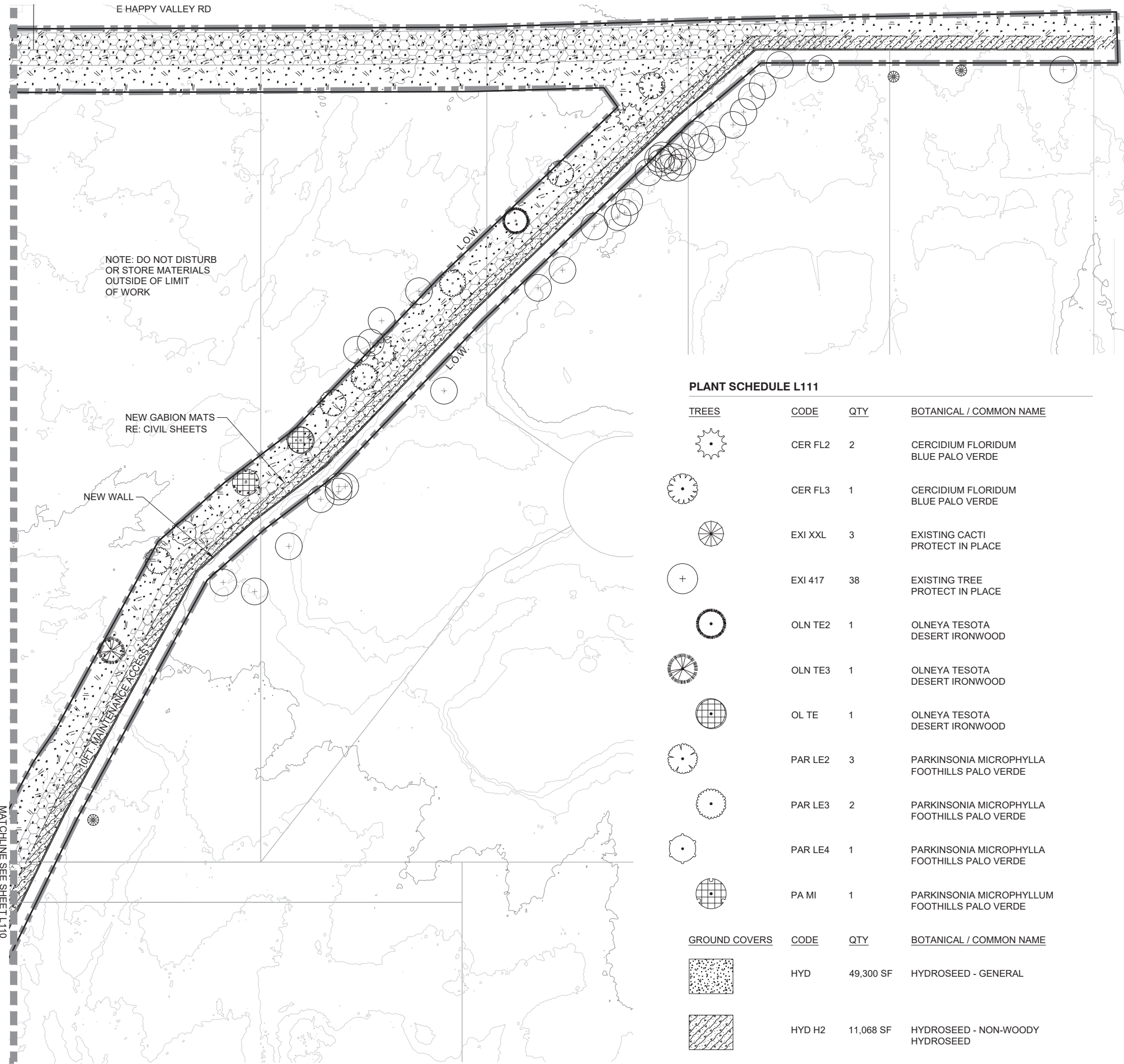


**LEGEND**

	PARCEL LINES
	UNDERGROUND ELECTRICAL
	STORM SEWER
	TV LINE
	WATER LINE
	EXISTING GABION MAT TO REMAIN IN PLACE
	NEW GABION MAT RE: CIVIL SHEETS



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NO.	REVISION	BY	DATE
<p><b>FLOOD CONTROL DISTRICT OF MARICOPA COUNTY ENGINEERING DIVISION</b></p>			
<p><b>RAWHIDE WASH FLOOD HAZARD MITIGATION FINAL DESIGN - FCD2018C015 - WA#1 - PCN 122.01.30</b></p>			
		<b>BY</b>	<b>DATE</b>
DESIGNED	PW		06/19/2019
DRAWN	PW, YJ		03/05/2021
CHECKED	JH		
		<p><b>Dig</b> 600 N 4TH ST SUITE D PHOENIX, AZ 85004 (602) 595-4101</p>	
		<p>EXP. 6/30/2023</p>	
DRAWING NO. LP110		LANDSCAPE PLAN	
			SHEET OF 33 OF 59



NOTE: DO NOT DISTURB OR STORE MATERIALS OUTSIDE OF LIMIT OF WORK

NEW GABION MATS RE: CIVIL SHEETS

NEW WALL

10 FT. MAINTENANCE ACCESS

MATCHLINE SEE SHEET L110

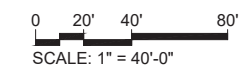
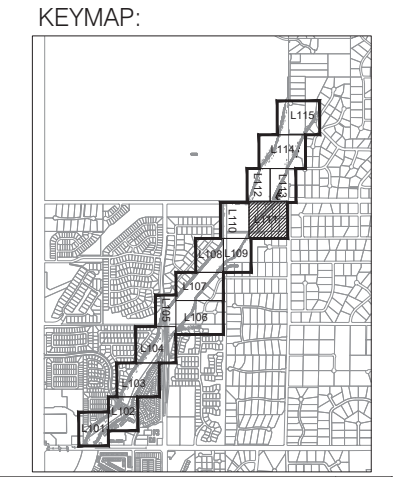
**PLANT SCHEDULE L111**

TREES	CODE	QTY	BOTANICAL / COMMON NAME
	CER FL2	2	CERCIDIUM FLORIDUM BLUE PALO VERDE
	CER FL3	1	CERCIDIUM FLORIDUM BLUE PALO VERDE
	EXI XXL	3	EXISTING CACTI PROTECT IN PLACE
	EXI 417	38	EXISTING TREE PROTECT IN PLACE
	OLN TE2	1	OLNEYA TESOTA DESERT IRONWOOD
	OLN TE3	1	OLNEYA TESOTA DESERT IRONWOOD
	OL TE	1	OLNEYA TESOTA DESERT IRONWOOD
	PAR LE2	3	PARKINSONIA MICROPHYLLA FOOTHILLS PALO VERDE
	PAR LE3	2	PARKINSONIA MICROPHYLLA FOOTHILLS PALO VERDE
	PAR LE4	1	PARKINSONIA MICROPHYLLA FOOTHILLS PALO VERDE
	PA MI	1	PARKINSONIA MICROPHYLLUM FOOTHILLS PALO VERDE
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME
	HYD	49,300 SF	HYDROSEED - GENERAL
	HYD H2	11,068 SF	HYDROSEED - NON-WOODY HYDROSEED

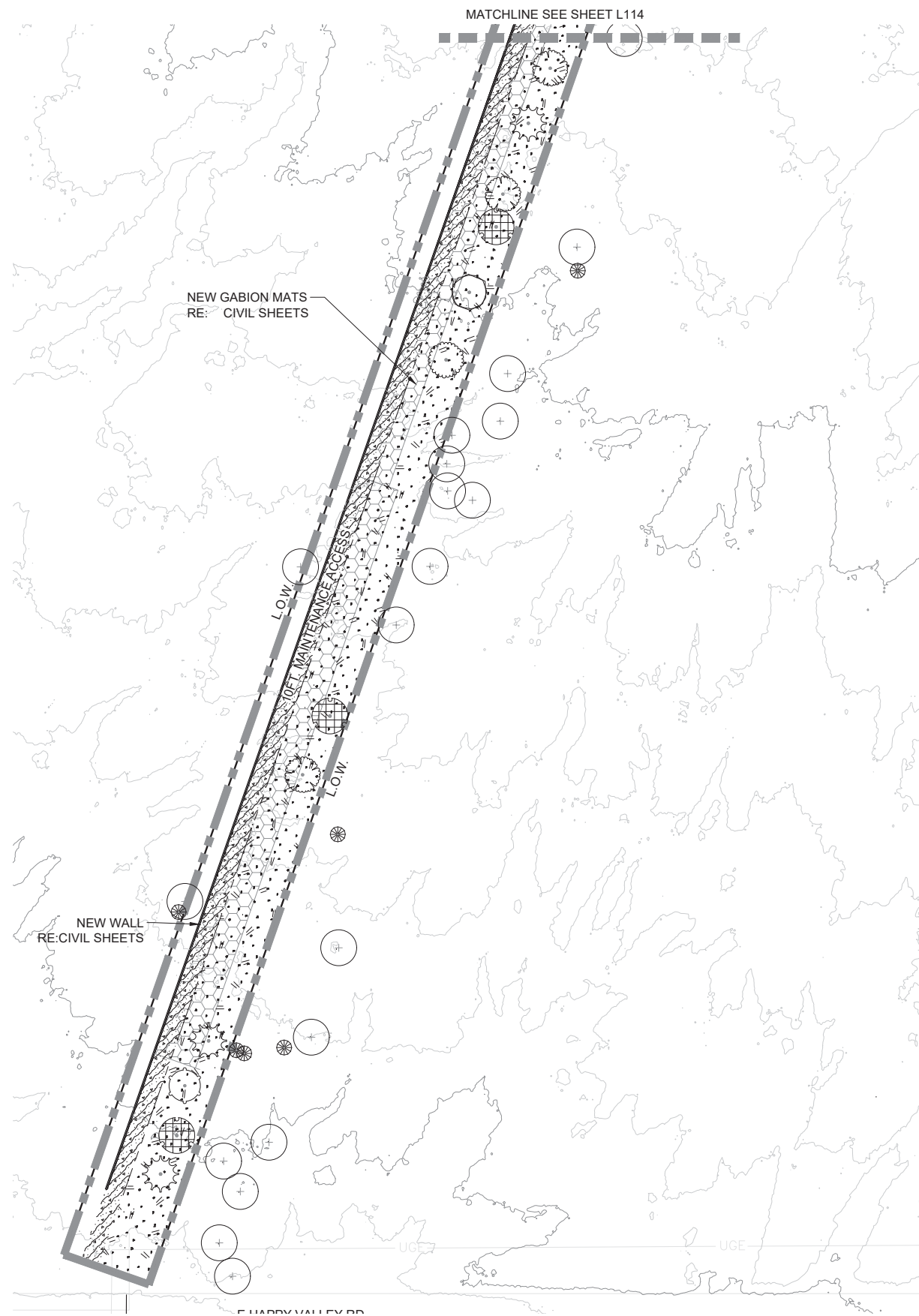
**LEGEND**

	PARCEL LINES
	UNDERGROUND ELECTRICAL
	STORM SEWER
	TV LINE
	WATER LINE
	EXISTING GABION MAT TO REMAIN IN PLACE
	NEW GABION MAT RE: CIVIL SHEETS

NOTE: ALL EXISTING WALLS INDICATED ON PLANS ARE TO REMAIN IN PLACE AND MAY BE MODIFIED DURING CONSTRUCTION PER CIVIL PLANS.



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NO.	REVISION	BY	DATE
<p>FLOOD CONTROL DISTRICT OF MARICOPA COUNTY ENGINEERING DIVISION</p>			
<p>RAWHIDE WASH FLOOD HAZARD MITIGATION FINAL DESIGN - FCD2018C015 - WA#1 - PCN 122.01.30</p>			
		BY	DATE
DESIGNED	PW		06/19/2019
DRAWN	PW, YJ		03/05/2021
CHECKED	JH		
		<p><b>Dig</b> 600 N 4TH ST SUITE D PHOENIX, AZ 85004 (602) 595-4101</p>	
		DRAWING NO. LP111	LANDSCAPE PLAN



**PLANT SCHEDULE L112**

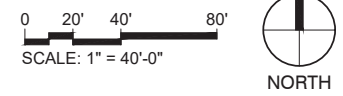
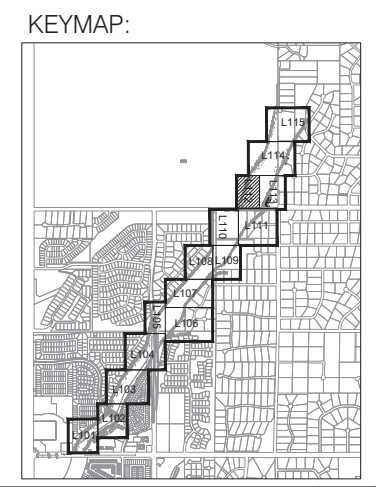
TREES	CODE	QTY	BOTANICAL / COMMON NAME
	CER FL2	3	CERCIDIUM FLORIDUM BLUE PALO VERDE
	EXI XXL	6	EXISTING CACTI PROTECT IN PLACE
	EXI 417	19	EXISTING TREE PROTECT IN PLACE
	PAR LE2	3	PARKINSONIA MICROPHYLLA FOOTHILLS PALO VERDE
	PAR LE3	1	PARKINSONIA MICROPHYLLA FOOTHILLS PALO VERDE
	PAR LE5	1	PARKINSONIA MICROPHYLLA FOOTHILLS PALO VERDE
	PAR LE4	1	PARKINSONIA MICROPHYLLA FOOTHILLS PALO VERDE
	PA MI	3	PARKINSONIA MICROPHYLLUM FOOTHILLS PALO VERDE

GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME
	HYD	21,727 SF	HYDROSEED - GENERAL
	HYD H2	7,174 SF	HYDROSEED - NON-WOODY HYDROSEED

NOTE: ALL EXISTING WALLS INDICATED ON PLANS ARE TO REMAIN IN PLACE AND MAY BE MODIFIED DURING CONSTRUCTION PER CIVIL PLANS.

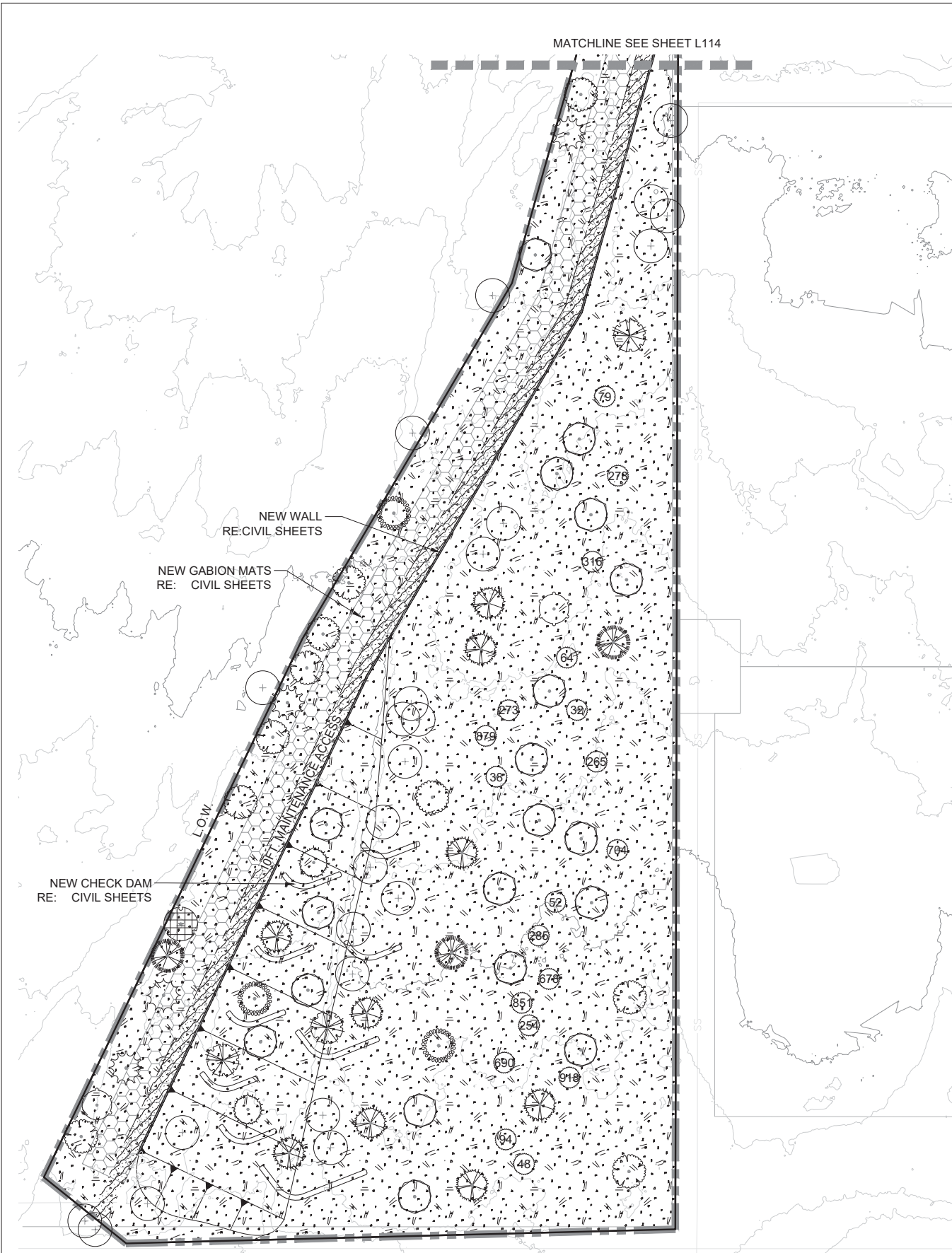
**LEGEND**

	PARCEL LINES
	UNDERGROUND ELECTRICAL
	STORM SEWER
	TV LINE
	WATER LINE
	EXISTING GABION MAT TO REMAIN IN PLACE
	NEW GABION MAT RE: CIVIL SHEETS



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NO.	REVISION	BY	DATE
<b>RAWHIDE WASH FLOOD HAZARD MITIGATION</b> FINAL DESIGN - FCD2018C015 - WA#1 - PCN 122.01.30			
	DESIGNED	PW	06/19/2019
	DRAWN	PW, YY	03/05/2021
	CHECKED	JH	
DRAWING NO. LP112		LANDSCAPE PLAN	
		SHEET OF 35 OF 59	





MATCHLINE SEE SHEET L114

**PLANT SCHEDULE L113**

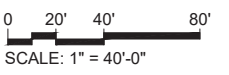
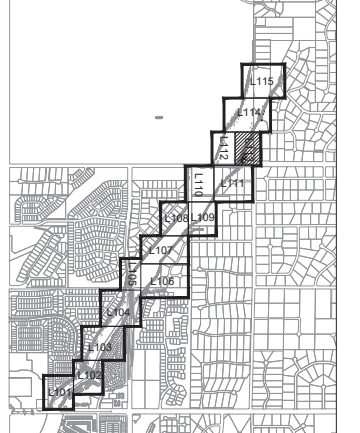
TREES	CODE	QTY	BOTANICAL / COMMON NAME
	CER FLO	1	CERCIDIUM FLORIDUM BLUE PALO VERDE
	CER FL2	3	CERCIDIUM FLORIDUM BLUE PALO VERDE
	CER FL5	2	CERCIDIUM FLORIDUM BLUE PALO VERDE
	CER FL4	3	CERCIDIUM FLORIDUM BLUE PALO VERDE
	EXI 417	24	EXISTING TREE PROTECT IN PLACE
	OLN TE4	9	OLNEYA TESOTA DESERT IRONWOOD
	OLN TE3	3	OLNEYA TESOTA DESERT IRONWOOD
	PAR LE2	7	PARKINSONIA MICROPHYLLA FOOTHILLS PALO VERDE
	PAR LE3	3	PARKINSONIA MICROPHYLLA FOOTHILLS PALO VERDE
	PAR LE5	19	PARKINSONIA MICROPHYLLA FOOTHILLS PALO VERDE
	PAR LE4	2	PARKINSONIA MICROPHYLLA FOOTHILLS PALO VERDE
	PA MI	1	PARKINSONIA MICROPHYLLUM FOOTHILLS PALO VERDE
	PRO GL6	3	PROSOPIS GLANDULOSA HONEY MESQUITE
CACTUS	CODE	QTY	BOTANICAL / COMMON NAME
	CAR GIG	19	CARNEGIEA GIGANTEA SAGUARO
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME
	HYD	142,174 SF	HYDROSEED - GENERAL
	HYD H2	7,564 SF	HYDROSEED - NON-WOODY HYDROSEED

NOTE: ALL EXISTING WALLS INDICATED ON PLANS ARE TO REMAIN IN PLACE AND MAY BE MODIFIED DURING CONSTRUCTION PER CIVIL PLANS.

**LEGEND**

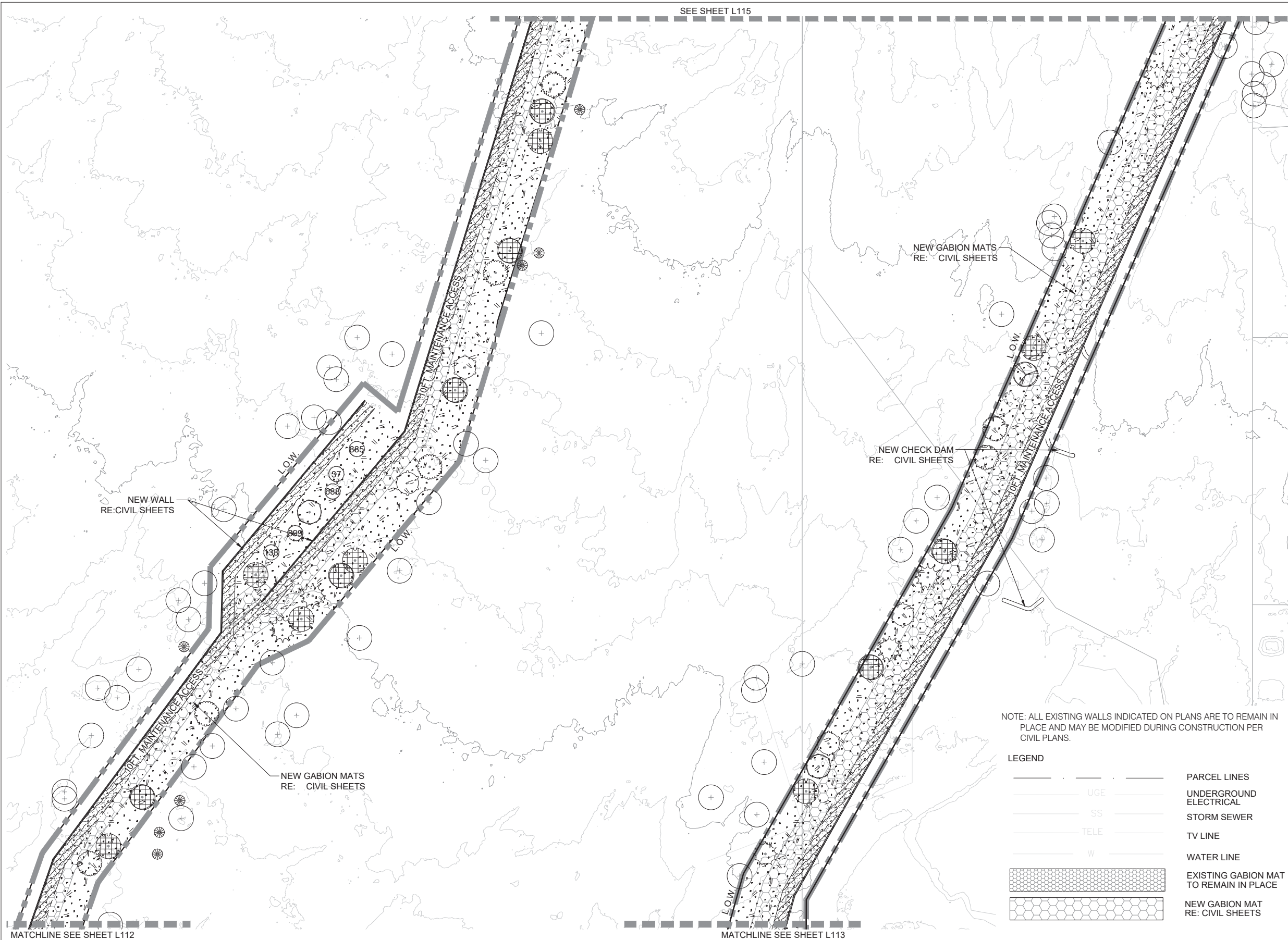
	PARCEL LINES
	UNDERGROUND ELECTRICAL
	STORM SEWER
	TV LINE
	WATER LINE
	EXISTING GABION MAT TO REMAIN IN PLACE
	NEW GABION MAT RE: CIVIL SHEETS

**KEYMAP:**



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NO.	REVISION	BY	DATE
<p>FLOOD CONTROL DISTRICT OF MARICOPA COUNTY ENGINEERING DIVISION</p>			
<p>RAWHIDE WASH FLOOD HAZARD MITIGATION FINAL DESIGN - FCD2018C015 - WA#1 - PCN 122.01.30</p>			
		BY	DATE
	DESIGNED	PW	06/19/2019
	DRAWN	PW, YY	03/05/2021
	CHECKED	JH	
<p><b>Dig</b> 600 N 4TH ST SUITE D PHOENIX, AZ 85004 (602) 595-4101</p>		SHEET OF	
DRAWING NO. LP113		LANDSCAPE PLAN	
		36 OF 59	

SEE SHEET L115



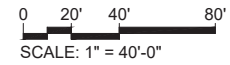
MATCHLINE SEE SHEET L112

MATCHLINE SEE SHEET L113

NOTE: ALL EXISTING WALLS INDICATED ON PLANS ARE TO REMAIN IN PLACE AND MAY BE MODIFIED DURING CONSTRUCTION PER CIVIL PLANS.

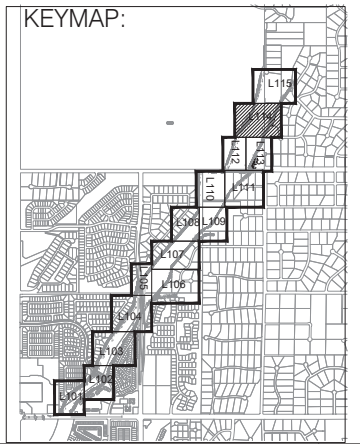
**LEGEND**

---	---	---	PARCEL LINES
---	UGE	---	UNDERGROUND ELECTRICAL
---	SS	---	STORM SEWER
---	TELE	---	TV LINE
---	W	---	WATER LINE
[Pattern]			EXISTING GABION MAT TO REMAIN IN PLACE
[Pattern]			NEW GABION MAT RE: CIVIL SHEETS



**PLANT SCHEDULE L114**

TREES	CODE	QTY	BOTANICAL / COMMON NAME
[Symbol]	CER FLO	1	CERCIDIUM FLORIDUM BLUE PALO VERDE
[Symbol]	CER FL2	5	CERCIDIUM FLORIDUM BLUE PALO VERDE
[Symbol]	EXI XXL	7	EXISTING CACTI PROTECT IN PLACE
[Symbol]	EXI 417	56	EXISTING TREE PROTECT IN PLACE
[Symbol]	OL TE	7	OLNEYA TESOTA DESERT IRONWOOD
[Symbol]	PAR LE2	2	PARKINSONIA MICROPHYLLA FOOTHILLS PALO VERDE
[Symbol]	PAR LE3	5	PARKINSONIA MICROPHYLLA FOOTHILLS PALO VERDE
[Symbol]	PAR LE5	2	PARKINSONIA MICROPHYLLA FOOTHILLS PALO VERDE
[Symbol]	PAR LE4	4	PARKINSONIA MICROPHYLLA FOOTHILLS PALO VERDE
[Symbol]	PA MI	8	PARKINSONIA MICROPHYLLUM FOOTHILLS PALO VERDE
[Symbol]	PRO GL3	1	PROSOPIS GLANDULOSA HONEY MESQUITE
CACTUS	CODE	QTY	BOTANICAL / COMMON NAME
[Symbol]	CAR GIG	5	CARNEGIEA GIGANTEA SAGUARO
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME
[Pattern]	HYD	62,766 SF	HYDROSEED - GENERAL
[Pattern]	HYD H2	18,892 SF	HYDROSEED - NON-WOODY HYDROSEED



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NO.	REVISION	BY	DATE
<p><b>FLOOD CONTROL DISTRICT OF MARICOPA COUNTY ENGINEERING DIVISION</b></p>			
<p><b>RAWHIDE WASH FLOOD HAZARD MITIGATION FINAL DESIGN - FCD2018C015 - WA#1 - PCN 122.01.30</b></p>			
		BY	DATE
		DESIGNED PW	06/19/2019
		DRAWN PW, YY	03/05/2021
		CHECKED JH	
<p>PRELIMINARY NOT FOR CONSTRUCTION</p>		<p><b>Dig</b> 600 N 4TH ST SUITE D PHOENIX, AZ 85004 (602) 595-4101</p>	
DRAWING NO. LP114		LANDSCAPE PLAN	
			SHEET OF 37 OF 59



**LEGEND**

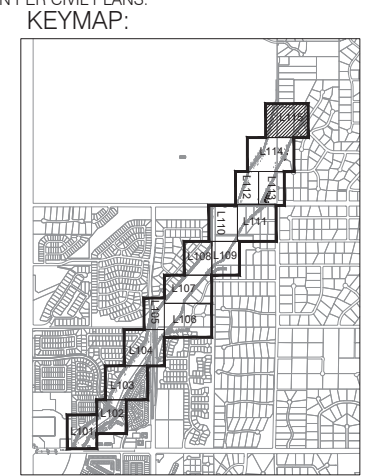
---	PARCEL LINES
---	UNDERGROUND ELECTRICAL
---	STORM SEWER
---	TV LINE
---	WATER LINE
[Pattern]	EXISTING GABION MAT TO REMAIN IN PLACE
[Pattern]	NEW GABION MAT RE: CIVIL SHEETS

**PLANT SCHEDULE L115**

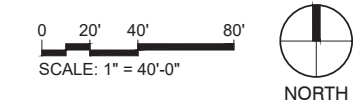
TREES	CODE	QTY	BOTANICAL / COMMON NAME
[Symbol]	CER FL2	4	CERCIDIUM FLORIDUM BLUE PALO VERDE
[Symbol]	CER FL3	4	CERCIDIUM FLORIDUM BLUE PALO VERDE
[Symbol]	CER FL4	1	CERCIDIUM FLORIDUM BLUE PALO VERDE
[Symbol]	EXI XXL	4	EXISTING CACTI PROTECT IN PLACE
[Symbol]	EXI 417	41	EXISTING TREE PROTECT IN PLACE
[Symbol]	OLN TE2	2	OLNEYA TESOTA DESERT IRONWOOD
[Symbol]	OL TE	1	OLNEYA TESOTA DESERT IRONWOOD
[Symbol]	PAR LE2	3	PARKINSONIA MICROPHYLLA FOOTHILLS PALO VERDE
[Symbol]	PAR LE3	4	PARKINSONIA MICROPHYLLA FOOTHILLS PALO VERDE
[Symbol]	PAR LE5	2	PARKINSONIA MICROPHYLLA FOOTHILLS PALO VERDE
[Symbol]	PA MI	4	PARKINSONIA MICROPHYLLUM FOOTHILLS PALO VERDE

GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME
[Symbol]	HYD	48,404 SF	HYDROSEED - GENERAL
[Symbol]	HYD H2	13,345 SF	HYDROSEED - NON-WOODY HYDROSEED

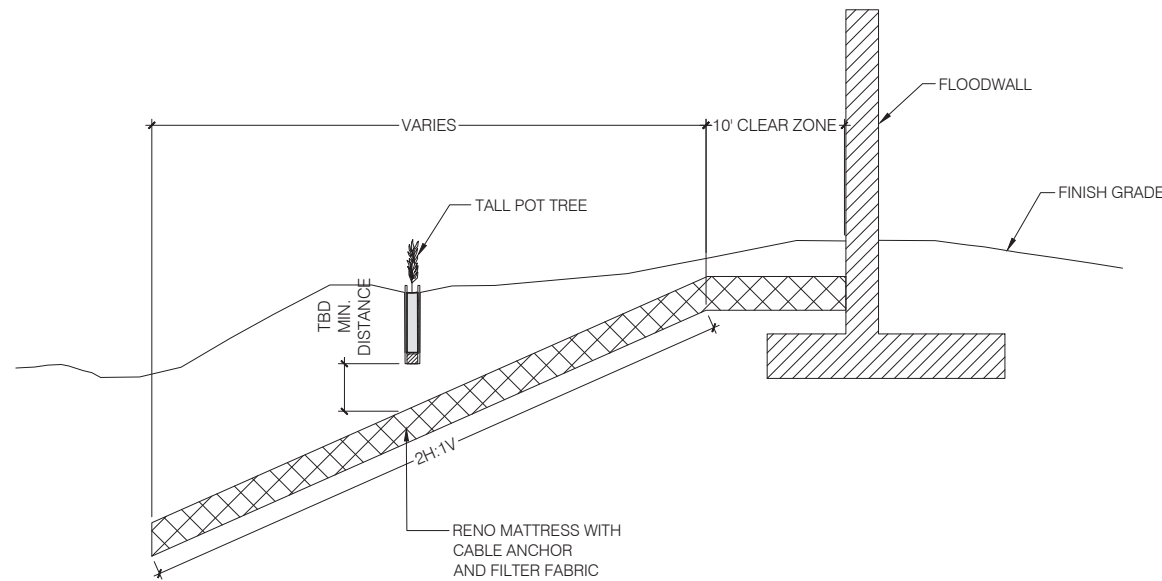
NOTE: ALL EXISTING WALLS INDICATED ON PLANS ARE TO REMAIN IN PLACE AND MAY BE MODIFIED DURING CONSTRUCTION PER CIVIL PLANS.



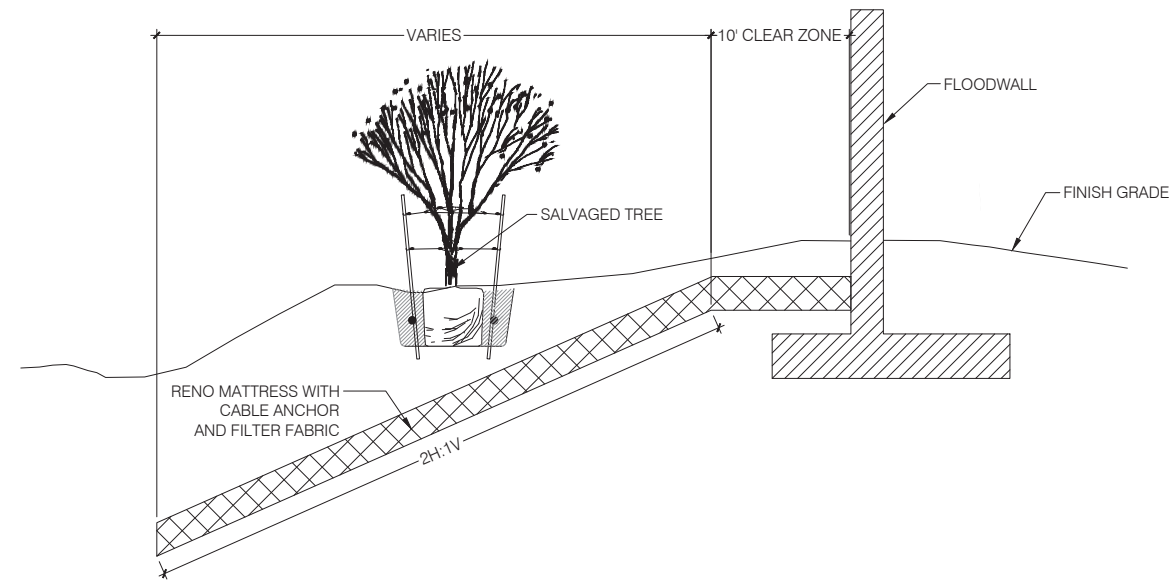
MATCHLINE SEE SHEET L114



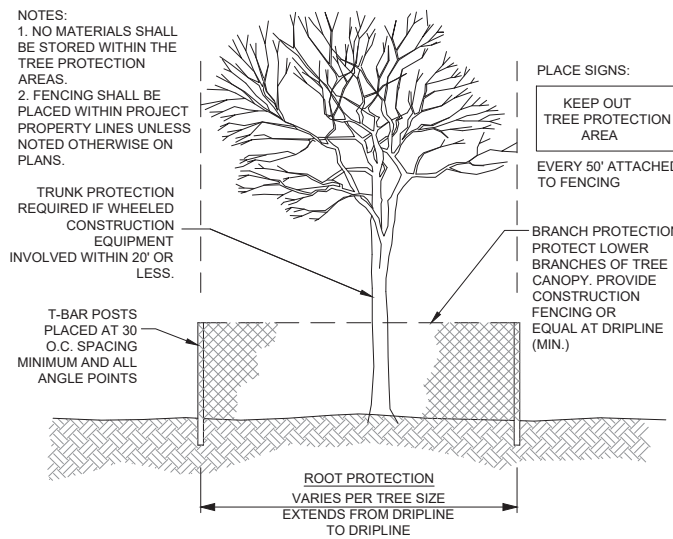
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NO.	REVISION	BY	DATE
 <b>FLOOD CONTROL DISTRICT OF MARICOPA COUNTY ENGINEERING DIVISION</b>			
<b>RAWHIDE WASH FLOOD HAZARD MITIGATION FINAL DESIGN - FCD2018C015 - WA#1 - PCN 122.01.30</b>			
 <b>PRELIMINARY NOT FOR CONSTRUCTION</b>	DESIGNED	PW	06/19/2019
	DRAWN	PW, YY	03/05/2021
	CHECKED	JH	
	 600 N 4TH ST SUITE D PHOENIX, AZ 85004 (602) 595-4101		
DRAWING NO. LP115	LANDSCAPE PLAN		SHEET OF 38 OF 59



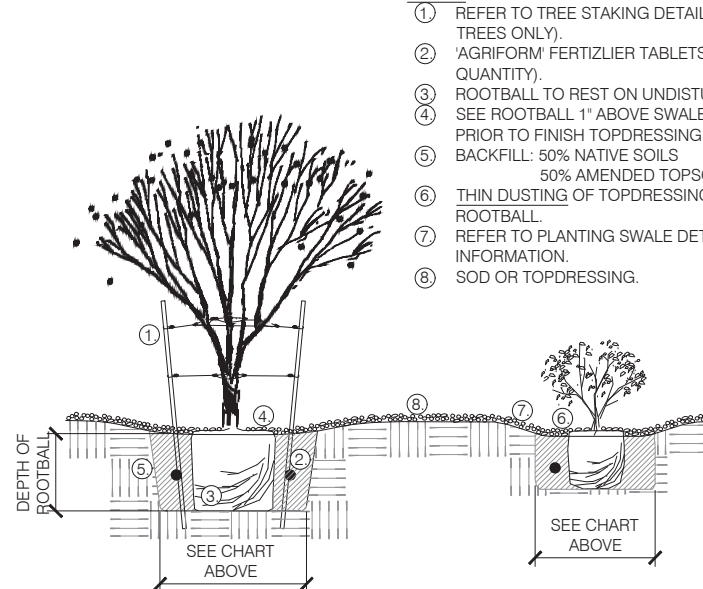
**1** FLOODWALL WITH EROSION PROTECTION AND TALL POT TREE  
3/4" = 1'-0"



**2** FLOODWALL WITH EROSION PROTECTION - SALVAGE TREE  
3/4" = 1'-0"



**3** CONSERVATION AREA LIMITS/TREE PROTECTION  
NTS



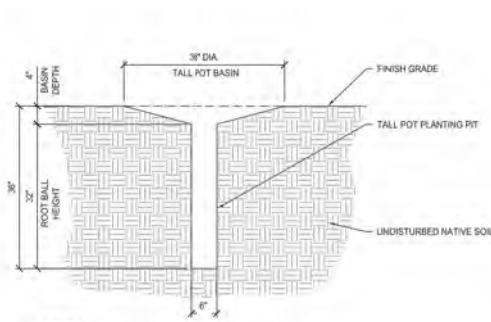
**4** TREE AND SHRUB PLANTING  
1/2" = 1'-0"

- NOTES:
- ① REFER TO TREE STAKING DETAIL (NURSERY GROWN TREES ONLY).
  - ② 'AGRIFORM' FERTILIZER TABLETS (SEE CHART FOR QUANTITY).
  - ③ ROOTBALL TO REST ON UNDISTURBED SOIL.
  - ④ SEE ROOTBALL 1" ABOVE SWALE DEPRESSION. PRIOR TO FINISH TOPDRESSING.
  - ⑤ BACKFILL: 50% NATIVE SOILS  
50% AMENDED TOPSOIL MIX
  - ⑥ THIN DUSTING OF TOPDRESSING MATERIAL OVER ROOTBALL.
  - ⑦ REFER TO PLANTING SWALE DETAIL FOR MORE INFORMATION.
  - ⑧ SOD OR TOPDRESSING.

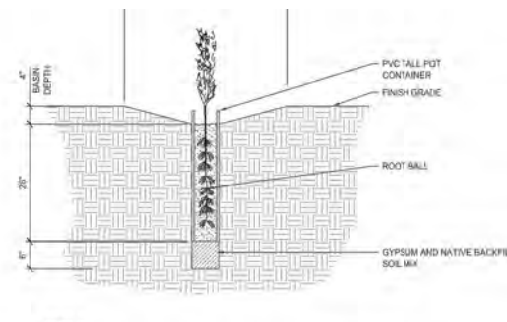
CONTAINER SIZE	PLANT PIT SIZE	FERTILIZER TABLET (QTY)
1 GAL.	24" DIA.	1
5 GAL.	24" DIA.	2
15 GAL.	32" DIA.	3
24" BOX	48" X 48"	4
36" BOX	54" X 54"	4
48" BOX & LARGER	BOX X 1.5	4

P-RA-20

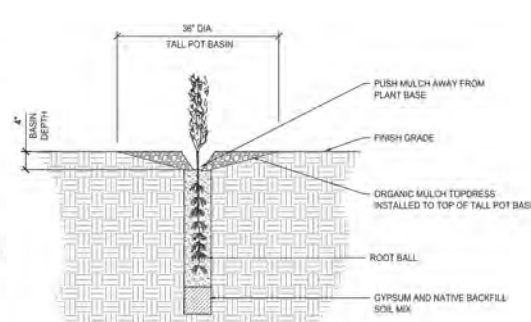
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NO.	REVISION	BY	DATE
 <b>FLOOD CONTROL DISTRICT OF MARICOPA COUNTY ENGINEERING DIVISION</b>			
<b>RAWHIDE WASH FLOOD HAZARD MITIGATION</b> <b>FINAL DESIGN - FCD2018C015 - WA#1 - PCN 122.01.30</b>			
	DESIGNED	PW	06/19/2019
	DRAWN	PW, YY	03/05/2021
	CHECKED	JH	
		600 N 4TH ST SUITE D PHOENIX, AZ 85004 (602) 595-4101	
DRAWING NO. L501		LANDSCAPE DETAILS	
			SHEET OF 39 OF 59



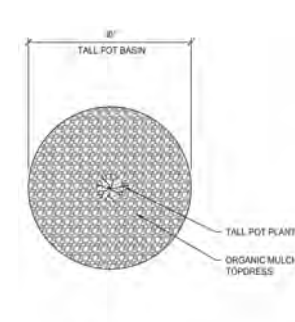
**STEP 1**  
 A. AUGER TALL POT PLANTING PIT TO DIMENSIONS SHOWN ABOVE. REFER TO ADDITIONAL TALL POT PIT DETAILS FOR CALICHE, HARD DIG OR SANDY SOIL CONDITIONS.  
 B. FILL PLANTING PIT COMPLETELY WITH WATER.  
 C. ALLOW TO DRAIN (NOTIFY ENGINEER IF WATER DOES NOT DRAIN WITHIN 48 HOURS).  
 D. REPEAT STEPS B & C.



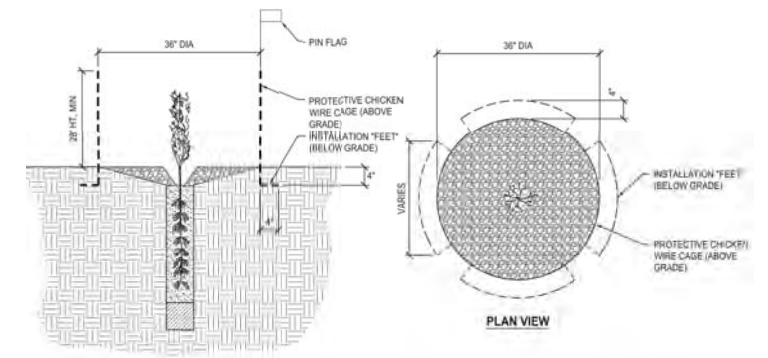
**STEP 2**  
 A. ADD TO BOTTOM OF THE PLANTING PIT ONE POUND GYPSUM MIXED WITH NATIVE SOIL BACKFILL TO DEPTH DIMENSIONED ABOVE AND MANUALLY COMPACT.  
 B. REMOVE WIRE SCREEN FROM BOTTOM OF PVC TALL POT CONTAINER AND PLACE PVC CONTAINER IN THE PLANTING PIT.  
 C. USING HAY HOOKS (OPTIONAL) GENTLY RAISE CONTAINER LEAVING THE ROOT BALL IN THE PLANTING PIT.



**STEP 3**  
 A. TOP DRESS TALL POT BASIN WITH ORGANIC MULCH TO DEPTH SHOWN.  
 B. WATER TREE TO REMOVE AIR POCKETS FROM PLANTING PIT.  
 C. REFORM TALL POT BASIN TO DIMENSIONS SHOWN, AS NEEDED.  
 D. APPLY/INSTALL PLANT PROTECTION AS SPECIFIED IN SPECIAL PROVISIONS.



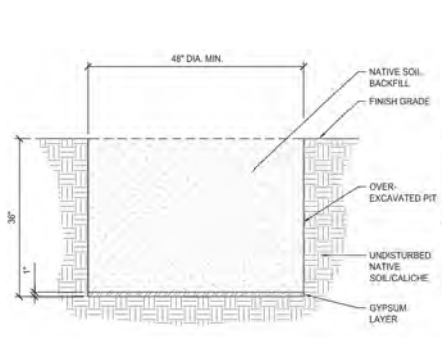
PLAN VIEW



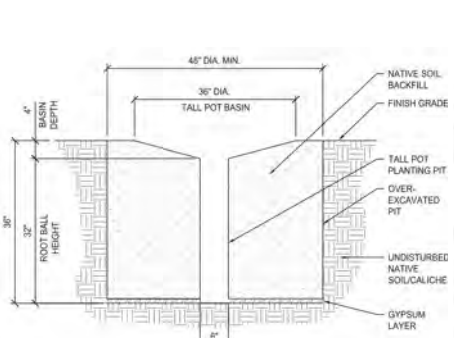
**NOTES:**  
 1. CUT AND FORM 30\"/>

**1** STANDARD TALL POT PLANTING DETAIL  
 3/4" = 1'-0"

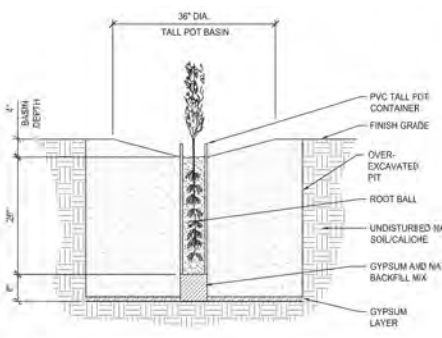
**2** TALL POT PROTECTIVE CAGE  
 3/4" = 1'-0"



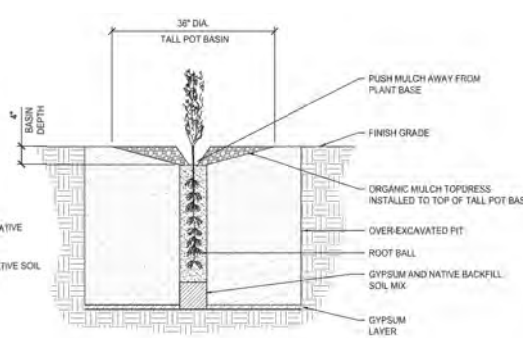
**STEP 1**  
 A. EXCAVATE PIT TO DIMENSIONS SHOWN.  
 B. ADD TO BOTTOM OF PIT 20 POUNDS OF GYPSUM AND SPREAD EVENLY THROUGHOUT.  
 C. BACKFILL PIT WITH NATIVE SOIL BACKFILL AND COMPACT TO 85%-90% COMPACTION.



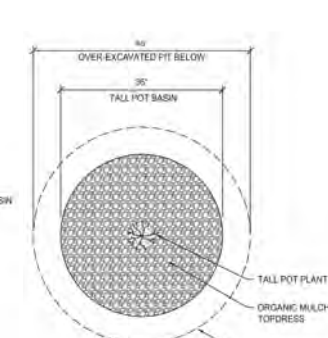
**STEP 2**  
 A. AUGER TALL POT PLANTING PIT TO DIMENSIONS SHOWN ABOVE.  
 B. FILL COMPLETELY WITH WATER.  
 C. ALLOW TO DRAIN (NOTIFY ENGINEER IF WATER DOES NOT DRAIN WITHIN 48 HOURS).  
 D. REPEAT B & C.



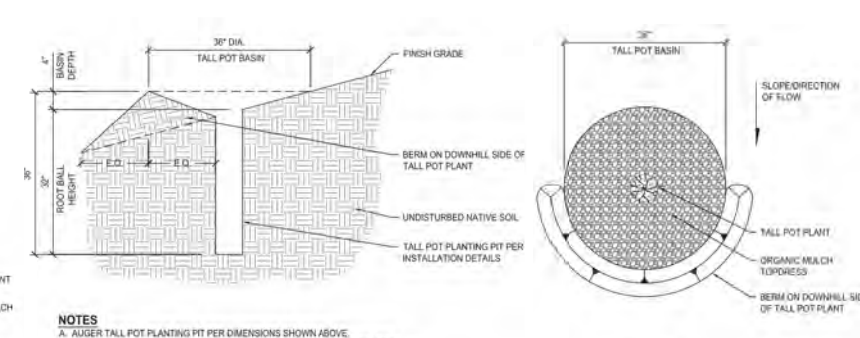
**STEP 3**  
 A. ADD TO BOTTOM OF PIT ONE POUND GYPSUM MIXED WITH NATIVE SOIL BACKFILL TO DEPTH DIMENSIONED ABOVE.  
 B. REMOVE WIRE SCREEN FROM BOTTOM OF PVC TALL POT CONTAINER AND PLACE CONTAINER IN THE PLANTING PIT.  
 C. USING HAY HOOKS (OPTIONAL) GENTLY RAISE CONTAINER LEAVING THE ROOT BALL PLANT IN THE PIT.  
 D. BACKFILL AROUND ROOTBALL WITH NATIVE SOIL BACKFILL.



**STEP 4**  
 A. TOP DRESS TALL POT BASIN WITH ORGANIC MULCH TO DEPTH SHOWN.  
 B. WATER TREE TO REMOVE AIR POCKETS FROM PLANTING PIT.  
 C. REFORM TALL POT BASIN TO DIMENSIONS SHOWN, AS NEEDED.  
 D. APPLY/INSTALL PLANT PROTECTION AS SPECIFIED IN SPECIAL PROVISIONS.



PLAN VIEW

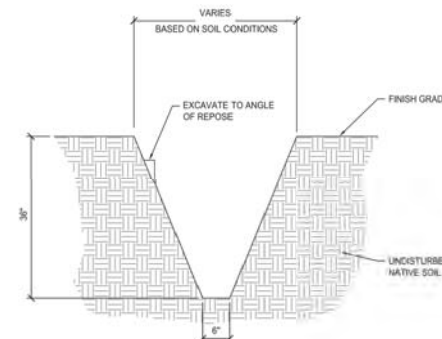


**NOTES:**  
 A. AUGER TALL POT PLANTING PIT PER DIMENSIONS SHOWN ABOVE.  
 B. CREATE BERM ON DOWNHILL SIDE OF TALL POT PLANT. UTILIZE NATIVE SOIL BACKFILL AND COMPACT TO 85%. BERM SHALL BE SIZED TO PROVIDE A 4\"/>

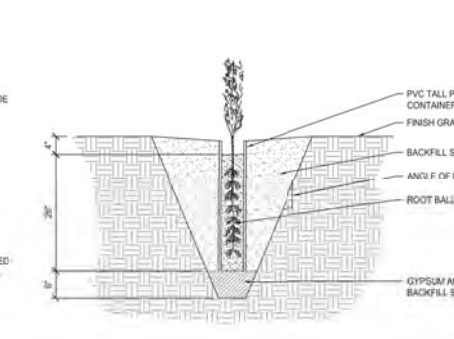
PLAN VIEW

**3** TALL POT PLANTING IN CALICHE OR HARD SOIL  
 3/4" = 1'-0"

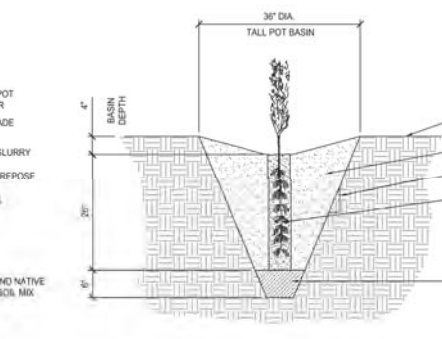
**4** TALL POT PLANTING ON SLOPE  
 3/4" = 1'-0"



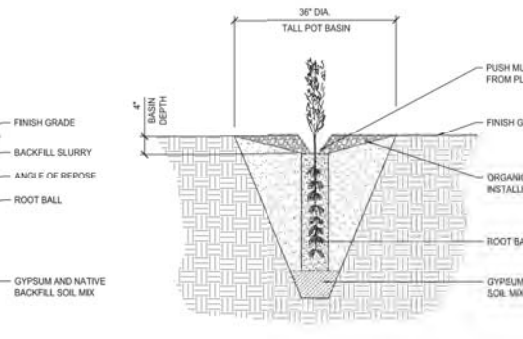
**STEP 1**  
 A. EXCAVATE PIT TO SANDY SOIL ANGLE OF REPOSE.  
 B. MAINTAIN BOTTOM DIMENSION SHOWN ABOVE.



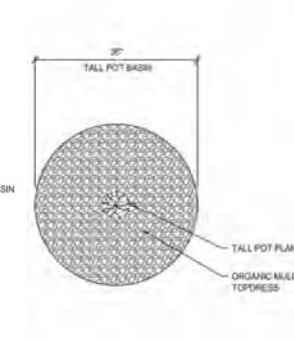
**STEP 2**  
 A. ADD TO BOTTOM OF PIT ONE POUND GYPSUM MIXED WITH NATIVE SOIL BACKFILL TO DEPTH AS DIMENSIONED.  
 B. REMOVE WIRE SCREEN FROM BOTTOM OF PVC TALL POT CONTAINER AND PLACE CONTAINER IN THE PLANTING PIT.  
 C. BACKFILL THE PLANTING PIT WITH NATIVE SOIL WHILE GENTLY RAISING THE PVC TALL POT SLEEVE AND FILLING THE PIT WITH WATER, CREATING A BACKFILL SLURRY AROUND THE ROOT BALL.



**STEP 3**  
 A. EXCAVATE TALL POT BASIN TO DIMENSIONS SHOWN ABOVE.



**STEP 4**  
 A. TOP DRESS TALL POT BASIN WITH ORGANIC MULCH TO DEPTH SHOWN.  
 B. WATER TREE TO REMOVE AIR POCKETS FROM PLANTING PIT.  
 C. REFORM TALL POT BASIN TO DIMENSIONS SHOWN, AS NEEDED.  
 D. APPLY/INSTALL PLANT PROTECTION AS SPECIFIED IN SPECIAL PROVISIONS.



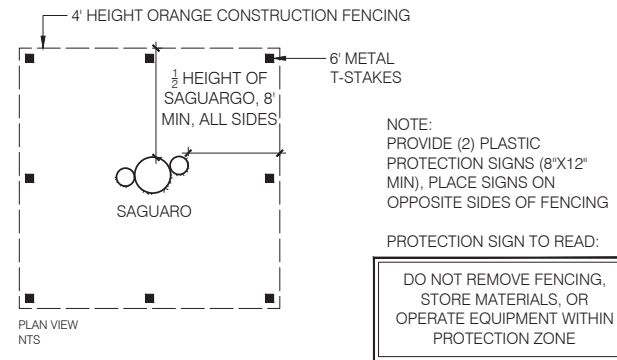
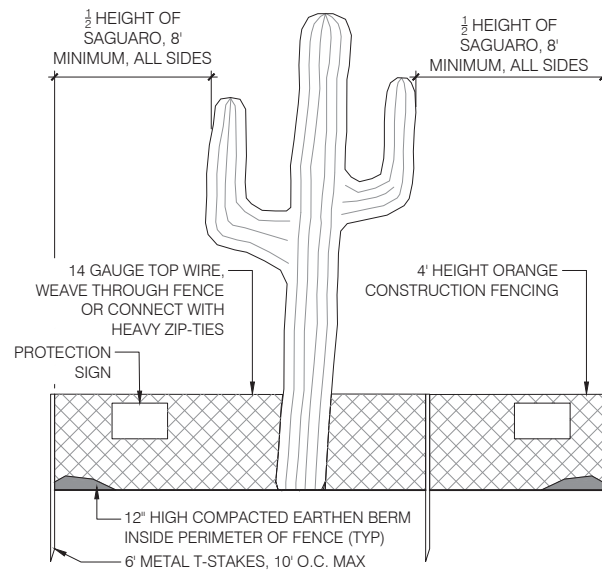
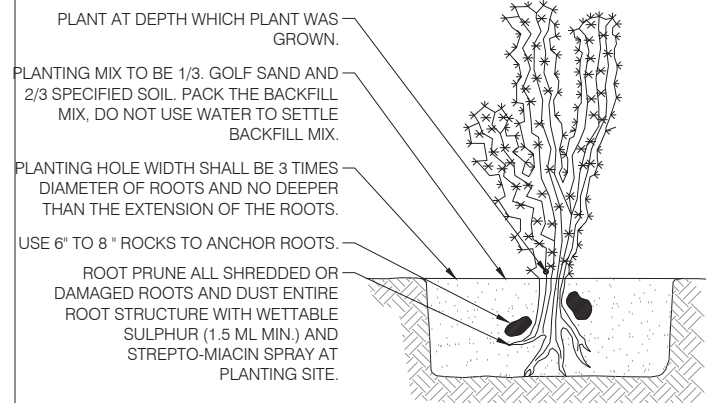
PLAN VIEW

**5** TALL POT PLANTING IN SANDY SOIL  
 3/4" = 1'-0"

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NO.	REVISION	BY	DATE
	<b>FLOOD CONTROL DISTRICT OF MARICOPA COUNTY</b> ENGINEERING DIVISION		
	<b>RAWHIDE WASH FLOOD HAZARD MITIGATION</b> FINAL DESIGN - FCD2018C015 - WA#1 - PCN 122.01.30		
	DESIGNED	PW	06/19/2019
	DRAWN	PW, YY	03/05/2021
	CHECKED	JH	
	600 N 4TH ST SUITE D PHOENIX, AZ 85004 (602) 595-4101		SHEET OF
	DRAWING NO. L502		40 OF 59

NOTES:

- DO NOT PLACE DECOMPOSED GRANITE WITHIN 2" OF PLANTING BASE
- WATER WEEKLY THROUGH THE SUMMER. MAINTAIN ORIGINAL GROWING ORIENTATION.



1 CACTUS PLANTING

NTS

CITY OF SCOTTSDALE DETAIL #2620-2

2 SAGUARO PROTECTION FENCING

1/4" = 1'-0"

NOTES:

1. ROOT PRUNE ONLY SHREDDED OR DAMAGED ROOTS. TREAT ALL SURFACE WOUNDS WITH BACTERICIDE.

2. ENSURE ALL WOUNDS TO THE ROOT SYSTEM ARE CLEAN CUT BEFORE PLANTING. TREAT ENTIRE ROOT STRUCTURE WITH WETTABLE SULFUR AND AGRA-MYCIN

3. CUT THROUGH TAPROOT TO PROVIDE A FLAT BASE WITH DIAMETER SUFFICIENT TO SUPPORT THE WEIGHT OF THE UNSUPPORTED SAGUARO.

4. BACKFILL PIT WITH 6" LAYERS OF ROTTED, COMPACTED, MOIST, NATIVE SITE SOIL.

5. PLANTING DEPTH SHALL BE THE DEPTH AT WHICH THE PLANT WAS GROWN OR SLIGHTLY DEEPER, BUT THE TAPERING OF THE ROOT COLLAR MUST BE VISIBLE

6. PLANTING HOLE WIDTH SHALL BE 2 TIMES THE DIAMETER OF THE STEM AND NO DEEPER THAN THE EXTENSION OF THE ROOTS.

7. ROUGHEN BOTTOM AND SIDES OF PLANT PIT PRIOR TO SETTING.

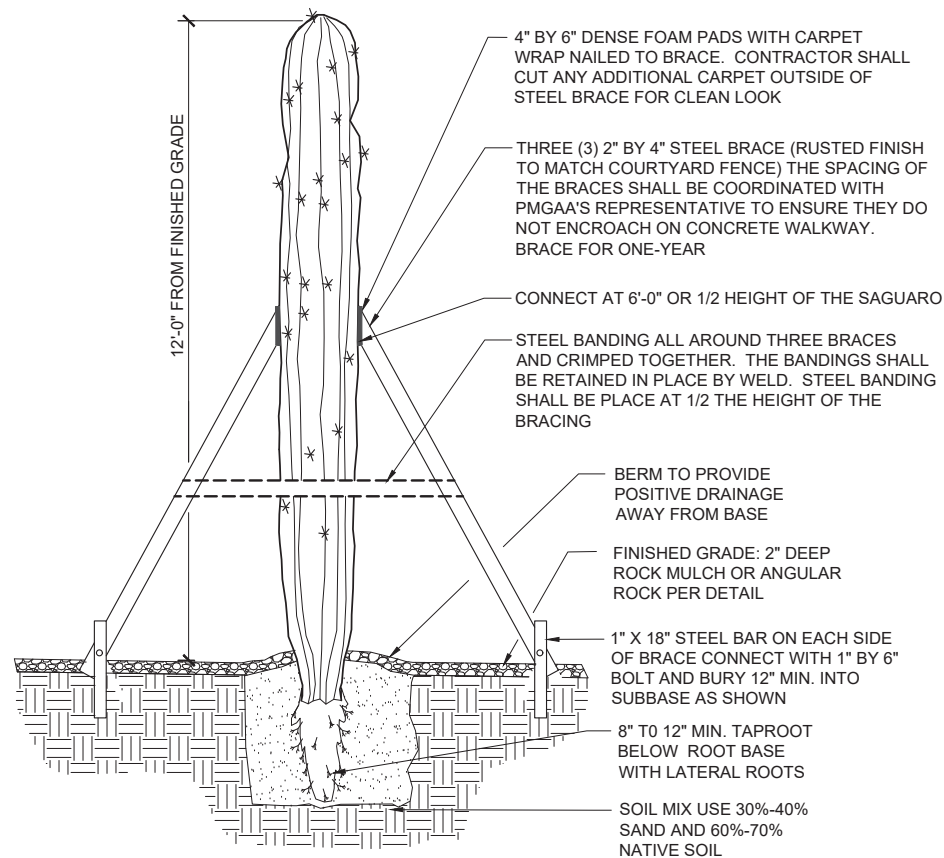
8. ENSURE SURFACE WATER CANNOT STAND AGAINST THE ROOT COLLAR.

9. ALL SAGUARO PLACEMENT SHALL MATCH ORIGINAL ORIENTATION WITH THE NORTH SIDE FACING NORTH. SAGUARO ARE SPECIFIED BY HEIGHT. A VARIETY OF HEIGHTS MAY BE ACCEPTABLE PROVIDED THE AVERAGE IS NOT LESS THAN SPECIFIED.

10. SEE ELECTRICAL SHEETS FOR ACCENT UPLIGHTING.

11. SAGUAROS SHOULD BE INSTALLED PLUMB AND LEVEL.

12. CONTRACTOR SHALL COORDINATE THE SELECTION, PLACEMENT, AND STAKING WITH PMGAA'S REPRESENTATIVE.



3 SAGUARO PLANTING

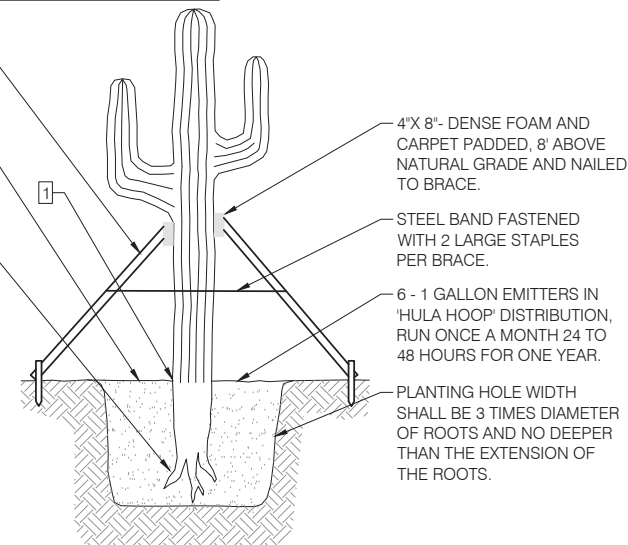
1" = 1"

DO NOT PLACE DECOMPOSED GRANITE WITHIN 2" OF PLANTING BASE.

(3) 2" X 6" BRACES, SPACED EQUALLY AND NAILED TO WOODEN STAKES IN THE GROUND. BRACES TO REMAIN IN PLACE FOR ONE YEAR MIN..

USE GOLF SAND OR 1/4" MINUS. DECOMPOSED GRANITE TO BACKFILL PLANTING HOLE. BACKFILL 1/2 OF PIT, THEN COMPACT.

ROOT PRUNE ALL SHREDDED OR DAMAGED ROOTS AND DUST ENTIRE ROOT STRUCTURE WITH WETTABLE SULPHUR (1.5 ML MIN.) AND STREPTO-MIACIN SPRAY AT PLANTING SITE. ROOT BALL MINIMUM SIZE SHALL BE 24" WITH A MINIMUM ROOT LENGTH OF 6" ON ALL SIDES.



NOTES:

1. OPTIMUM TRANSPLANTING SEASON IS OCTOBER THRU NOVEMBER.

2. MAINTAIN ORIGINAL PLANT ORIENTATION. THE ORIGINAL "NORTH" ORIENTATION SHALL BE MARKED ON A RIB AT A HEIGHT OF 5' ABOVE GROUND LEVEL.

3. WATER THOROUGHLY AT THE TIME OF TRANSPLANTING TO REMOVE AIR POCKETS AND ASSURE PROPER COMPACTION. BACKFILL SHALL BE FREE OF INJURIOUS ROCKS AND DEBRIS.

4. DO NOT WATER FOR 3 WEEKS AFTER PLANTING.

5. PLANT IN AREAS SAFE FROM PRESENT AND FUTURE CONSTRUCTION ACTIVITIES.

6. TRANSPLANT TO ORIGINAL DEPTH OF BURY.

4 SAGUARO PLANTING TYPE B

NTS

CITY OF SCOTTSDALE DETAIL #2620-2

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NO.	REVISION	BY	DATE
<p>FLOOD CONTROL DISTRICT OF MARICOPA COUNTY ENGINEERING DIVISION</p> <p>RAWHIDE WASH FLOOD HAZARD MITIGATION FINAL DESIGN - FCD2018C015 - WA#1 - PCN 122.01.30</p>			
		BY	DATE
		DESIGNED PW	06/19/2019
		DRAWN PW, YY	03/05/2021
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		<p>600 N 4TH ST SUITE D PHOENIX, AZ 85004 (602) 595-4101</p>	
DRAWING NO. L503		LANDSCAPE DETAILS	
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IRRIGATION LEGEND

SYMBOL	BRAND	MODEL	DESCRIPTION
		2"	METER
	RAINBIRD	ESP-LXME	IRRIGATION CONTROLLER W/ FLOW SENSOR IN A STAINLESS STEEL CABINET, POWDER COATED 'RAL 6020'. SEE PLANS FOR CONTROLLER STATION NUMBER
	FEBCO	825YA	2" BACKFLOW PREVENTOR REDUCED PRESSURE ASSEMBLY
	RAINBIRD	PESB FS150P	MASTER FLOW VALVE SENSOR
	NIBCO	T-580	GATE VALVE (LINE SIZE)
	RAINBIRD	XCZ-100-PRB-COM	DRIP CONTROL VALVE: 0.3 - 20 GPM
N/S	BOWSMITH	ML206	MULTI-OUTLET EMITTER (0.5 GPH)
N/S	BOWSMITH	ML210	MULTI-OUTLET EMITTER (1.0 GPH)
	SPEARS	M-66-P /AP-100	FLUSH CAP
1" SCHEDULE 40 PVC PIPE LATERAL (TREE)			
1" SCHEDULE 40 PVC PIPE LATERAL (CACTUS)			
SCHEDULE 40 PVC MAINLINE (3" UNLESS OTHERWISE NOTED ON PLANS)			
6" SCHEDULE 40 PVC SLEEVE			
4" SCHEDULE 40 PVC SLEEVE			

IRRIGATION PIPE SCHEDULE

PIPE	PIPE SIZE	GAL/MIN
SCHEDULE 40 PVC	1/2"	0-5
SCHEDULE 40 PVC	3/4"	5-10
SCHEDULE 40 PVC	1"	10-15
SCHEDULE 40 PVC	1-1/4"	15-25
SCHEDULE 40 PVC	1-1/2"	25-35

NOTE:

1. IN SOME CASES IRRIGATION PIPE SIZED SHOWN ON IRRIGATION PLANS ARE LARGER THAN THE SIZE SHOWN ON PIPE SCHEDULE DUE TO HYDRAULIC LOSSES. USE PIPE SIZES SHOWN ON IRRIGATION PLANS WHERE APPLICABLE.

IRRIGATION SLEEVES

1. ALL IRRIGATION SLEEVES UNDER ROADWAY WILL BE EXISTING; COORDINATE WITH ROADWAY CONTRACTOR.
2. USE SCHEDULE 40 PIPE FOR 2 TIMES THE DIAMETER OF THE PIPE(S) BEING SLEEVES, MINIMUM 2".
3. CONTROL WIRES INSTALLED THROUGH IRRIGATION SLEEVES SHALL BE ENCASED IN A PVC ELECTRICAL CONDUIT SIZED TO CONTAIN THE REQUIRED NUMBER OF CONDUCTORS. WIRE SLEEVES CROSSING STREET PAVING SHALL HAVE A 10' PULL BOX AT EACH END.

VALVE CALLOUT

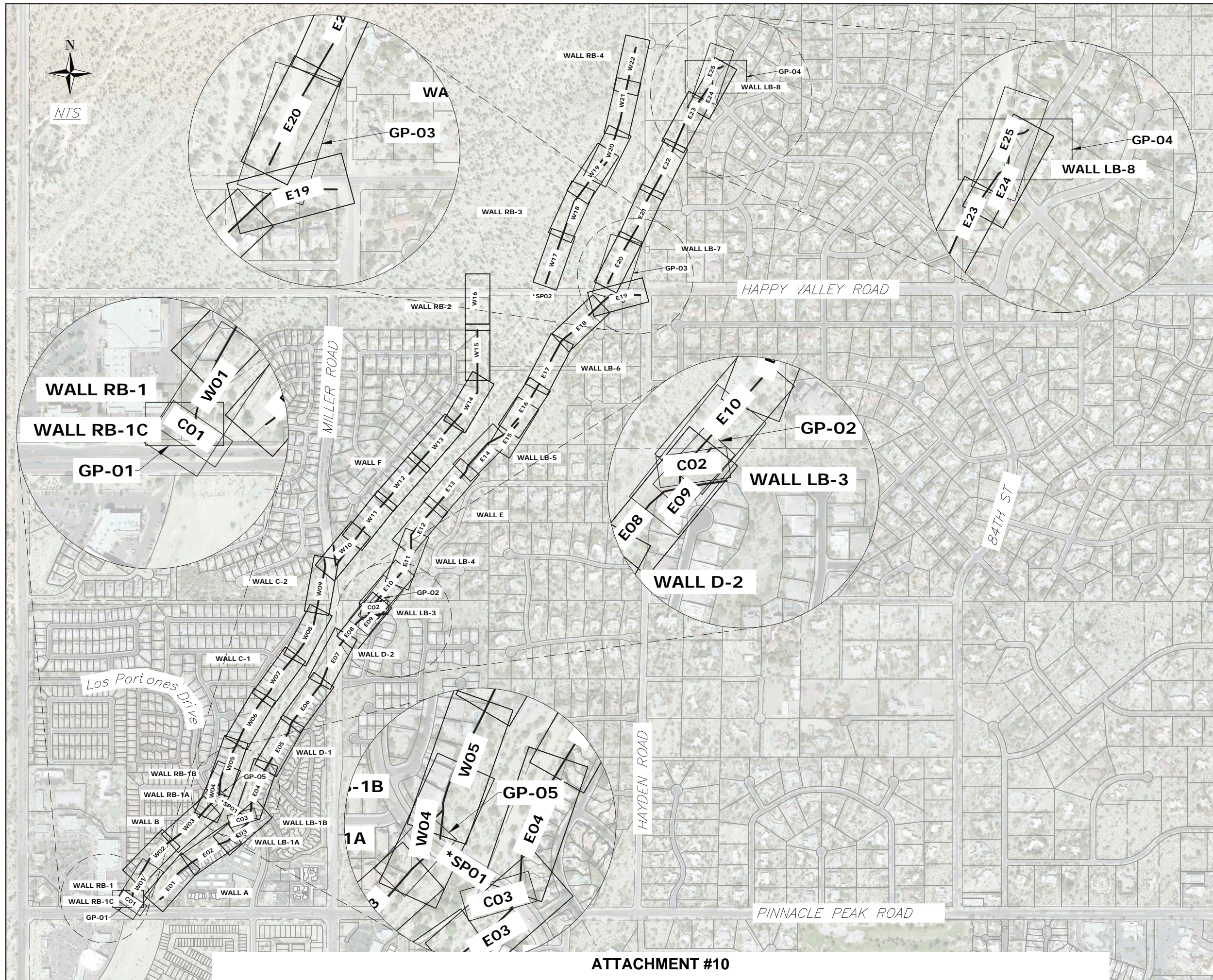


IRRIGATION NOTES

1. PRIOR TO COMMENCEMENT OF ANY WORK, THE CONTRACTOR SHALL CONTACT BLUE STAKE TO VERIFY LOCATIONS AND DEPTHS OF ANY UTILITIES THAT MAY BE AFFECTED BY HIS/HER WORK, AND SHALL BE RESPONSIBLE FOR DAMAGES TO SUCH UTILITIES CAUSED AS A RESULT OF THIS WORK.
2. THE CONTRACTOR WILL BE RESPONSIBLE FOR FAULTY MATERIAL OR FAULTY WORKMANSHIP FOR THE PERIOD OF 1-YEAR FROM SUBSTANTIAL COMPLETION OF LANDSCAPE WORK.
3. THE IRRIGATION SYSTEM IS DESIGNED FOR A MINIMUM OF 60 PSI. CONTRACTOR SHALL PROVIDE A STATIC PRESSURE READING BEFORE STARTING ANY WORK. IF WATER PRESSURE IS LESS THAN 60 PSI NOTIFY THE CONTRACTING OFFICER OR HIS DESIGNEE BEFORE STARTING WORK.
4. THE CONTRACTOR WILL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL LAWS, CODES, AND REGULATIONS APPLICABLE TO THE IRRIGATION SYSTEM COVERED BY THESE PLANS.
5. ALL PERMITS, REQUIRED TO COMPLETE THE IRRIGATION WORK SHOWN ON THE PLANS SHALL BE OBTAINED BY THE CONTRACTOR PRIOR TO START OF WORK.
6. IRRIGATION PLANS ARE SCHEMATIC. ALL VALVES AND PIPING ARE SHOWN DIAGRAMATICALLY FOR CLARITY. CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER PLACEMENT OF SYSTEM COMPONENTS. ALL IRRIGATION COMPONENTS TO BE LOCATED IN PLANTING AREAS. SOME IRRIGATION IS SHOWN OUTSIDE OF PLANTING AREAS FOR CLARITY PURPOSES ONLY. COORDINATE IRRIGATION WORK WITH PLANTING PLANS TO AVOID CONFLICTING LOCATIONS BETWEEN PIPING AND PLANT PITS. CONTRACTOR WILL BE RESPONSIBLE FOR 100% IRRIGATION COVERAGE TO PLANT MATERIAL SHOWN ON THE PLANS, INCLUDING EXISTING TREES AND PLANTS TO REMAIN.
7. THE CONTRACTOR SHALL CONNECT TO THE NEW WATER METERS AND INSTALL TYPE 'K' COPPER THROUGH THE BACKFLOW PREVENTER AS DETAILED.
8. ALL PIPES SHALL BE INSTALLED PER THE MANUFACTURER'S SPECIFICATION AND ASTM STANDARD D-2774 AT THE DEPTHS SHOWN IN THE IRRIGATION DETAILS.
9. ALL THREADED JOINTS SHALL BE COATED WITH TEFLON TAPE UNLESS OTHERWISE SPECIFIED BY THE MANUFACTURER. USE LIQUID TEFLON ON METAL PIPE THREADS ONLY.
10. CONTRACTOR SHALL FLUSH ALL LINES PRIOR TO INSTALLATION OF EMITTERS, END CAPS OR ANY OTHER DEVICE THAT IMPACTS THE OUTWARD FLOW OF SYSTEM WATER.
11. ALL ELECTRICAL CONNECTIONS SHALL BE MADE WITHIN REMOTE CONTROL VALVE BOXES, CONTROLLER ENCLOSURES AND VALVE BOXES DESIGNATED SPECIFICALLY FOR ELECTRICAL CONNECTIONS. NO SPLICES OUTSIDE OF BOXES OR ENCLOSURES WILL BE ACCEPTED.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING THE AUTOMATIC CONTROLLER. ALL ELECTRICAL WORK SHALL BE INSTALLED PER LOCAL CODE.
13. INSTALL ALL VALVE WIRING IN MAINLINE TRENCH.
14. INSTALL ALL REMOTE CONTROL VALVES AT HEIGHTS INDICATED ON DETAILS, AS HIGH AS POSSIBLE BUT ALLOWING CLEARANCE BETWEEN VALVE BOX LID AND FLOW CONTROL HANDLE ON REMOTE CONTROL VALVE.
15. INSTALL ALL MAINLINE ISOLATION BALL VALVES IN A PLASTIC VALVE BOX PER DETAILS.
16. AT THE COMPLETION OF THE PROJECT, SUPPLY THE FOLLOWING MATERIAL TO THE CONTRACTING OFFICER OR HIS DESIGNEE: TWO (2) WRENCHES FOR DISASSEMBLY AND ADJUSTING OF EACH TYPE OF VALVE SUPPLIED. TWO (2) KEYS FOR EACH TYPE OF CONTROLLER. TWO (2) ISOLATION VALVE OPERATING HANDLES. THREE (3) VALVE BOX KEYS OR WRENCHES.
17. ALL PVC SOLVENT WELD FITTINGS SHALL BE 'DURA' OR APPROVED EQUAL.
18. PROVIDE TWO (2) SPARE WIRES ALONG THE ENTIRE LENGTH OF MAINLINE AND LOOPED INTO EACH ELECTRIC REMOTE CONTROL VALVE BOX.
19. TREES AND SHRUBS SHALL BE IRRIGATED ON SEPARATE REMOTE CONTROL VALVES.
20. AS-BUILT DRAWINGS, CONTROLLER CHARTS, MAINTENANCE MANUALS AND SPECIALTY TOOLS SHALL BE TURNED OVER TO THE CONTRACTING OFFICER OR HIS DESIGNEE AT THE COMPLETION OF CONSTRUCTION.
21. A ONE-YEAR WARRANTY ON MATERIALS AND INSTALLATION SHALL COMMENCE AT THE SUBSTANTIAL COMPLETION.
22. ALL IRRIGATION PIPING REGARDLESS OF SIZE AND CLASS IS TO BE INCASED IN A PIPE SLEEVE WHEN LOCATED UNDER IMPERVIOUS SURFACE MATERIAL, INCLUDING ANGULAR ROCK AREAS

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<p>FLOOD CONTROL DISTRICT OF MARICOPA COUNTY ENGINEERING DIVISION</p>			
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		BY	DATE
		DESIGNED PW	06/19/2019
		DRAWN PW, YY	03/05/2021
		CHECKED JH	
		<p>600 N 4TH ST SUITE D PHOENIX, AZ 85004 (602) 595-4101</p>	
DRAWING NO. IR100	IRRIGATION NOTES & SCHEDULE		SHEET OF 43 OF 59





- NOTES:**
1. Due to sheet size and orientation, this label represents only the location of the approximate sheet center.
  2. Key maps for control drawing sheets are provided on each individual sheet.




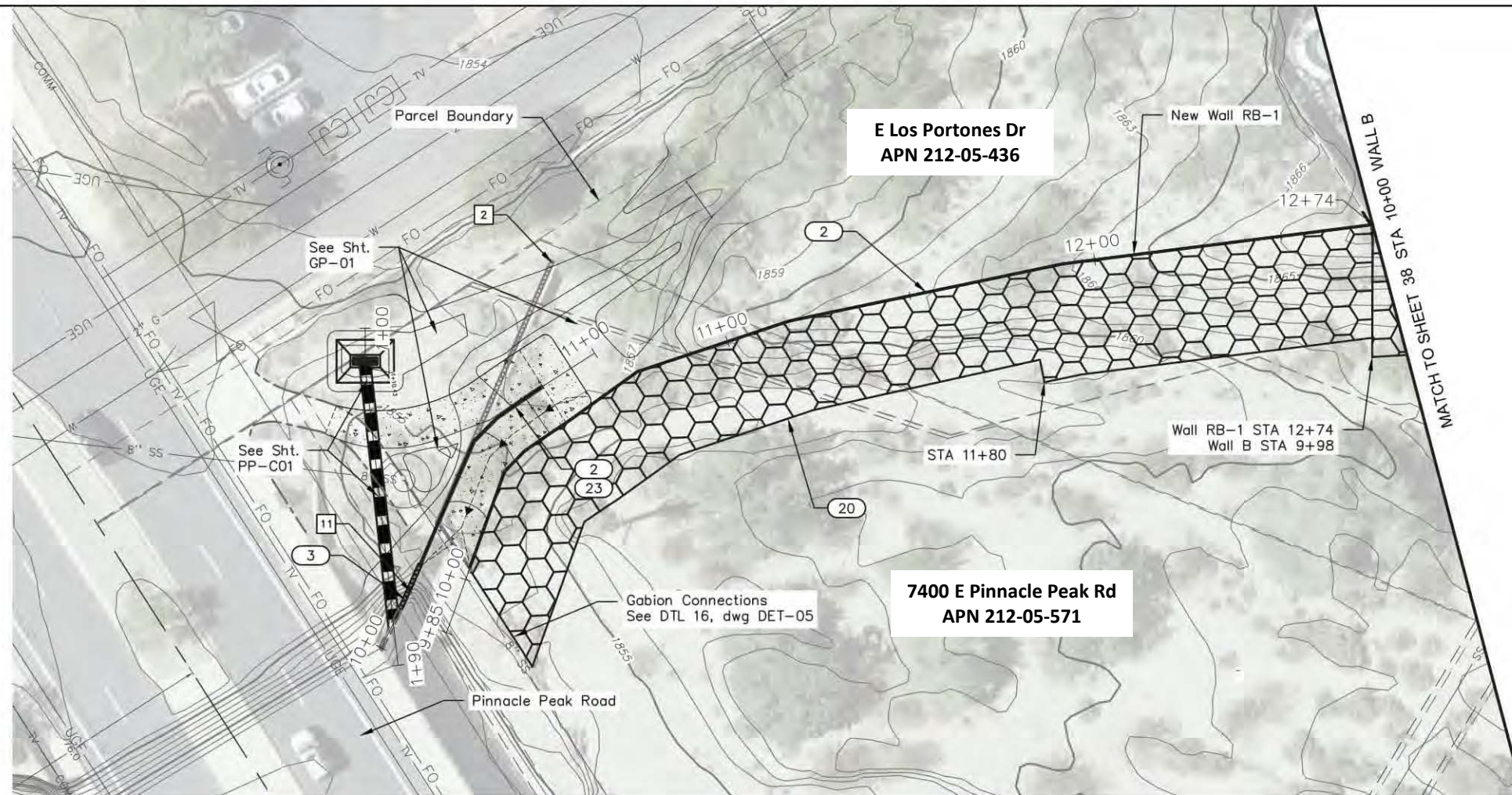
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NO.	REVISION	BY	DATE

 FLOOD CONTROL DISTRICT OF MARICOPA COUNTY

RAWHIDE WASH FLOOD HAZARD MITIGATION  
FCD2018C015 - PCN 122.01.30

PRELIMINARY NOT FOR CONSTRUCTION		BY	DATE
	DESIGNED	WSO/ROL/BJD/CGC	3/08/2021
	DRAWN	CGC/BJD	3/08/2021
	CHECKED	WSO/ROL	3/08/2021

DRAWING NO. G-04	 8400 S.KYRENE STE. 201 TEMPE, AZ 85284 (480) 222-5701	SHEET OF 5 95

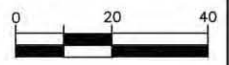


REMOVE		
	UNIT	QTY
2 REMOVE EXISTING WALL	LS	1
11 REMOVE EXISTING HANDRAIL	LS	1

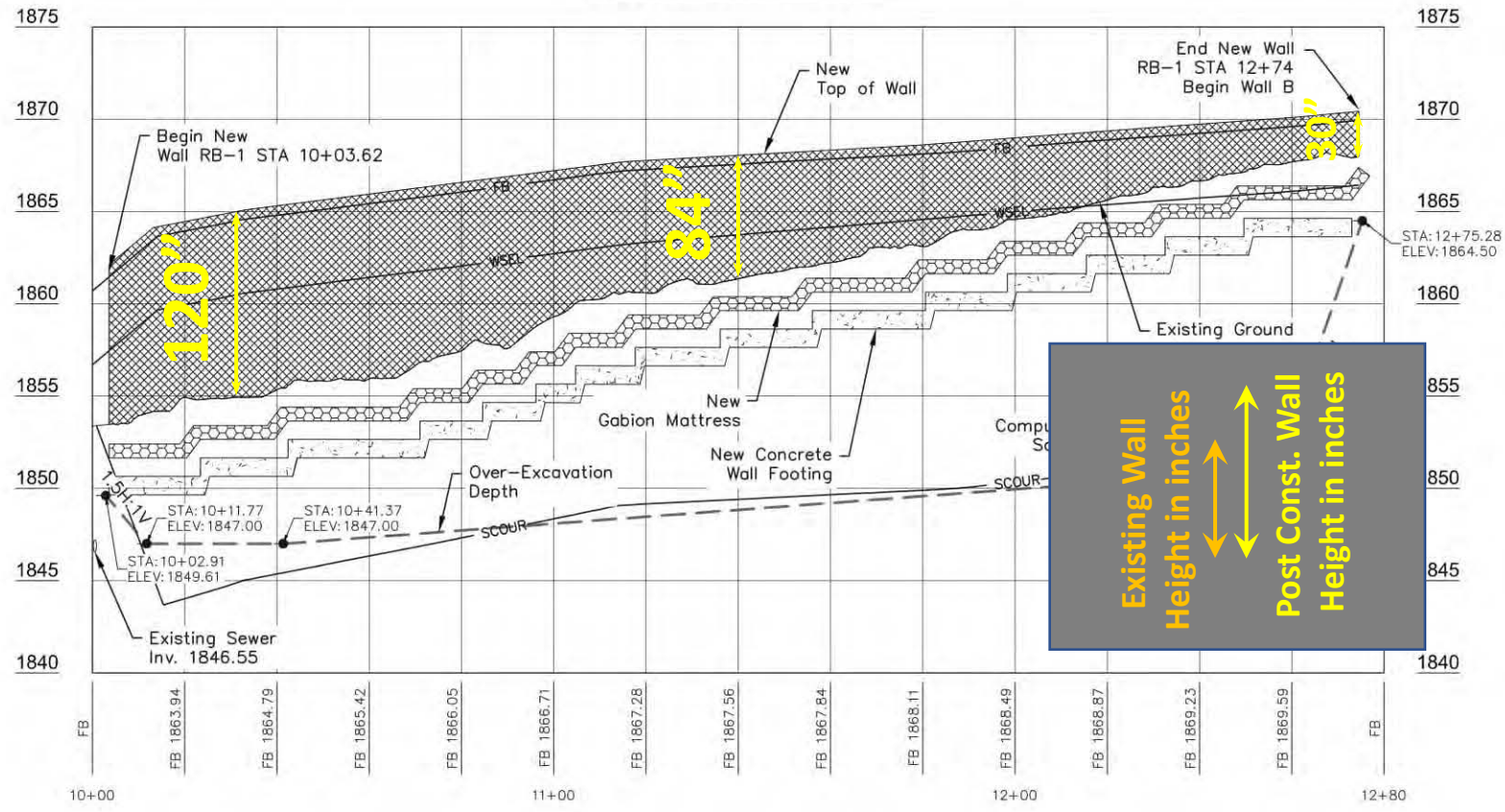
RELOCATE		
	UNIT	QTY

CONSTRUCT		
	UNIT	QTY
2 NEW CMU BLOCK FLOODWALL PER DWG S-04	SF	2947
3 ADD CAST-IN-PLACE CONCRETE WALL	SF	115
20 GABION MATTRESS (12" THICK) PER DTL 1, DWG DET-01	CY	322
23 OVER-EXCAVATE, BACKFILL, AND COMPACT FOOTER SUBGRADE PER DTL 13, DWG DET-03	CY	488

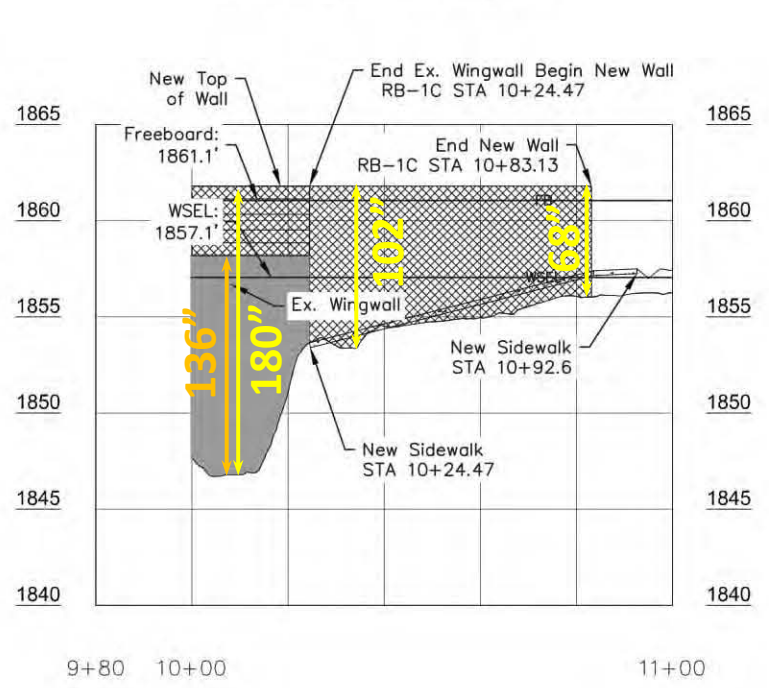
THE AERIAL IMAGERY SHOWN IS FOR GRAPHICAL PURPOSES ONLY, AND MAY NOT COINCIDE WITH ACTUAL SURVEYED DATA, DESIGN ELEMENTS, GEOMETRY, AND LINE WORK LOCATIONS REFERENCE SURVEY DATA.



**NEW WALL RB-1 - PLAN**



**NEW WALL RB-1C - PLAN**



NO.	REVISION	BY	DATE
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FLOOD CONTROL DISTRICT OF MARICOPA COUNTY

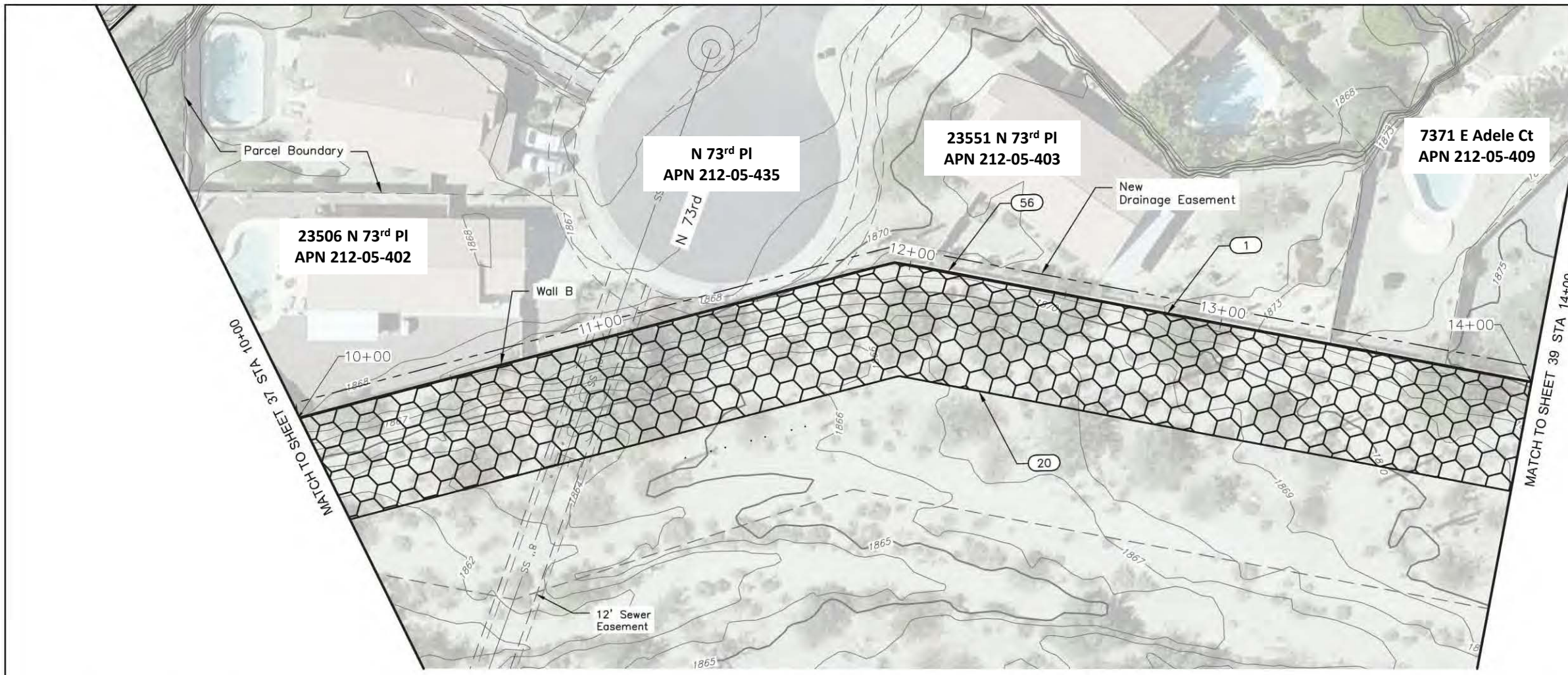
RAWHIDE WASH FLOOD HAZARD MITIGATION  
FCD2018C015 - PCN 122.01.30

PRELIMINARY NOT FOR CONSTRUCTION	BY		DATE
	DESIGNED	WSO/ROL/BJD/CGC	3/08/2021
	DRAWN	CGC/BJD	3/08/2021
CHECKED	WSO/ROL	3/08/2021	

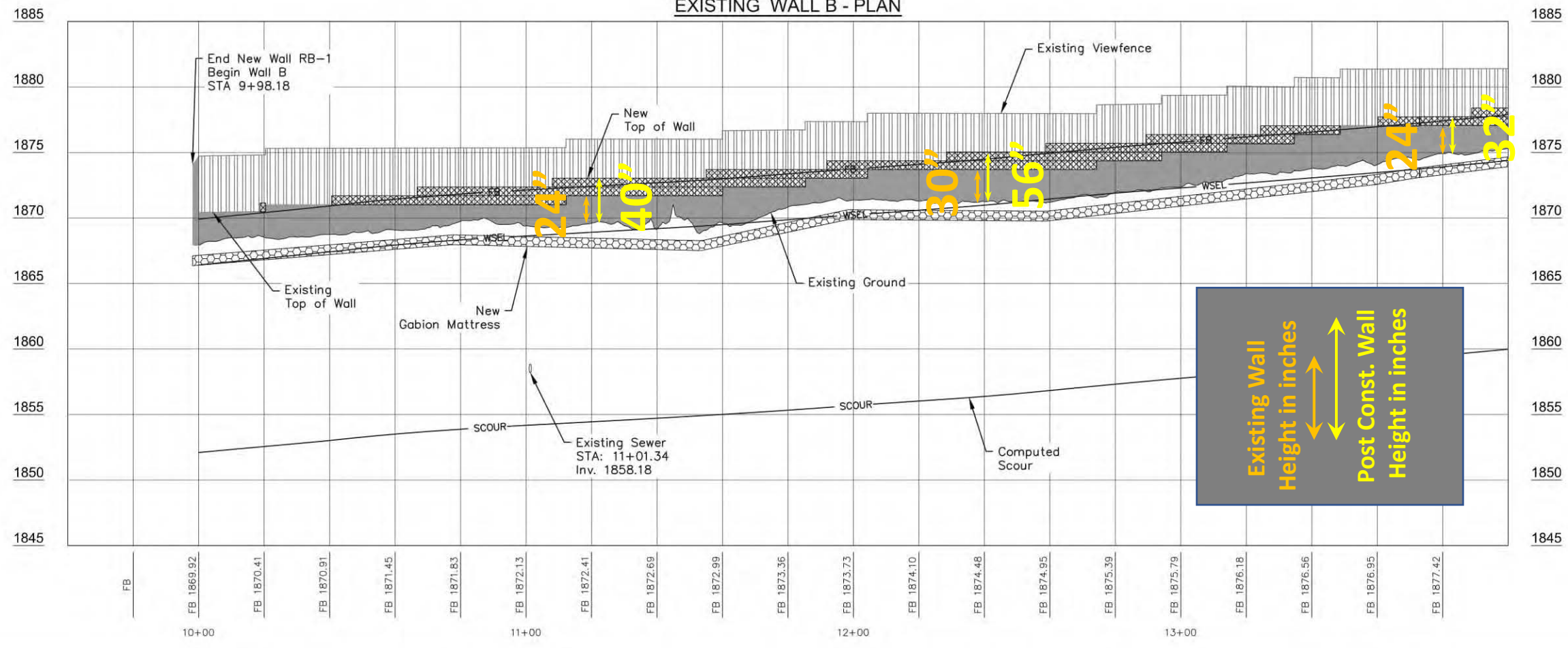
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DRAWING NO. PP-W01 WEST PLAN AND PROFILE SHEET OF 37 95

COS 284-PA-2019



EXISTING WALL B - PLAN



Existing Wall Height in inches  
 Post Const. Wall Height in inches

<input type="checkbox"/>	REMOVE	UNIT	QTY
<input type="checkbox"/>	RELOCATE	UNIT	QTY
<input checked="" type="checkbox"/>	CONSTRUCT	UNIT	QTY
1	ADD CMU BLOCK TO EXISTING WALL PER DWGS S-03 & S-04 & DTL 7 ON DWG DET-03	SF	420
20	GABION MATTRESS (12" THICK) PER DTL 1, DWG DET-01	CY	581
56	REMOVE, SALVAGE, AND REINSTALL METAL VIEW FENCE PER DET 7, DWG DET-03	LF	400

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NO.	REVISION	BY	DATE
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FLOOD CONTROL DISTRICT OF MARICOPA COUNTY

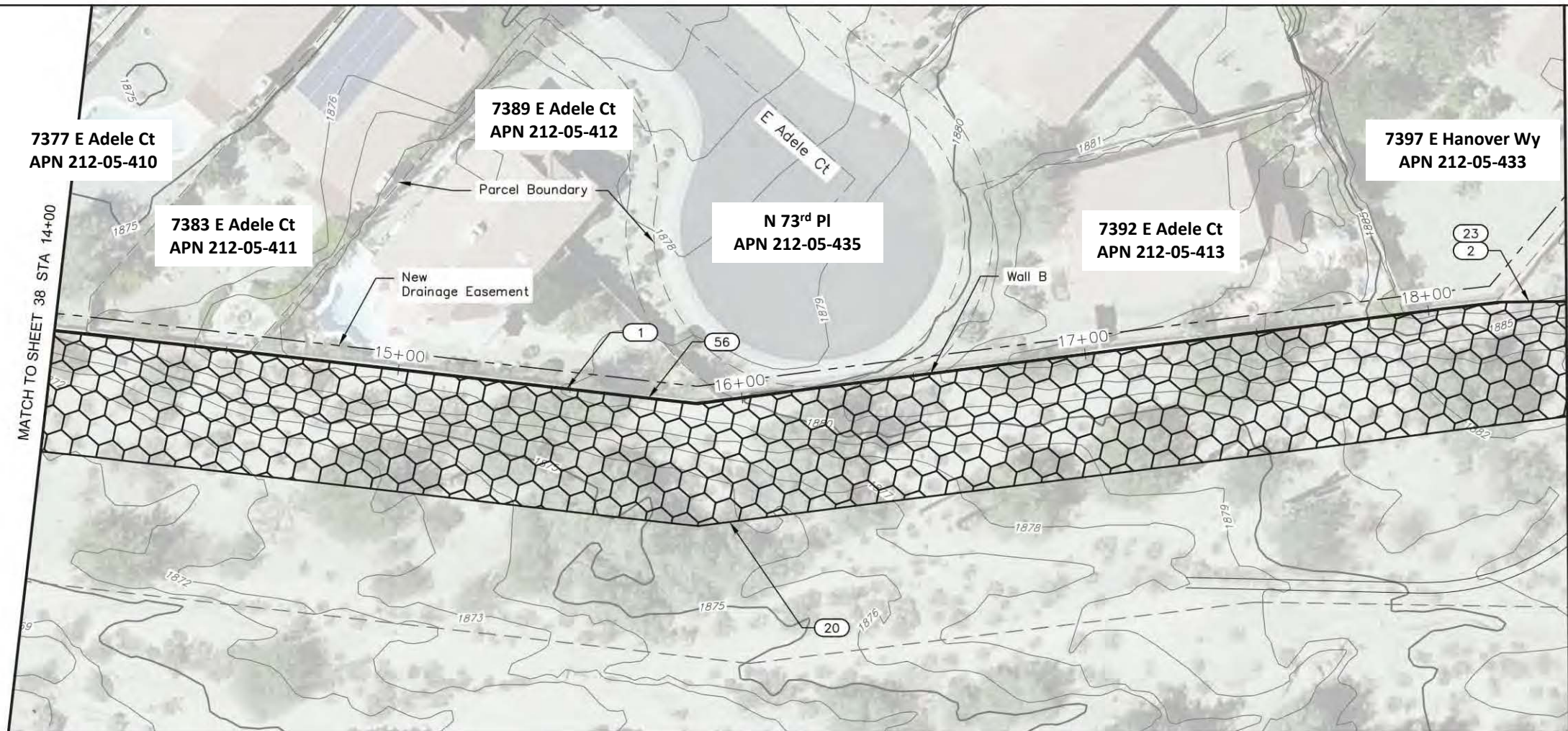
RAWHIDE WASH FLOOD HAZARD MITIGATION  
 FCD2018C015 - PCN 122.01.30

PRELIMINARY NOT FOR CONSTRUCTION	DESIGNED	WSO/ROL/BJD/CGC	DATE	3/08/2021
	DRAWN	CGC/BJD		3/08/2021
	CHECKED	WSO/ROL		3/08/2021
	BY		DATE	

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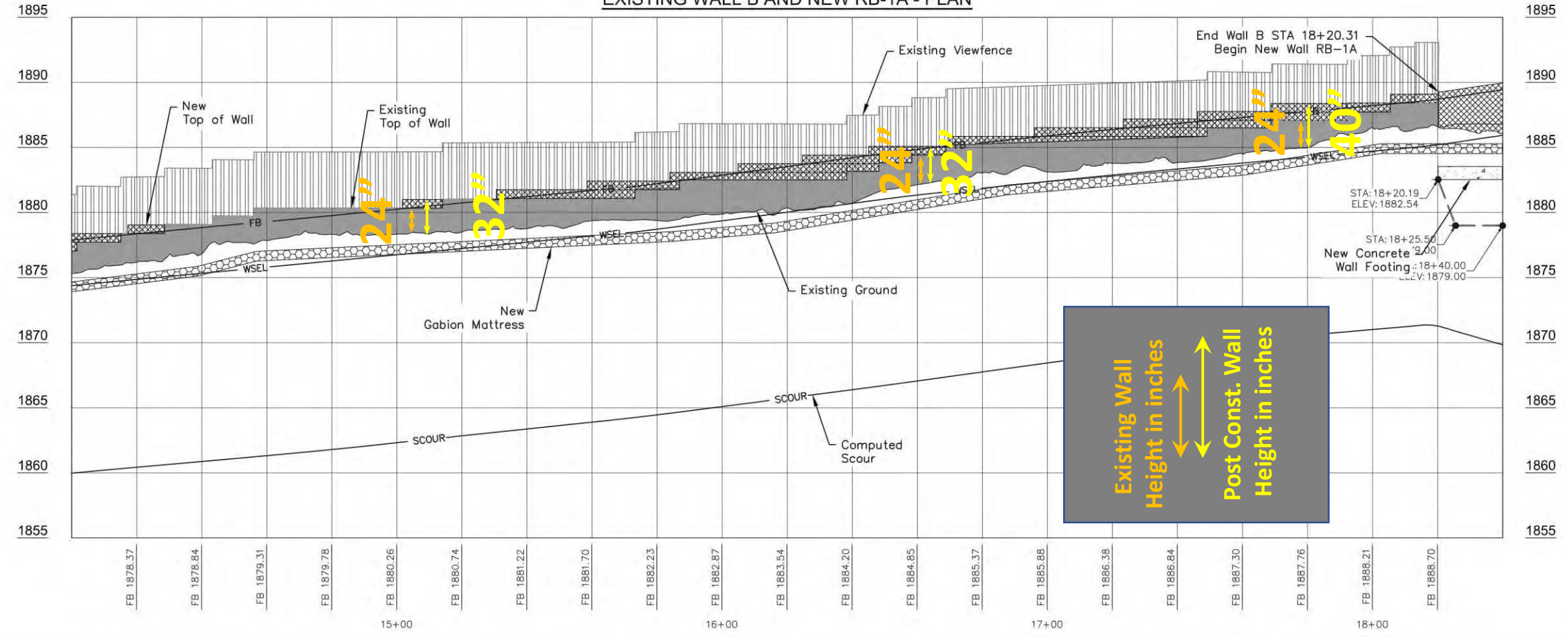
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DRAWING NO. PP-W02 WEST PLAN AND PROFILE SHEET OF 38 95



MATCH TO SHEET 40 STA 18+40

EXISTING WALL B AND NEW RB-1A - PLAN



<input type="checkbox"/>	REMOVE	UNIT	QTY
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<input type="checkbox"/>	RELOCATE	UNIT	QTY
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<input type="checkbox"/>	CONSTRUCT	UNIT	QTY
1	ADD CMU BLOCK TO EXISTING WALL PER DWGS S-03 & S-04 & DTL 7 ON DWG DET-03	SF	340
2	NEW CMU BLOCK FLOODWALL PER DWG S-04	SF	115
20	GABION MATTRESS (12" THICK) PER DTL 1, DWG DET-01	CY	636
23	OVER-EXCAVATE, BACKFILL, AND COMPACT FOOTER SUBGRADE PER DTL 13, DWG DET-03	CY	9
56	REMOVE, SALVAGE, AND REINSTALL METAL VIEW FENCE PER DET 7, DWG DET-03	LF	420

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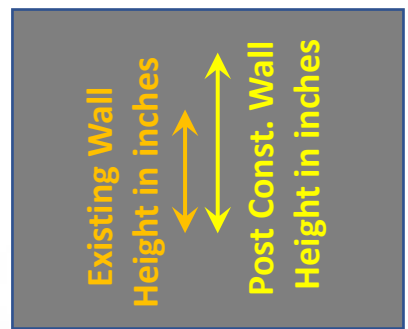
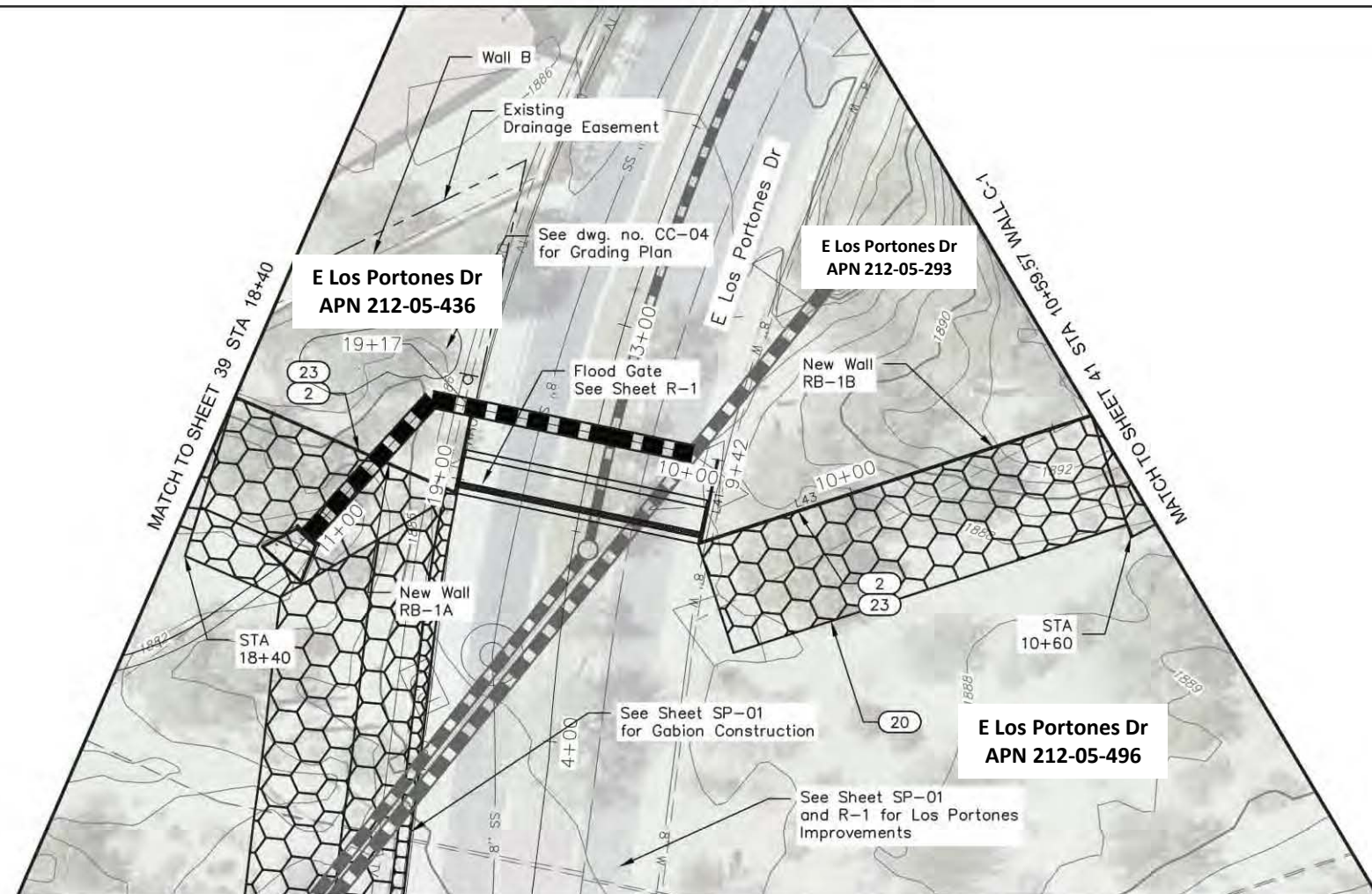
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NO.	REVISION	BY	DATE

**FLOOD CONTROL DISTRICT OF MARICOPA COUNTY**

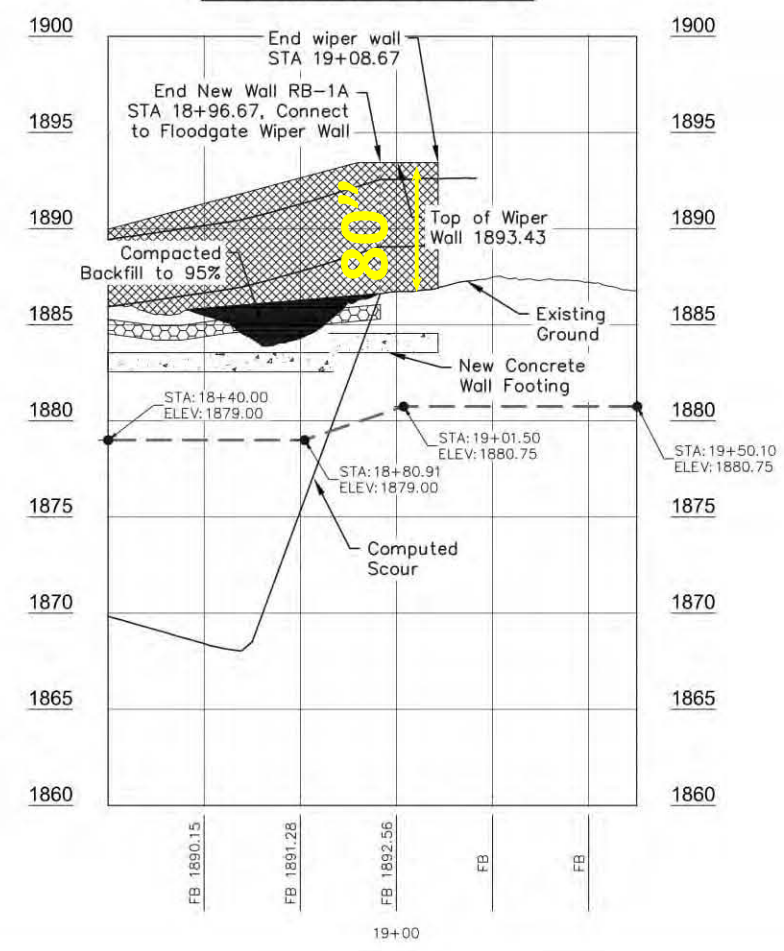
RAWHIDE WASH FLOOD HAZARD MITIGATION  
 FCD2018C015 - PCN 122.01.30

PRELIMINARY NOT FOR CONSTRUCTION	DESIGNED	WSO/ROL/BJD/CGC	DATE	3/08/2021
	DRAWN	CGC/BJD		3/08/2021
	CHECKED	WSO/ROL		3/08/2021

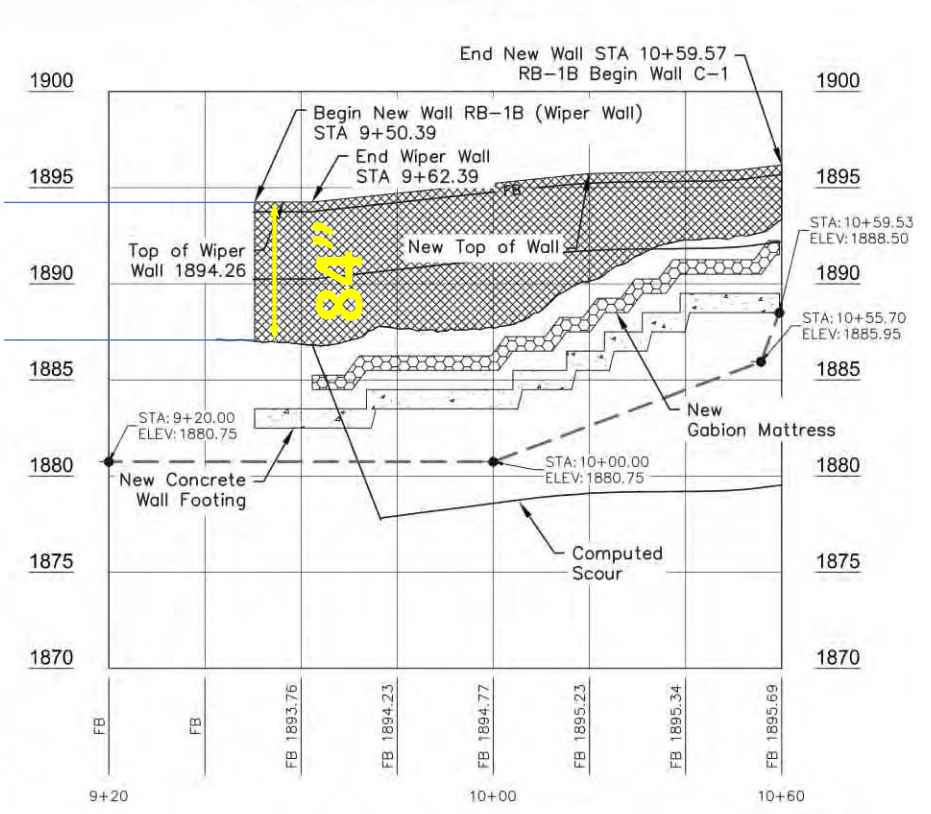
**JE FULLER**  
 8400 S. KYRENE STE. 201  
 TEMPE, AZ 85284  
 (480) 222-5701



NEW WALL RB-1A - PLAN



NEW WALL RB-1B - PLAN



REMOVE		UNIT	QTY
RELOCATE		UNIT	QTY
CONSTRUCT		UNIT	QTY
2	NEW CMU BLOCK FLOODWALL PER DWG S-04	SF	1156
20	GABION MATTRESS (12" THICK) PER DTL 1, DWG DET-01	CY	198
23	OVER-EXCAVATE, BACKFILL, AND COMPACT FOOTER SUBGRADE PER DTL 13, DWG DET-03	CY	78

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FLOOD CONTROL DISTRICT OF MARICOPA COUNTY

RAWHIDE WASH FLOOD HAZARD MITIGATION  
FCD2018C015 - PCN 122.01.30

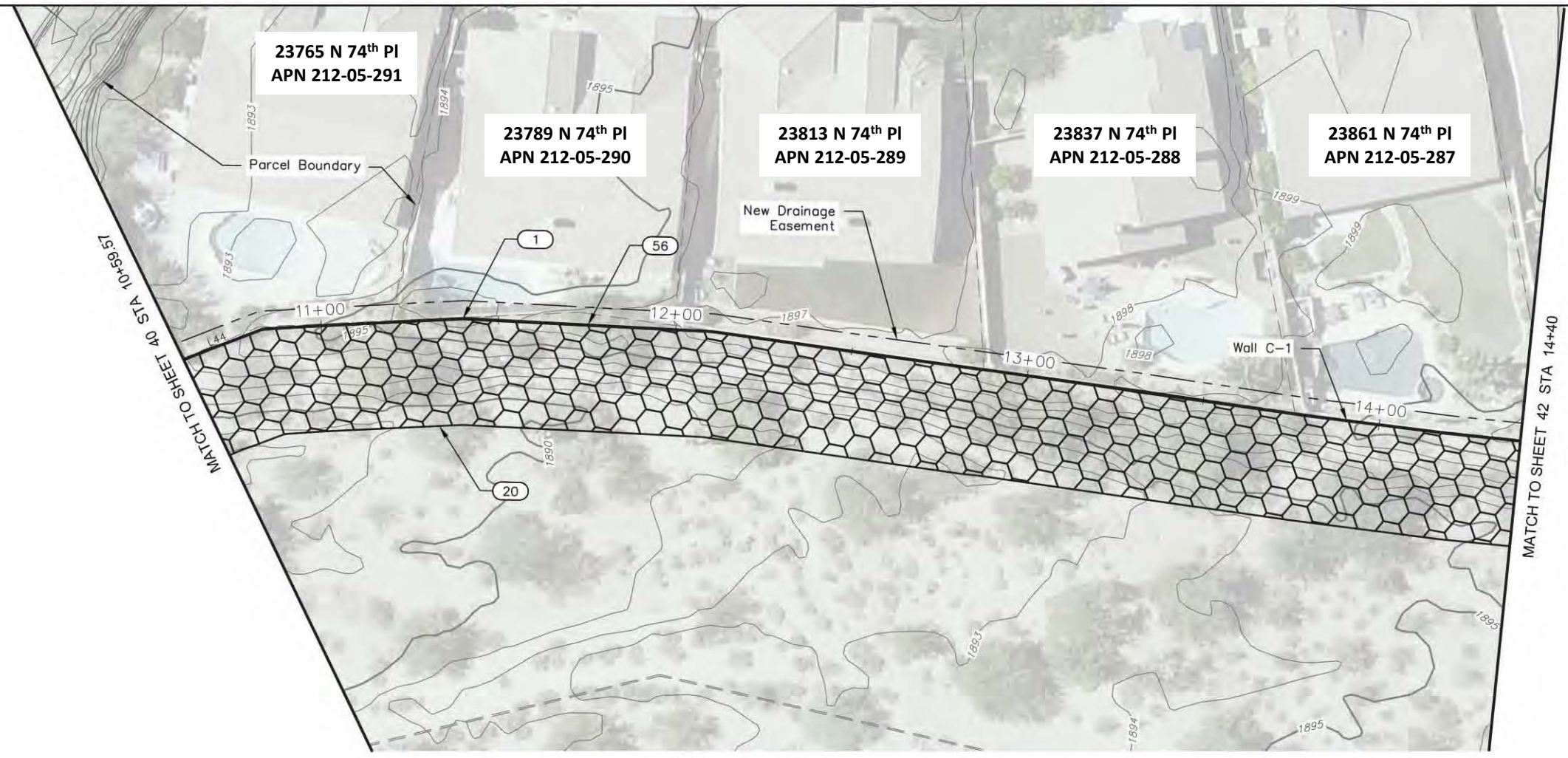
	BY	DATE
DESIGNED	WSO/ROL/BJD/CGC	3/08/2021
DRAWN	CGC/BJD	3/08/2021
CHECKED	WSO/ROL	3/08/2021

PRELIMINARY NOT FOR CONSTRUCTION

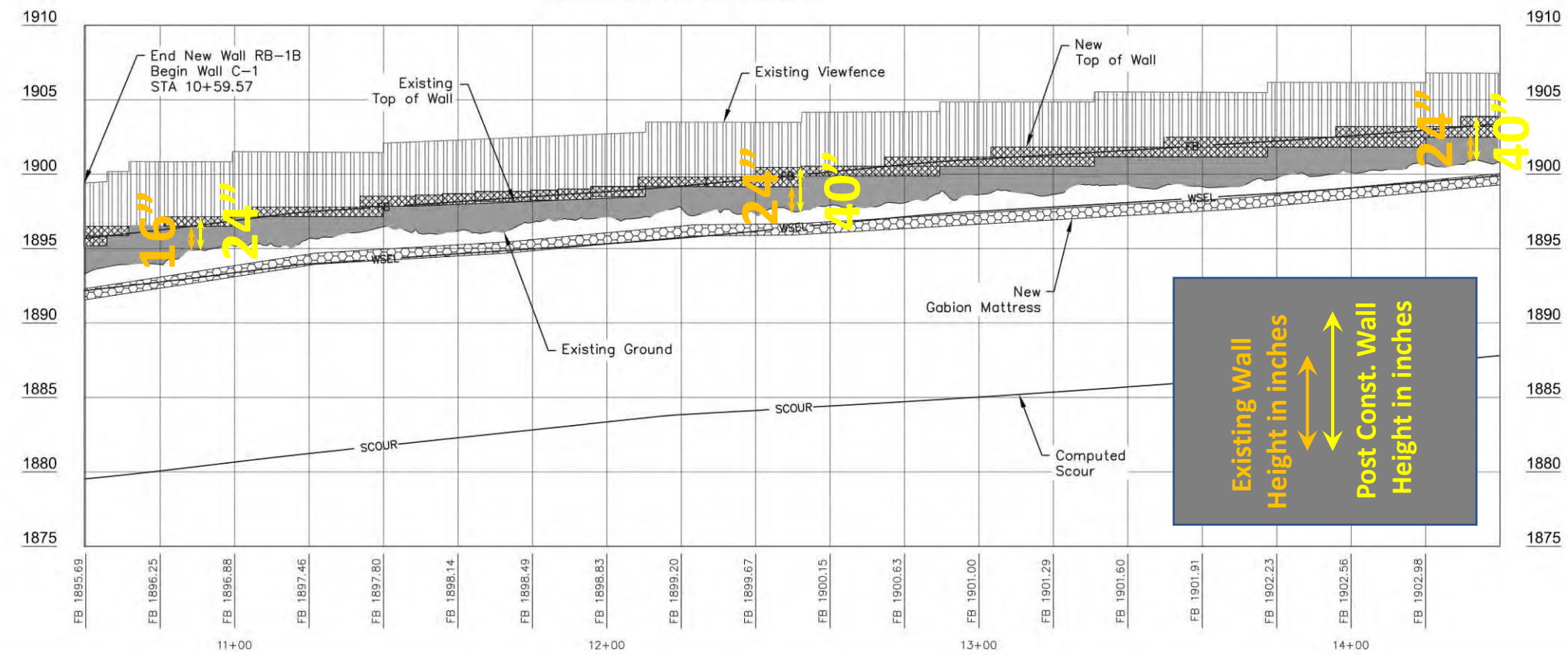
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DRAWING NO. PP-W04 WEST PLAN AND PROFILE

SHEET OF 40 95



EXISTING WALL C-1 - PLAN



REMOVE		
	UNIT	QTY
RELOCATE		
	UNIT	QTY
CONSTRUCT		
1	ADD CMU BLOCK TO EXISTING WALL PER DWGS S-03 & S-04 & DTL 7 ON DWG DET-03	SF 225
20	GABION MATTRESS (12" THICK) PER DTL 1, DWG DET-01	CY 465
56	REMOVE, SALVAGE, AND REINSTALL METAL VIEW FENCE PER DET 7, DWG DET-03	LF 380

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**FLOOD CONTROL DISTRICT OF MARICOPA COUNTY**

RAWHIDE WASH FLOOD HAZARD MITIGATION  
 FCD2018C015 - PCN 122.01.30

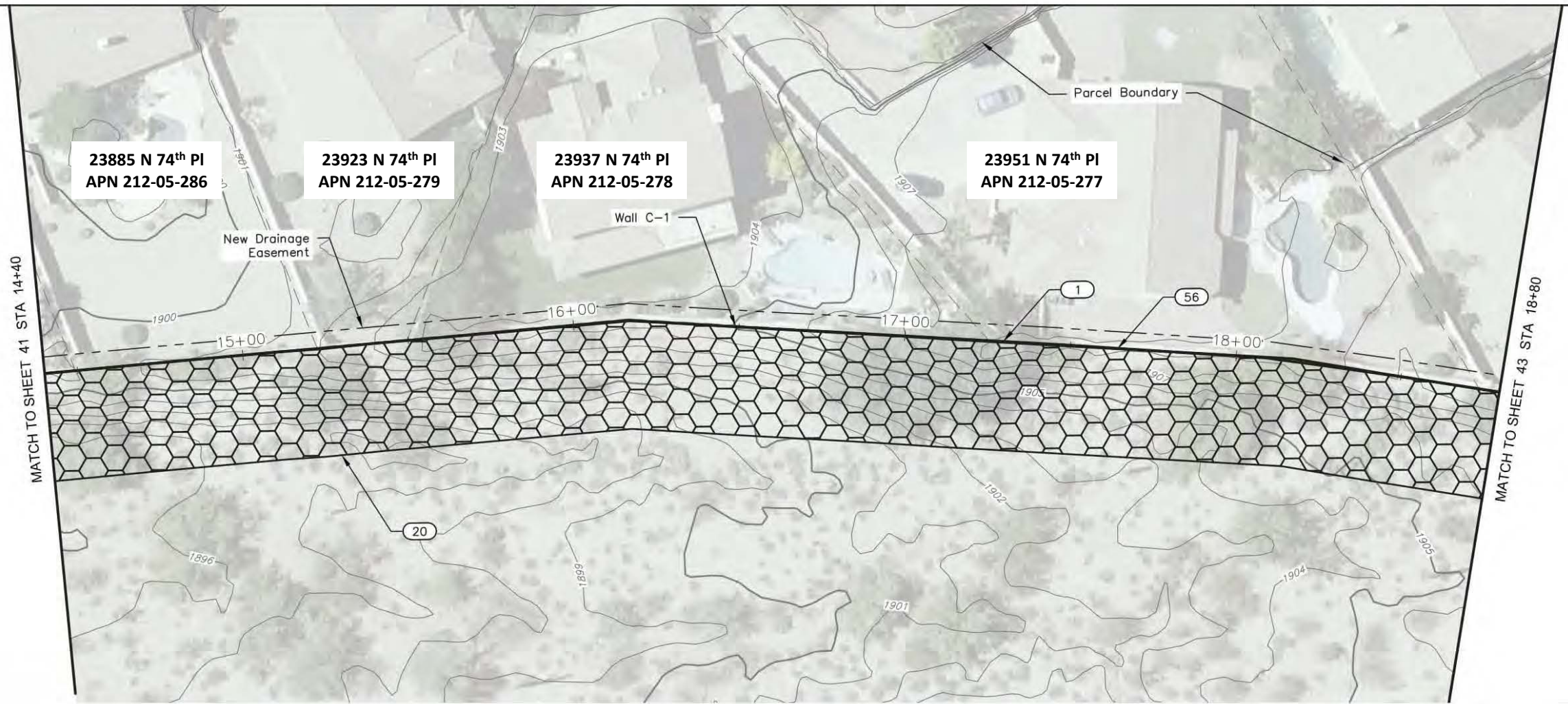
	BY	DATE
DESIGNED	WSO/ROL/BJD/CGC	3/08/2021
DRAWN	CGC/BJD	3/08/2021
CHECKED	WSO/ROL	3/08/2021

PRELIMINARY NOT FOR CONSTRUCTION

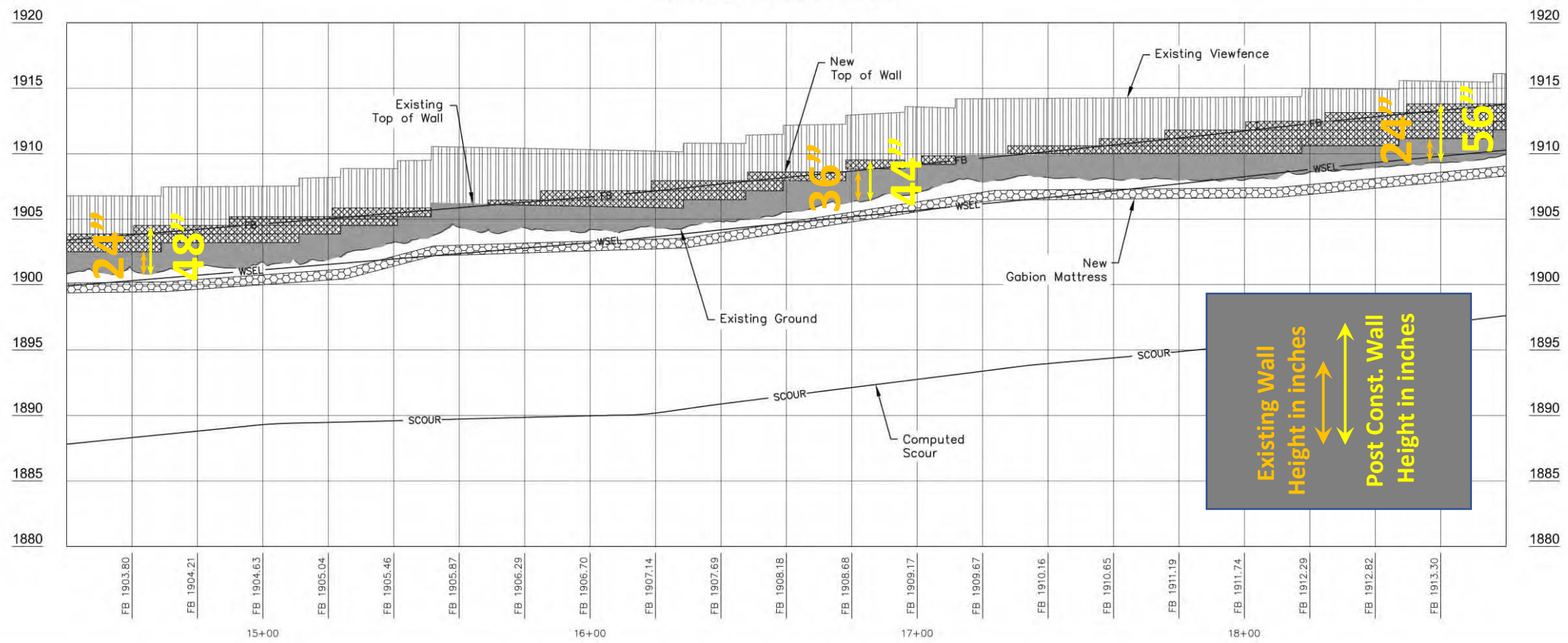
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DRAWING NO. PP-W05 WEST PLAN AND PROFILE SHEET OF 41 95

COS 284-PA-2019



EXISTING WALL C-1 - PLAN



	UNIT	QTY
<input type="checkbox"/> REMOVE		
<input type="checkbox"/> RELOCATE		
<input checked="" type="checkbox"/> CONSTRUCT		
1 ADD CMU BLOCK TO EXISTING WALL PER DWGS S-03 & S-04 & DTL 7 ON DWG DET-03	SF	545
20 GABION MATTRESS (12" THICK) PER DTL 1, DWG DET-01	CY	587
56 REMOVE, SALVAGE, AND REINSTALL METAL VIEW FENCE PER DET 7, DWG DET-03	LF	440

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**FLOOD CONTROL DISTRICT OF MARICOPA COUNTY**

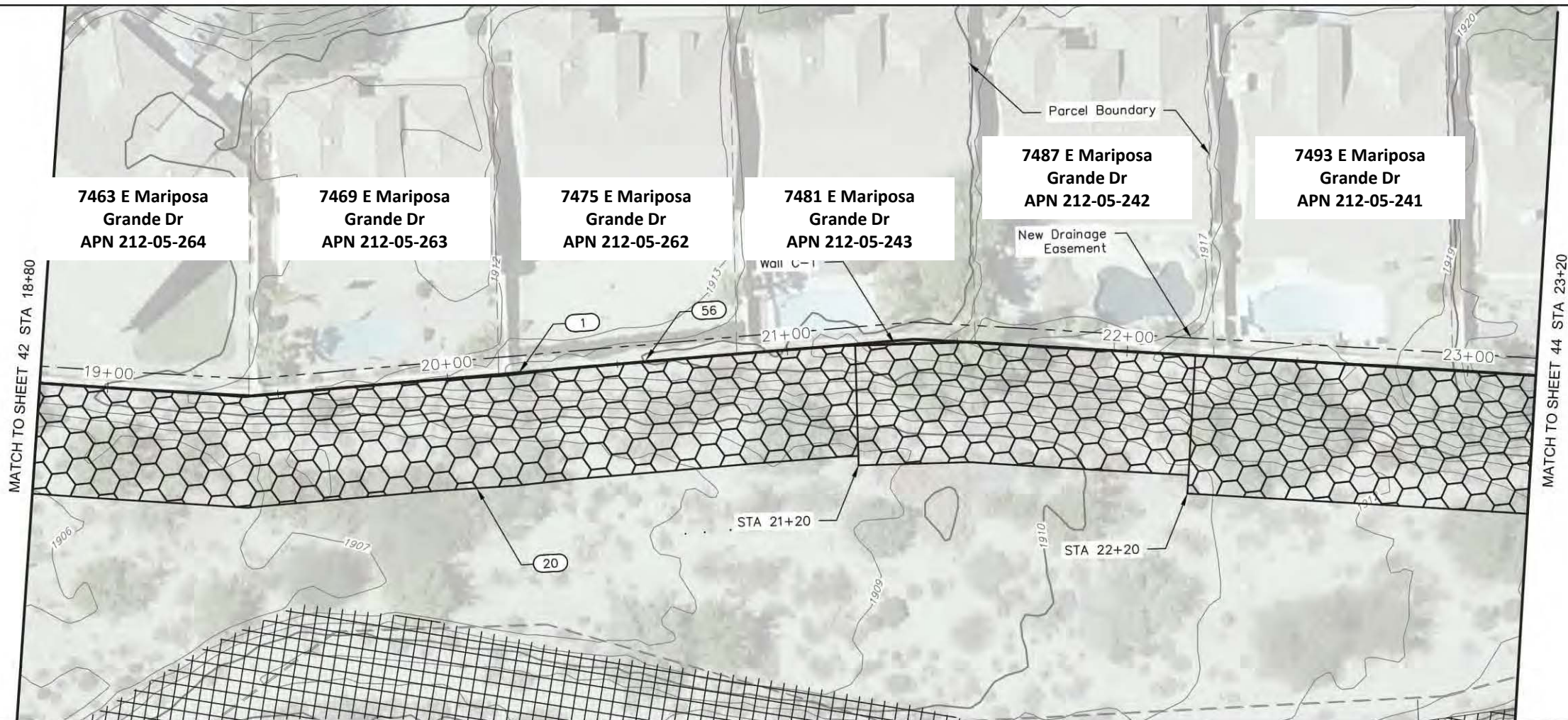
RAWHIDE WASH FLOOD HAZARD MITIGATION  
FCD2018C015 - PCN 122.01.30

PRELIMINARY NOT FOR CONSTRUCTION	BY		DATE
	DESIGNED	WSO/ROL/BJD/CGC	3/08/2021
	DRAWN	CGC/BJD	3/08/2021
CHECKED	WSO/ROL	3/08/2021	

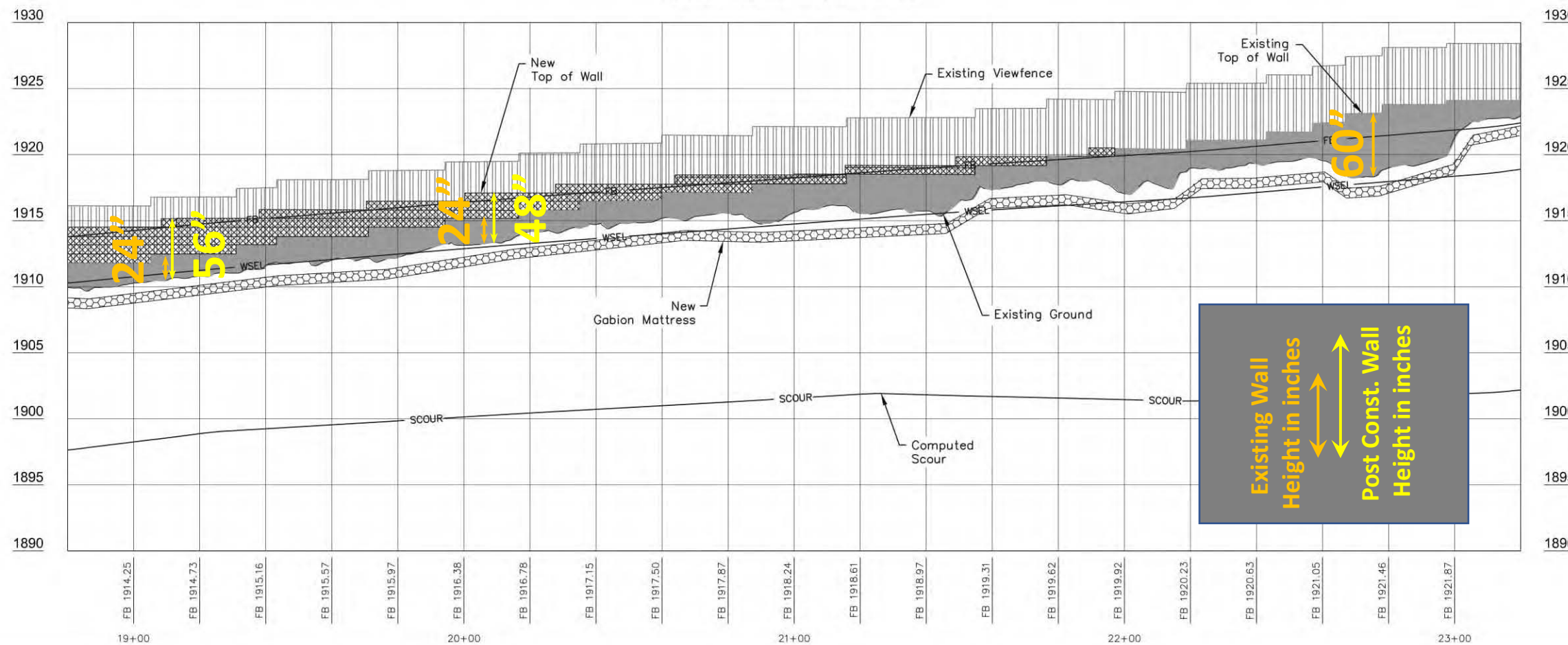
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SHEET OF  
42 95

DRAWING NO. PP-W06      WEST PLAN AND PROFILE



EXISTING WALL C-1 - PLAN



REMOVE		UNIT	QTY
RELOCATE		UNIT	QTY
CONSTRUCT		UNIT	QTY
1	ADD CMU BLOCK TO EXISTING WALL PER DWGS S-03 & S-04 & DTL 7 ON DWG DET-03	SF	485
20	GABION MATTRESS (12" THICK) PER DTL 1, DWG DET-01	CY	464
56	REMOVE, SALVAGE, AND REINSTALL METAL VIEW FENCE PER DET 7, DWG DET-03	LF	440

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NO.	REVISION	BY	DATE
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FLOOD CONTROL DISTRICT OF MARICOPA COUNTY

RAWHIDE WASH FLOOD HAZARD MITIGATION  
 FCD2018C015 - PCN 122.01.30

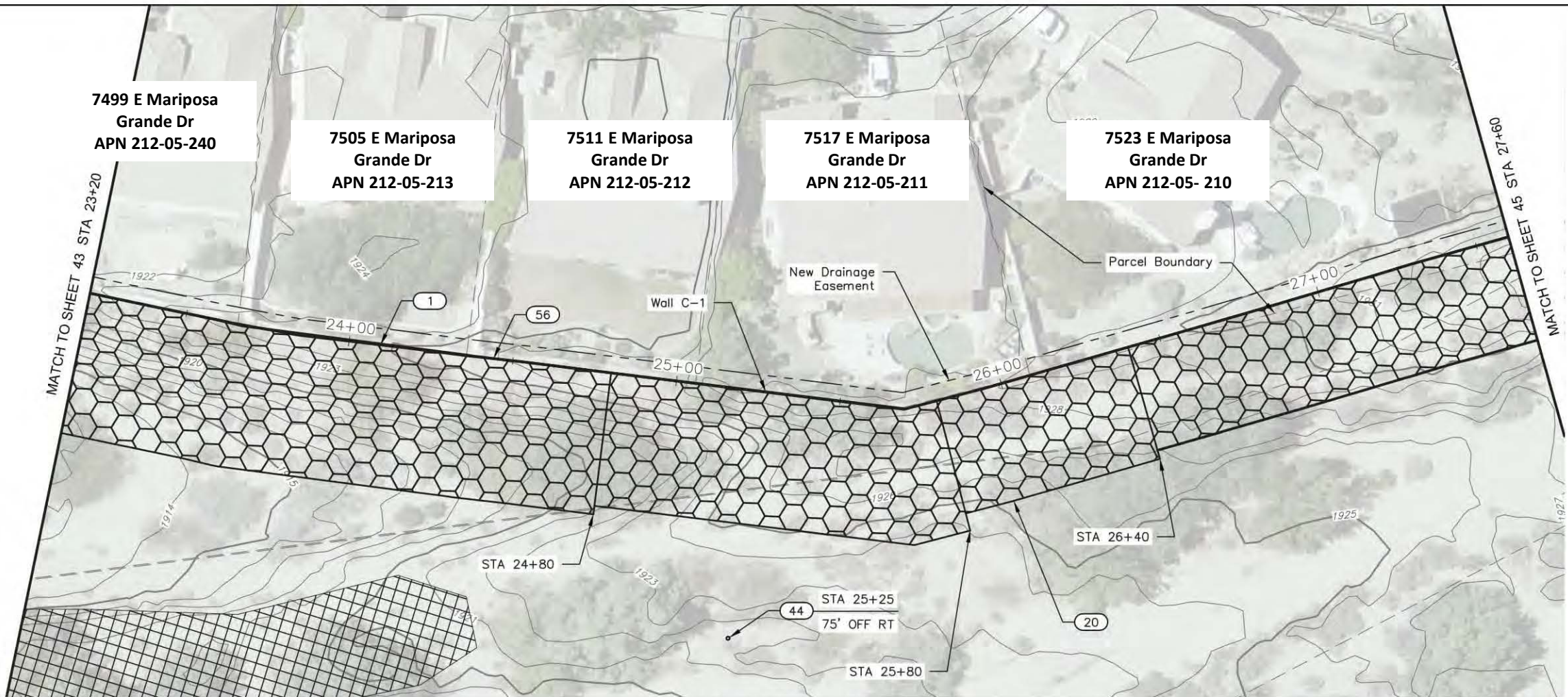
	BY	DATE
DESIGNED	WSO/ROL/BJD/CGC	3/08/2021
DRAWN	CGC/BJD	3/08/2021
CHECKED	WSO/ROL	3/08/2021

PRELIMINARY NOT FOR CONSTRUCTION

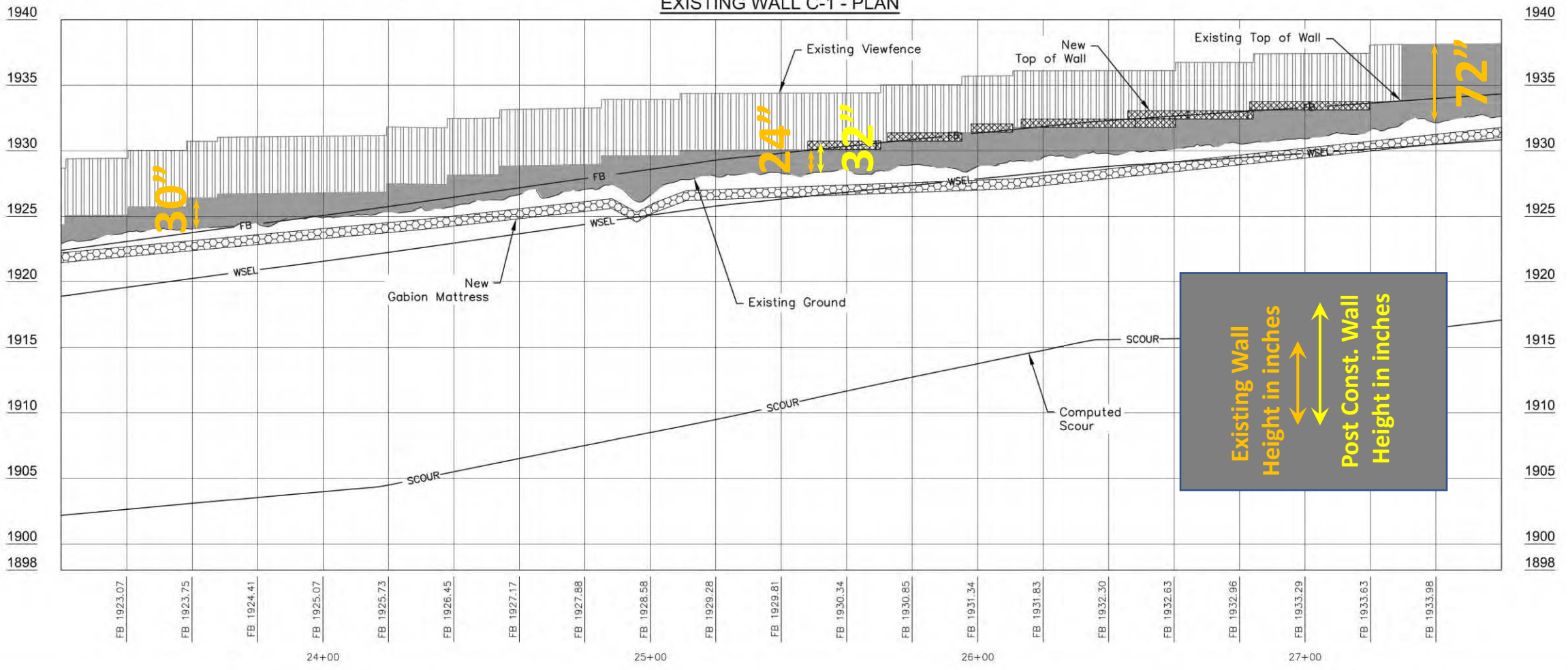
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DRAWING NO. PP-W07 WEST PLAN AND PROFILE SHEET OF 43 95





EXISTING WALL C-1 - PLAN



<input type="checkbox"/>	REMOVE	<input type="checkbox"/>	UNIT	QTY
<input type="checkbox"/>	RELOCATE	<input type="checkbox"/>	UNIT	QTY

<input type="checkbox"/>	CONSTRUCT	<input type="checkbox"/>	UNIT	QTY
1	ADD CMU BLOCK TO EXISTING WALL PER DWGS S-03 & S-04 & DTL 7 ON DWG DET-03		SF	15
20	GABION MATTRESS (12" THICK) PER DTL 1, DWG DET-01		CY	864
44	SCOUR GAGE PER DTL 10, DWG DET-03		EA	1
56	REMOVE, SALVAGE, AND REINSTALL METAL VIEW FENCE PER DET 7, DWG DET-03		LF	410

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FLOOD CONTROL DISTRICT OF MARICOPA COUNTY

RAWHIDE WASH FLOOD HAZARD MITIGATION  
FCD2018C015 - PCN 122.01.30

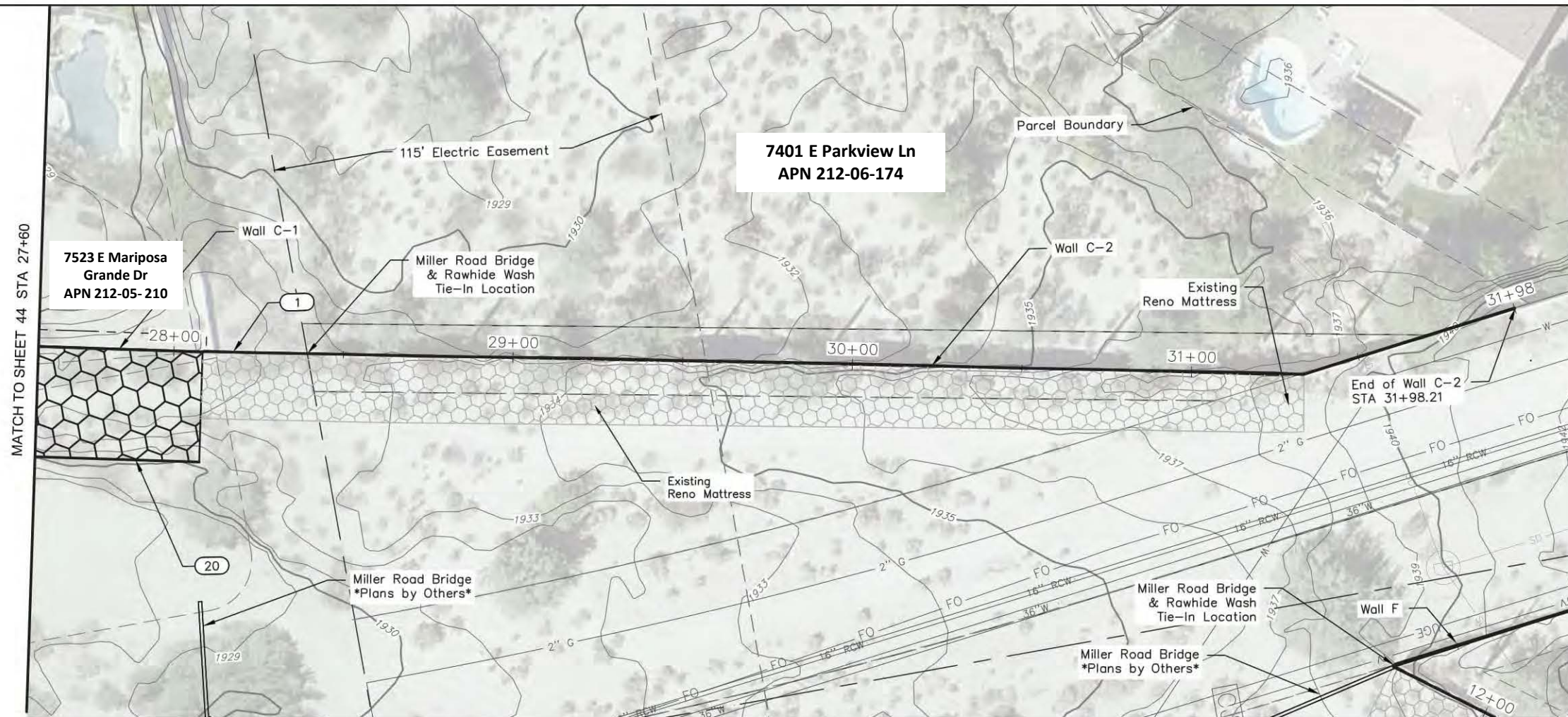
PRELIMINARY NOT FOR CONSTRUCTION	DESIGNED	WSO/ROL/BJD/CGC	DATE	3/08/2021
	DRAWN	CGC/BJD		3/08/2021
	CHECKED	WSO/ROL		3/08/2021
	BY			DATE

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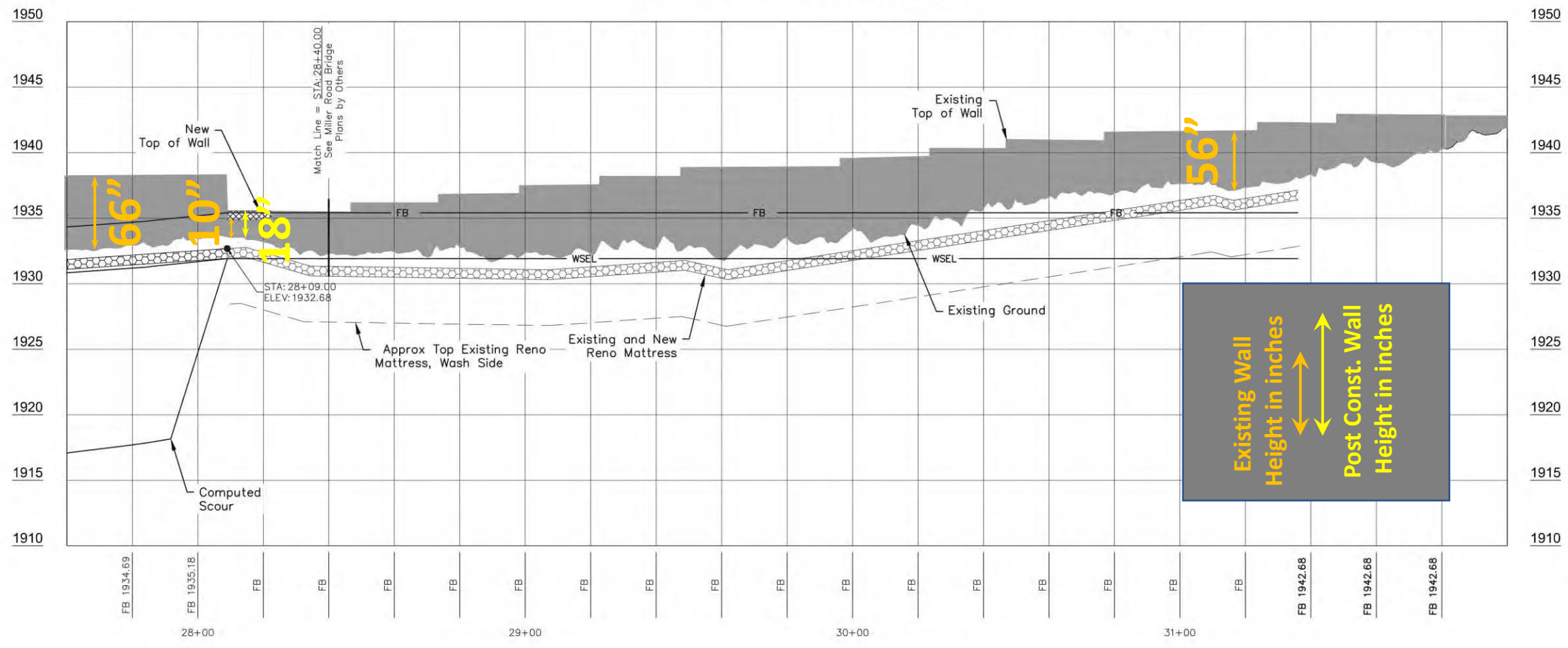
DRAWING NO. PP-W08

WEST PLAN AND PROFILE

SHEET OF 44 95



EXISTING WALL C-1 AND C-2 - PLAN



<input type="checkbox"/>	REMOVE	UNIT	QTY
<input type="checkbox"/>	RELOCATE	UNIT	QTY
<input type="checkbox"/>	CONSTRUCT	UNIT	QTY
20	GABION MATTRESS (12" THICK) PER DTL 1, DWG DET-01	CY	65

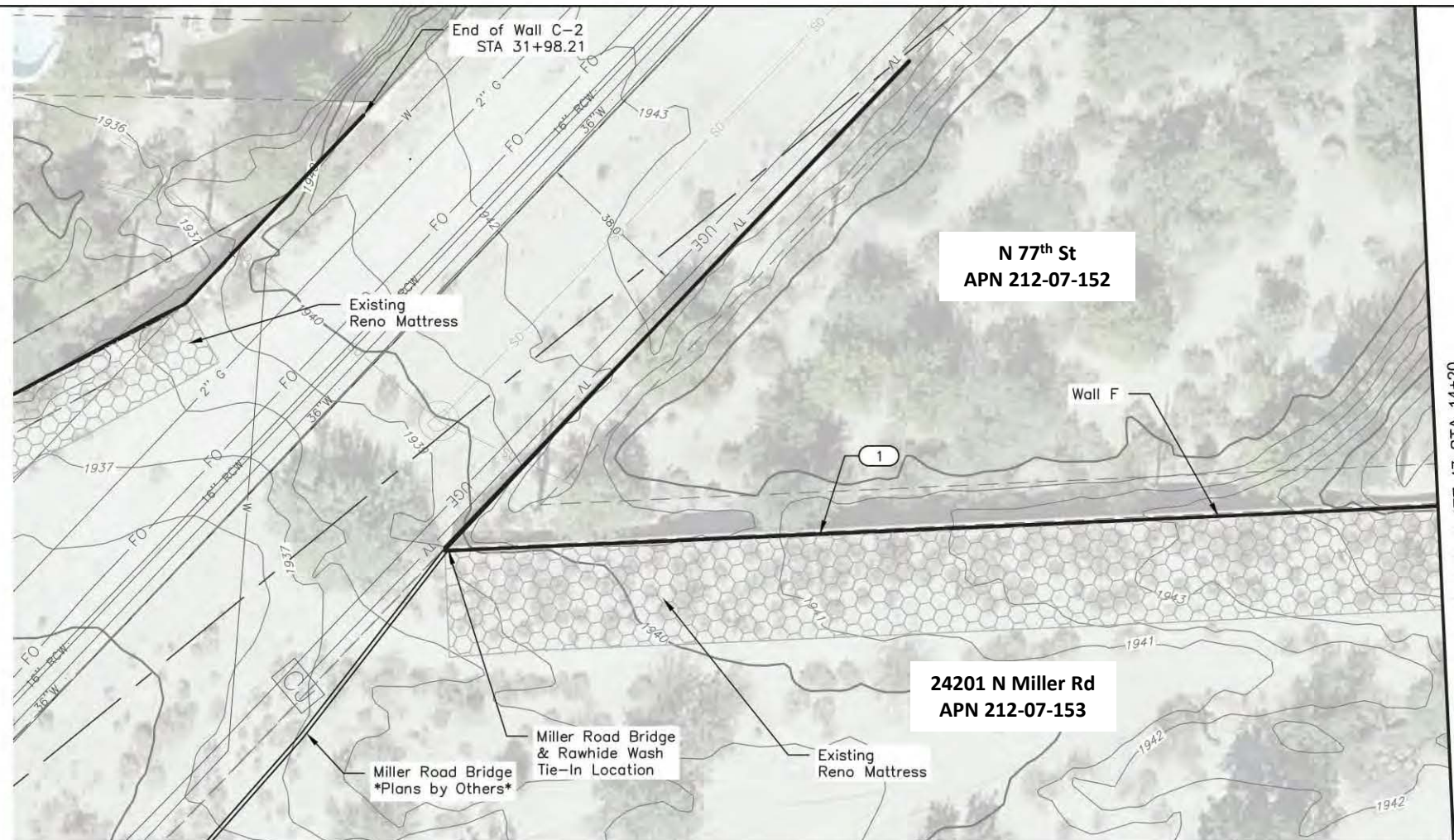
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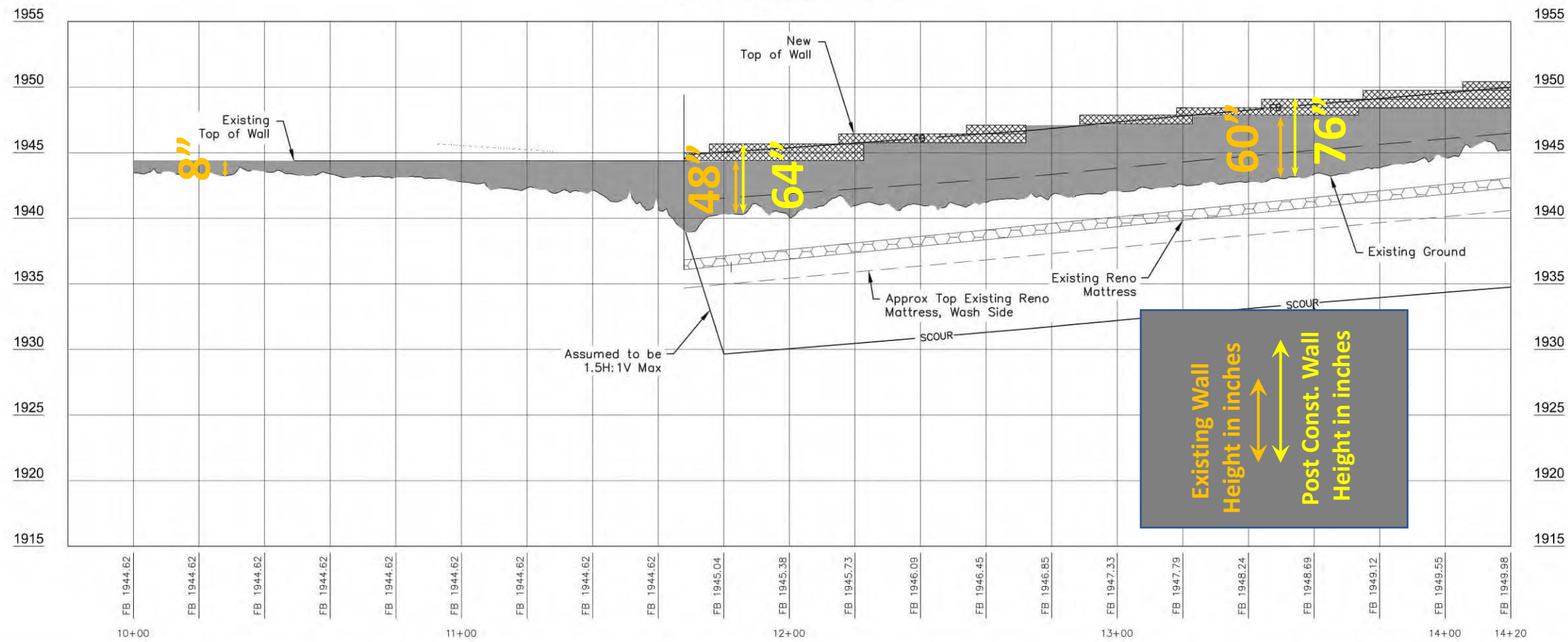
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<p>FLOOD CONTROL DISTRICT OF MARICOPA COUNTY</p> <p>RAWHIDE WASH FLOOD HAZARD MITIGATION FCD2018C015 - PCN 122.01.30</p>			
PRELIMINARY NOT FOR CONSTRUCTION	DESIGNED	WSO/ROL/BJD/CGC	3/08/2021
	DRAWN	CGC/BJD	3/08/2021
	CHECKED	WSO/ROL	3/08/2021
DRAWING NO. PP-W09		WEST PLAN AND PROFILE	
<p>8400 S. KYRENE STE. 201 TEMPE, AZ 85284 (480) 222-5701</p>			SHEET OF 45 95



EXISTING WALL F - PLAN



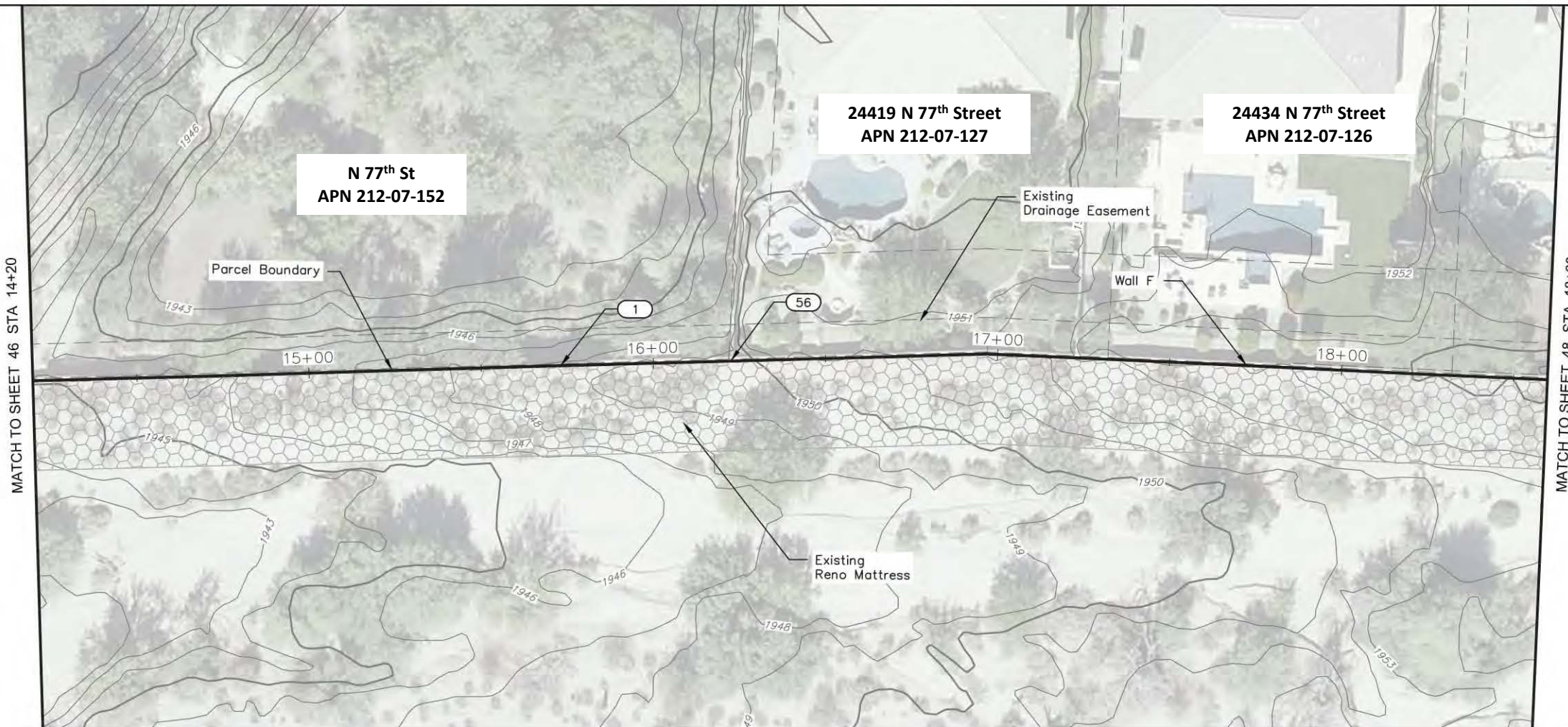
<input type="checkbox"/>	REMOVE	UNIT	QTY
<input type="checkbox"/>	RELOCATE	UNIT	QTY
<input checked="" type="checkbox"/>	CONSTRUCT	UNIT	QTY
1	ADD CMU BLOCK TO EXISTING WALL PER DWGS S-03 & S-04 & DTL 7 ON DWG DET-03	SF	245

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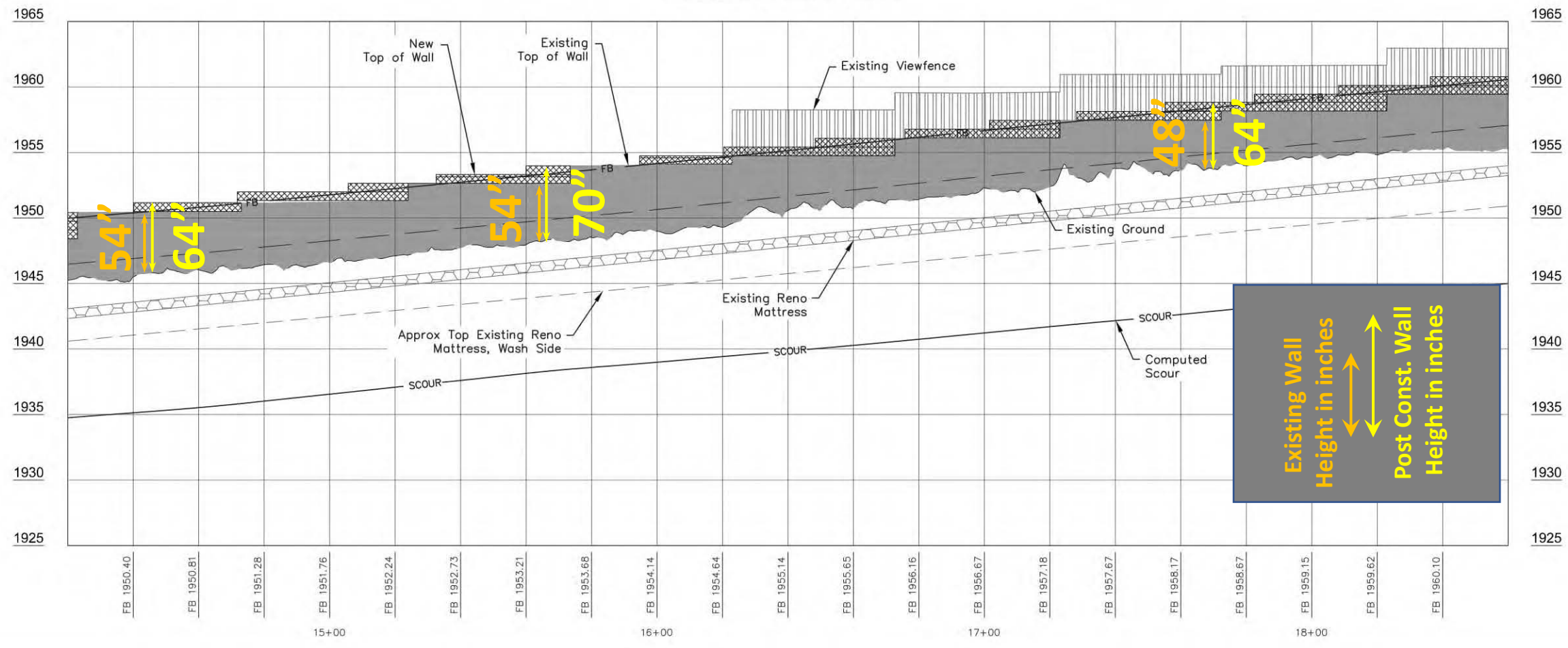
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 <b>FLOOD CONTROL DISTRICT OF MARICOPA COUNTY</b> RAWHIDE WASH FLOOD HAZARD MITIGATION FCD2018C015 - PCN 122.01.30			
PRELIMINARY NOT FOR CONSTRUCTION	DESIGNED	WSO/ROL/BJD/CGC	3/08/2021
	DRAWN	CGC/BJD	3/08/2021
	CHECKED	WSO/ROL	3/08/2021
 8400 S. KYRENE STE. 201 TEMPE, AZ 85284 (480) 222-5701		SHEET OF	
DRAWING NO. PP-W10	WEST PLAN AND PROFILE		46 95

COS 284-PA-2019



EXISTING WALL F - PLAN



<input type="checkbox"/>	REMOVE	UNIT	QTY
<input type="checkbox"/>	RELOCATE	UNIT	QTY
<input checked="" type="checkbox"/>	CONSTRUCT	UNIT	QTY
1	ADD CMU BLOCK TO EXISTING WALL PER DWGS S-03 & S-04 & DTL 7 ON DWG DET-03	SF	380
56	REMOVE, SALVAGE, AND REINSTALL METAL VIEW FENCE PER DET 7, DWG DET-03	LF	240

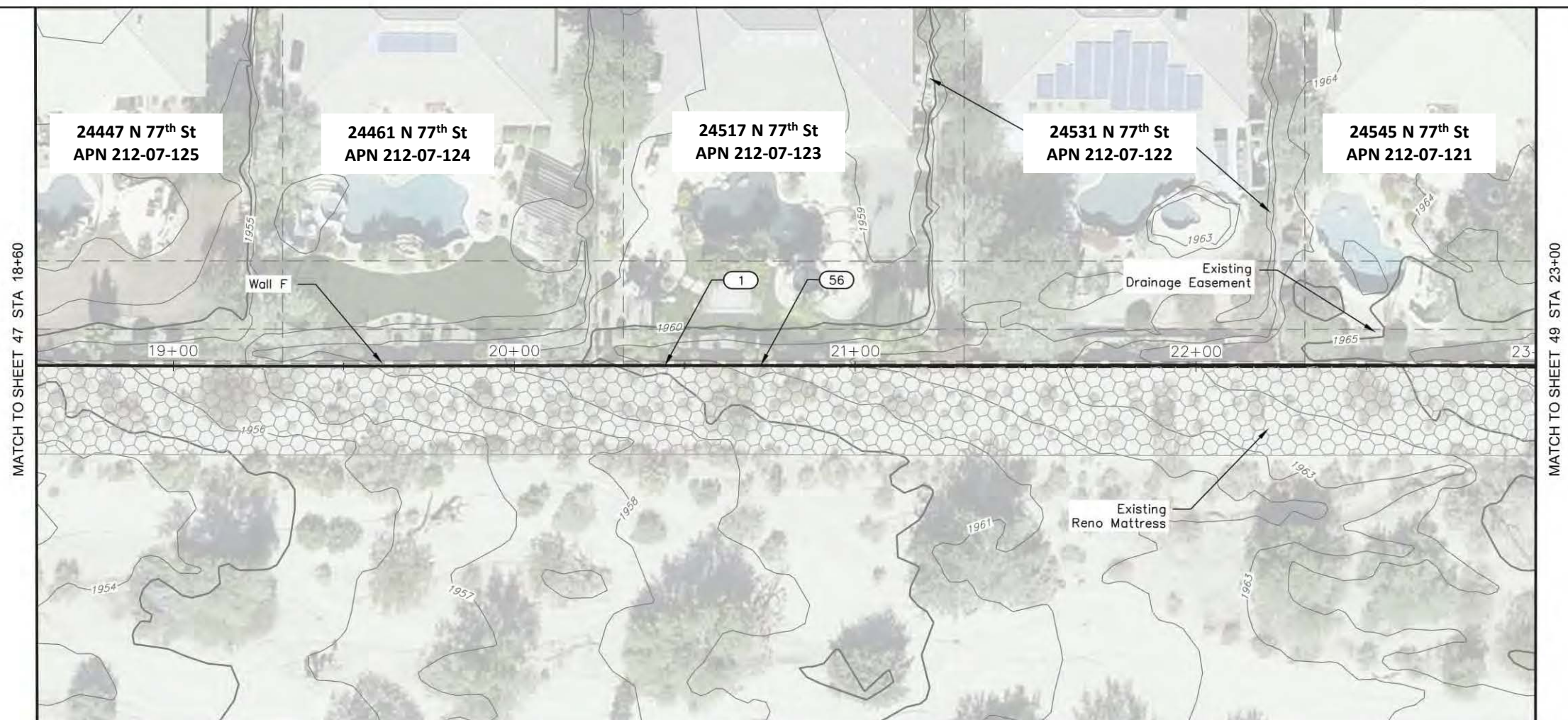
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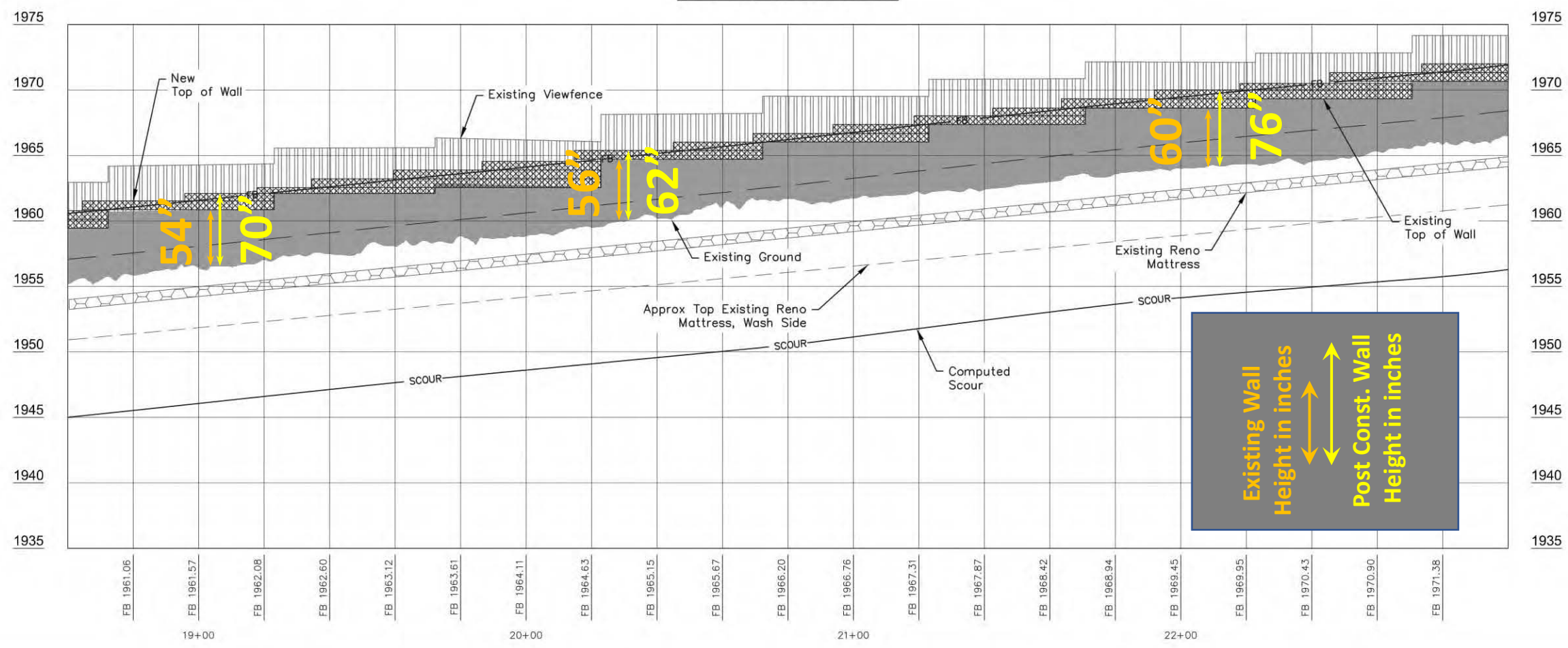
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<p>FLOOD CONTROL DISTRICT OF MARICOPA COUNTY</p> <p>RAWHIDE WASH FLOOD HAZARD MITIGATION FCD2018C015 - PCN 122.01.30</p>			
PRELIMINARY NOT FOR CONSTRUCTION	DESIGNED	WSO/ROL/BJD/CGC	3/08/2021
	DRAWN	CGC/BJD	3/08/2021
	CHECKED	WSO/ROL	3/08/2021
DRAWING NO. PP-W11		<p>8400 S. KYRENE STE. 201 TEMPE, AZ 85284 (480) 222-5701</p>	SHEET OF 47 95
WEST PLAN AND PROFILE			



EXISTING WALL F - PLAN



Existing Wall Height in inches  
 Post Const. Wall Height in inches

<input type="checkbox"/>	REMOVE	<input type="checkbox"/>	UNIT	QTY
<input type="checkbox"/>	RELOCATE	<input type="checkbox"/>	UNIT	QTY
<input type="checkbox"/>	CONSTRUCT	<input type="checkbox"/>	UNIT	QTY

1	ADD CMU BLOCK TO EXISTING WALL PER DWGS S-03 & S-04 & DTL 7 ON DWG DET-03	SF	556
56	REMOVE, SALVAGE, AND REINSTALL METAL VIEW FENCE PER DET 7, DWG DET-03	LF	440

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FLOOD CONTROL DISTRICT OF MARICOPA COUNTY

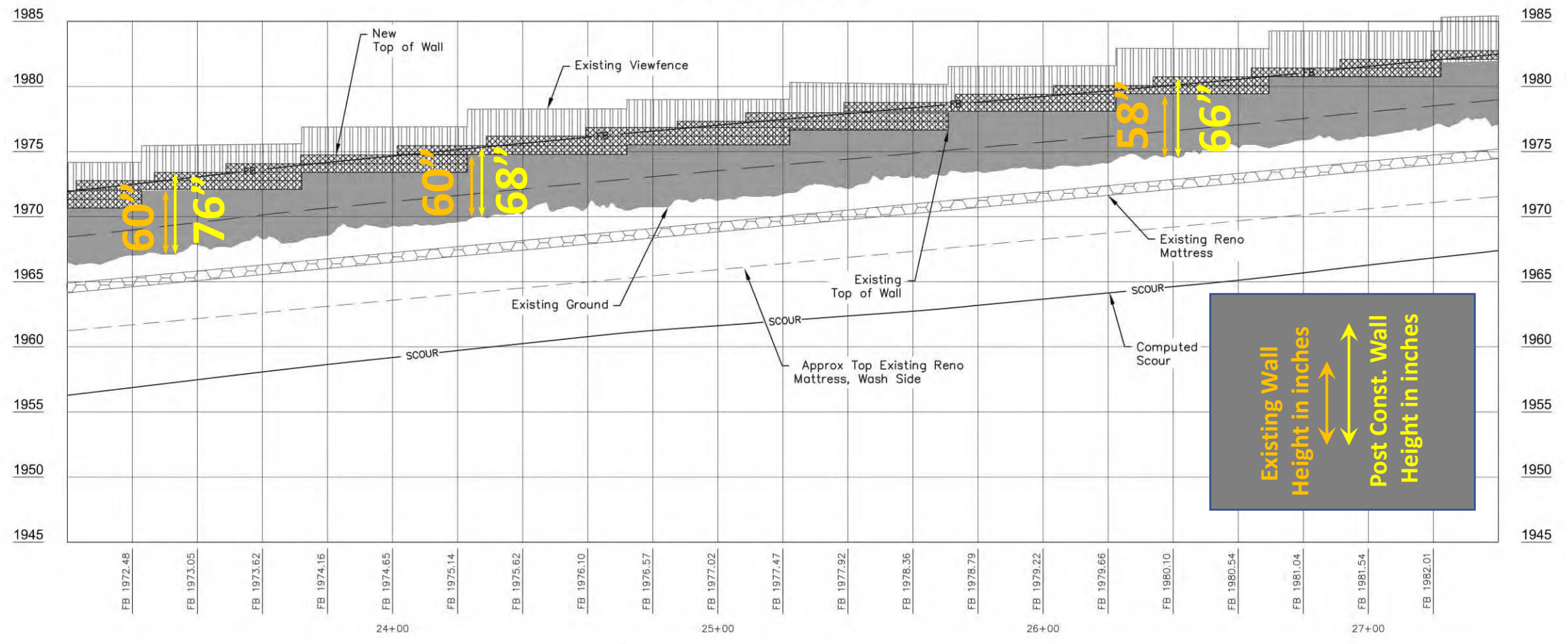
RAWHIDE WASH FLOOD HAZARD MITIGATION  
 FCD2018C015 - PCN 122.01.30

PRELIMINARY NOT FOR CONSTRUCTION	DESIGNED	WSO/ROL/BJD/CGC	DATE	3/08/2021
	DRAWN	CGC/BJD		3/08/2021
	CHECKED	WSO/ROL		3/08/2021

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EXISTING WALL F - PLAN



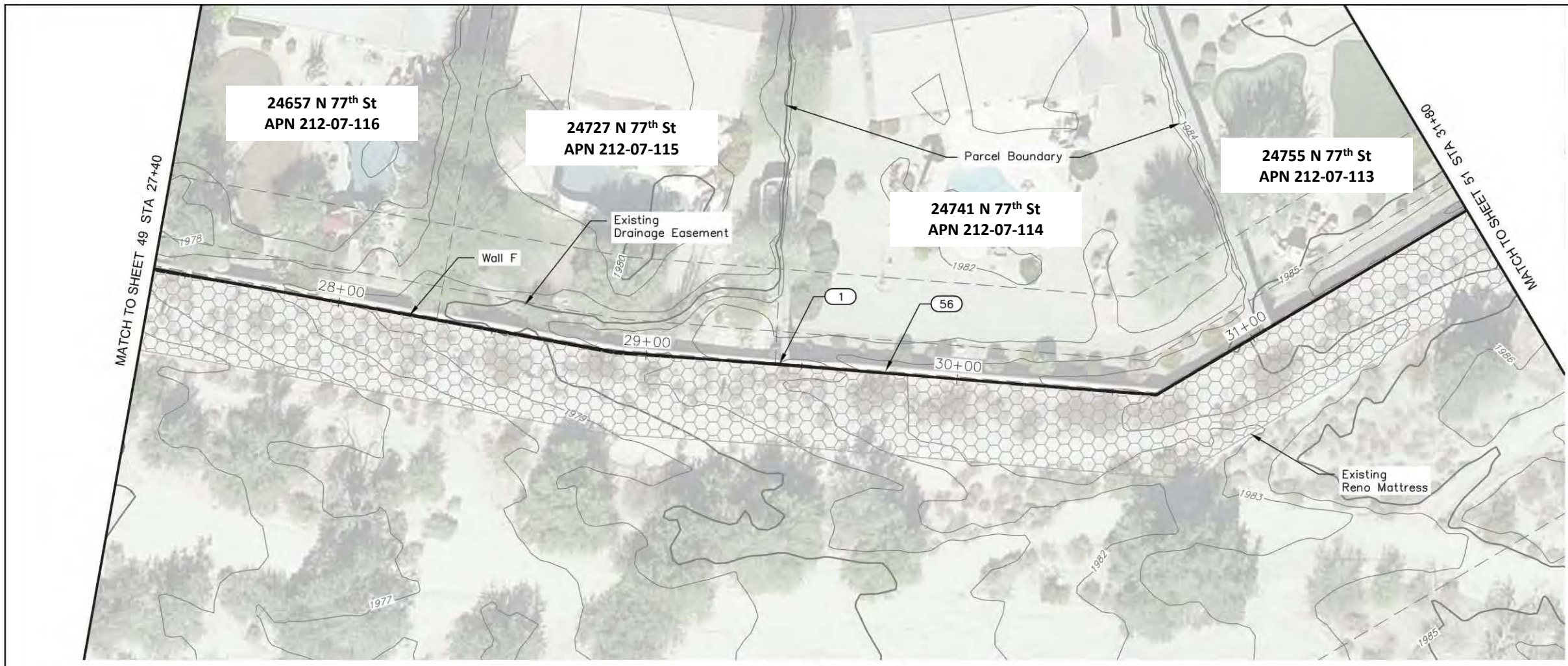
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<input type="checkbox"/>	RELOCATE	UNIT	QTY
<input type="checkbox"/>	CONSTRUCT	UNIT	QTY
1	ADD CMU BLOCK TO EXISTING WALL PER DWGS S-03 & S-04 & DTL 7 ON DWG DET-03	SF	665
56	REMOVE, SALVAGE, AND REINSTALL METAL VIEW FENCE PER DET 7, DWG DET-03	LF	440

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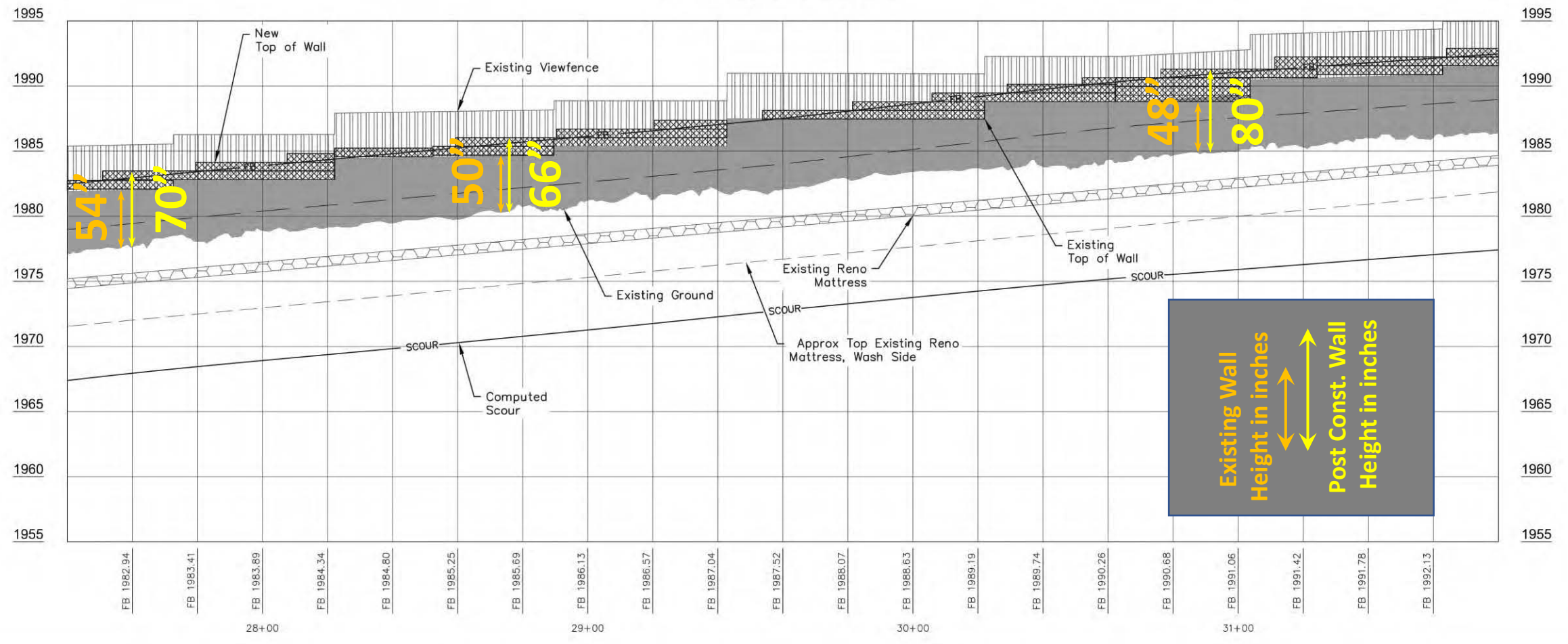
Contact Arizona 811 at least two full working days before you begin excavation.  
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NO.	REVISION	BY	DATE
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<b>FLOOD CONTROL DISTRICT OF MARICOPA COUNTY</b> RAWHIDE WASH FLOOD HAZARD MITIGATION FCD2018C015 - PCN 122.01.30			
PRELIMINARY NOT FOR CONSTRUCTION	DESIGNED	WSO/ROL/BJD/CGC	3/08/2021
	DRAWN	CGC/BJD	3/08/2021
	CHECKED	WSO/ROL	3/08/2021
<b>JE FULLER</b> 8400 S. KYRENE STE. 201 TEMPE, AZ 85284 (480) 222-5701		SHEET OF	
DRAWING NO. PP-W13		WEST PLAN AND PROFILE	
		49 95	

COS 284-PA-2019



EXISTING WALL F - PLAN



<input type="checkbox"/>	REMOVE	UNIT	QTY
<input type="checkbox"/>	RELOCATE	UNIT	QTY
<input type="checkbox"/>	CONSTRUCT	UNIT	QTY
1	ADD CMU BLOCK TO EXISTING WALL PER DWGS S-03 & S-04 & DTL 7 ON DWG DET-03	SF	525
56	REMOVE, SALVAGE, AND REINSTALL METAL VIEW FENCE PER DET 7, DWG DET-03	LF	440

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FLOOD CONTROL DISTRICT OF MARICOPA COUNTY

RAWHIDE WASH FLOOD HAZARD MITIGATION  
FCD2018C015 - PCN 122.01.30

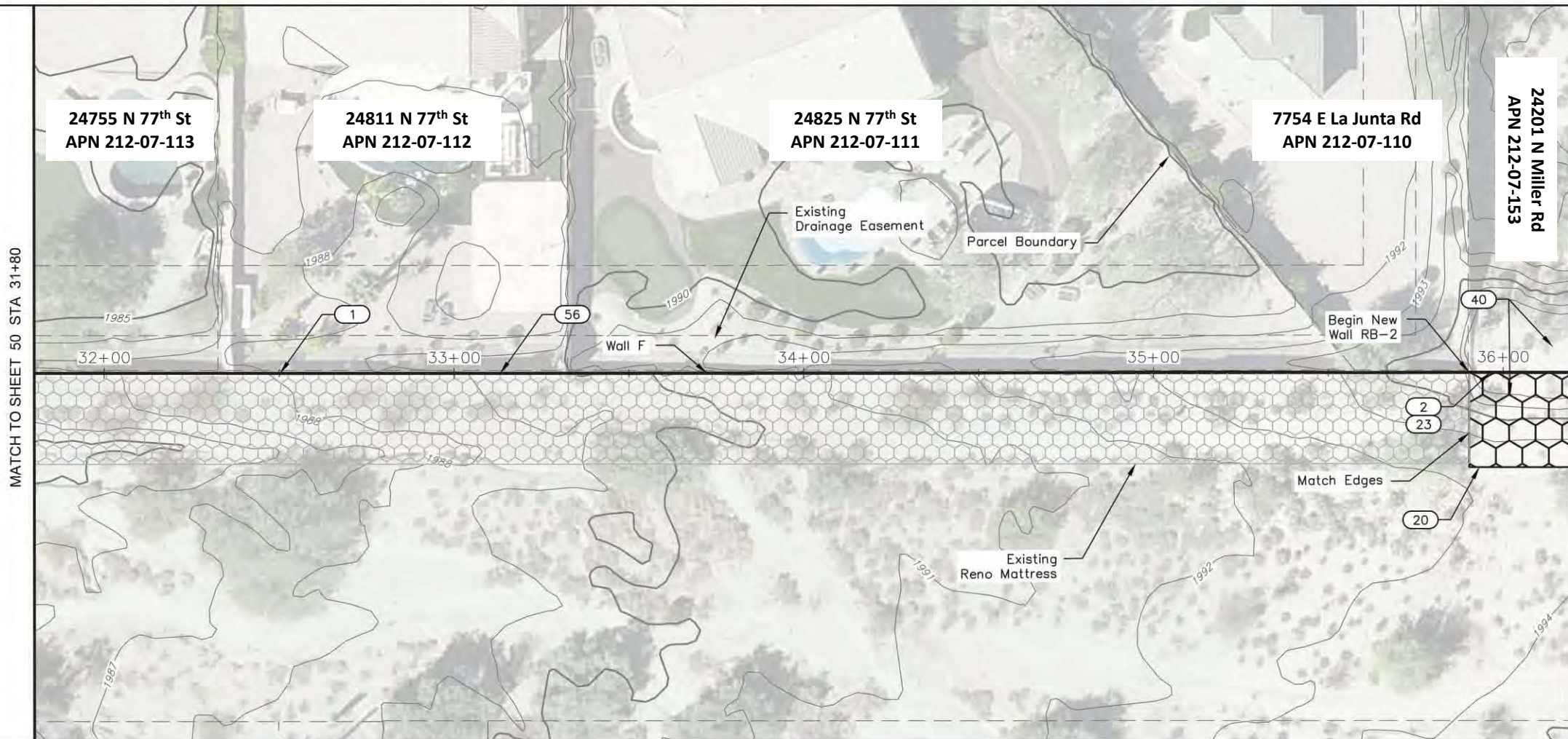
PRELIMINARY NOT FOR CONSTRUCTION	DESIGNED	WSO/ROL/BJD/CGC	DATE	3/08/2021
	DRAWN	CGC/BJD		3/08/2021
	CHECKED	WSO/ROL		3/08/2021
	BY		DATE	

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DRAWING NO. PP-W14 WEST PLAN AND PROFILE SHEET OF 50 95

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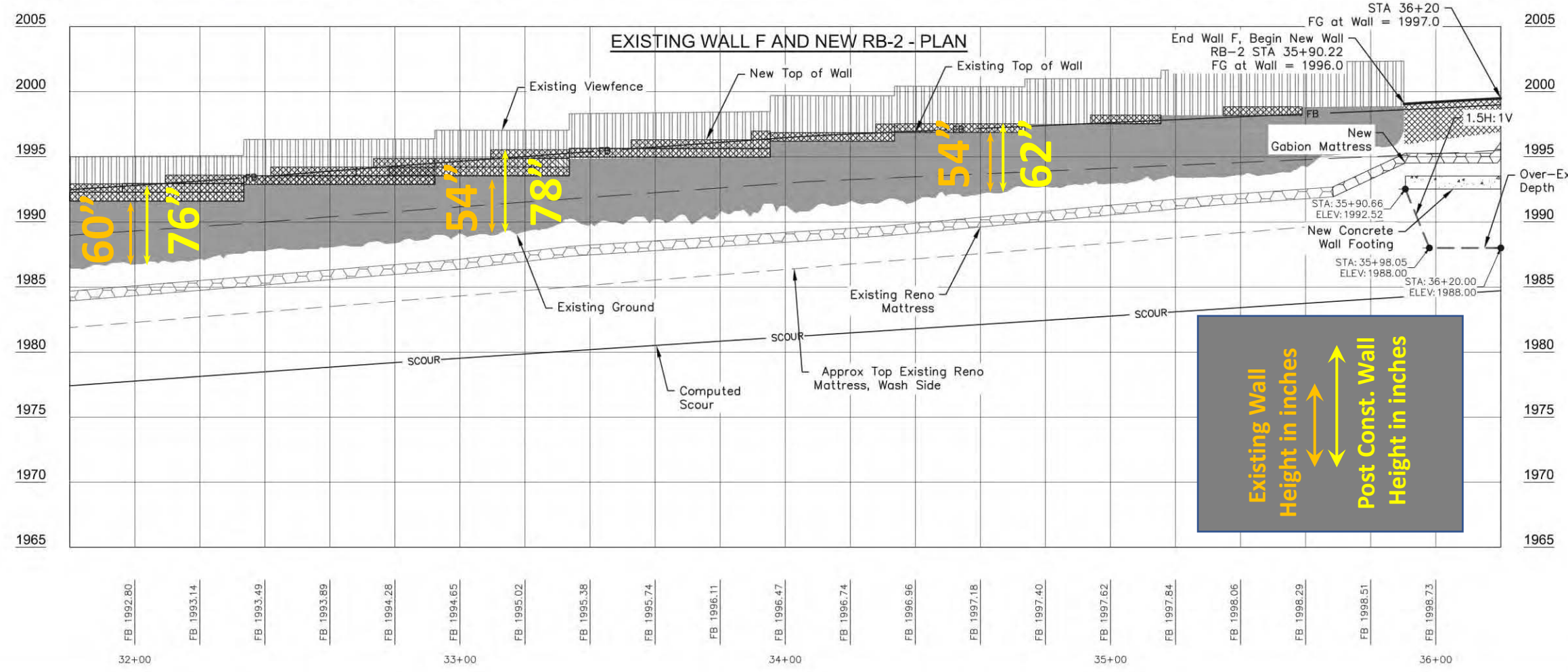


MATCH TO SHEET 50 STA 31+80

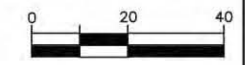
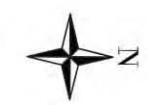
MATCH TO SHEET 52 STA 36+20

<input type="checkbox"/> REMOVE	UNIT	QTY
<input type="checkbox"/> RELOCATE	UNIT	QTY

<input type="checkbox"/> CONSTRUCT	UNIT	QTY
1	ADD CMU BLOCK TO EXISTING WALL PER DWGS S-03 & S-04 & DTL 7 ON DWG DET-03	SF 160
2	NEW CMU BLOCK FLOODWALL PER DWG S-04	SF 167
20	GABION MATTRESS (12" THICK) PER DTL 1, DWG DET-01	CY 33
23	OVER-EXCAVATE, BACKFILL, AND COMPACT FOOTER SUBGRADE PER DTL 13, DWG DET-03	CY 20
40	GRADE AND REMOVE EMBANKMENT PER DTL 12, DWG PP-W16.	LF 30
56	REMOVE, SALVAGE, AND REINSTALL METAL VIEW FENCE PER DET 7, DWG DET-03	LF 410



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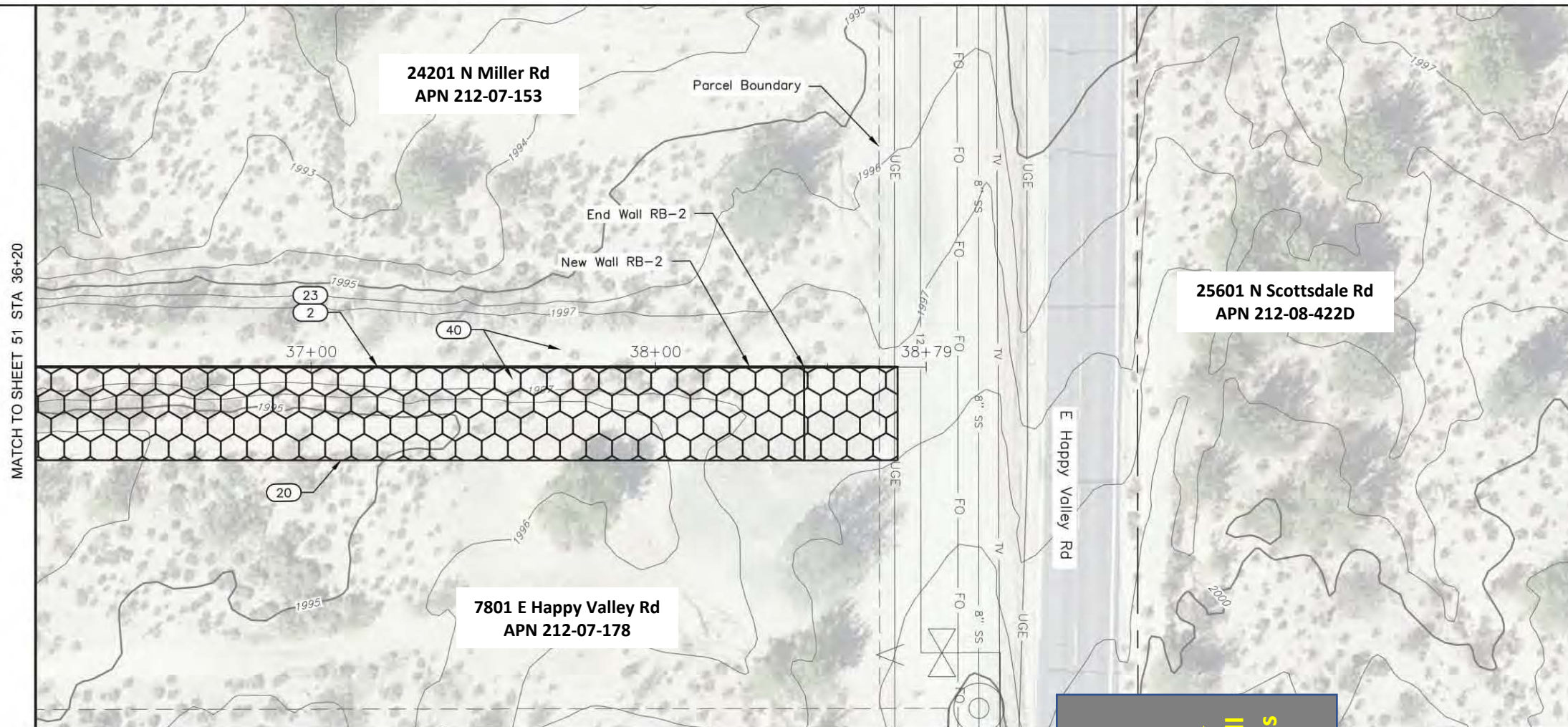
FLOOD CONTROL DISTRICT OF MARICOPA COUNTY

RAWHIDE WASH FLOOD HAZARD MITIGATION  
FCD2018C015 - PCN 122.01.30

PRELIMINARY NOT FOR CONSTRUCTION	DESIGNED	WSO/ROL/BJD/CGC	DATE	3/08/2021
	DRAWN	CGC/BJD		3/08/2021
	CHECKED	WSO/ROL		3/08/2021

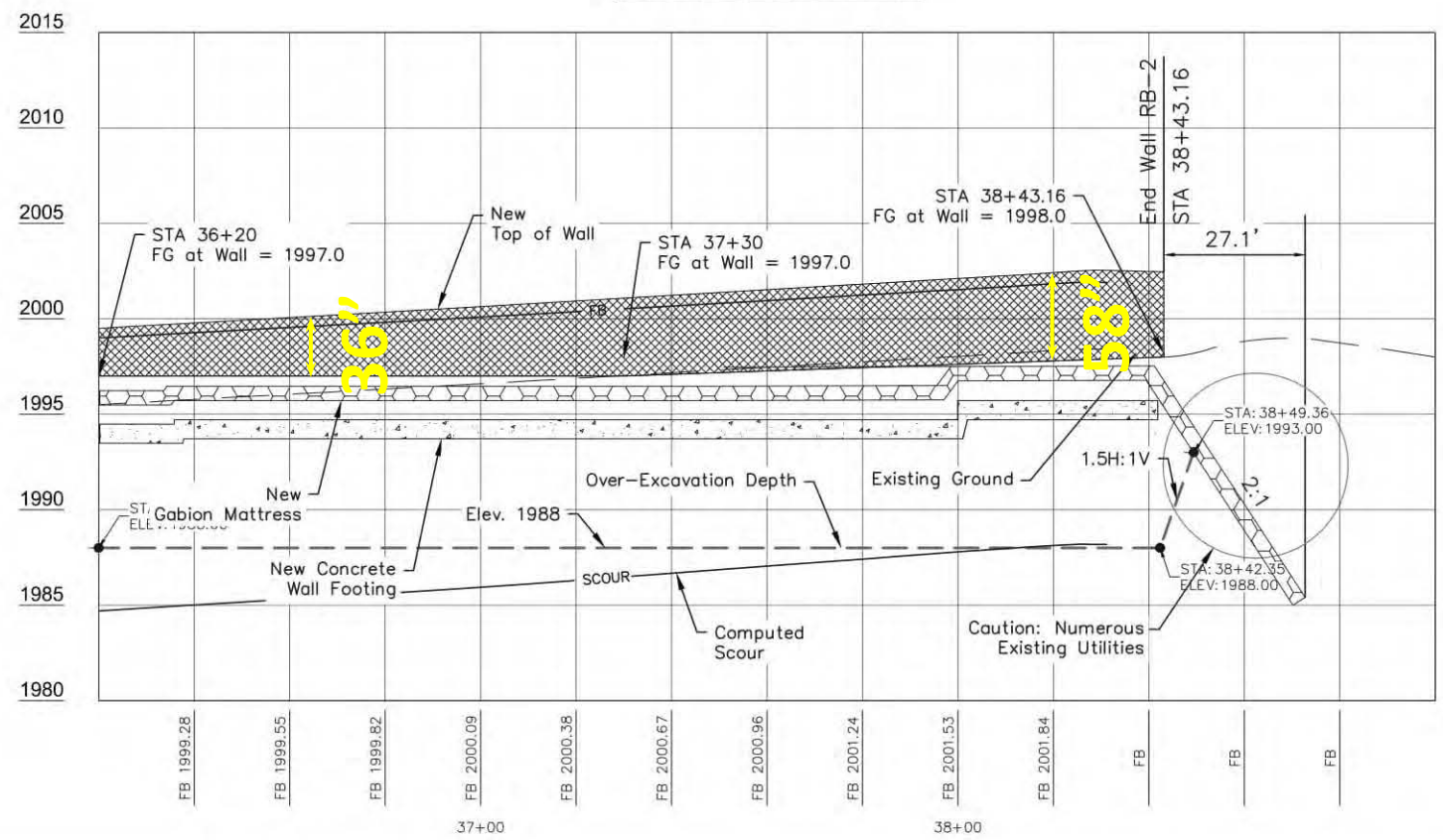
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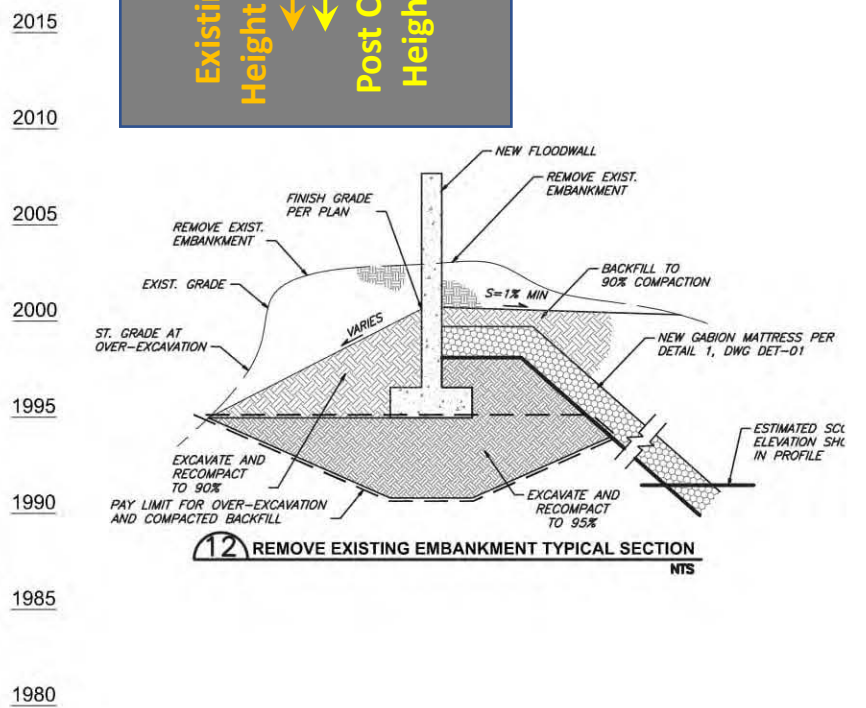


MATCH TO SHEET 51 STA 36+20

**NEW WALL RB-2 - PLAN**



Existing Wall  
 Height in inches  
 ↑ ↓  
 Post Const. Wall  
 Height in inches



	REMOVE		RELOCATE		CONSTRUCT			
		UNIT		UNIT		UNIT	QTY	
2		NEW CMU BLOCK FLOODWALL PER DWG S-04				SF	1294	
20		GABION MATTRESS (12" THICK) PER DTL 1, DWG DET-01				CY	279	
40		GRADE AND REMOVE EMBANKMENT PER DTL 12, THIS SHEET.				LF	223	
23		OVER-EXCAVATE, BACKFILL, AND COMPACT FOOTER SUBGRADE PER DTL 13, DWG DET-03				CY	160	

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**FLOOD CONTROL DISTRICT OF MARICOPA COUNTY**

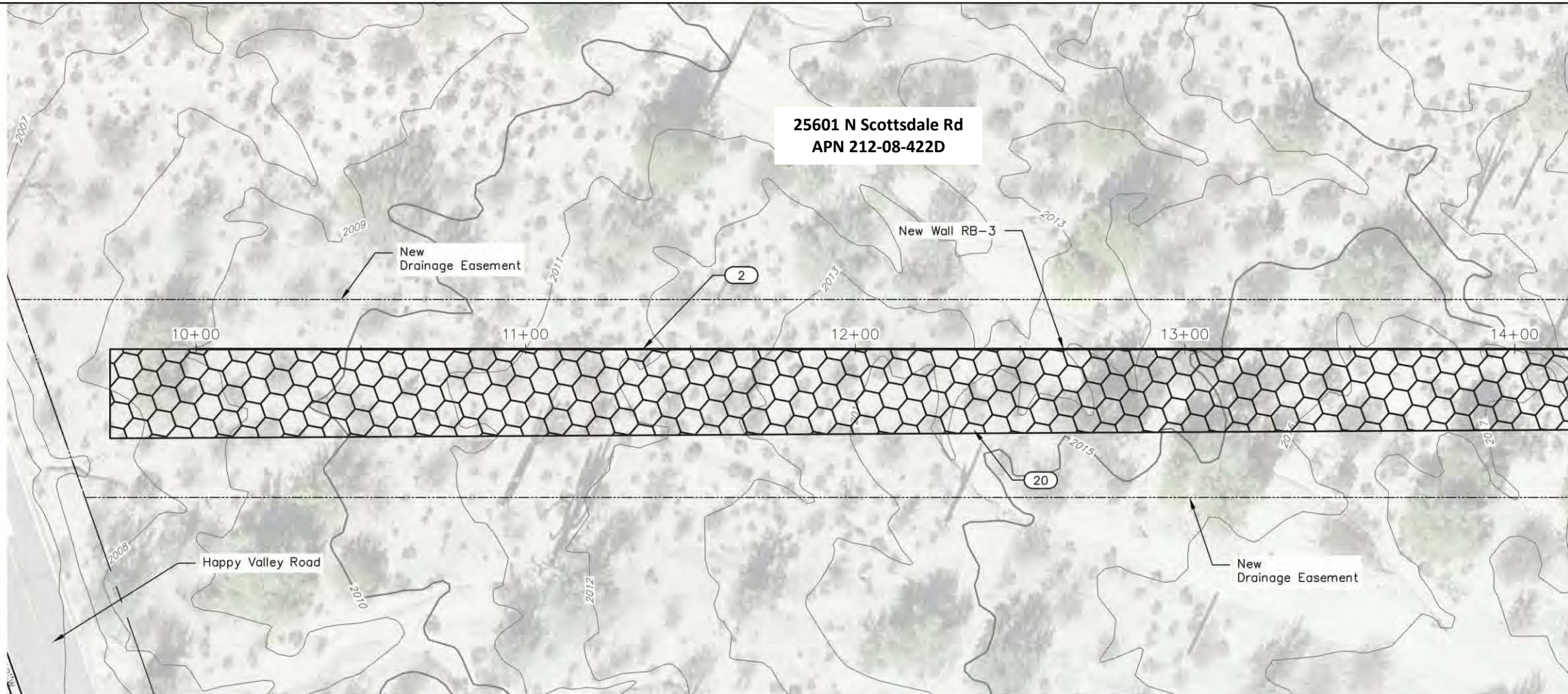
RAWHIDE WASH FLOOD HAZARD MITIGATION  
FCD2018C015 - PCN 122.01.30

		BY	DATE
PRELIMINARY NOT FOR CONSTRUCTION	DESIGNED	WSO/ROL/BJD/CGC	3/08/2021
	DRAWN	CGC/BJD	3/08/2021
	CHECKED	WSO/ROL	3/08/2021

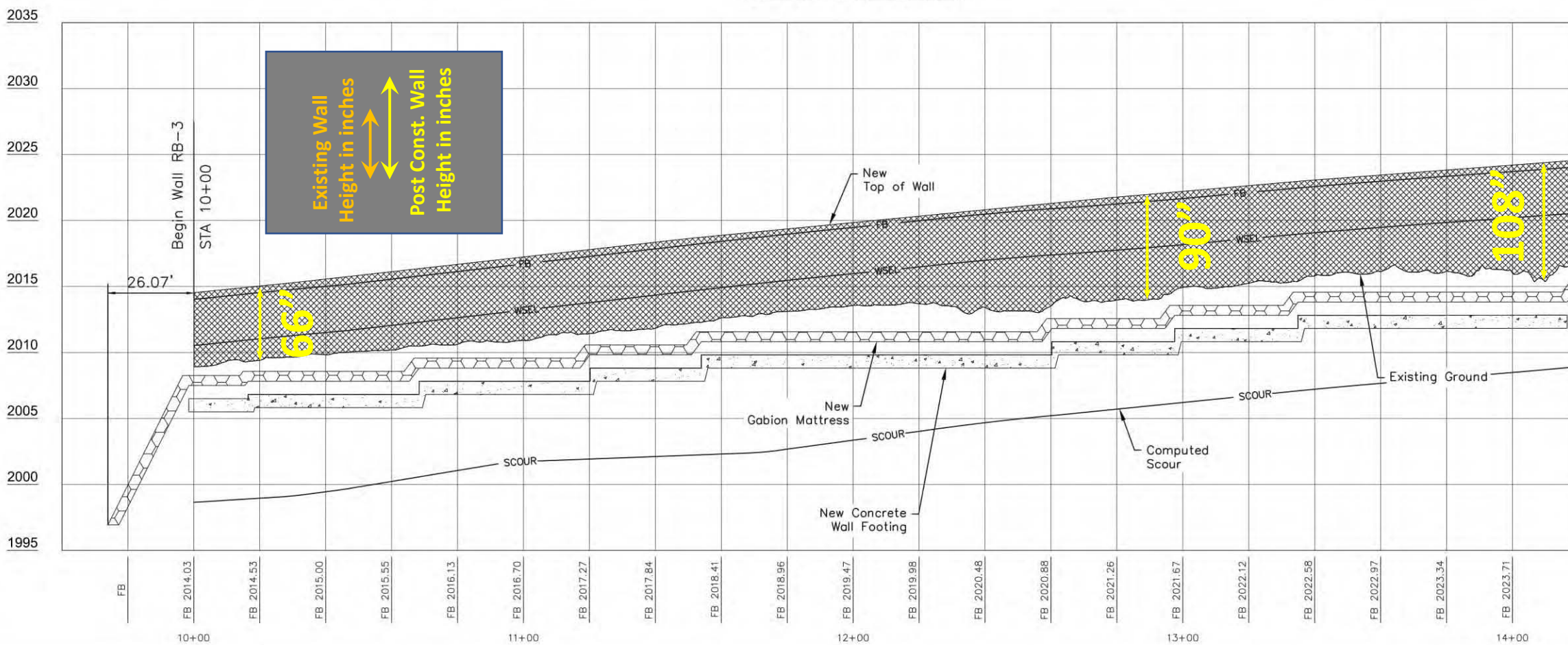
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STE. 201  
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SHEET OF  
52 95

DRAWING NO. PP-W16	WEST PLAN AND PROFILE	
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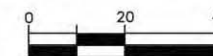
**NEW WALL RB-3 - PLAN**



MATCH TO SHEET 54 STA 14+20

REMOVE		UNIT	QTY
RELOCATE		UNIT	QTY
CONSTRUCT		UNIT	QTY
2	NEW CMU BLOCK FLOODWALL PER DWG S-04	SF	3588
20	GABION MATTRESS (12" THICK) PER DTL 1, DWG DET-01	CY	405

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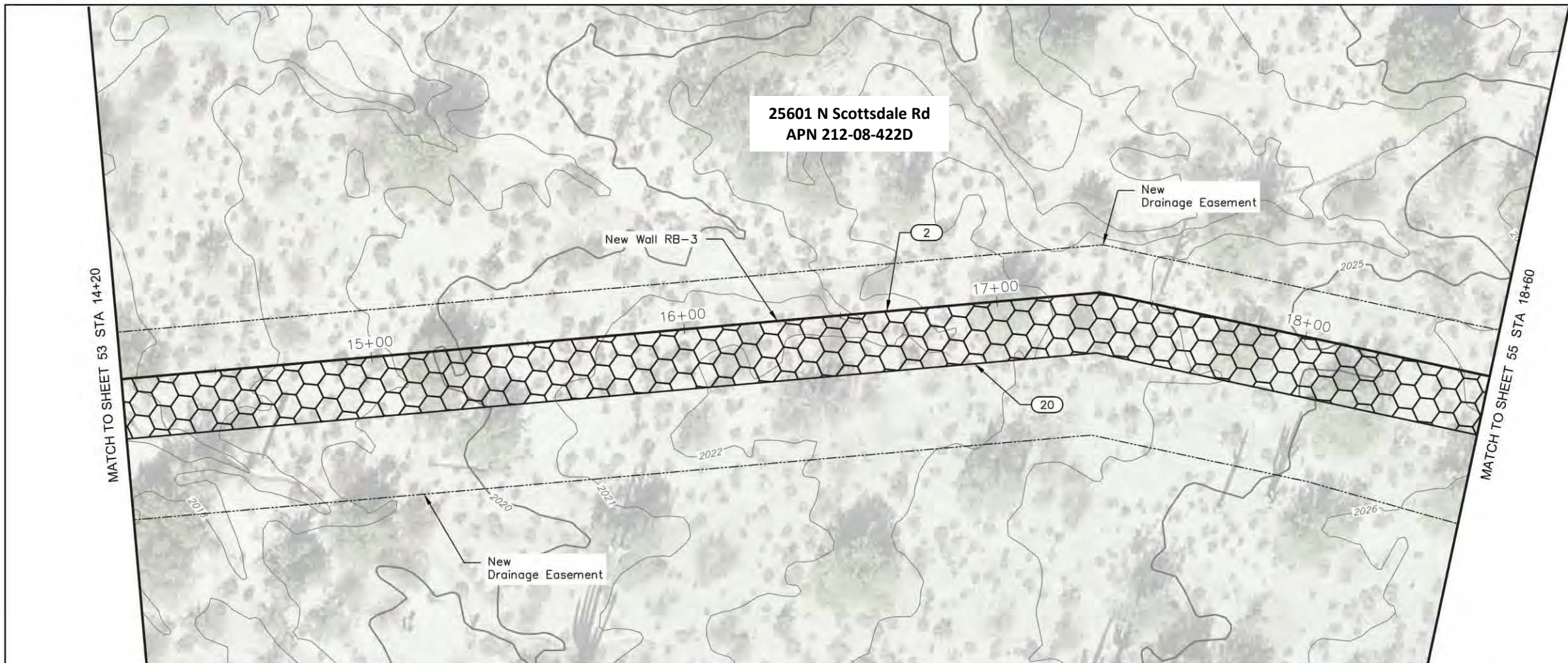
**FLOOD CONTROL DISTRICT OF MARICOPA COUNTY**

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FCD2018C015 - PCN 122.01.30

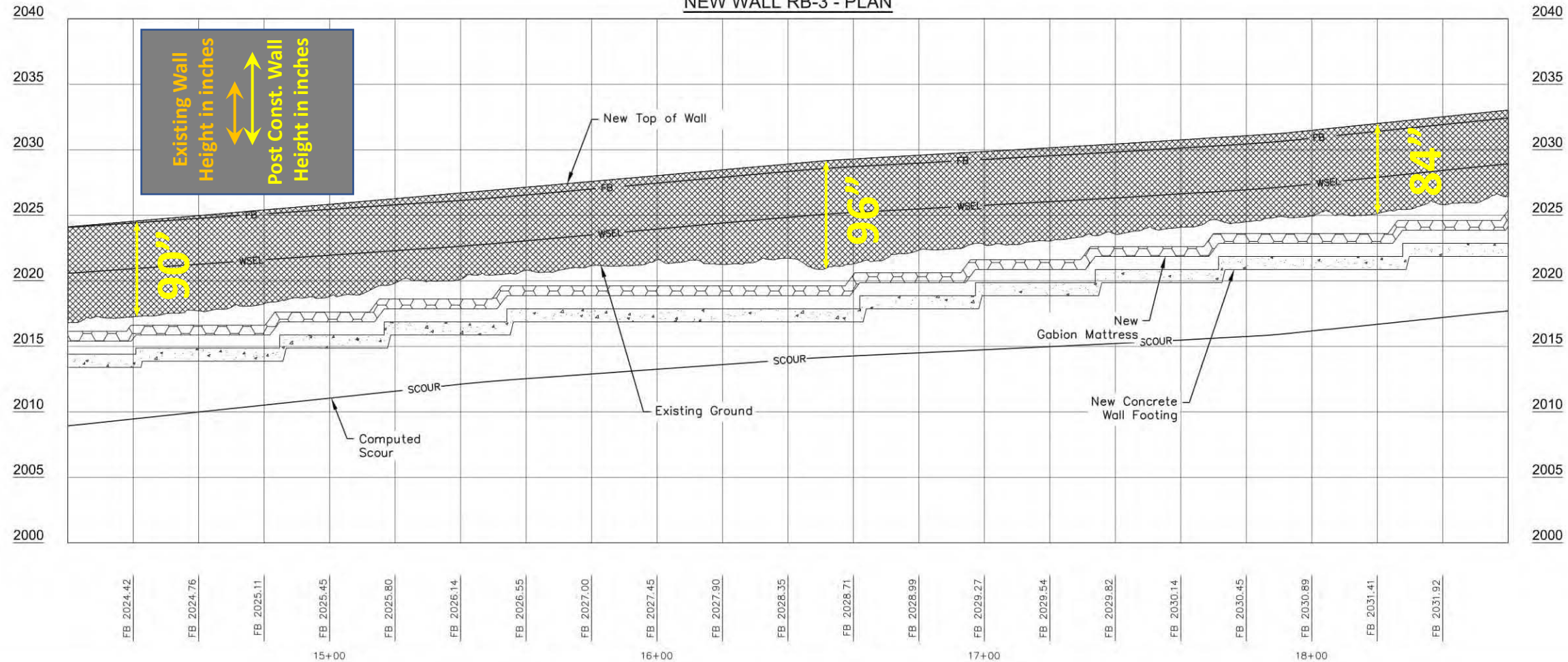
PRELIMINARY NOT FOR CONSTRUCTION	BY		DATE
	DESIGNED	WSO/ROL/BJD/CGC	3/08/2021
	DRAWN	CGC/BJD	3/08/2021
CHECKED	WSO/ROL	3/08/2021	

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DRAWING NO. PP-W17	WEST PLAN AND PROFILE	SHEET OF 53 95
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NEW WALL RB-3 - PLAN



<input type="checkbox"/>	REMOVE	UNIT	QTY
<input type="checkbox"/>	RELOCATE	UNIT	QTY
<input type="checkbox"/>	CONSTRUCT	UNIT	QTY
2	NEW CMU BLOCK FLOODWALL PER DWG S-04	SF	4260
20	GABION MATTRESS (12" THICK) PER DTL 1, DWG DET-01	CY	342

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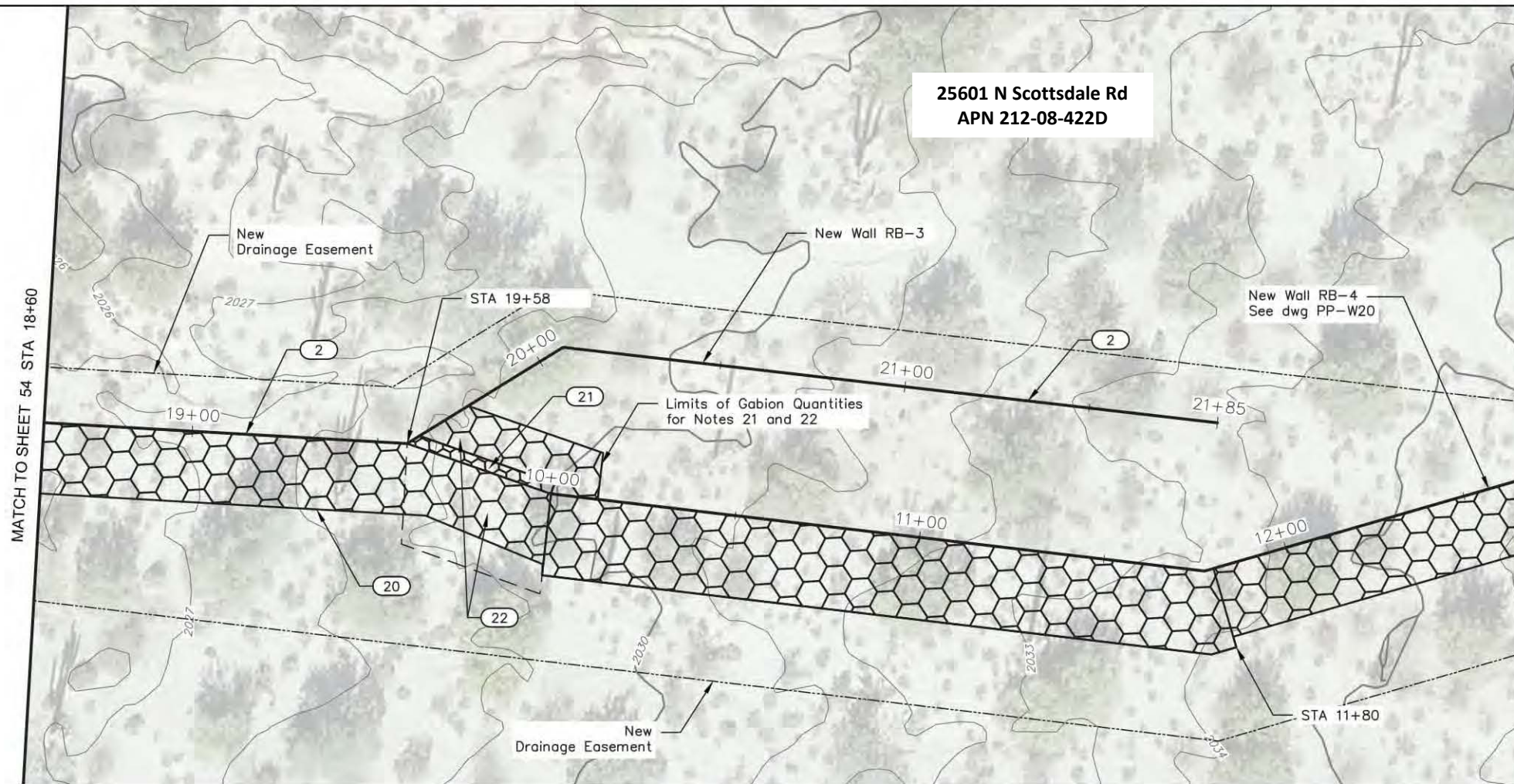
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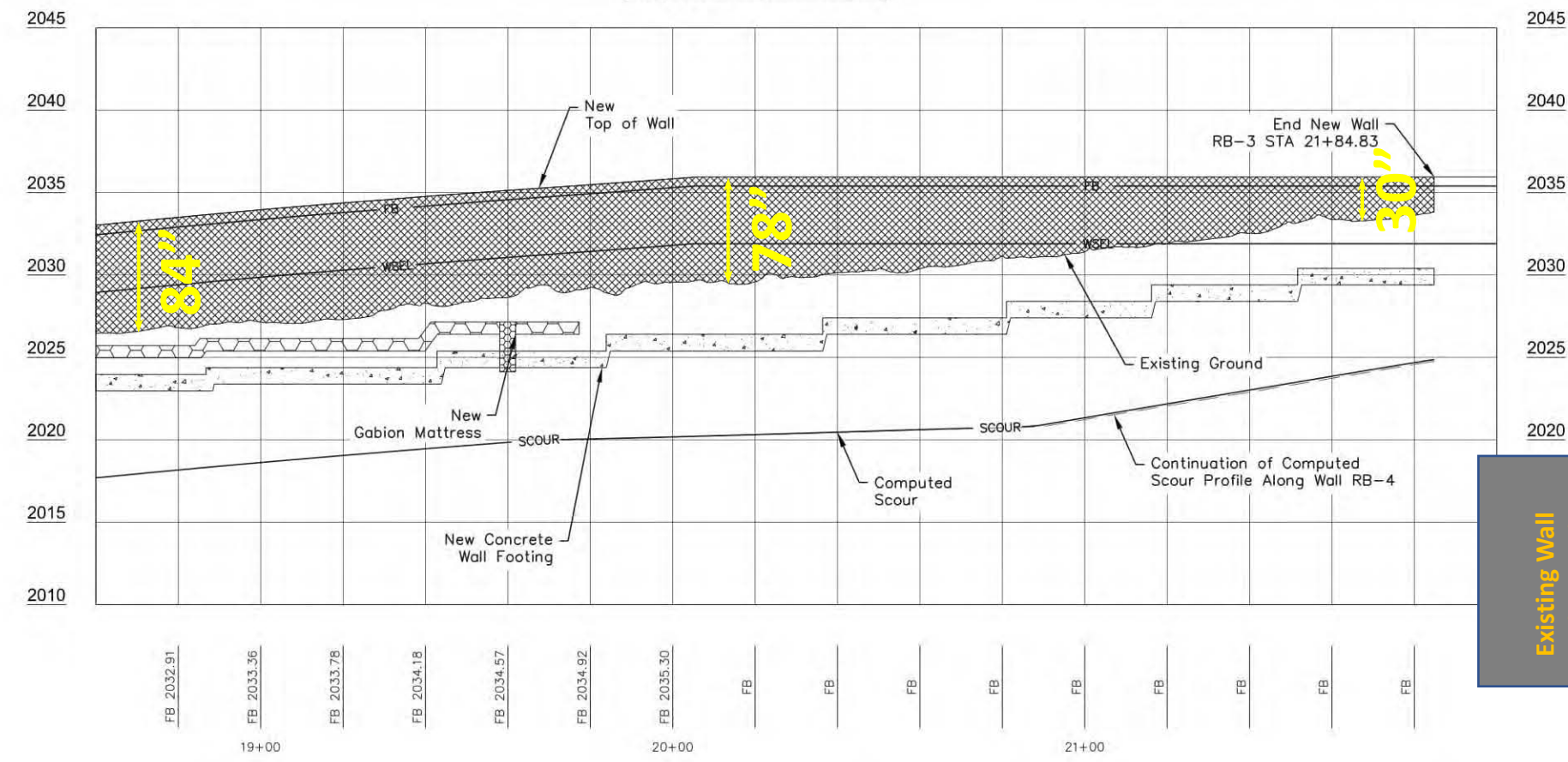
RAWHIDE WASH FLOOD HAZARD MITIGATION  
FCD2018C015 - PCN 122.01.30

PRELIMINARY NOT FOR CONSTRUCTION	DESIGNED	WSO/ROL/BJD/CGC	3/08/2021
	DRAWN	CGC/BJD	3/08/2021
	CHECKED	WSO/ROL	3/08/2021
	<p>8400 S. KYRENE STE. 201 TEMPE, AZ 85284 (480) 222-5701</p>		SHEET OF
DRAWING NO. PP-W18	WEST PLAN AND PROFILE		54 95

COS 284-PA-2019



NEW WALL RB-3 - PLAN



Existing Wall Height in inches

Post Const. Wall Height in inches

<input type="checkbox"/>	REMOVE	UNIT	QTY
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<input type="checkbox"/>	RELOCATE	UNIT	QTY
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<input type="checkbox"/>	CONSTRUCT	UNIT	QTY
2	NEW CMU BLOCK FLOODWALL PER DWG S-04	SF	2593
20	GABION MATTRESS (12" THICK) PER DTL 1, DWG DET-01	CY	76
21	GABION BASKET (3'X3') PER DTL 4 DWG G-08	CY	14
22	GABION MATTRESS (12" THICK) PER DTL 4, DWG G-08	CY	25

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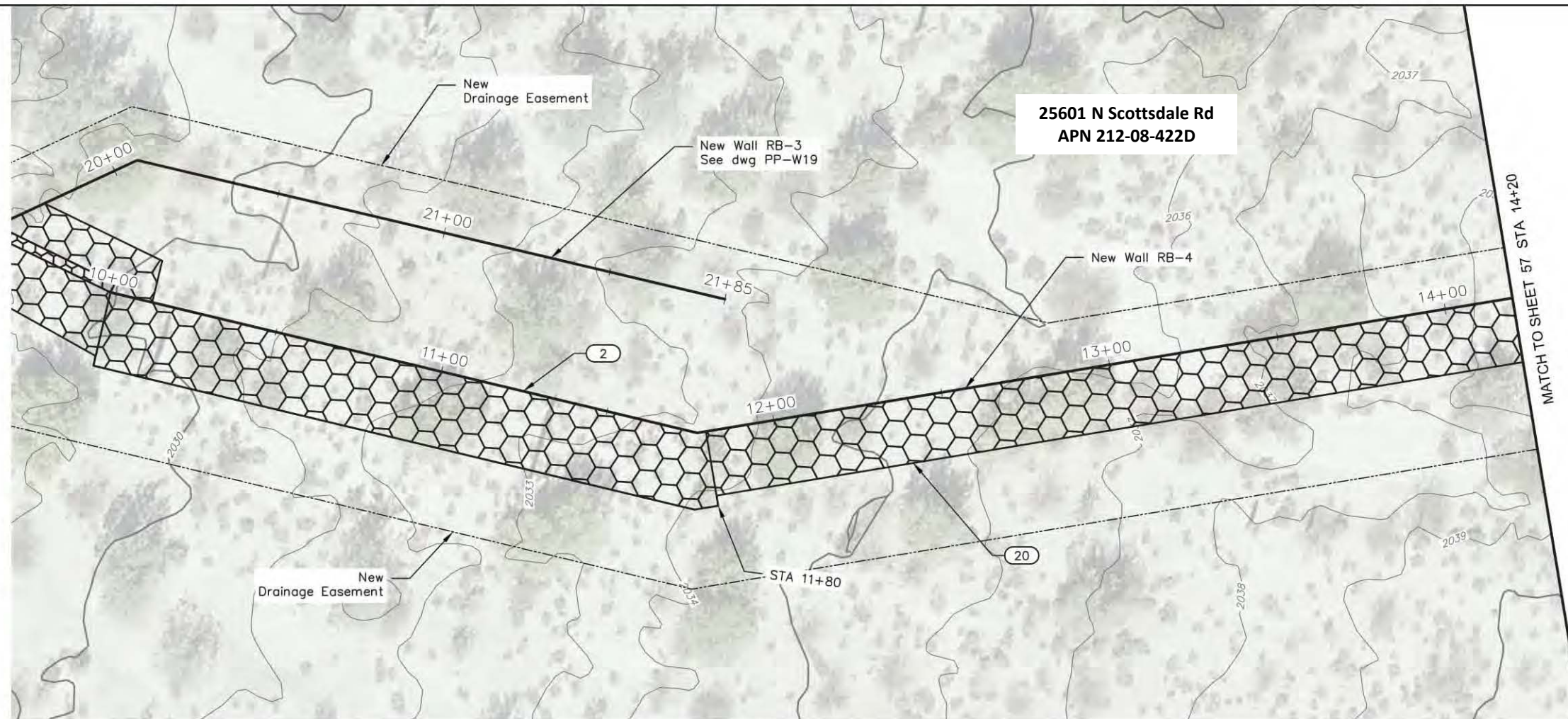
**FLOOD CONTROL DISTRICT OF MARICOPA COUNTY**

RAWHIDE WASH FLOOD HAZARD MITIGATION  
FCD2018C015 - PCN 122.01.30

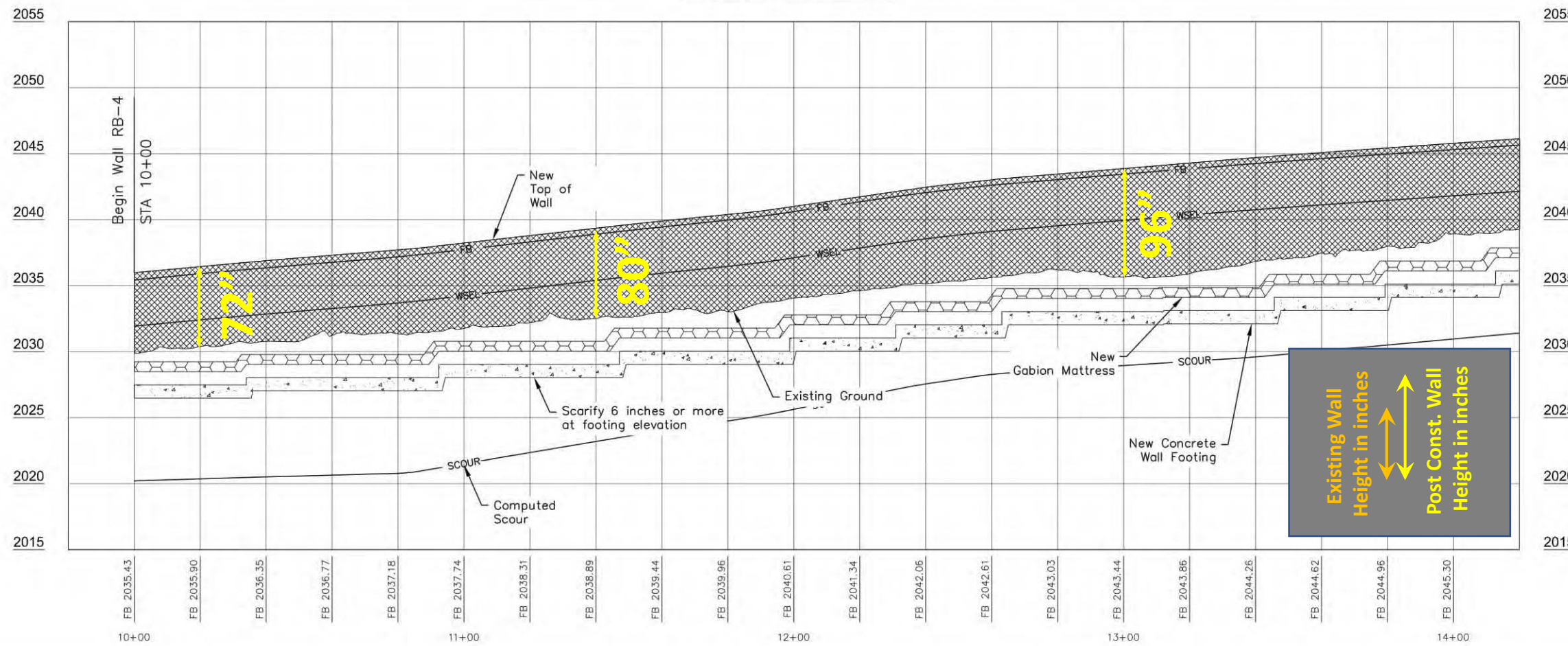
PRELIMINARY NOT FOR CONSTRUCTION	DESIGNED	WSO/ROL/BJD/CGC	3/08/2021
	DRAWN	CGC/BJD	3/08/2021
	CHECKED	WSO/ROL	3/08/2021

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DRAWING NO. PP-W19 WEST PLAN AND PROFILE SHEET 55 OF 95



NEW WALL RB-4 - PLAN



<input type="checkbox"/>	REMOVE	<input type="checkbox"/>	UNIT	QTY
<input type="checkbox"/>	RELOCATE	<input type="checkbox"/>	UNIT	QTY
<input type="checkbox"/>	CONSTRUCT	<input type="checkbox"/>	UNIT	QTY
2	NEW CMU BLOCK FLOODWALL PER DWG S-04		SF	4010
20	GABION MATTRESS (12" THICK) PER DTL 1, DWG DET-01		CY	347

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FLOOD CONTROL DISTRICT OF MARICOPA COUNTY

RAWHIDE WASH FLOOD HAZARD MITIGATION  
FCD2018C015 - PCN 122.01.30

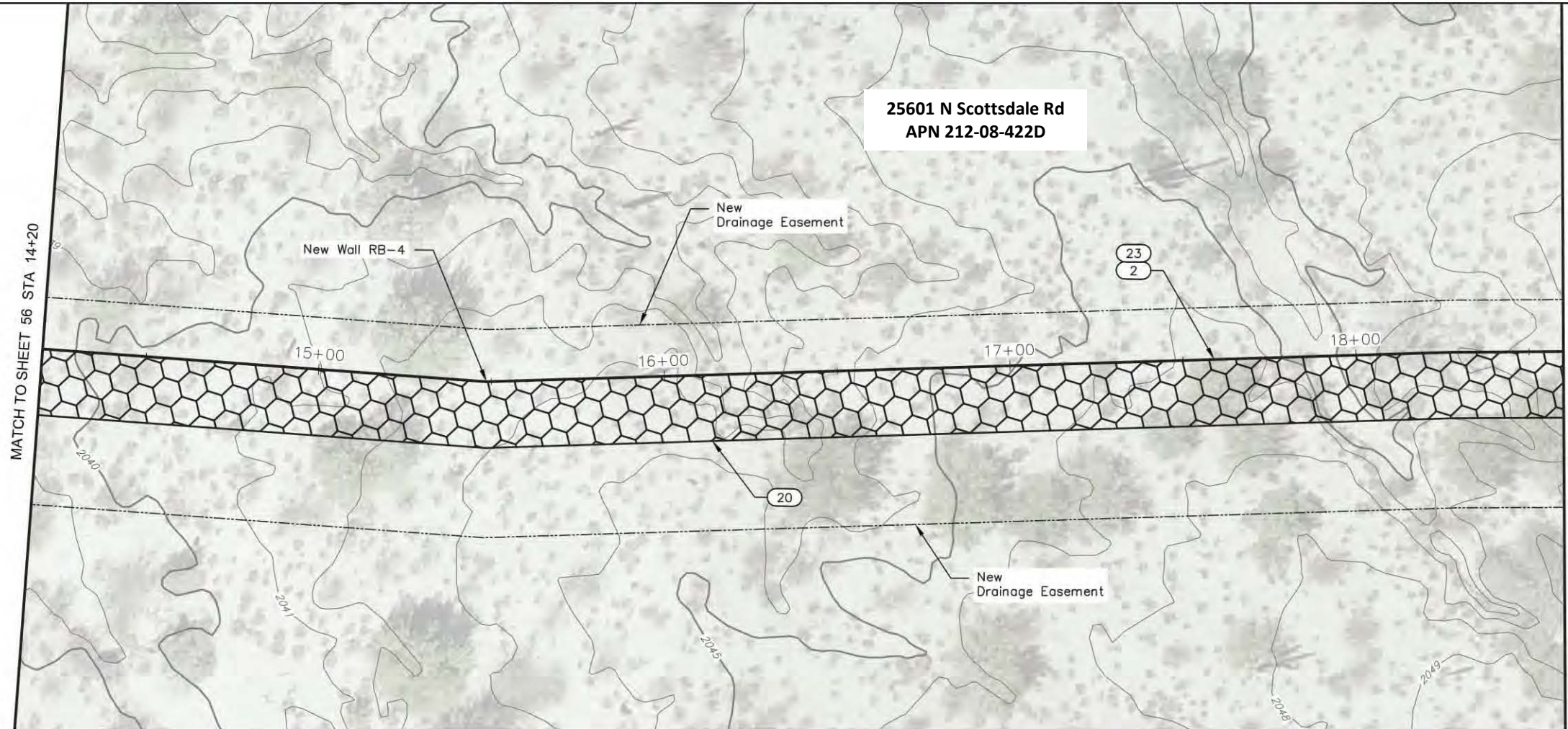
PRELIMINARY NOT FOR CONSTRUCTION	DESIGNED	WSO/ROL/BJD/CGC	DATE	3/08/2021
	DRAWN	CGC/BJD		3/08/2021
	CHECKED	WSO/ROL		3/08/2021
	BY		DATE	

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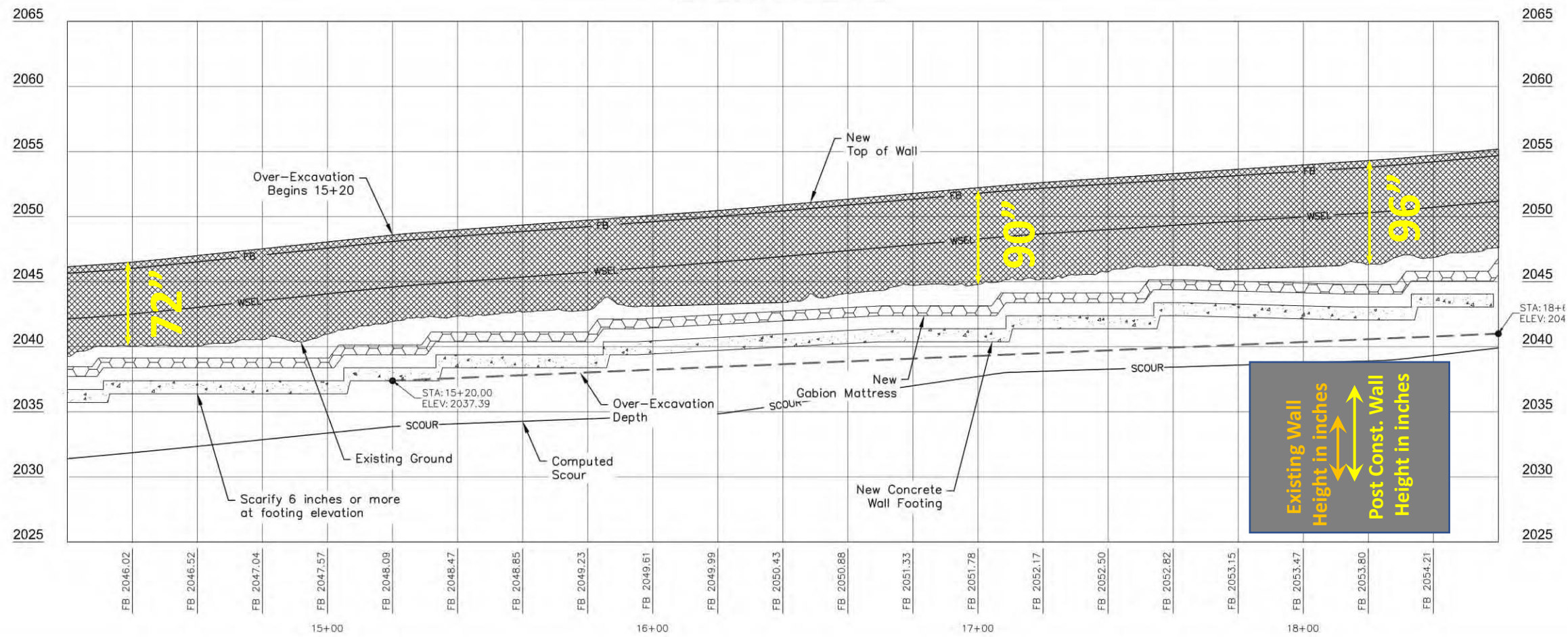
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DRAWING NO. PP-W20 WEST PLAN AND PROFILE SHEET OF 56 95

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NEW WALL RB-4 - PLAN



REMOVE		
	UNIT	QTY
RELOCATE		
	UNIT	QTY
CONSTRUCT		
	UNIT	QTY
2	SF	4238
20	CY	343
23	CY	65

2 NEW CMU BLOCK FLOODWALL PER DWG S-04

20 GABION MATTRESS (12" THICK) PER DTL 1, DWG DET-01

23 OVER-EXCAVATE, BACKFILL, AND COMPACT FOOTER SUBGRADE PER DTL 13, DWG DET-03

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FLOOD CONTROL DISTRICT OF MARICOPA COUNTY

RAWHIDE WASH FLOOD HAZARD MITIGATION  
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DRAWN	CGC/BJD	3/08/2021
CHECKED	WSO/ROL	3/08/2021

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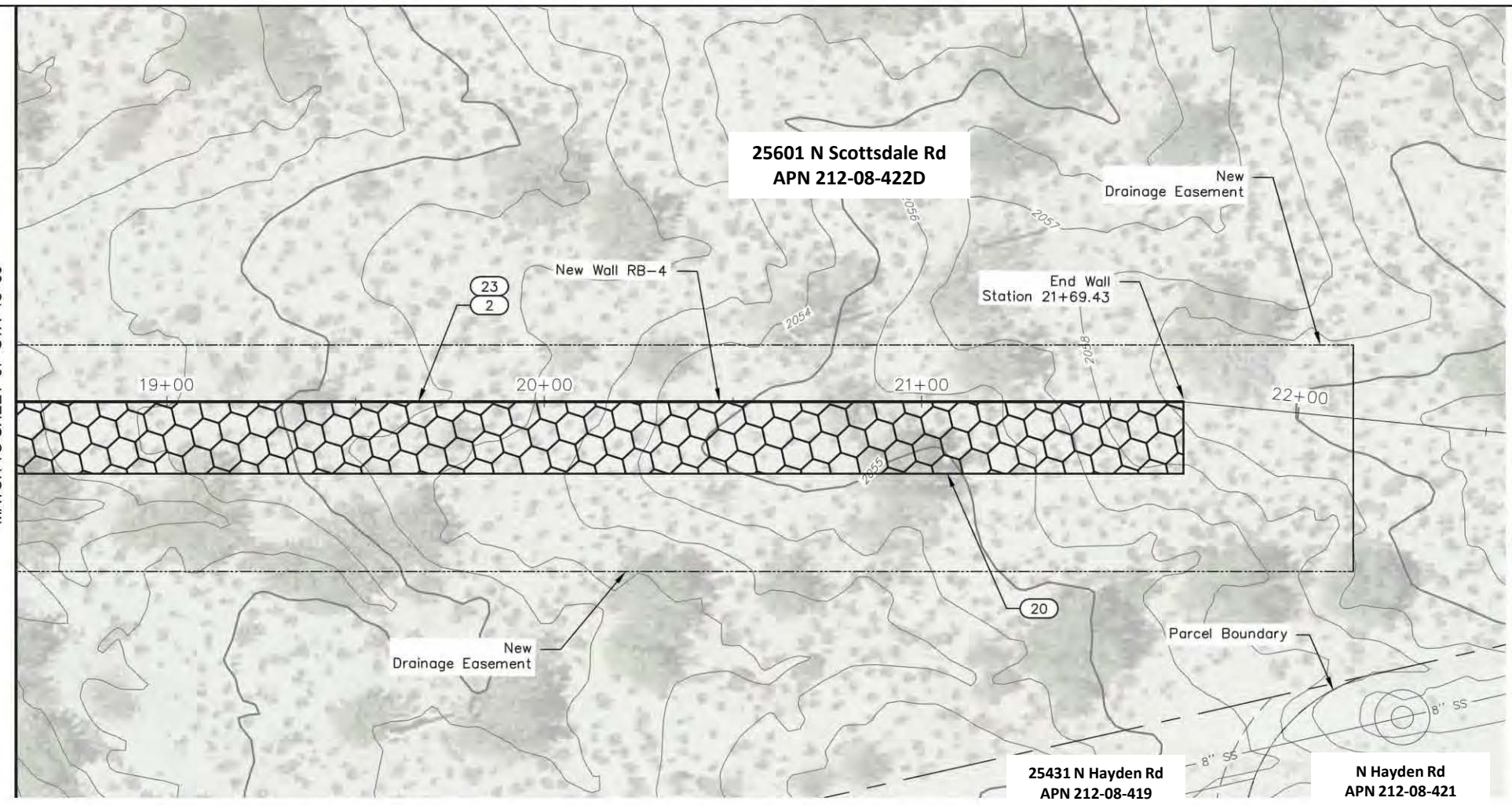
DRAWING NO. PP-W21

WEST PLAN AND PROFILE

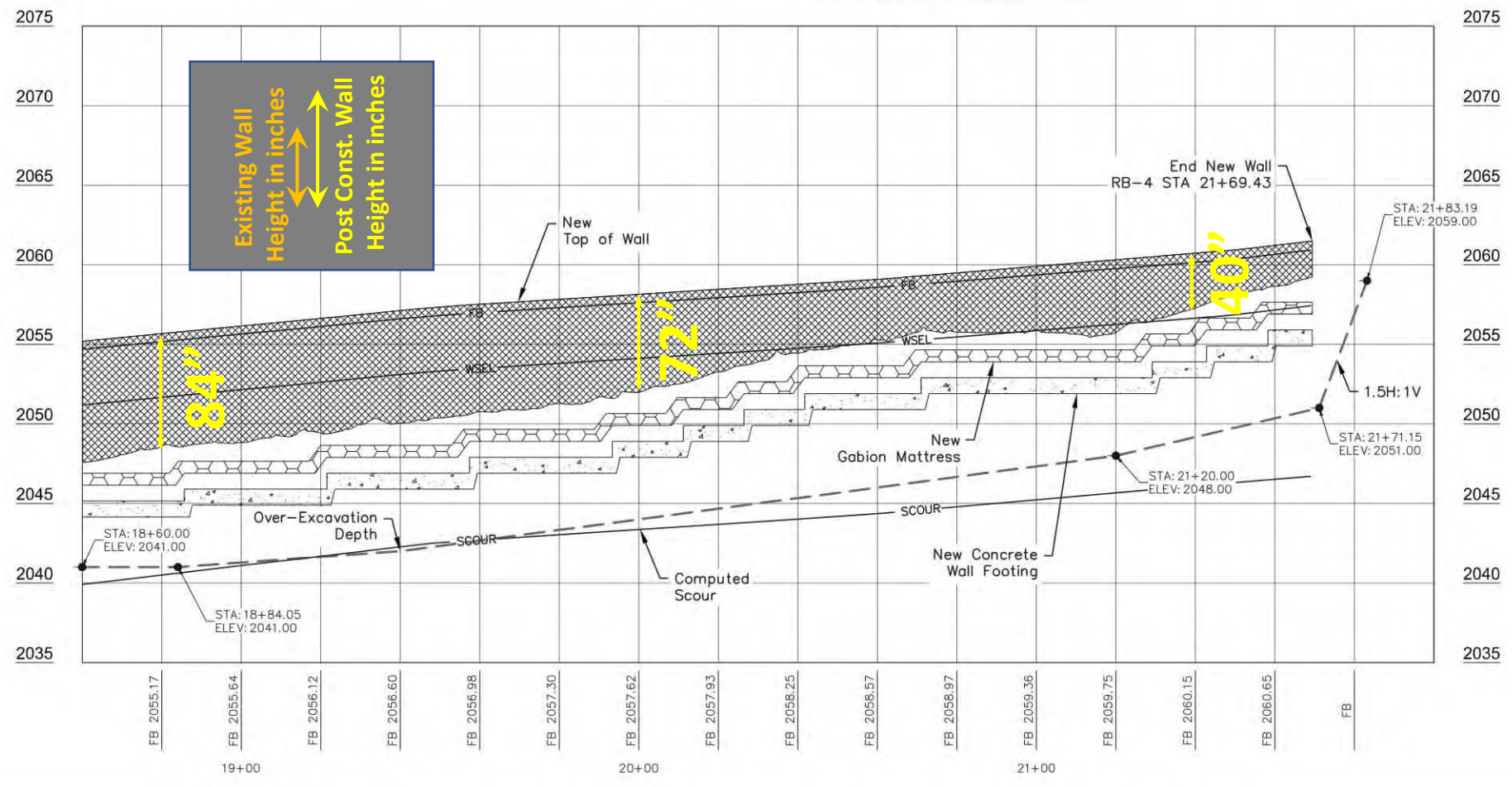
SHEET OF 57 95

COS 284-PA-2019

MATCH TO SHEET 57 STA 18+60



**NEW WALL RB-4 - PLAN**



REMOVE		UNIT	QTY
RELOCATE		UNIT	QTY
CONSTRUCT		UNIT	QTY
2	NEW CMU BLOCK FLOODWALL PER DWG S-04	SF	2442
20	GABION MATTRESS (12" THICK) PER DTL 1, DWG DET-01	CY	241
23	OVER-EXCAVATE, BACKFILL, AND COMPACT FOOTER SUBGRADE PER DTL 13, DWG DET-03	CY	238

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**FLOOD CONTROL DISTRICT OF MARICOPA COUNTY**

RAWHIDE WASH FLOOD HAZARD MITIGATION  
FCD2018C015 - PCN 122.01.30

	BY	DATE
DESIGNED	WSO/ROL/BJD/CGC	3/08/2021
DRAWN	CGC/BJD	3/08/2021
CHECKED	WSO/ROL	3/08/2021

PRELIMINARY NOT FOR CONSTRUCTION

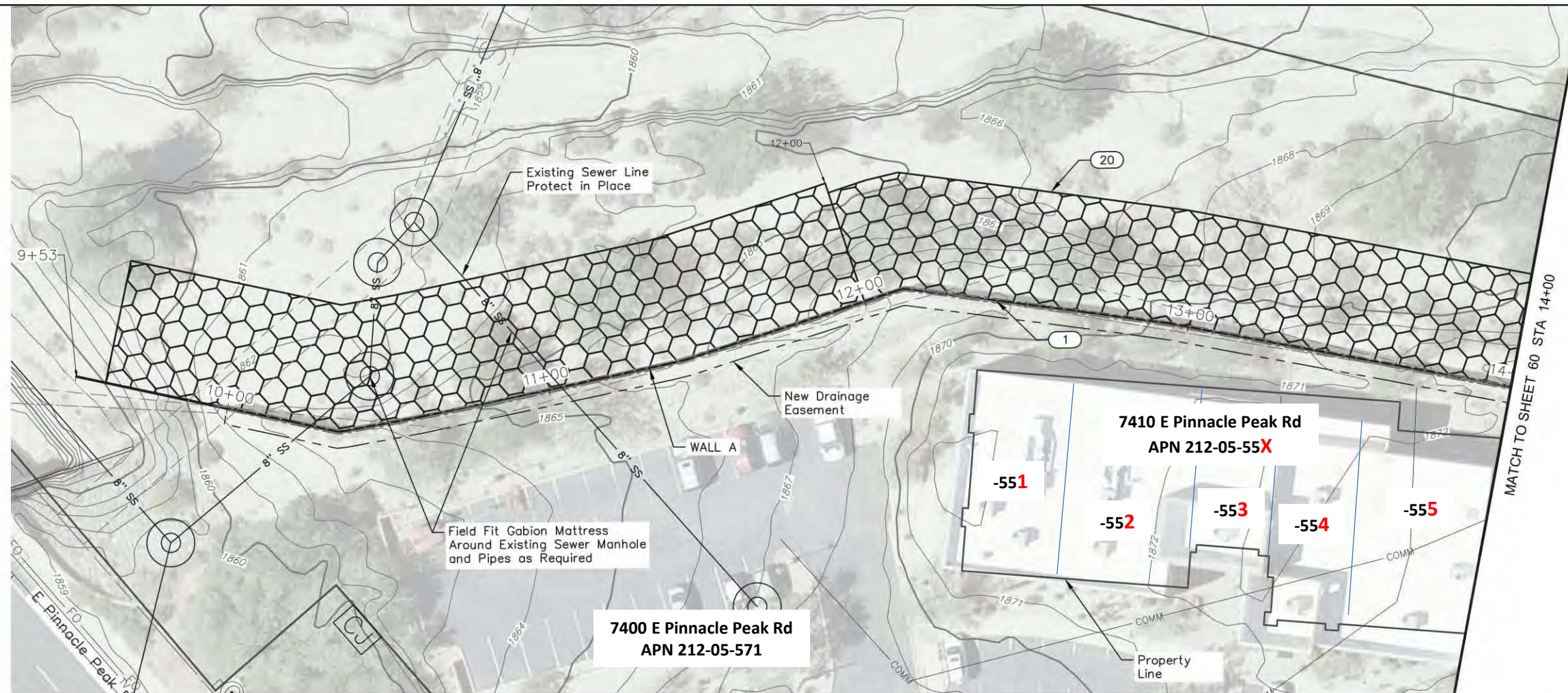
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DRAWING NO. PP-W22

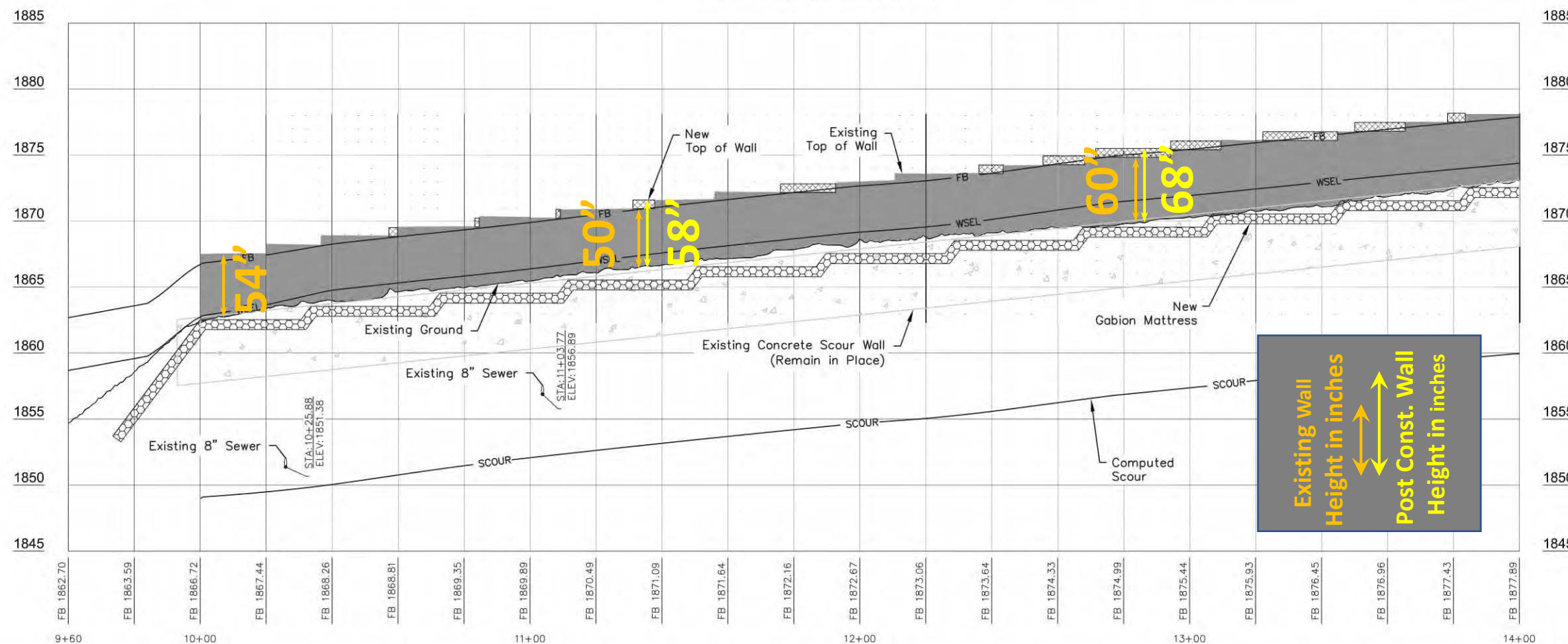
WEST PLAN AND PROFILE

SHEET OF 58 95

COS 284-PA-2019


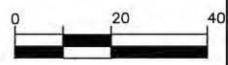



EXISTING WALL A - PLAN




REMOVE		UNIT	QTY
RELOCATE		UNIT	QTY
CONSTRUCT		UNIT	QTY
1	ADD CMU BLOCK TO EXISTING WALL PER DWGS S-03 & S-04 & DTL 7 ON DWG DET-03	SF	87
20	GABION MATTRESS (12" THICK) PER DTL 1, DWG DET-01	CY	559

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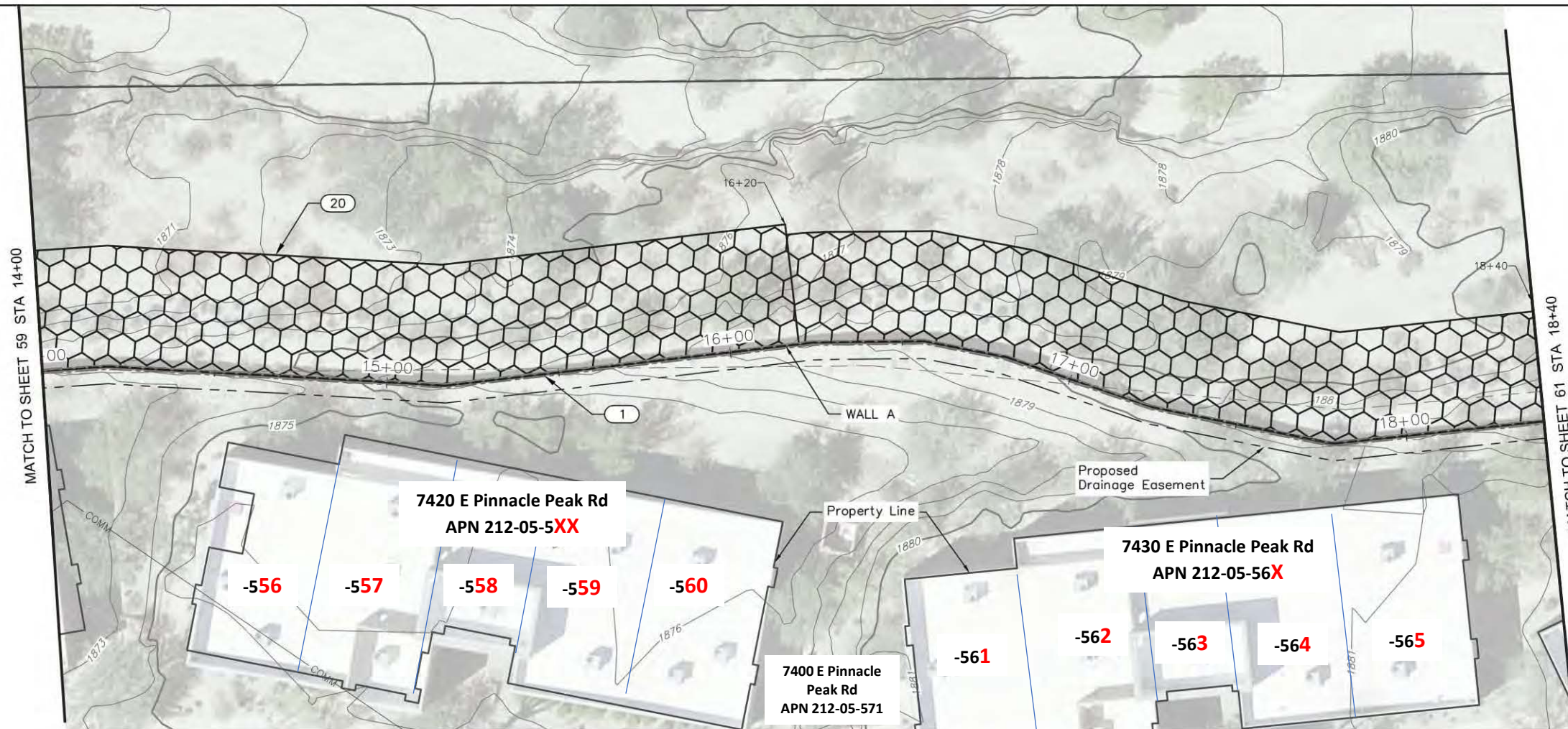
	BY	DATE
DESIGNED	WSO/ROL/BJD/CGC	3/08/2021
DRAWN	CGC/BJD	3/08/2021
CHECKED	WSO/ROL	3/08/2021



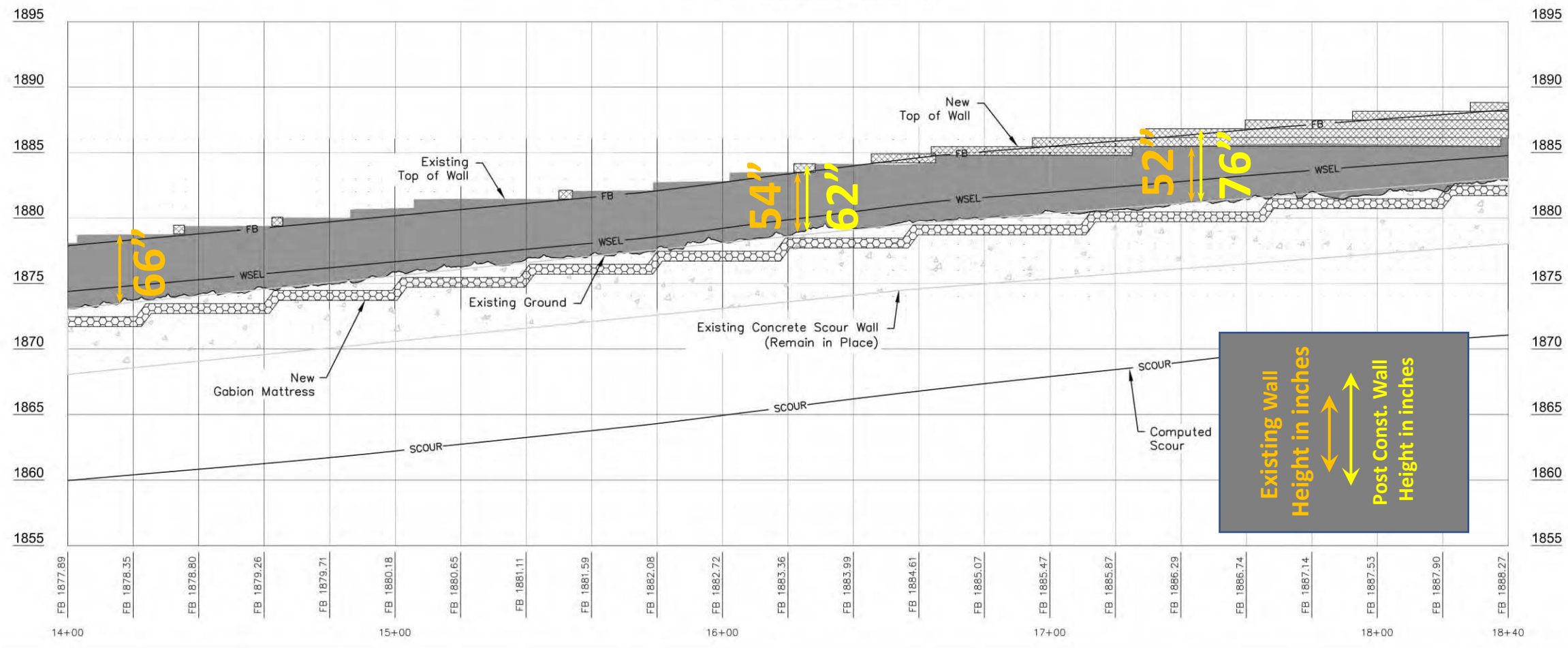
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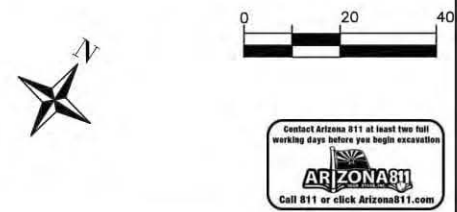
EXISTING WALL A - PLAN



Existing Wall Height in inches  
 Post Const. Wall Height in inches

	REMOVE	UNIT	QTY
	RELOCATE	UNIT	QTY
	CONSTRUCT	UNIT	QTY
1	ADD CMU BLOCK TO EXISTING WALL PER DWGS S-03 & S-04 & DTL 7 ON DWG DET-03	SF	329
20	GABION MATTRESS (12" THICK) PER DTL 1, DWG DET-01	CY	513

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FLOOD CONTROL DISTRICT OF MARICOPA COUNTY

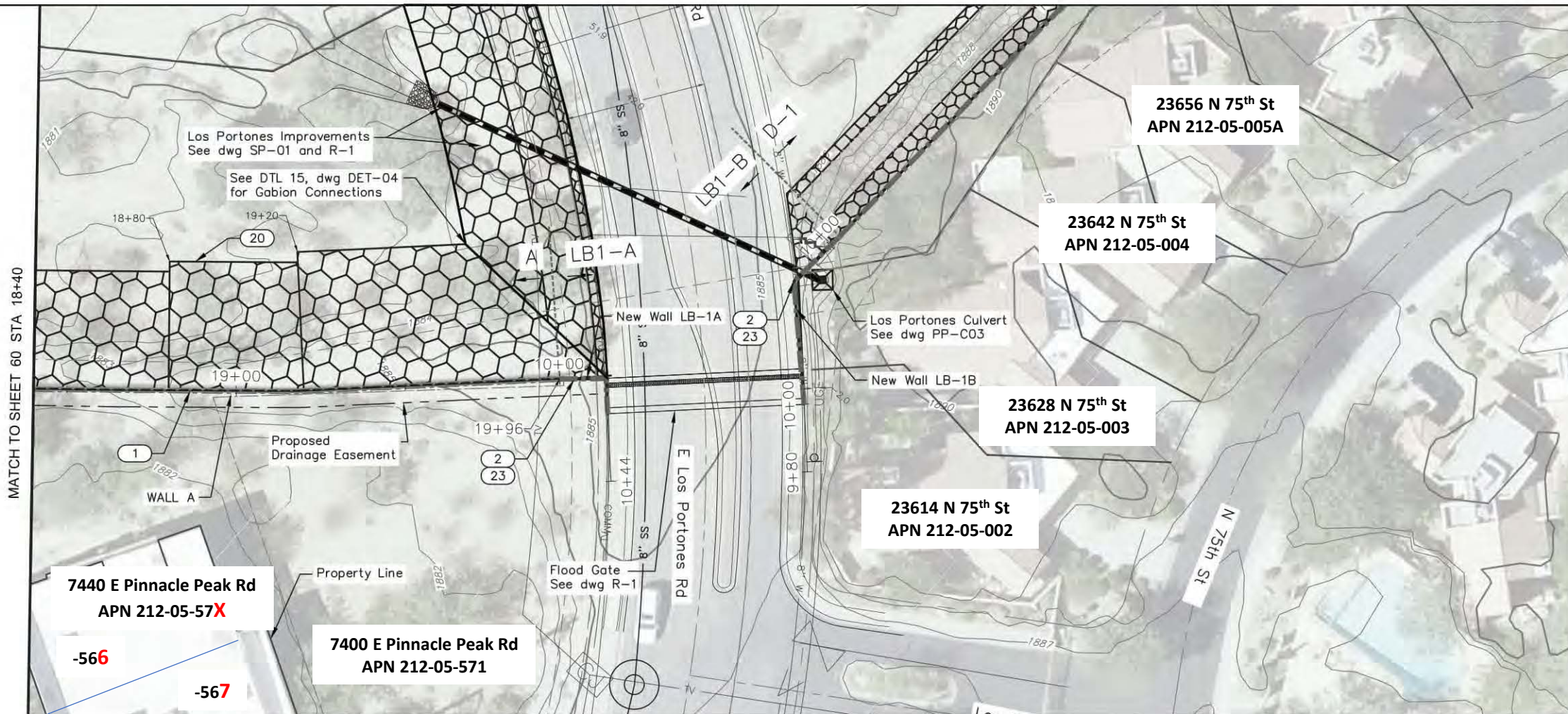
RAWHIDE WASH FLOOD HAZARD MITIGATION  
 FCD2018C015 - PCN 122.01.30

	BY	DATE
DESIGNED	WSO/ROL/BJD/CGC	3/08/2021
DRAWN	CGC/BJD	3/08/2021
CHECKED	WSO/ROL	3/08/2021

PRELIMINARY NOT FOR CONSTRUCTION

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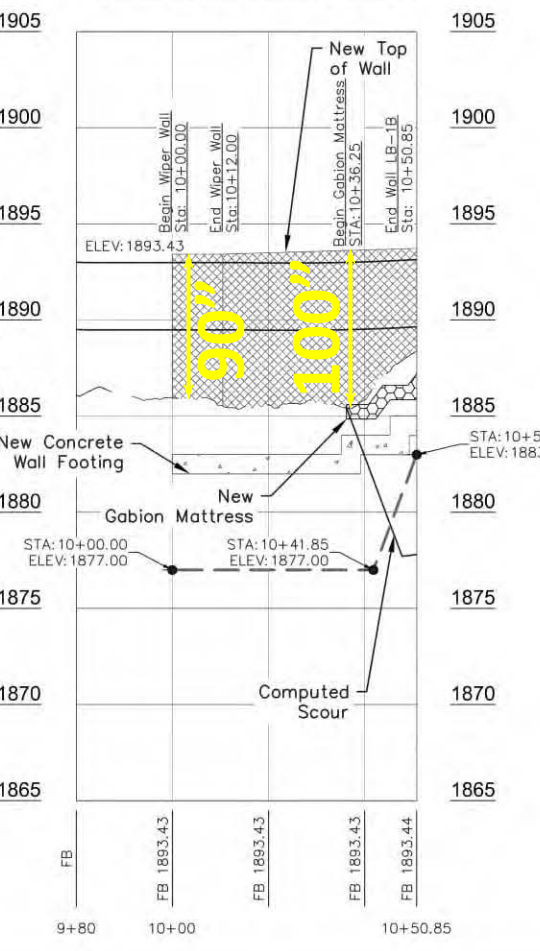
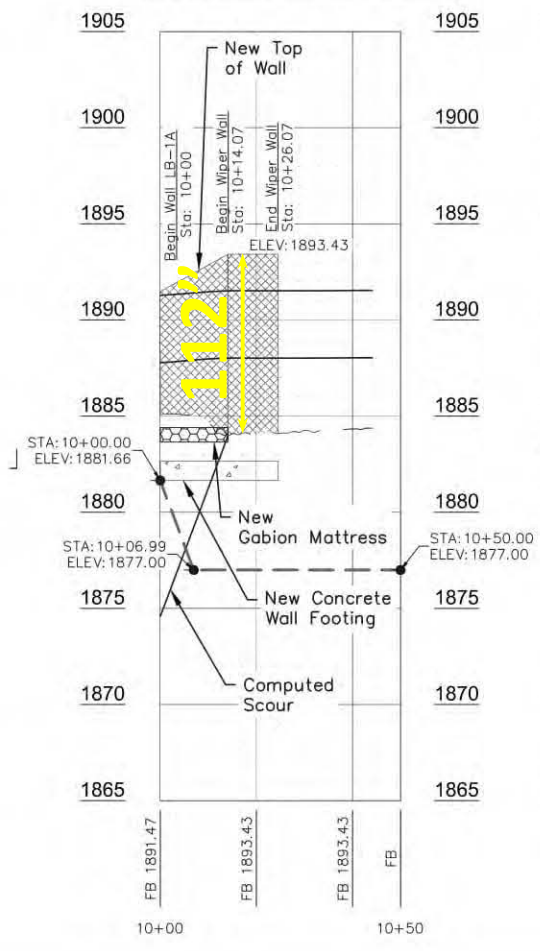
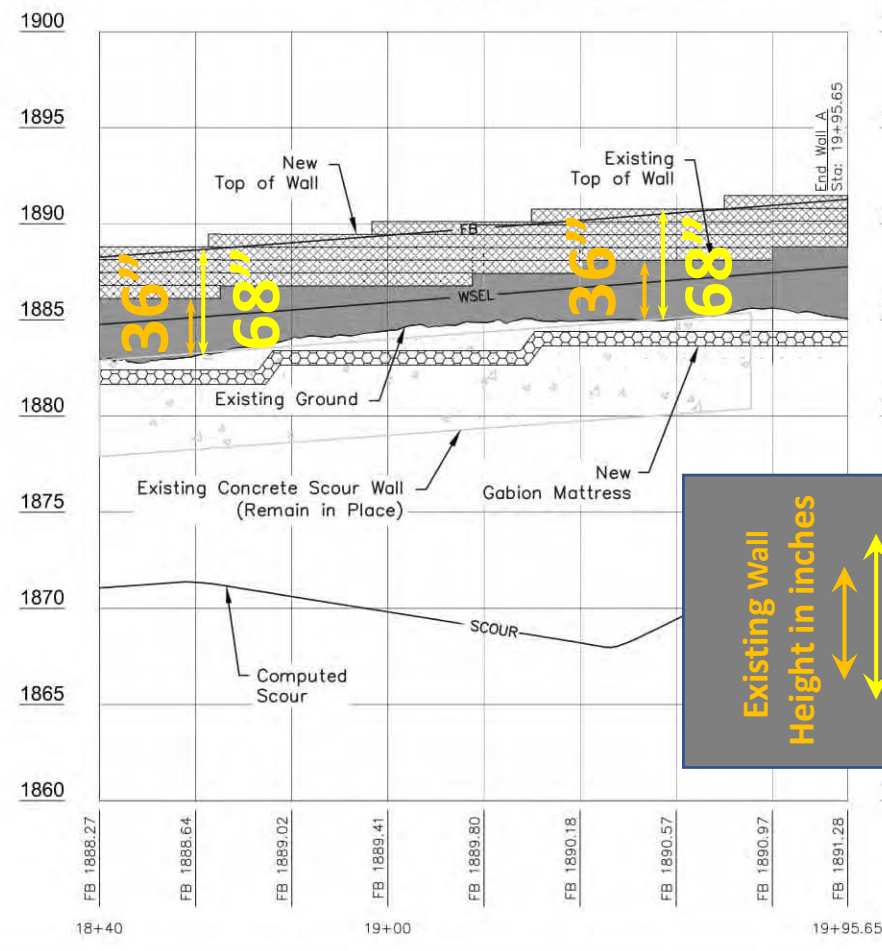
DRAWING NO. PP-E02 EAST PLAN AND PROFILE SHEET OF 60 95



EXISTING WALL A - PLAN

NEW WALL LB-1A - PLAN

NEW WALL LB-1B - PLAN



	UNIT	QTY
<input type="checkbox"/> REMOVE		
<input type="checkbox"/> RELOCATE		
<input checked="" type="checkbox"/> CONSTRUCT		
1 ADD CMU BLOCK TO EXISTING WALL PER DWGS S-03 & S-04 & DTL 7 ON DWG DET-03	SF	445
2 NEW CMU BLOCK FLOODWALL PER DWG S-03	SF	781
20 GABION MATTRESS (12" THICK) PER DTL 1, DWG DET-01	CY	245
23 OVER-EXCAVATE, BACKFILL, AND COMPACT FOOTER SUBGRADE PER DTL 13, DWG DET-03	CY	36

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REVISION	BY	DATE

FLOOD CONTROL DISTRICT OF MARICOPA COUNTY

RAWHIDE WASH FLOOD HAZARD MITIGATION  
FCD2018C015 - PCN 122.01.30

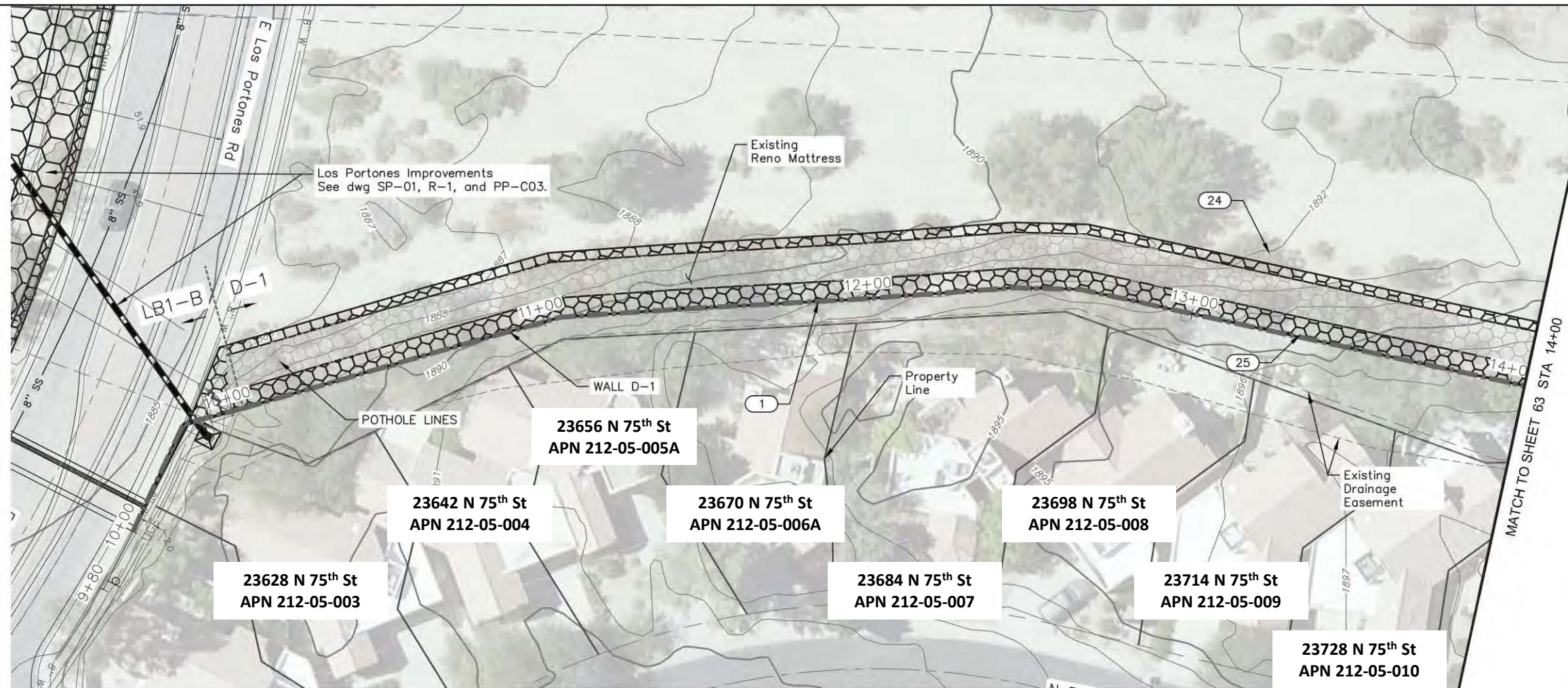
	BY	DATE
DESIGNED	WSO/ROL/BJD/CGC	3/08/2021
DRAWN	CGC/BJD	3/08/2021
CHECKED	WSO/ROL	3/08/2021

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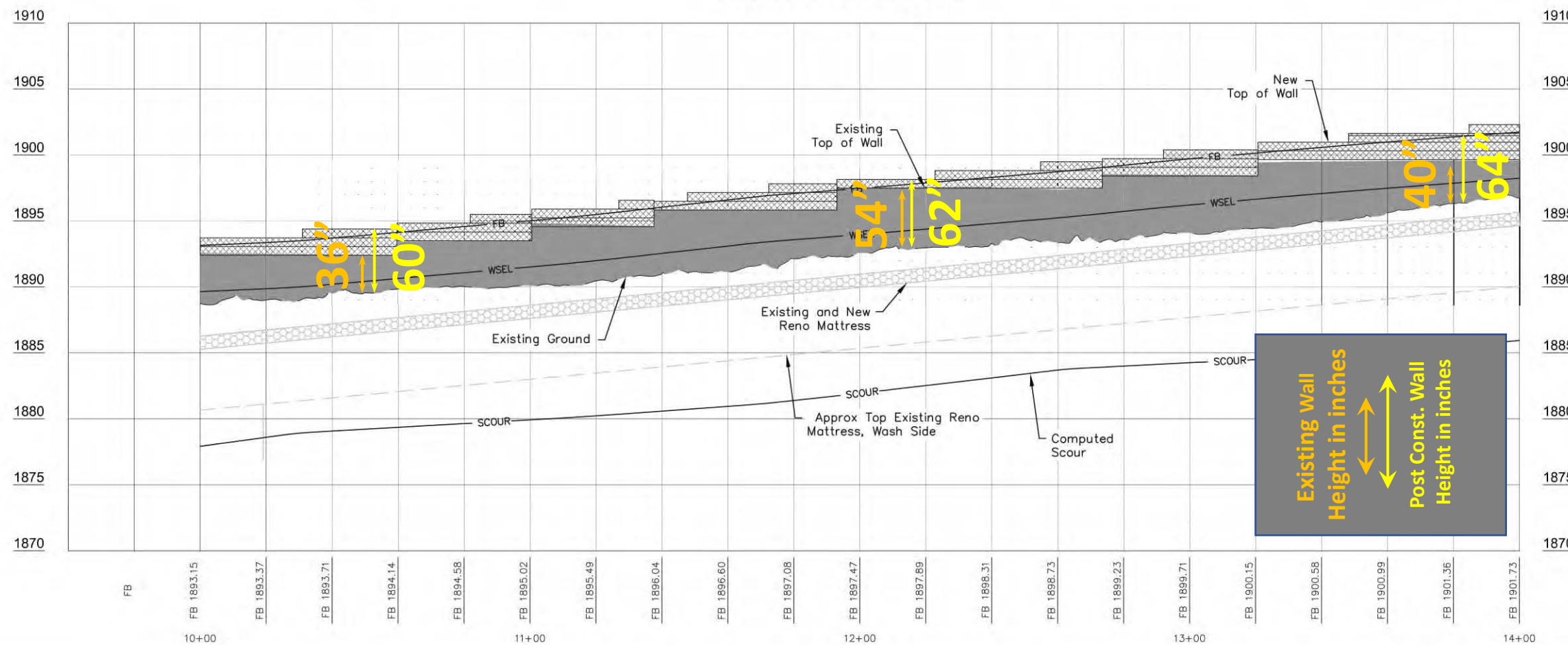
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DRAWING NO. PP-E03 EAST PLAN AND PROFILE

SHEET OF 61 95



EXISTING WALL D-1 - PLAN



REMOVE		UNIT	QTY
RELOCATE		UNIT	QTY
CONSTRUCT		UNIT	QTY
1	ADD CMU BLOCK TO EXISTING WALL PER DWGS S-03 & S-04 & DTL 7 ON DWG DET-03	SF	640
24	RENO MATTRESS (9" THICK) PER DTL 2, DWG DET-01	CY	33
25	RENO MATTRESS (9" THICK) RETROFIT PER DTL 3, DWG DET-02	CY	33

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FLOOD CONTROL DISTRICT OF MARICOPA COUNTY

RAWHIDE WASH FLOOD HAZARD MITIGATION  
FCD2018C015 - PCN 122.01.30

	BY	DATE
DESIGNED	WSO/ROL/BJD/CGC	3/08/2021
DRAWN	CGC/BJD	3/08/2021
CHECKED	WSO/ROL	3/08/2021

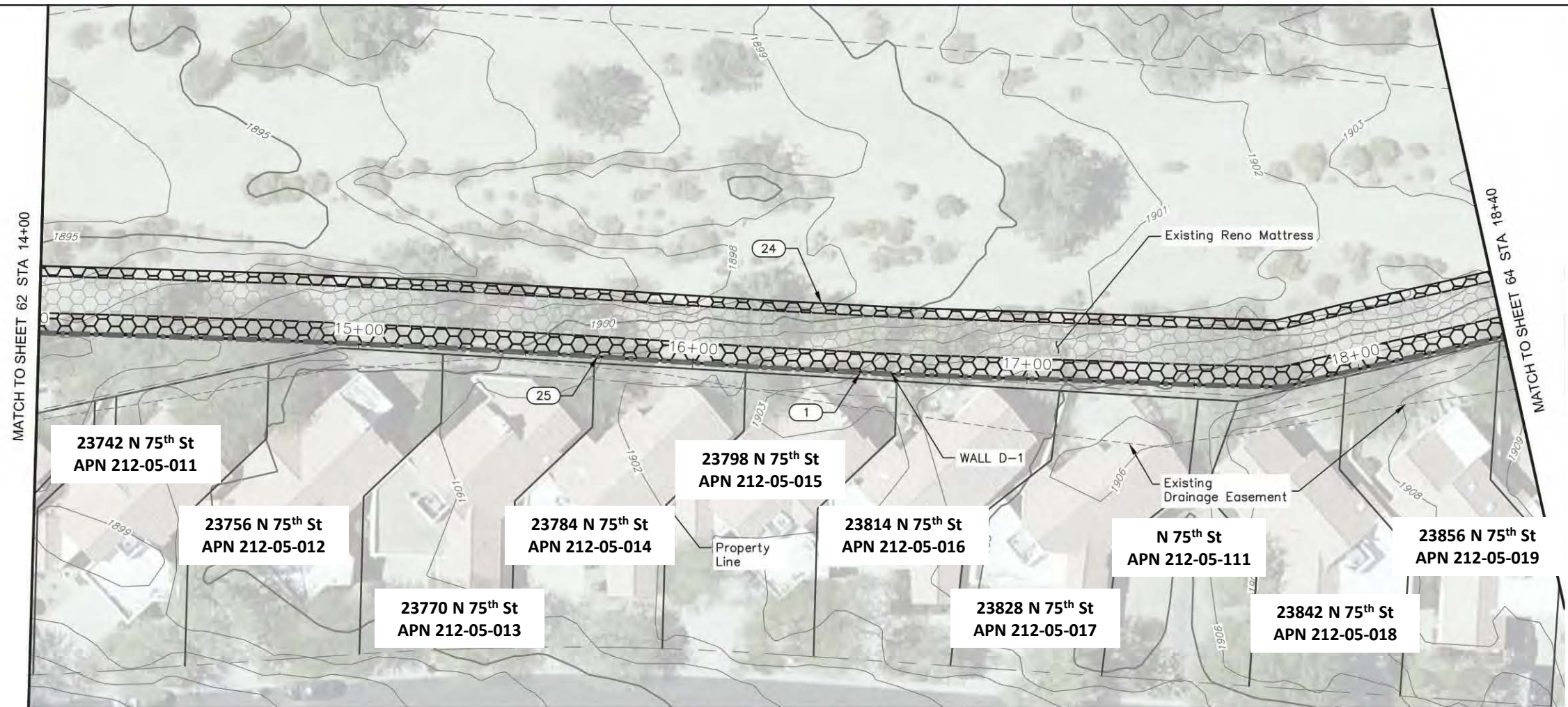
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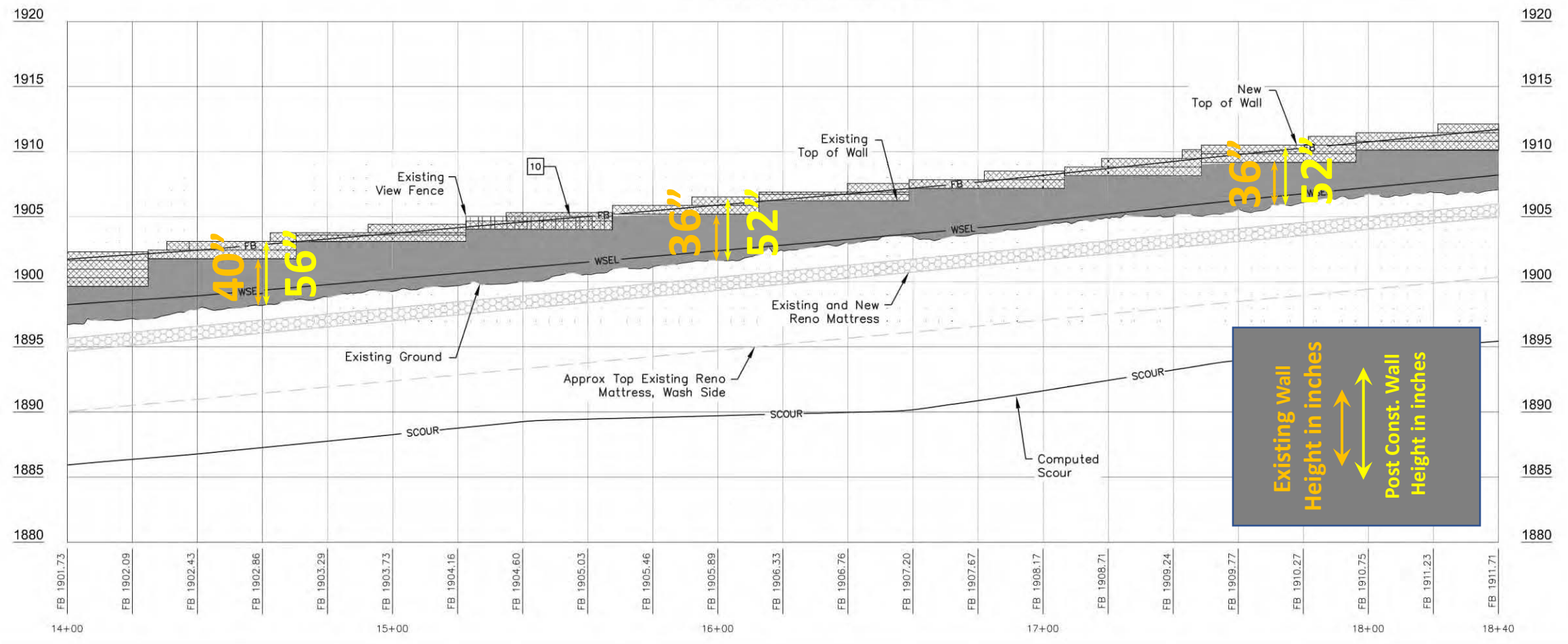
DRAWING NO. PP-E04

EAST PLAN AND PROFILE

SHEET OF 62 95



EXISTING WALL D-1 - PLAN



REMOVE		UNIT	QTY
10	REMOVE EXIST. VIEW FENCE	LF	45

RELOCATE		UNIT	QTY

CONSTRUCT		UNIT	QTY
1	ADD CMU BLOCK TO EXISTING WALL PER DWGS S-03 & S-04 & DTL 7 ON DWG DET-03	SF	565
24	RENO MATTRESS (9" THICK) PER DTL 2, DWG DET-01	CY	62
25	RENO MATTRESS (9" THICK) RETROFIT PER DTL 3, DWG DET-02	CY	37

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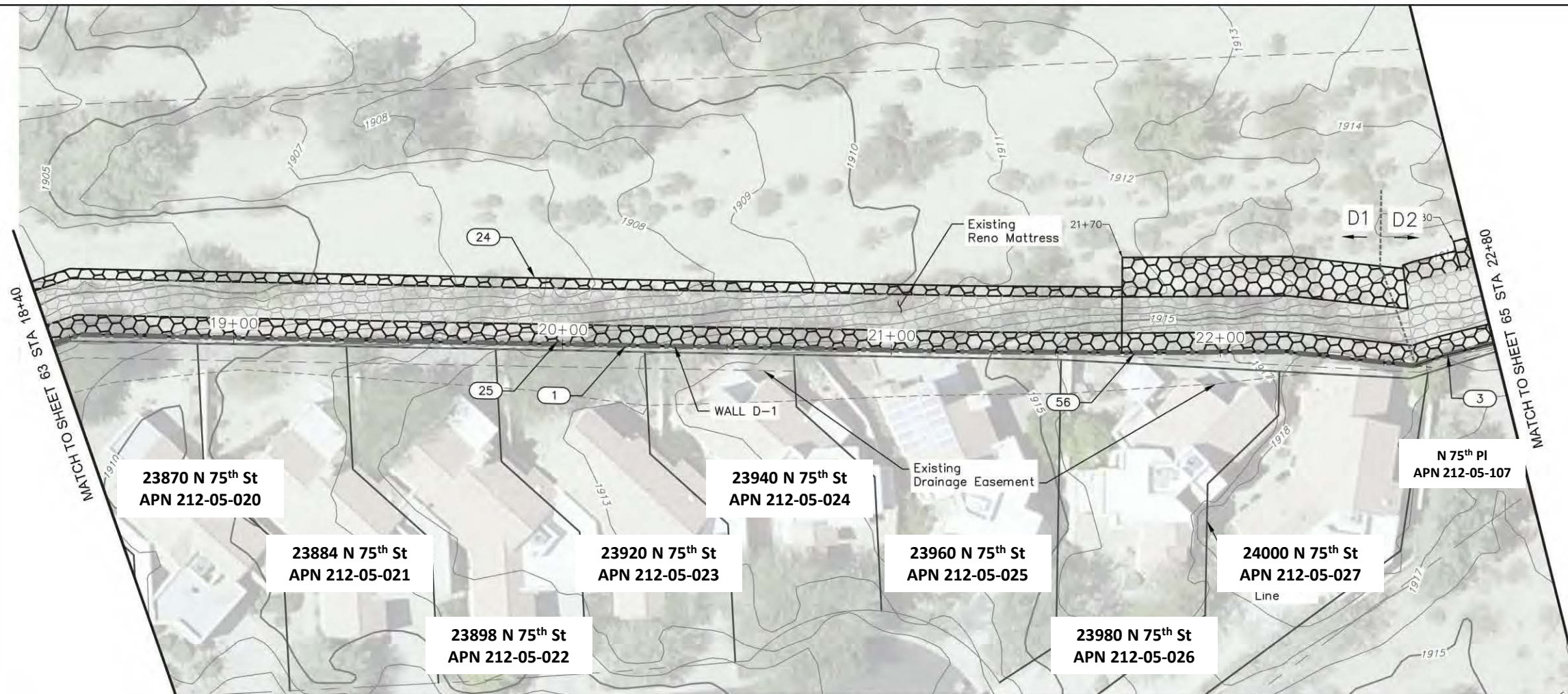
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FCD2018C015 - PCN 122.01.30

	BY	DATE
DESIGNED	WSO/ROL/BJD/CGC	3/08/2021
DRAWN	CGC/BJD	3/08/2021
CHECKED	WSO/ROL	3/08/2021

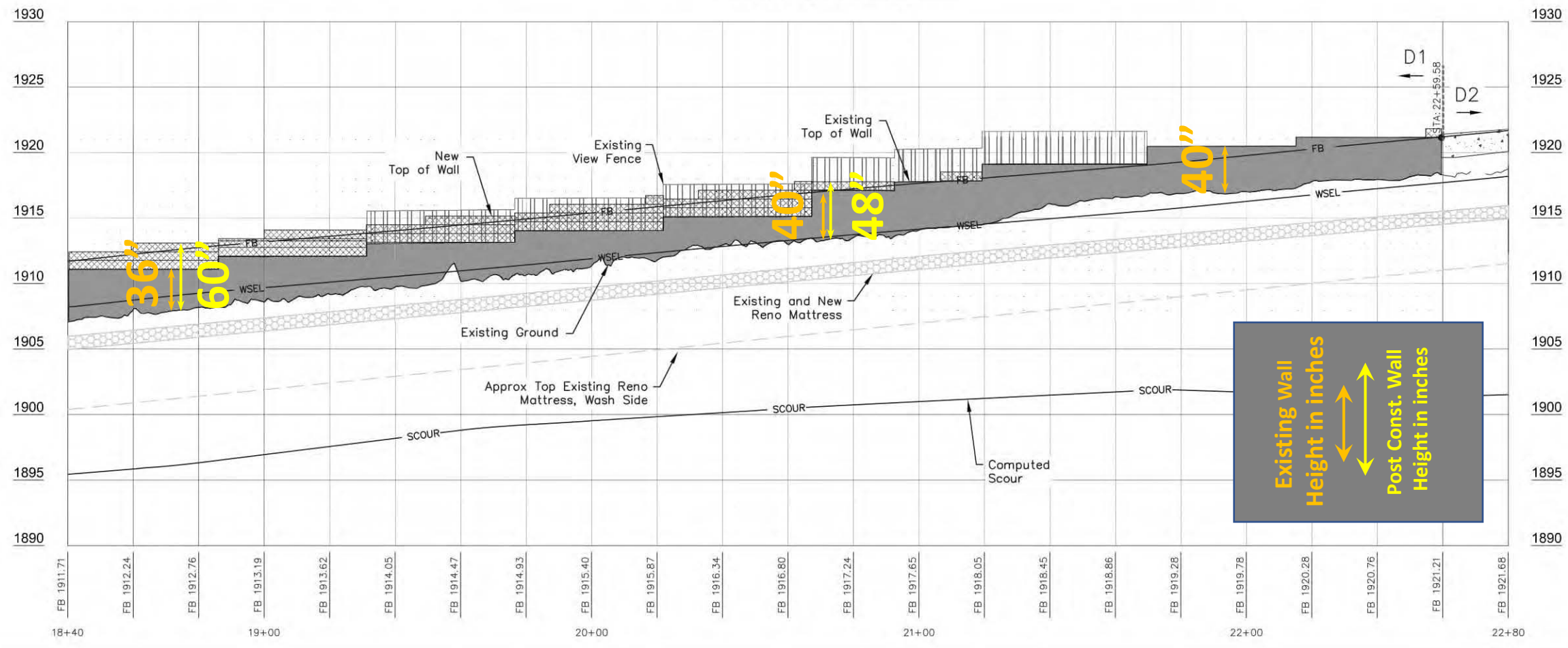
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EXISTING WALL D-1 - PLAN



<input type="checkbox"/>	REMOVE	UNIT	QTY
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<input type="checkbox"/>	RELOCATE	UNIT	QTY
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<input type="checkbox"/>	CONSTRUCT	UNIT	QTY
1	ADD CMU BLOCK TO EXISTING WALL PER DWGS S-03 & S-04 & DTL 7 ON DWG DET-03	SF	441
3	ADD CAST-IN-PLACE CONCRETE WALL PER DWG S-03	SF	38
24	RENO MATTRESS (9" THICK) PER DTL 2, DWG DET-01	CY	90
25	RENO MATTRESS (9" THICK) RETROFIT PER DTL 3, DWG DET-02	CY	36
56	REMOVE, SALVAGE, AND REINSTALL METAL VIEW FENCE PER DET 7, DWG DET-03	LF	189

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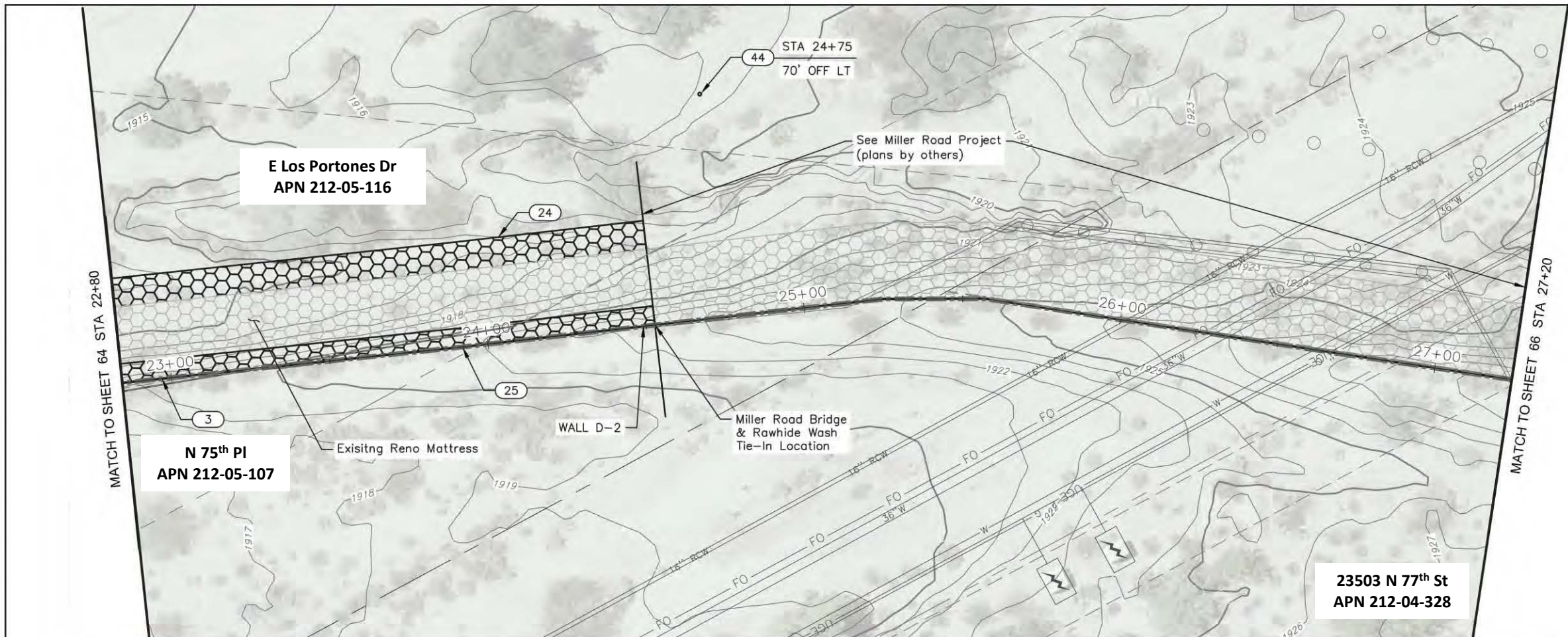
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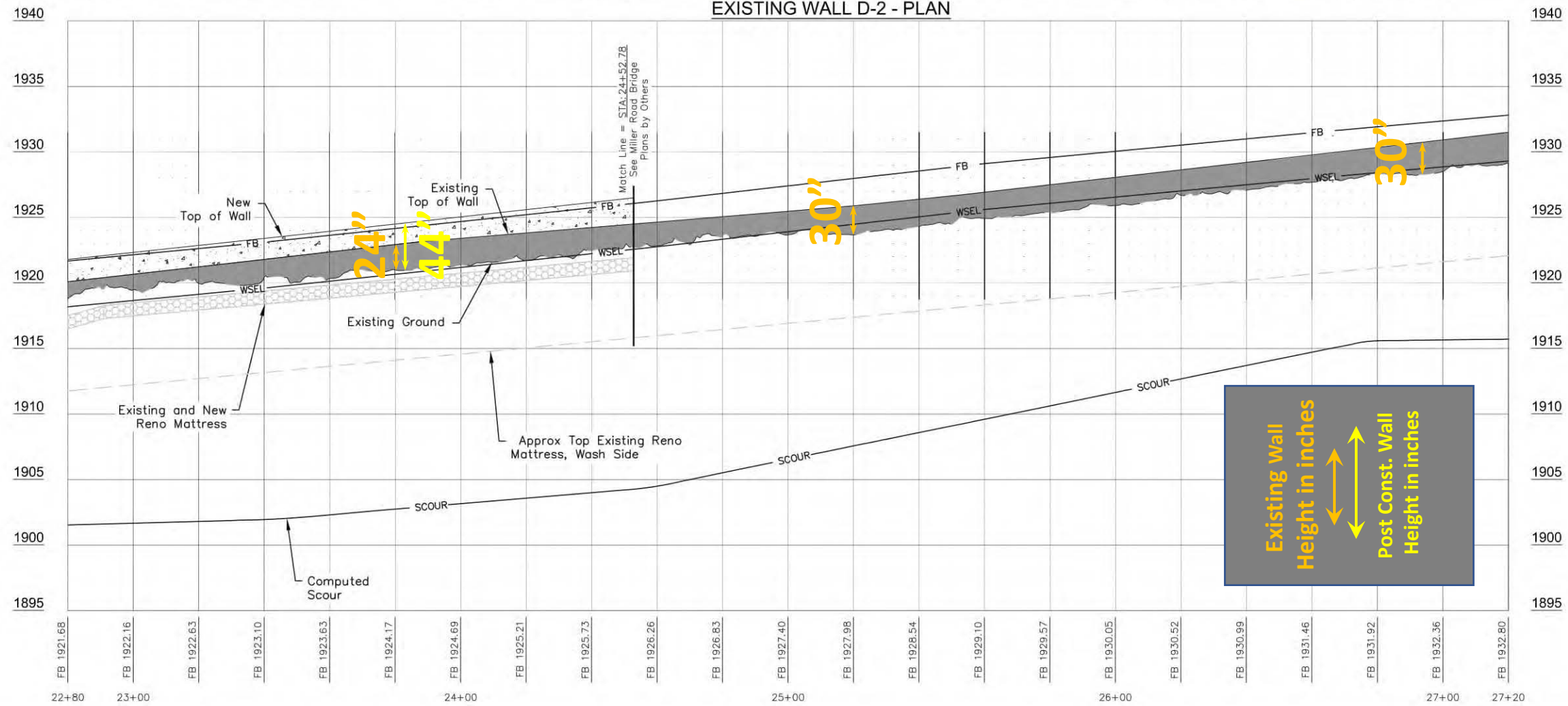
PRELIMINARY NOT FOR CONSTRUCTION	DESIGNED	WSO/ROL/BJD/CGC	DATE	3/08/2021
	DRAWN	CGC/BJD		3/08/2021
	CHECKED	WSO/ROL		3/08/2021

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DRAWING NO. PP-E06 EAST PLAN AND PROFILE SHEET OF 64 95



EXISTING WALL D-2 - PLAN



REMOVE	UNIT	QTY
RELOCATE	UNIT	QTY
CONSTRUCT	UNIT	QTY
3	ADD CAST-IN-PLACE CONCRETE WALL PER DWG S-03	SF 290
24	RENO MATTRESS (9" THICK) PER DTL 2, DWG DET-01	CY 77
25	RENO MATTRESS (9" THICK) RETROFIT PER DTL 3, DWG DET-02	CY 36
44	SCOUR GAGE PER DTL 10, DWG DET-03	EA 1

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FLOOD CONTROL DISTRICT OF MARICOPA COUNTY  
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FCD2018C015 - PCN 122.01.30

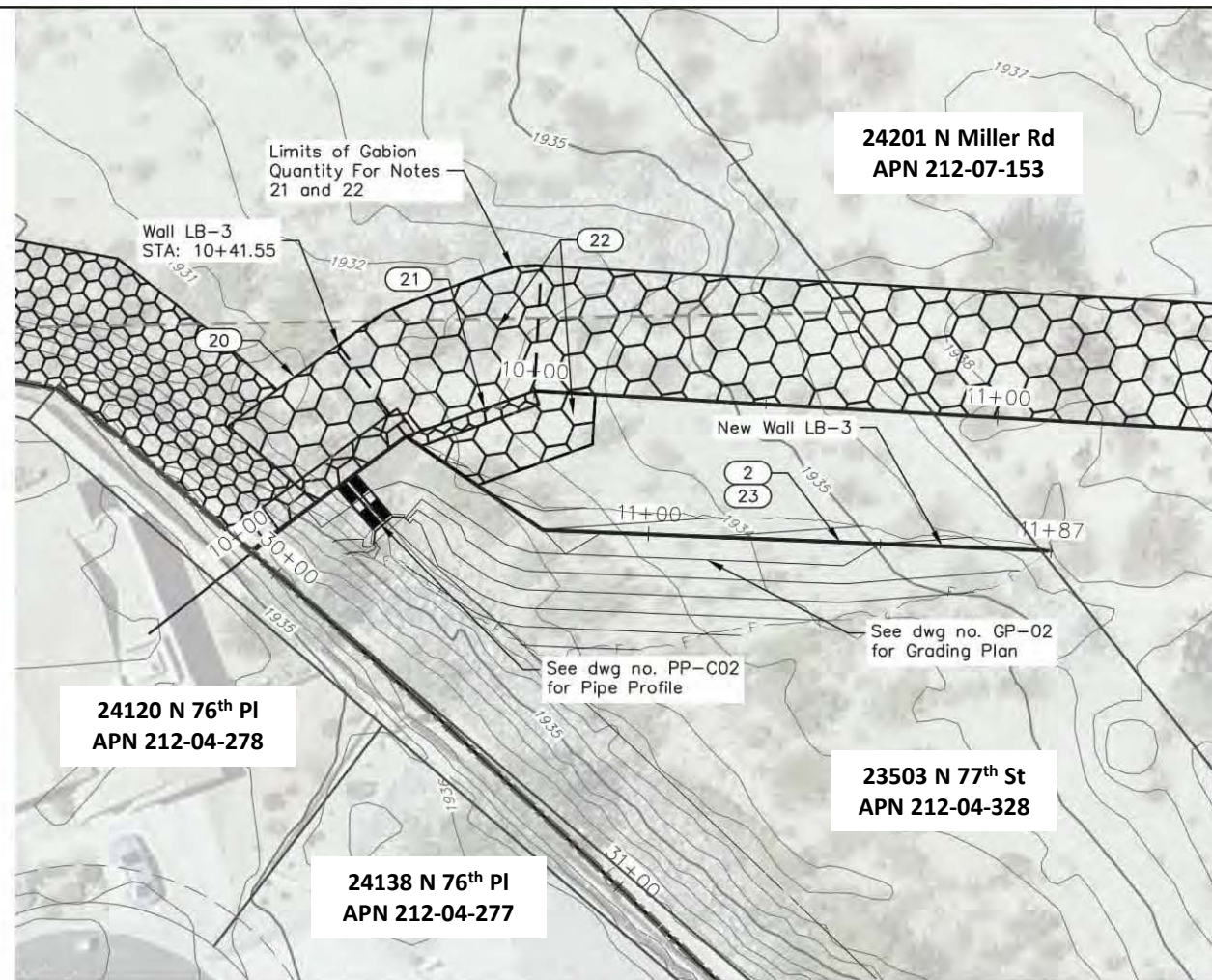
DESIGNED	BY	DATE
WSO/ROL/BJD/CGC		3/08/2021
DRAWN	CHECKED	DATE
CGC/BJD	WSO/ROL	3/08/2021
		3/08/2021

PRELIMINARY NOT FOR CONSTRUCTION

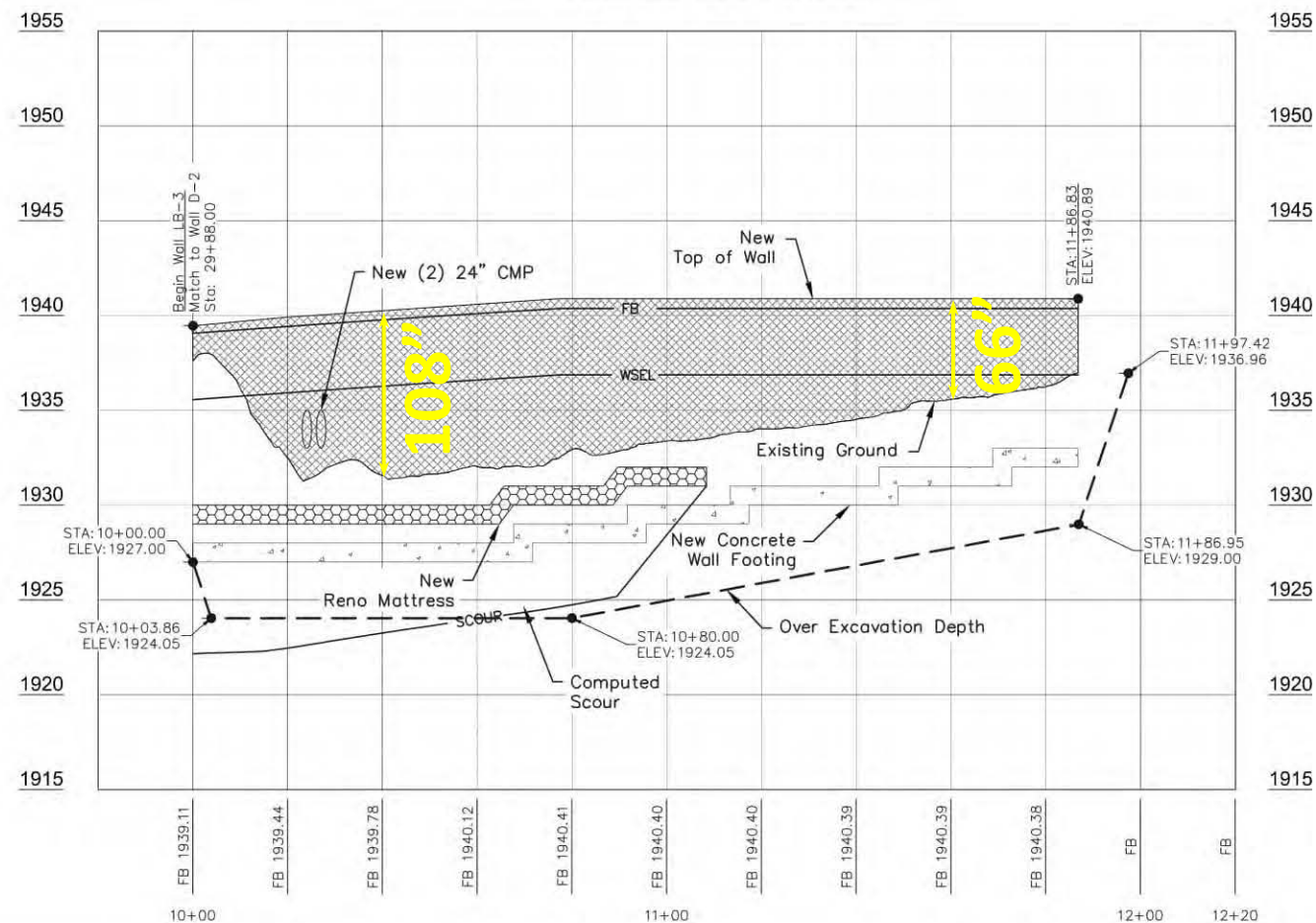
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DRAWING NO. PP-E07 EAST PLAN AND PROFILE SHEET OF 65 95





NEW WALL LB-3 - PLAN



Existing wall Height in inches

Post Const. Wall Height in inches

REMOVE		
	UNIT	QTY
RELOCATE		
	UNIT	QTY
CONSTRUCT		
	UNIT	QTY
2	SF	1262
20	CY	111
21	CY	9
22	CY	41
23	CY	127

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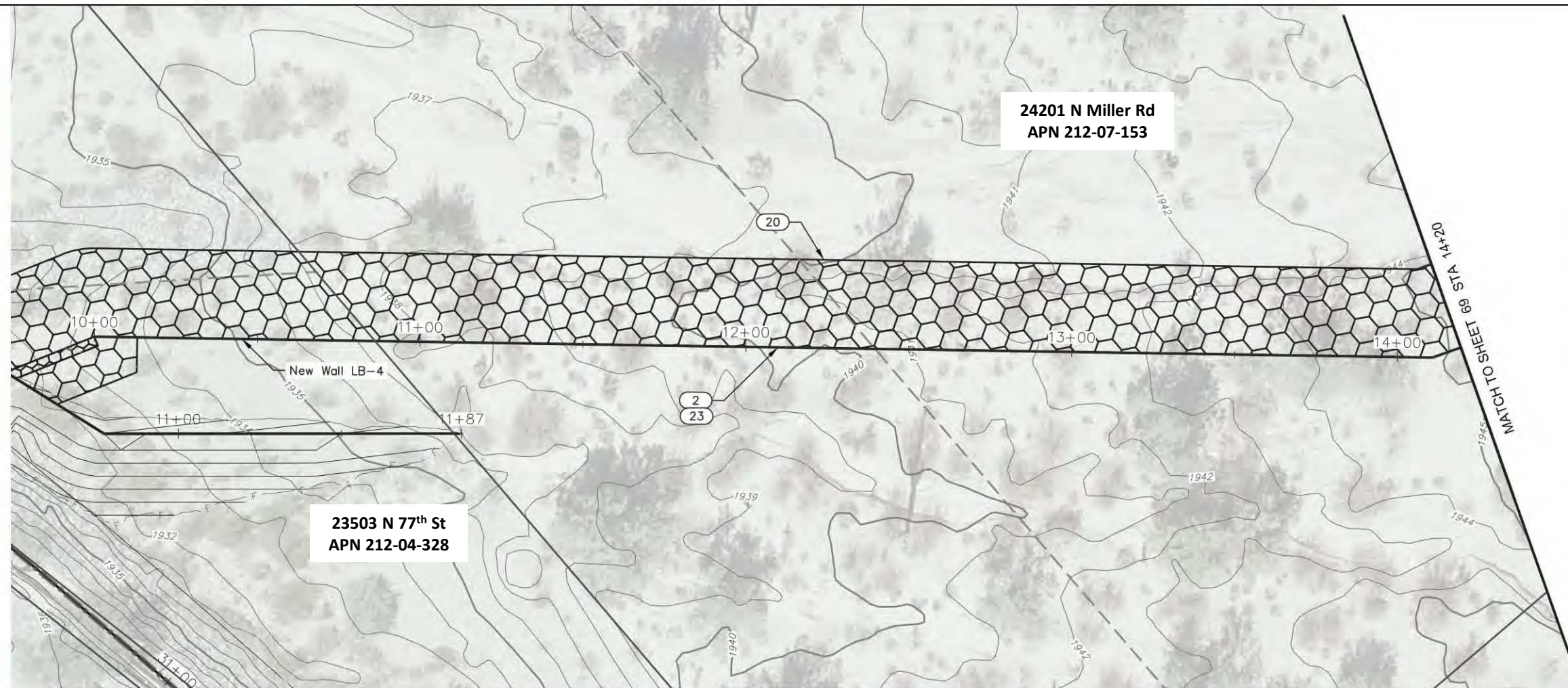
	BY	DATE
DESIGNED	WSO/ROL/BJD/CGC	3/08/2021
DRAWN	CGC/BJD	3/08/2021
CHECKED	WSO/ROL	3/08/2021

PRELIMINARY NOT FOR CONSTRUCTION

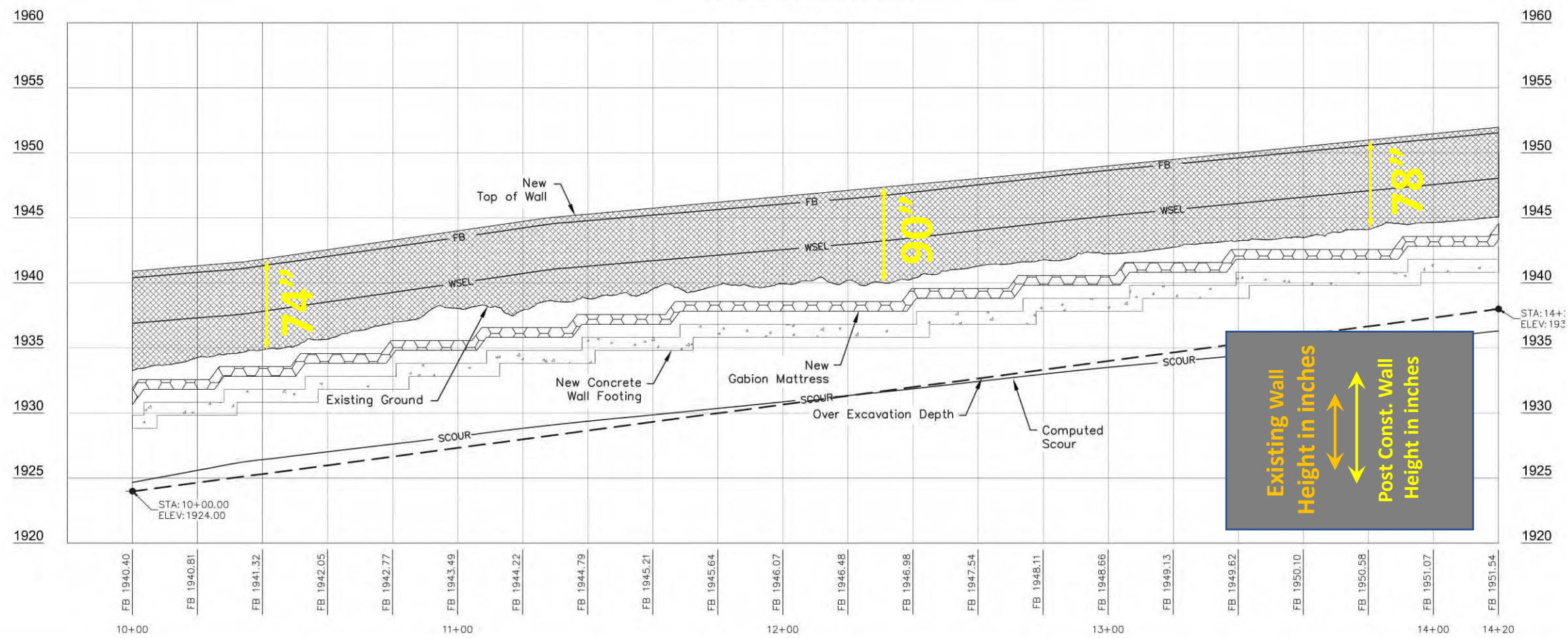
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DRAWING NO. PP-E09 EAST PLAN AND PROFILE SHEET OF 67 95





NEW WALL LB-4 - PLAN



	UNIT	QTY
<input type="checkbox"/> REMOVE		
<input type="checkbox"/> RELOCATE		
<input checked="" type="checkbox"/> CONSTRUCT		
2 NEW CMU BLOCK FLOODWALL PER DWG S-03	SF	3880
20 GABION MATTRESS (12" THICK) PER DTL 1, DWG DET-01	CY	327
23 OVER-EXCAVATE, BACKFILL, AND COMPACT FOOTER SUBGRADE PER DTL 13, DWG DET-03	CY	293

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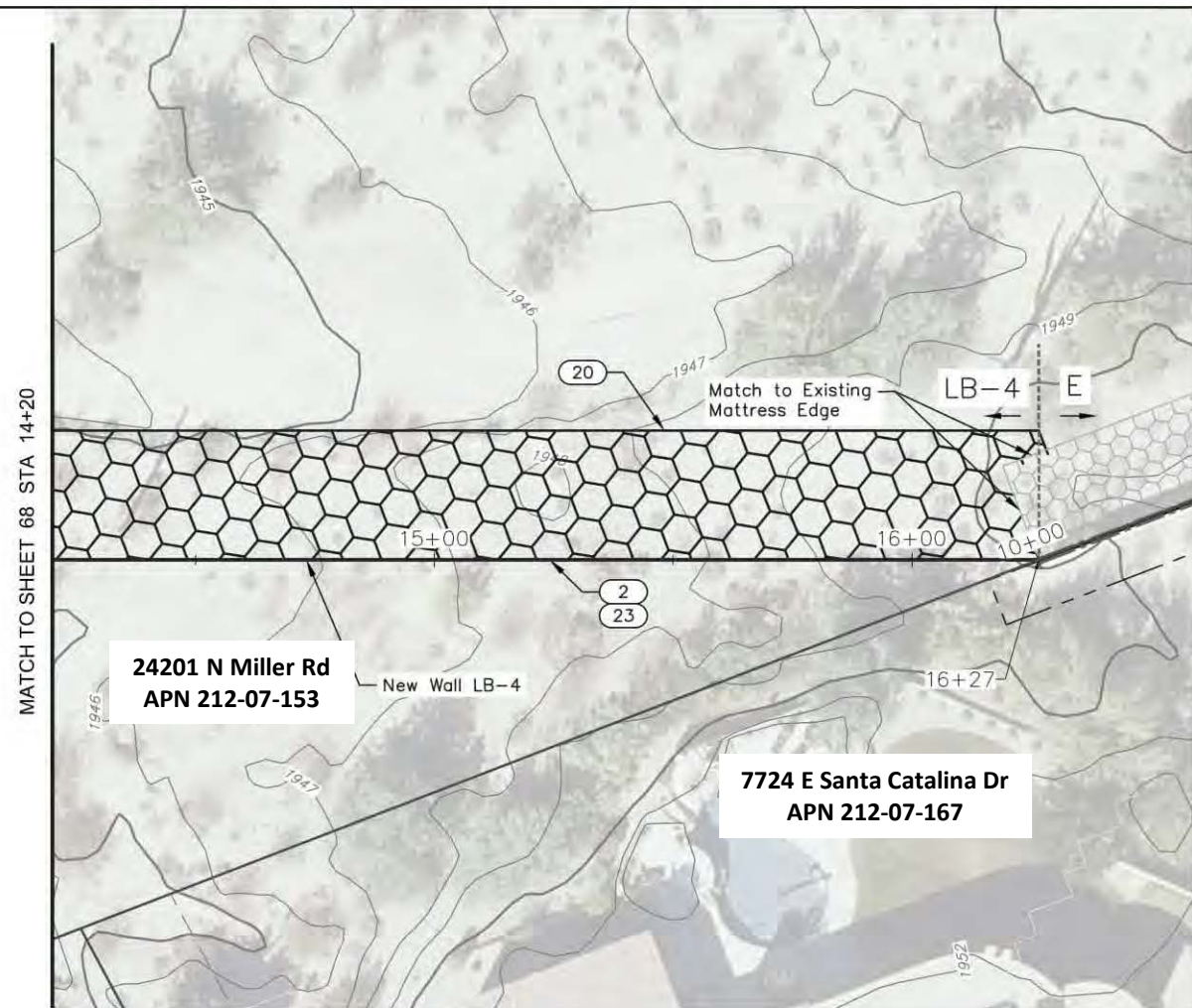
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FCD2018C015 - PCN 122.01.30

	BY	DATE
DESIGNED	WSO/ROL/BJD/CGC	3/08/2021
DRAWN	CGC/BJD	3/08/2021
CHECKED	WSO/ROL	3/08/2021

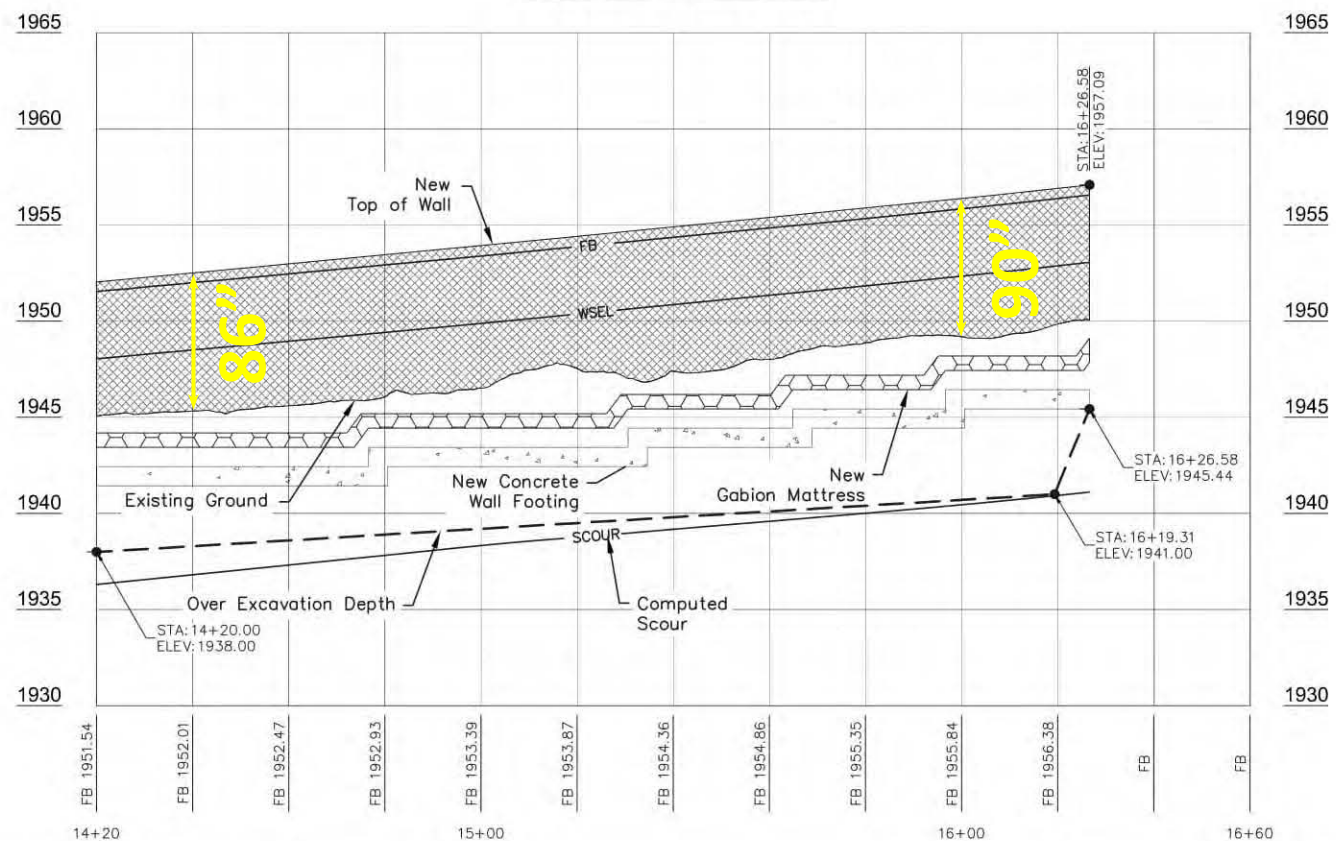
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DRAWING NO. PP-E10 EAST PLAN AND PROFILE SHEET OF 68 95



NEW WALL LB-4 - PLAN



Existing Wall Height in inches

Post Const. Wall Height in inches

REMOVE		
	UNIT	QTY
RELOCATE		
	UNIT	QTY
CONSTRUCT		
	UNIT	QTY
2	SF	2065
20	CY	161
23	CY	122
<small>THE AERIAL IMAGERY SHOWN IS FOR GRAPHICAL PURPOSES ONLY, AND MAY NOT COINCIDE WITH ACTUAL SURVEYED DATA. DESIGN ELEMENTS, GEOMETRY, AND LINE WORK LOCATIONS REFERENCE SURVEY DATA.</small>		

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FCD2018C015 - PCN 122.01.30

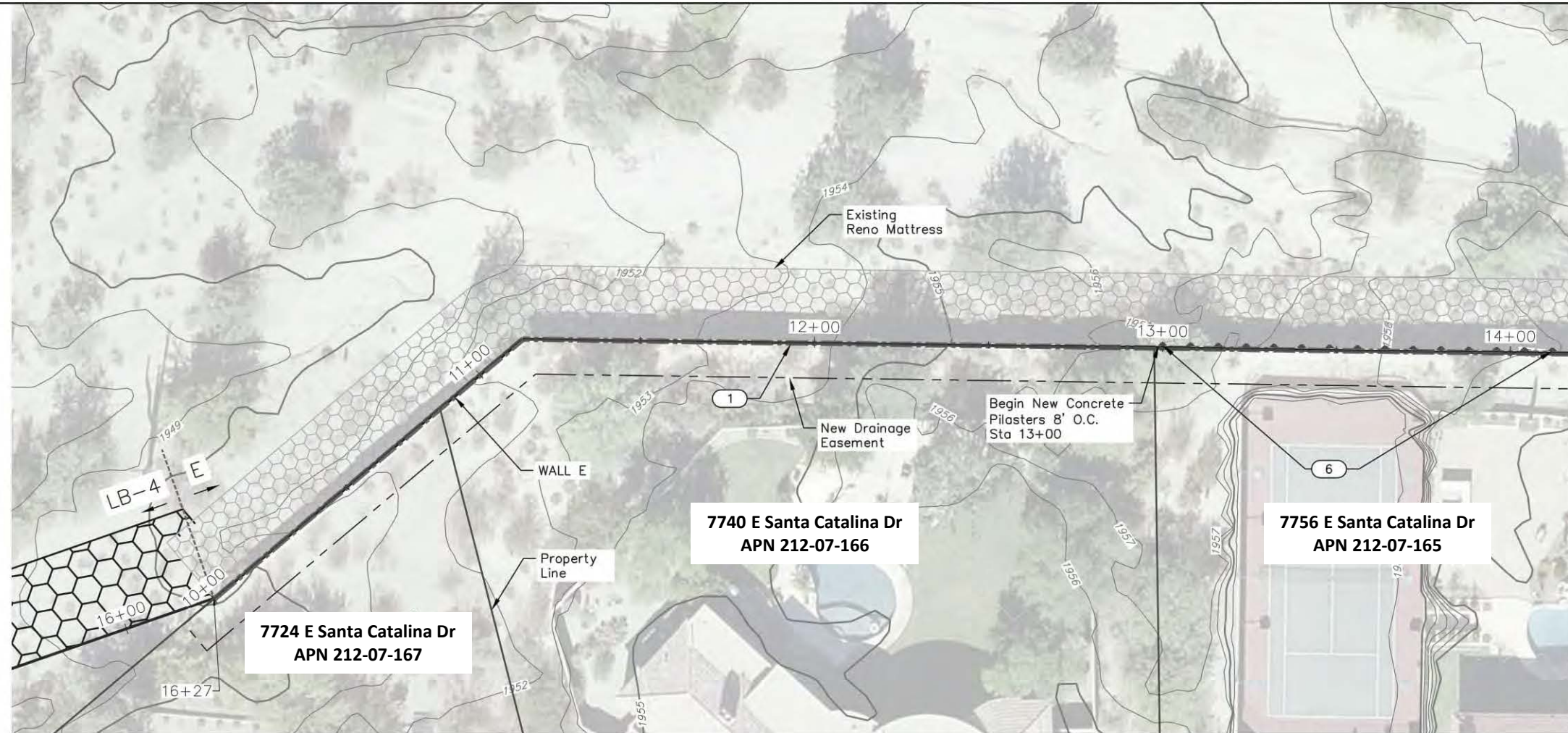
	BY	DATE
DESIGNED	WSO/ROL/BJD/CGC	3/08/2021
DRAWN	CGC/BJD	3/08/2021
CHECKED	WSO/ROL	3/08/2021

PRELIMINARY NOT FOR CONSTRUCTION

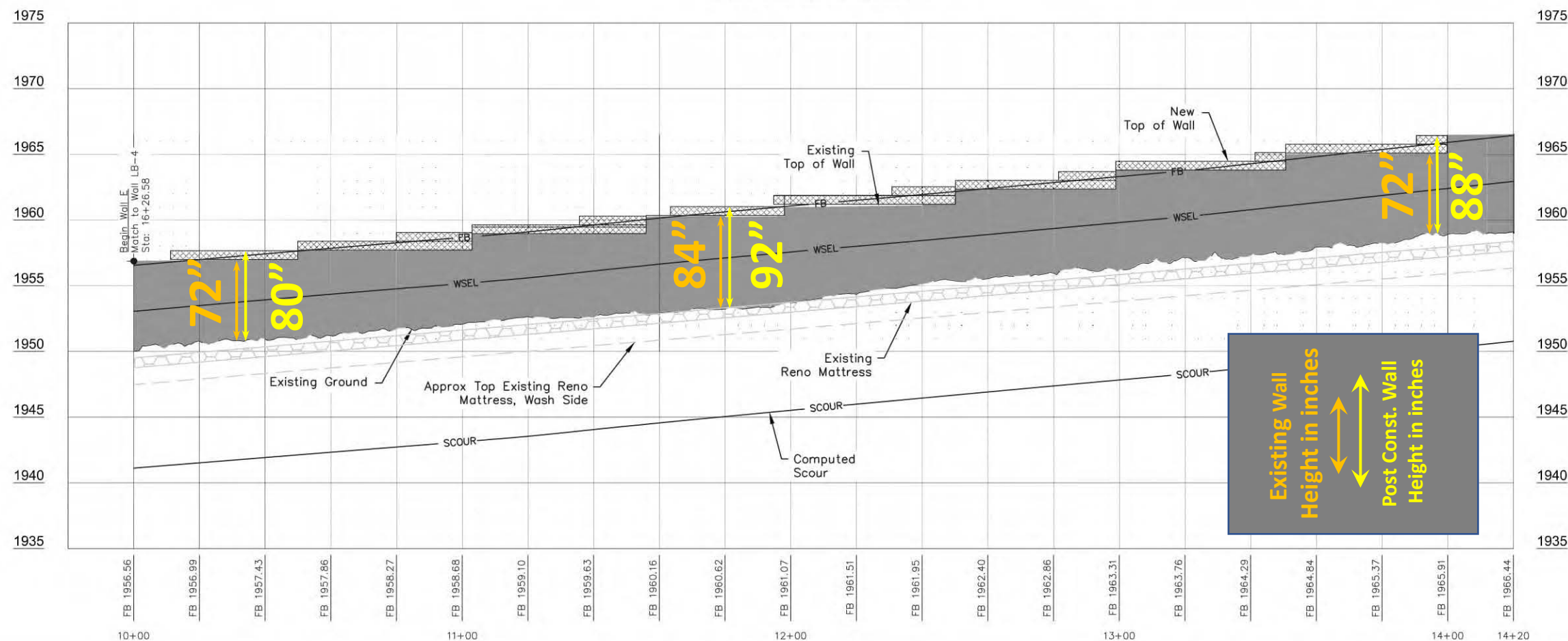
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DRAWING NO. PP-E11 EAST PLAN AND PROFILE

SHEET OF 69 95



EXISTING WALL E - PLAN



MATCH TO SHEET 71 STA 14+20

<input type="checkbox"/>	REMOVE	UNIT	QTY
<input type="checkbox"/>	RELOCATE	UNIT	QTY
<input type="checkbox"/>	CONSTRUCT	UNIT	QTY
1	ADD CMU BLOCK TO EXISTING WALL PER DWGS S-03 & S-04 & DTL 7 ON DWG DET-03	SF	321
6	CONCRETE PILASTER PER DTL 2, DWG S-05	EA	15

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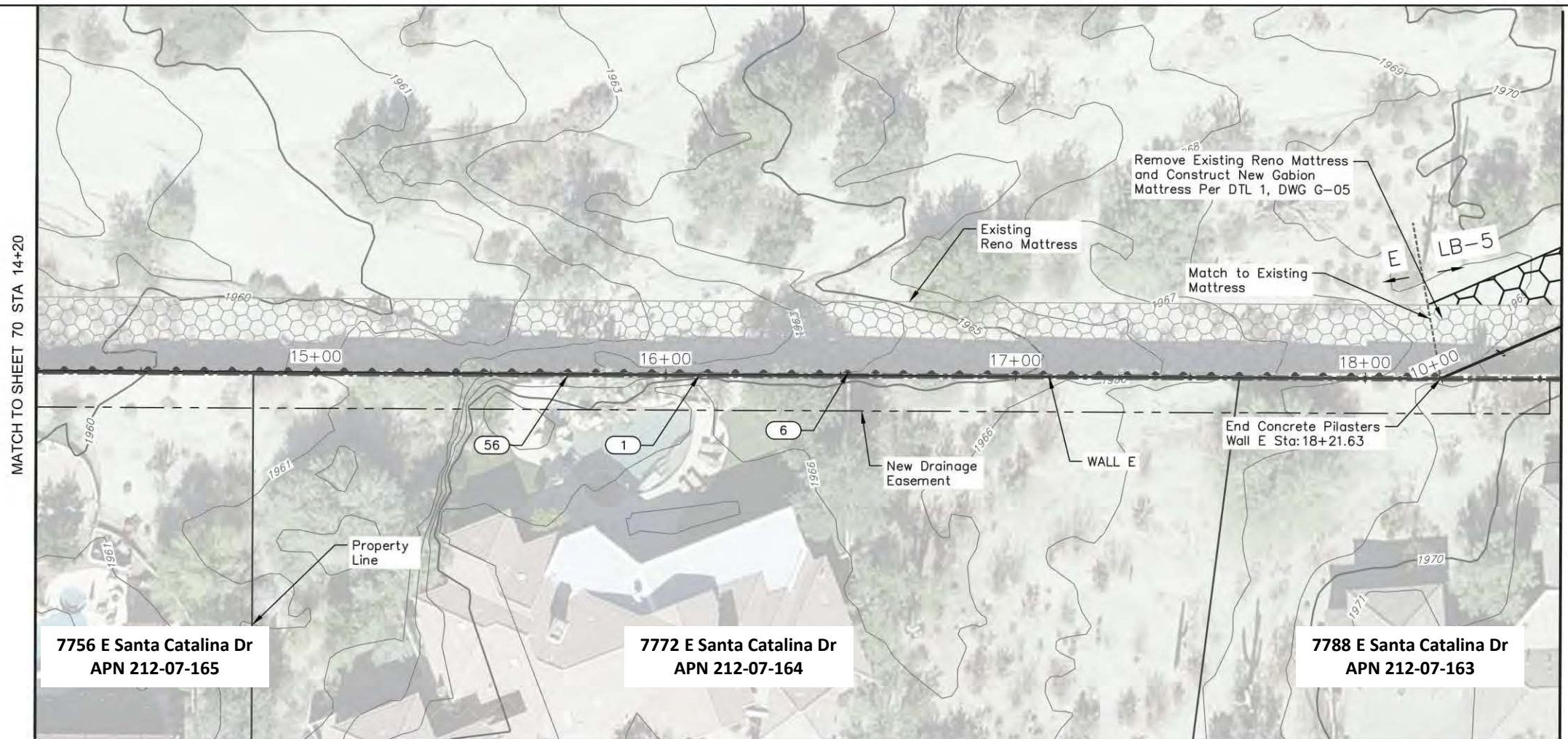
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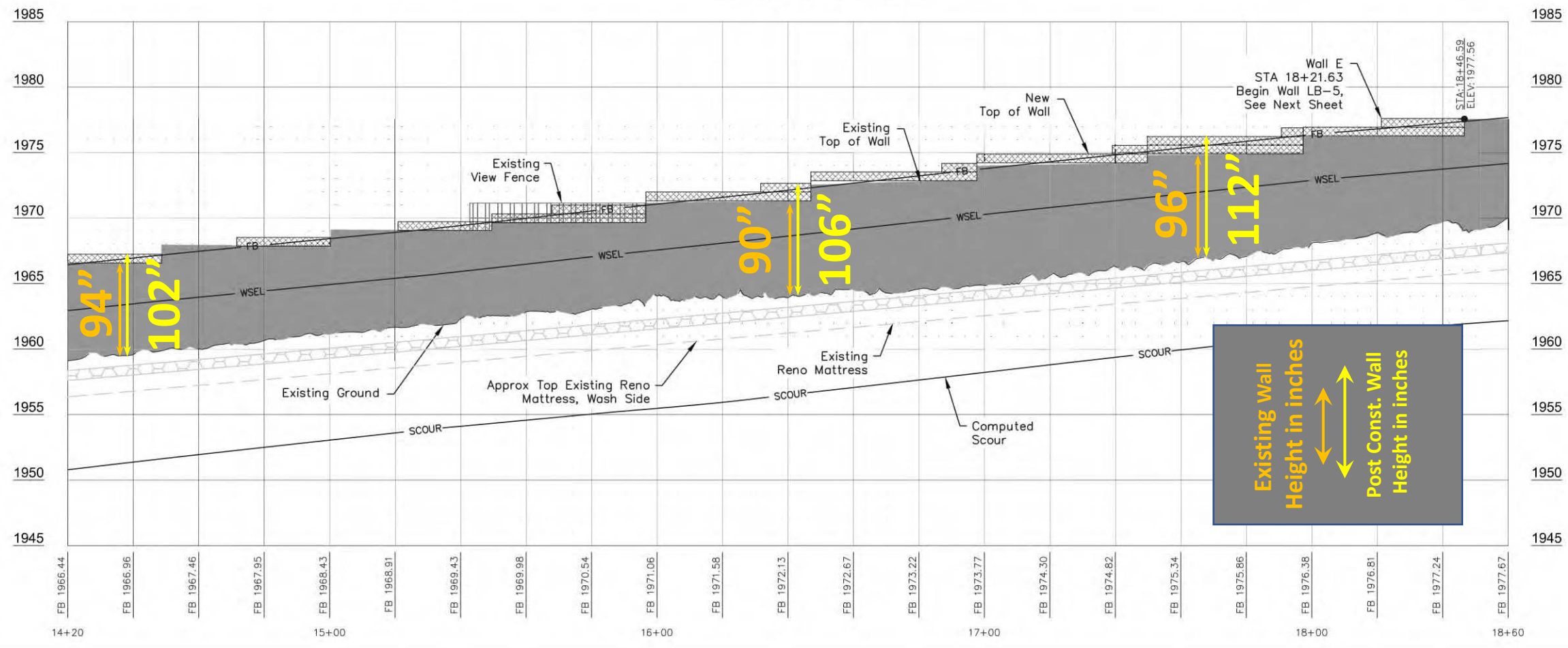
RAWHIDE WASH FLOOD HAZARD MITIGATION  
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PRELIMINARY NOT FOR CONSTRUCTION	DESIGNED	WSO/ROL/BJD/CGC	DATE	3/08/2021
	DRAWN	CGC/BJD		3/08/2021
	CHECKED	WSO/ROL		3/08/2021
			8400 S.KYRENE STE. 201 TEMPE, AZ 85284 (480) 222-5701	SHEET OF

DRAWING NO. PP-E12      EAST PLAN AND PROFILE



EXISTING WALL E - PLAN



<input type="checkbox"/>	REMOVE	<input type="checkbox"/>	UNIT	QTY
<input type="checkbox"/>	RELOCATE	<input type="checkbox"/>	UNIT	QTY
<input type="checkbox"/>	CONSTRUCT	<input type="checkbox"/>	UNIT	QTY

1	ADD CMU BLOCK TO EXISTING WALL PER DWGS S-03 & S-04 & DTL 7 ON DWG DET-03	SF	352
6	CONCRETE PILASTER PER DTL 2, DWG S-05	EA	51
56	REMOVE, SALVAGE, AND REINSTALL METAL VIEW FENCE PER DET 7, DWG DET-03	LF	54

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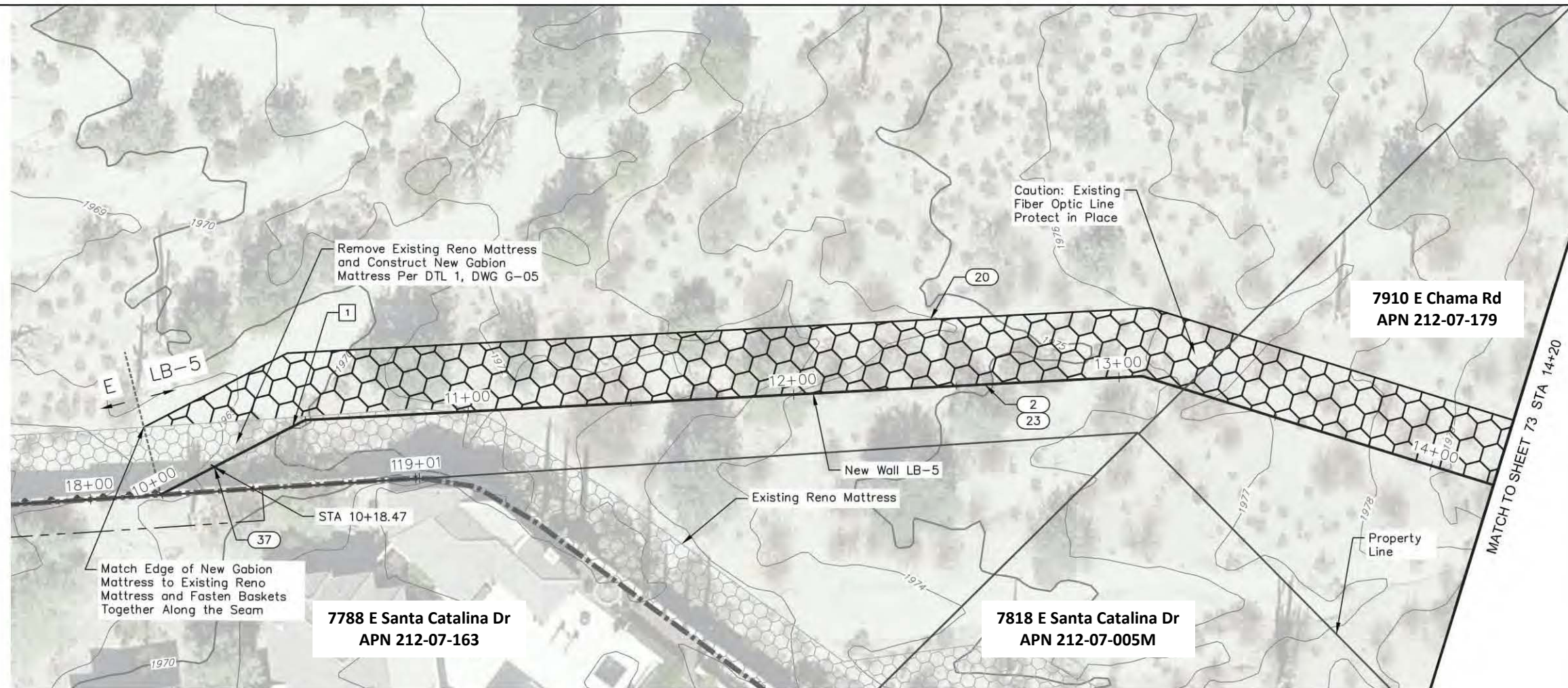
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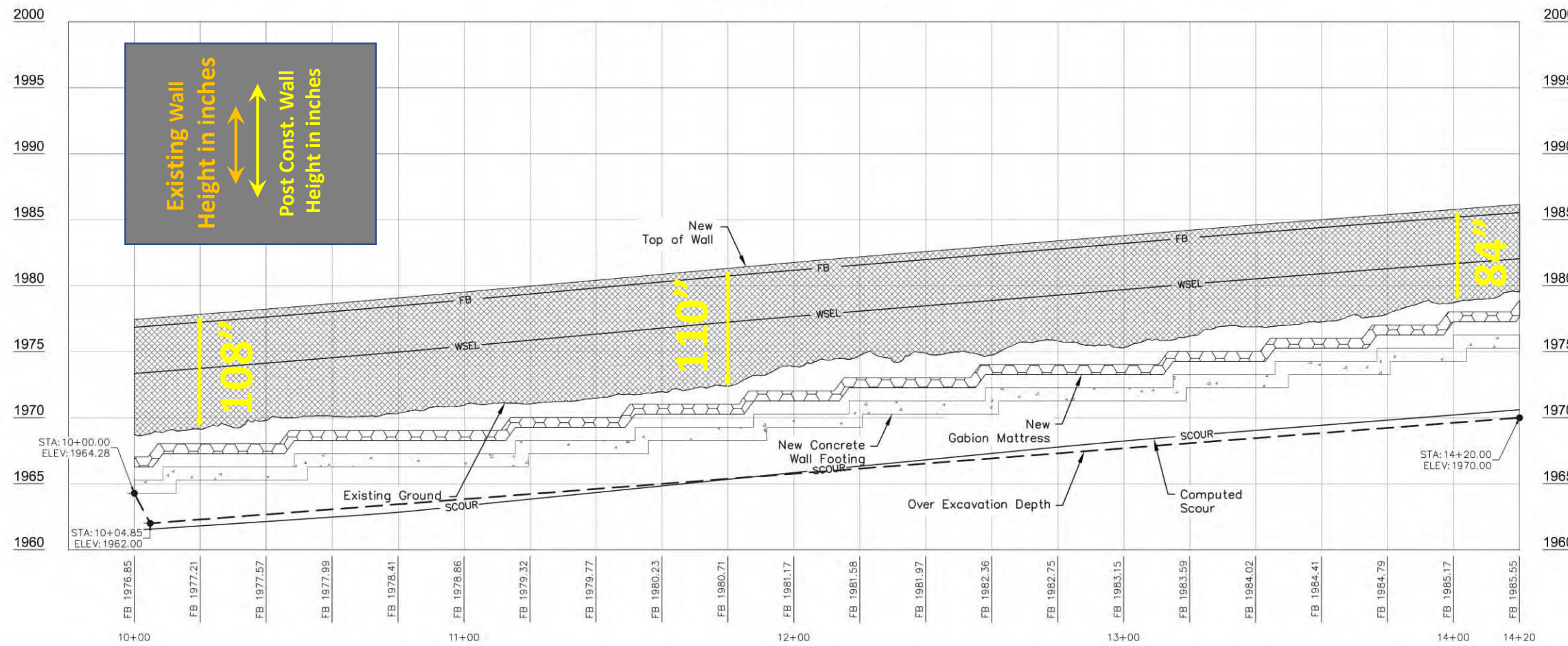
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NEW WALL LB-5 - PLAN



REMOVE		UNIT	QTY
1	REMOVE EXIST. RENO AND GABION MATTRESS AS NEEDED TO CONSTRUCT NEW FLOODWALL	CY	45
RELOCATE		UNIT	QTY
CONSTRUCT		UNIT	QTY
2	NEW CMU BLOCK FLOODWALL PER DWG S-03	SF	4568
20	GABION MATTRESS (12" THICK) PER DTL 1, DWG DET-01	CY	327
37	4" PIPE PENETRATION WITH BACKFLOW PREVENTION DEVICE OVER-EXCAVATE, BACKFILL, AND COMPACT FOOTER SUBGRADE PER DTL 13, DWG DET-03	EA	1
23		CY	335

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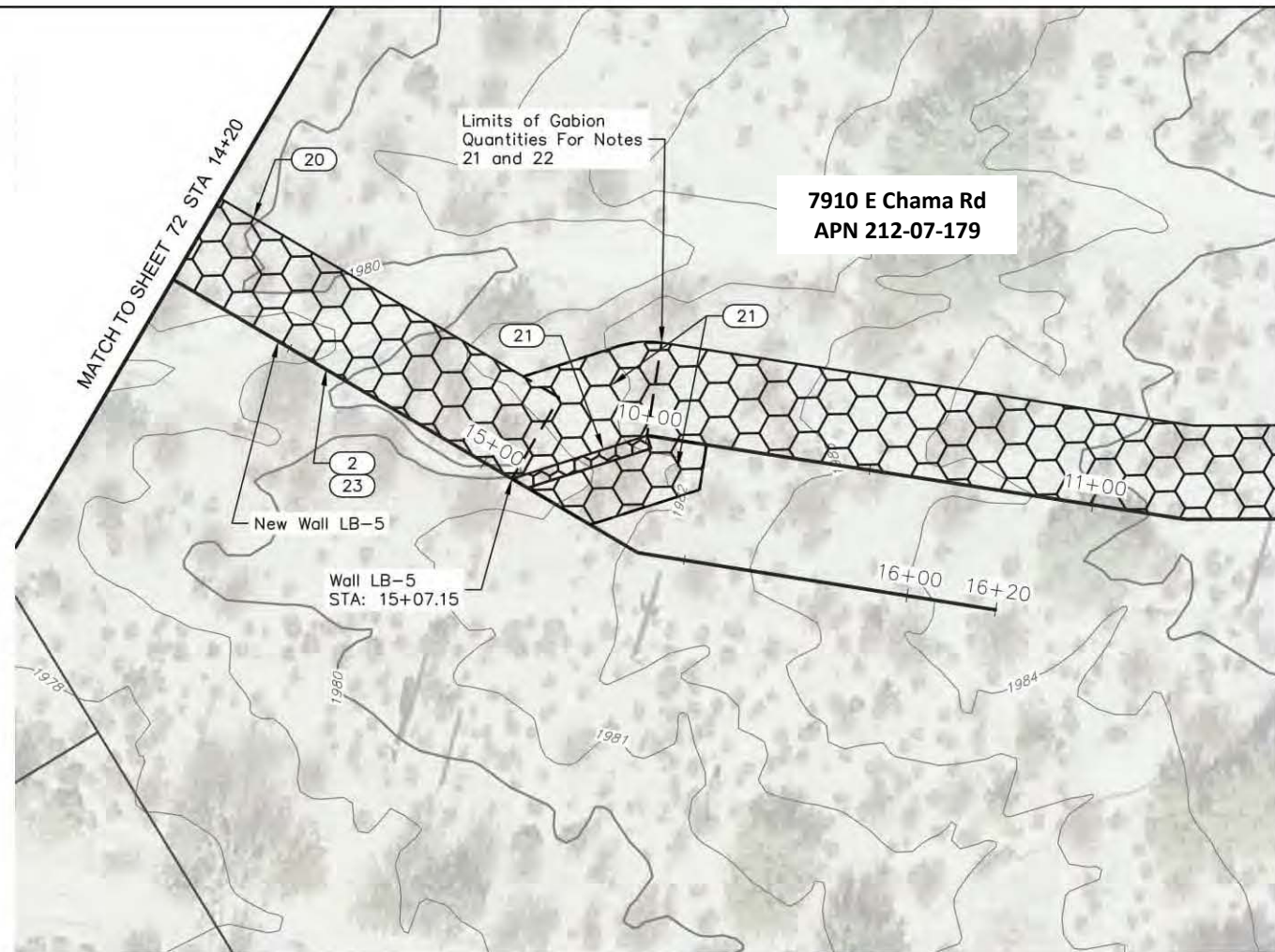
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DESIGNED	WSO/ROL/BJD/CGC	3/08/2021
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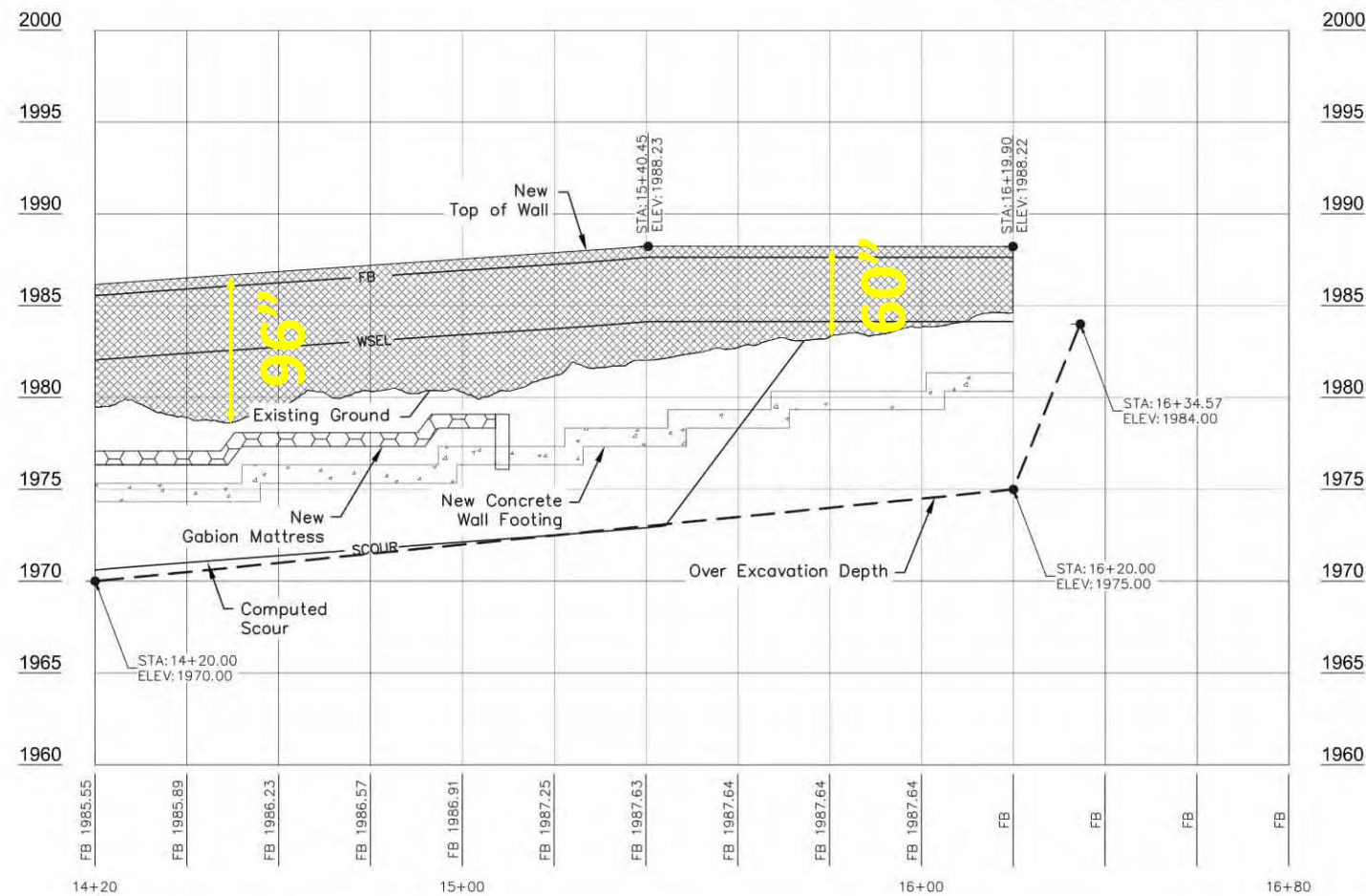
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DRAWING NO. PP-E14 EAST PLAN AND PROFILE SHEET OF 72 95



NEW WALL LB-5 - PLAN



Existing wall Height in inches

Post Const. Wall Height in inches

	UNIT	QTY
<input type="checkbox"/> REMOVE		
<input type="checkbox"/> RELOCATE		
<input type="checkbox"/> CONSTRUCT		
2 NEW CMU BLOCK FLOODWALL PER DWG S-03	SF	2079
20 GABION MATTRESS (12" THICK) PER DTL 1, DWG DET-01	CY	70
21 GABION BASKET (3'X3') PER DTL 4, DWG DET-02	CY	10
22 GABION MATTRESS (12" THICK) PER DTL 4, DWG DET-02	CY	42
23 OVER-EXCAVATE, BACKFILL, AND COMPACT FOOTER SUBGRADE PER DTL 13, DWG DET-03	CY	208

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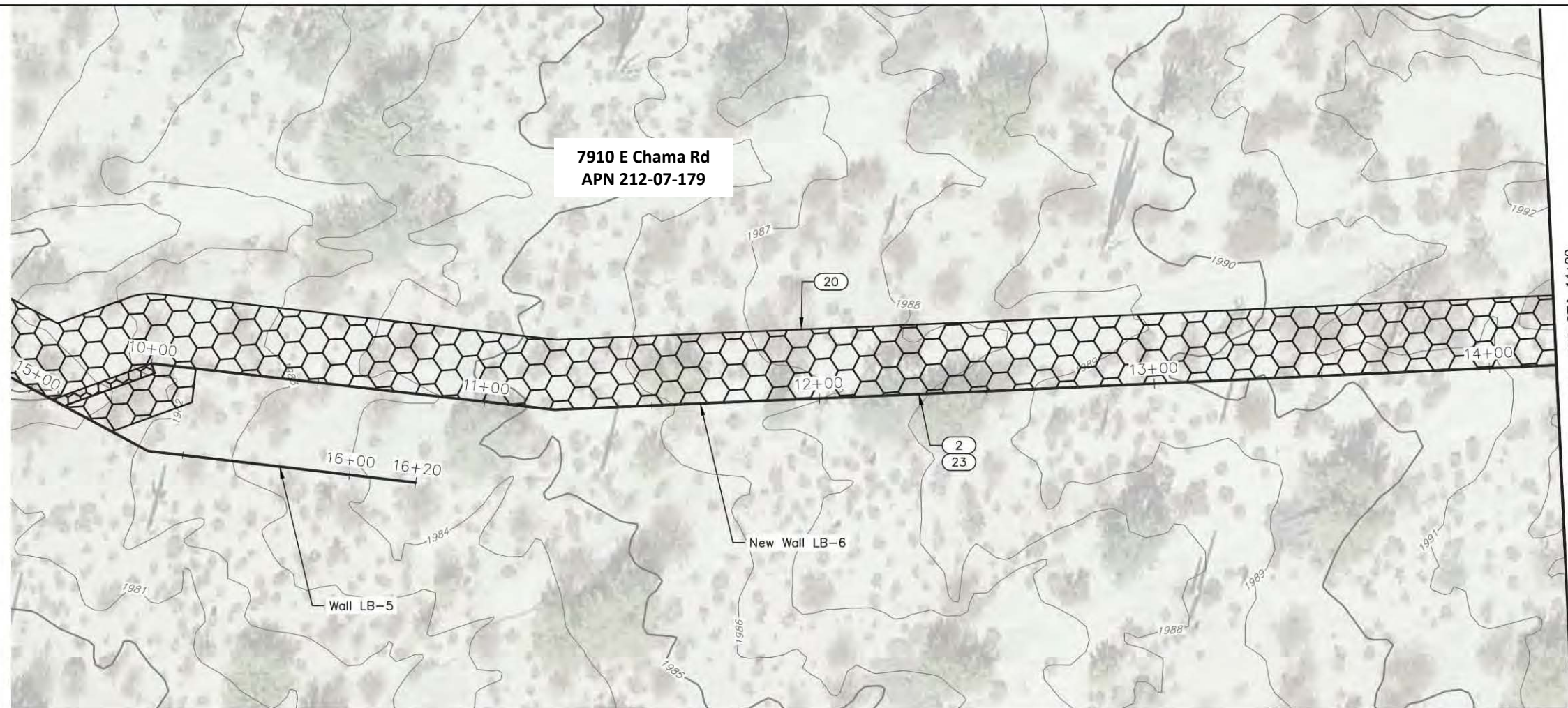
	BY	DATE
DESIGNED	WSO/ROL/BJD/CGC	3/08/2021
DRAWN	CGC/BJD	3/08/2021
CHECKED	WSO/ROL	3/08/2021

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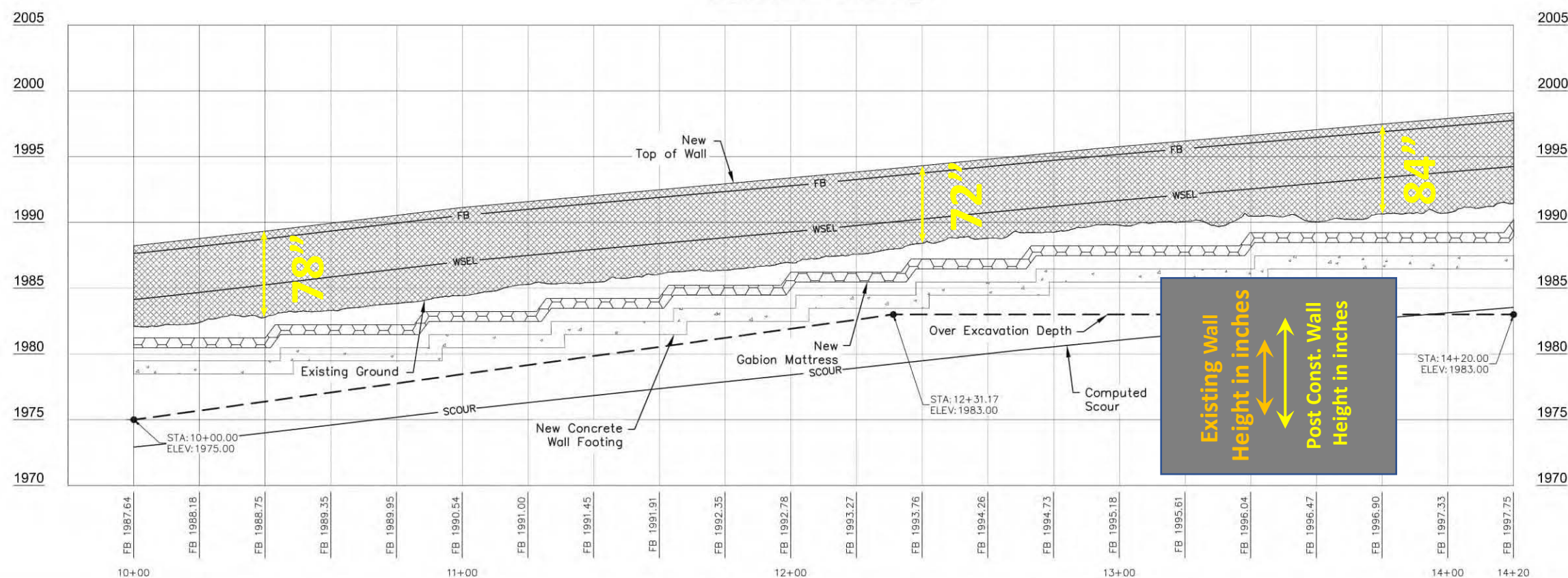
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DRAWING NO. PP-E15 EAST PLAN AND PROFILE

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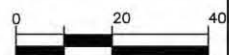
NEW WALL LB-6 - PLAN




MATCH TO SHEET 75 STA 14+20

REMOVE		UNIT	QTY
RELOCATE		UNIT	QTY
CONSTRUCT		UNIT	QTY
2	NEW CMU BLOCK FLOODWALL PER DWG S-03	SF	3846
20	GABION MATTRESS (12" THICK) PER DTL 1, DWG DET-01	CY	327
23	OVER-EXCAVATE, BACKFILL, AND COMPACT FOOTER SUBGRADE PER DTL 13, DWG DET-03	CY	260

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RAWHIDE WASH FLOOD HAZARD MITIGATION  
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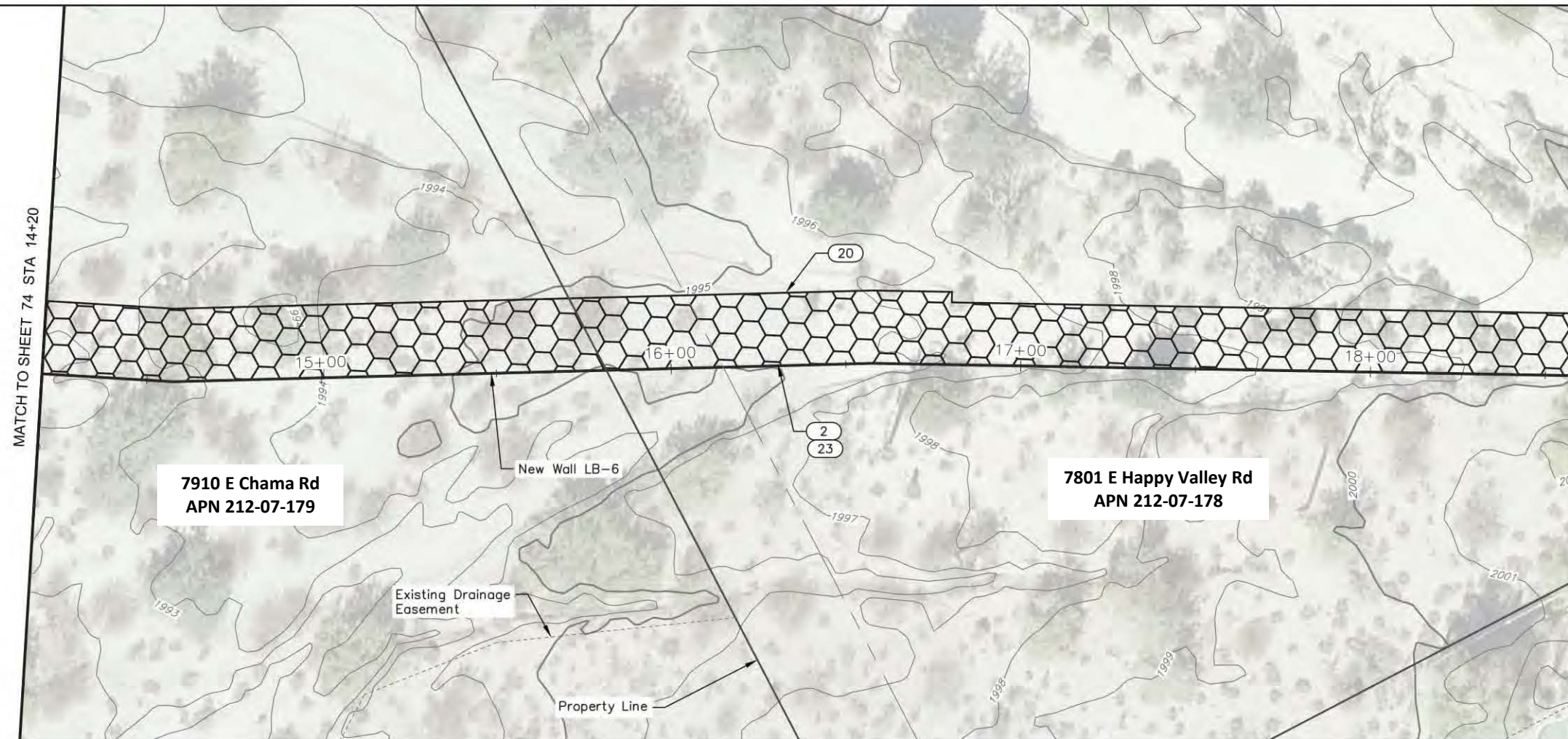


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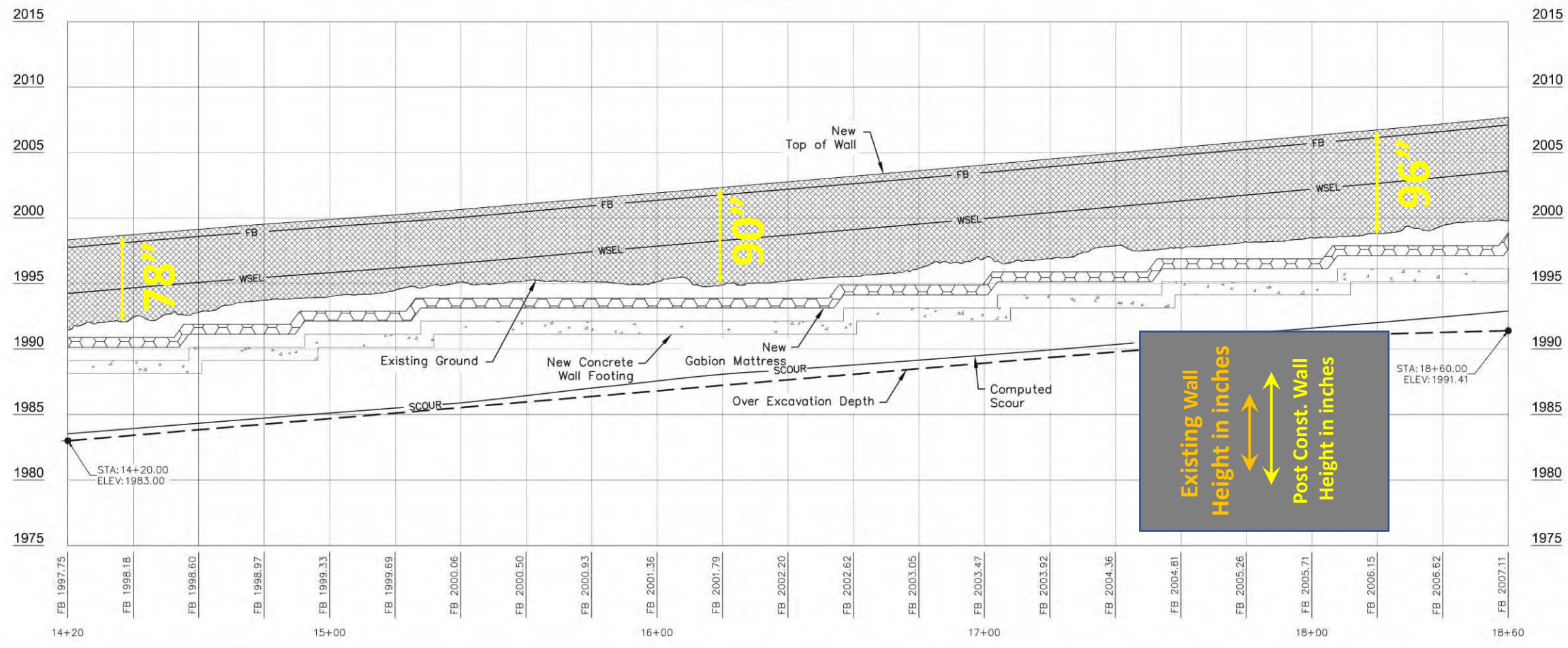
DRAWING NO. PP-E16	EAST PLAN AND PROFILE	SHEET OF 74 95
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MATCH TO SHEET 74 STA 14+20

MATCH TO SHEET 76 STA 18+60



NEW WALL LB-6 - PLAN



Existing Wall Height in inches  
 Post Const. Wall Height in inches

	UNIT	QTY
<input type="checkbox"/> REMOVE		
<input type="checkbox"/> RELOCATE		
<input checked="" type="checkbox"/> CONSTRUCT		
2 NEW CMU BLOCK FLOODWALL PER DWG S-03	SF	4465
20 GABION MATTRESS (12" THICK) PER DTL 1, DWG DET-01	CY	342
23 OVER-EXCAVATE, BACKFILL, AND COMPACT FOOTER SUBGRADE PER DTL 13, DWG DET-03	CY	386

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FLOOD CONTROL DISTRICT OF MARICOPA COUNTY

RAWHIDE WASH FLOOD HAZARD MITIGATION  
 FCD2018C015 - PCN 122.01.30

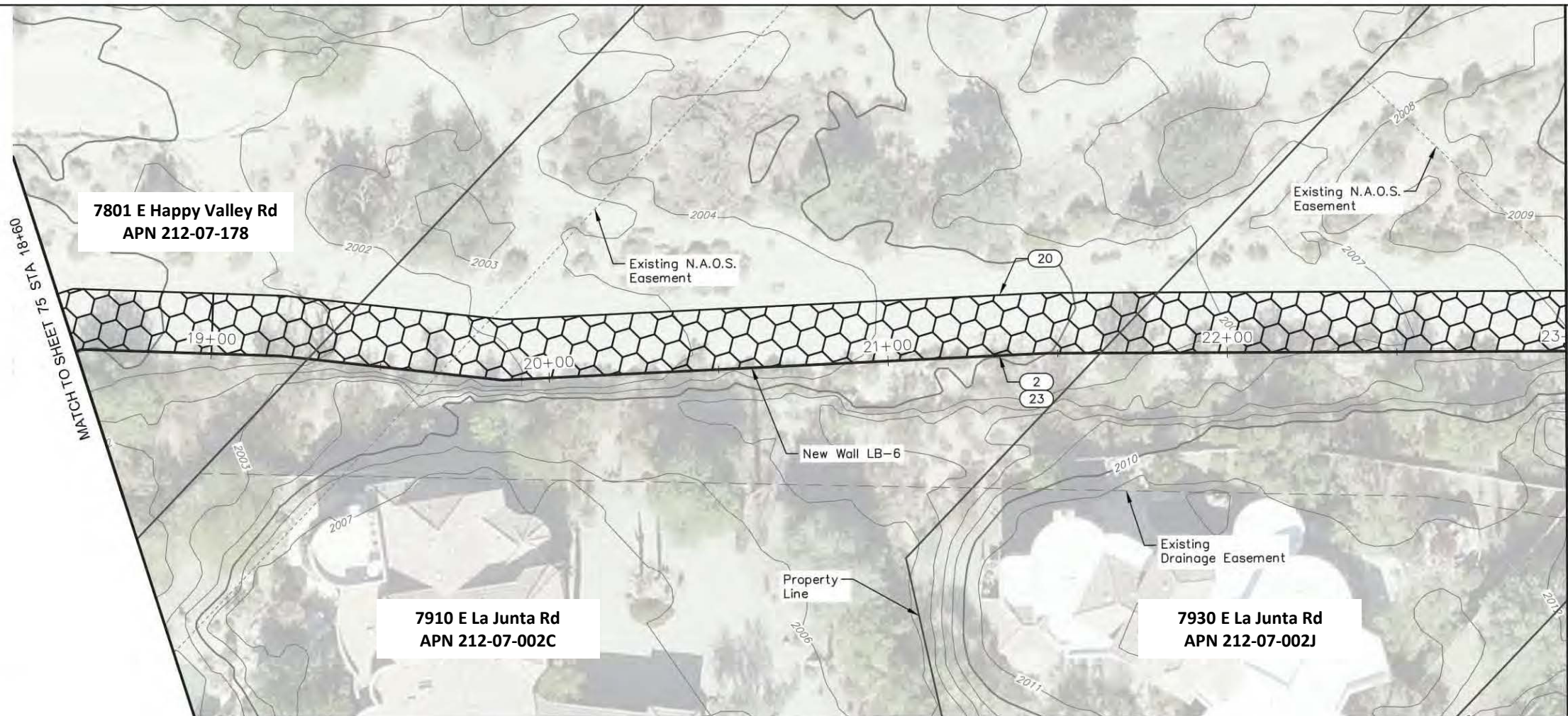
	BY	DATE
DESIGNED	WSO/ROL/BJD/CGC	3/08/2021
DRAWN	CGC/BJD	3/08/2021
CHECKED	WSO/ROL	3/08/2021

PRELIMINARY NOT FOR CONSTRUCTION

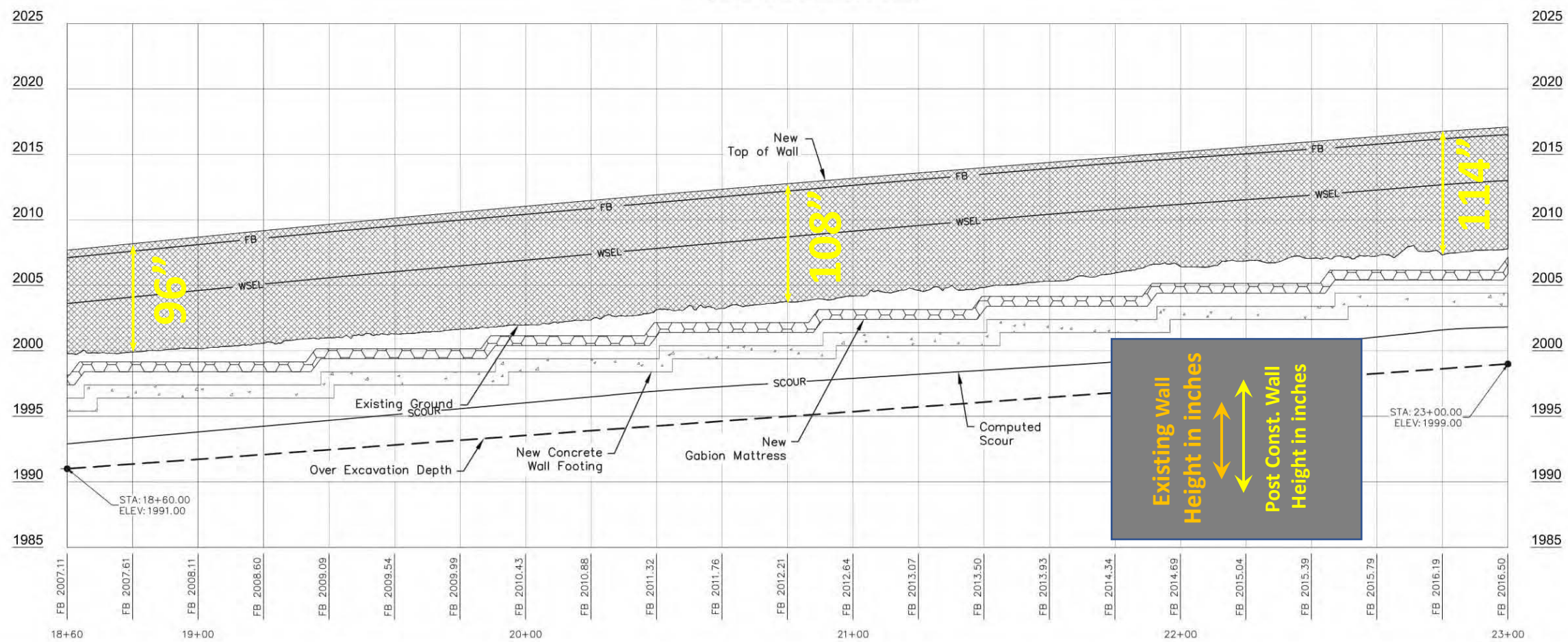
**JE FULLER**  
 8400 S.KYRENE STE. 201  
 TEMPE, AZ 85284  
 (480) 222-5701

DRAWING NO. PP-E17 EAST PLAN AND PROFILE SHEET OF 75 95



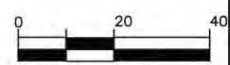


NEW WALL LB-6 - PLAN



REMOVE		UNIT	QTY
RELOCATE		UNIT	QTY
CONSTRUCT		UNIT	QTY
2	NEW CMU BLOCK FLOODWALL PER DWG S-03	SF	5107
20	GABION MATTRESS (12" THICK) PER DTL 1, DWG DET-01	CY	298
23	OVER-EXCAVATE, BACKFILL, AND COMPACT FOOTER SUBGRADE PER DTL 13, DWG DET-03	CY	404

THE AERIAL IMAGERY SHOWN IS FOR GRAPHICAL PURPOSES ONLY, AND MAY NOT COINCIDE WITH ACTUAL SURVEYED DATA, DESIGN ELEMENTS, GEOMETRY, AND LINE WORK LOCATIONS REFERENCE SURVEY DATA.

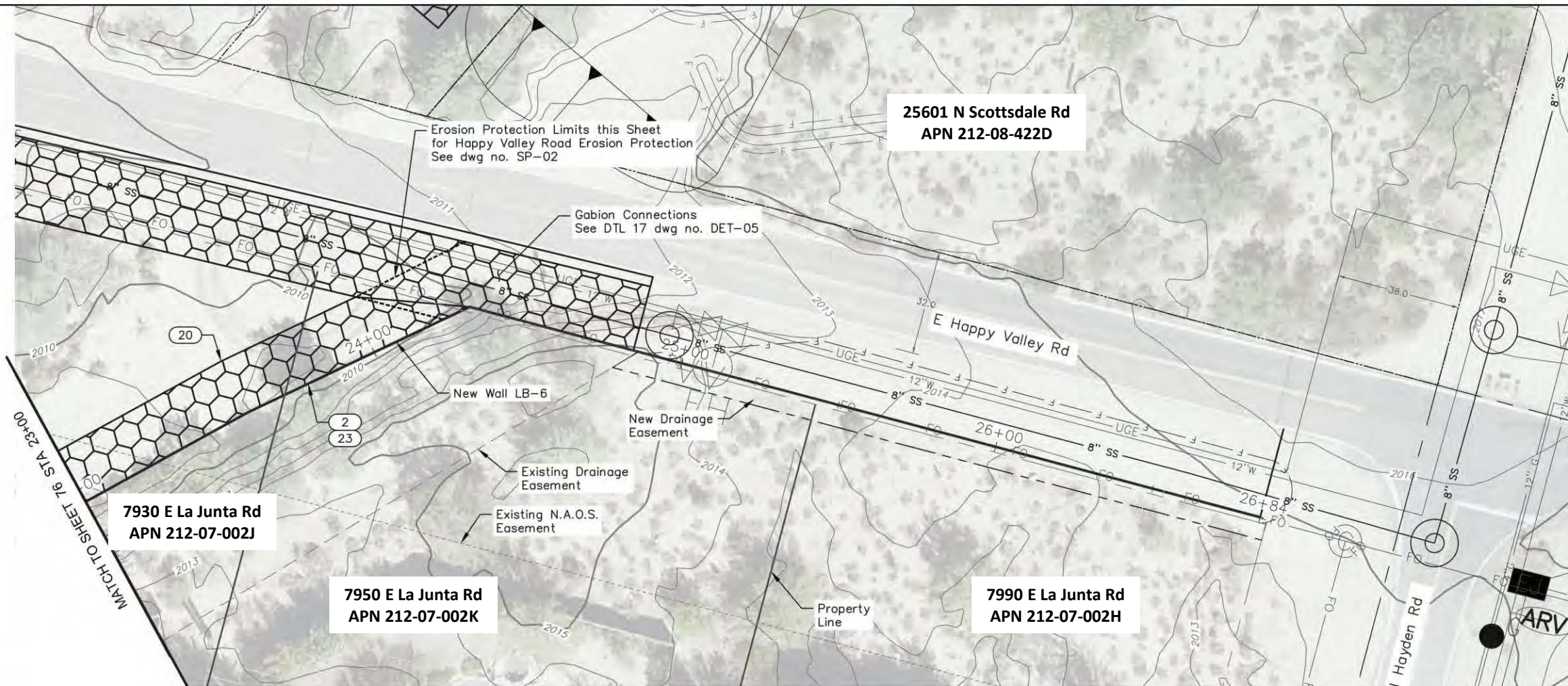


NO.	REVISION	BY	DATE
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FLOOD CONTROL DISTRICT OF MARICOPA COUNTY

RAWHIDE WASH FLOOD HAZARD MITIGATION  
FCD2018C015 - PCN 122.01.30

DESIGNED	BY		DATE
	CGC/BJD	WSO/ROL/BJD/CGC	3/08/2021
CHECKED	WSO/ROL		3/08/2021
			SHEET OF
8400 S. KYRENE STE. 201 TEMPE, AZ 85284 (480) 222-5701			76 95



7930 E La Junta Rd  
APN 212-07-002J

7950 E La Junta Rd  
APN 212-07-002K

25601 N Scottsdale Rd  
APN 212-08-422D

7990 E La Junta Rd  
APN 212-07-002H

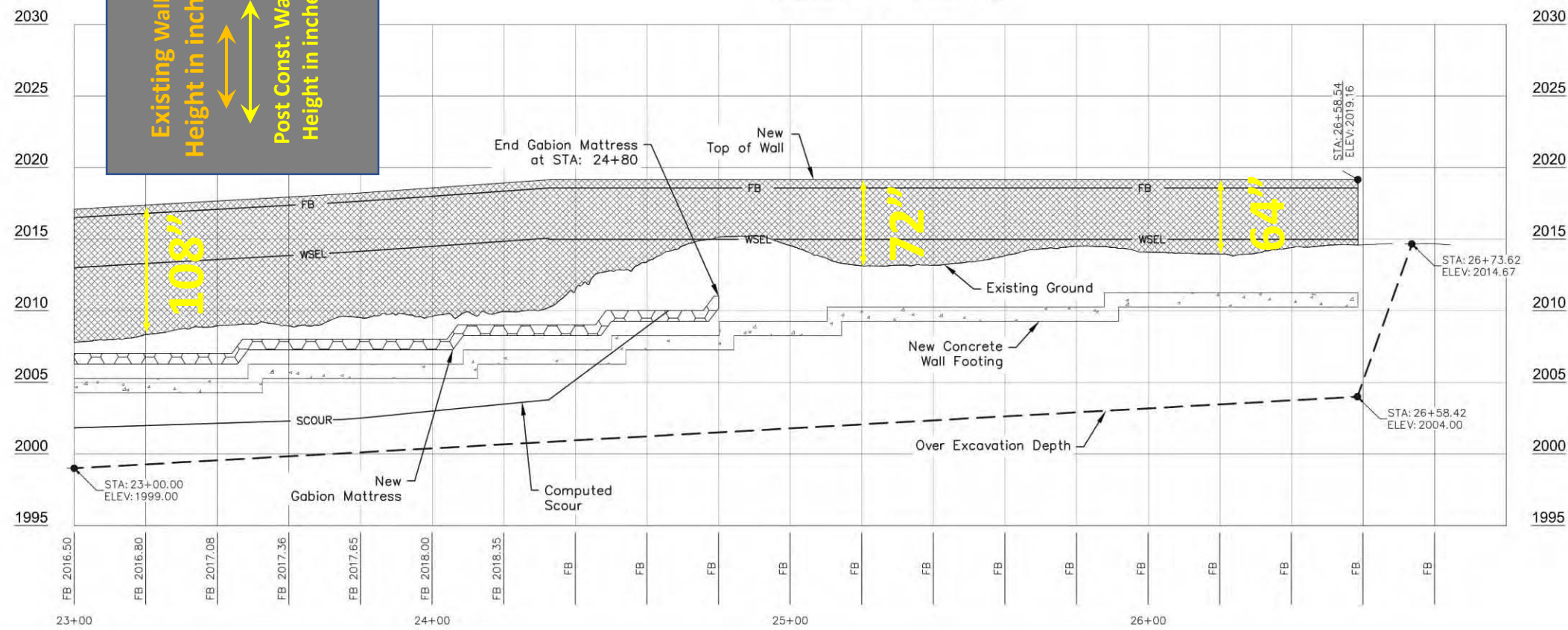
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<input type="checkbox"/> REMOVE		
<input type="checkbox"/> RELOCATE		
<input type="checkbox"/> CONSTRUCT		
2 NEW CMU BLOCK FLOODWALL PER DWG S-03	SF	3665
20 GABION MATTRESS (12" THICK) PER DTL 1, DWG DET-01	CY	120
23 OVER-EXCAVATE, BACKFILL, AND COMPACT FOOTER SUBGRADE PER DTL 13, DWG DET-03	CY	358

THE AERIAL IMAGERY SHOWN IS FOR GRAPHICAL PURPOSES ONLY, AND MAY NOT COINCIDE WITH ACTUAL SURVEYED DATA. DESIGN ELEMENTS, GEOMETRY, AND LINE WORK LOCATIONS REFERENCE SURVEY DATA.

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ARIZONA811  
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NEW WALL LB-6 - PLAN



NO.	REVISION	BY	DATE
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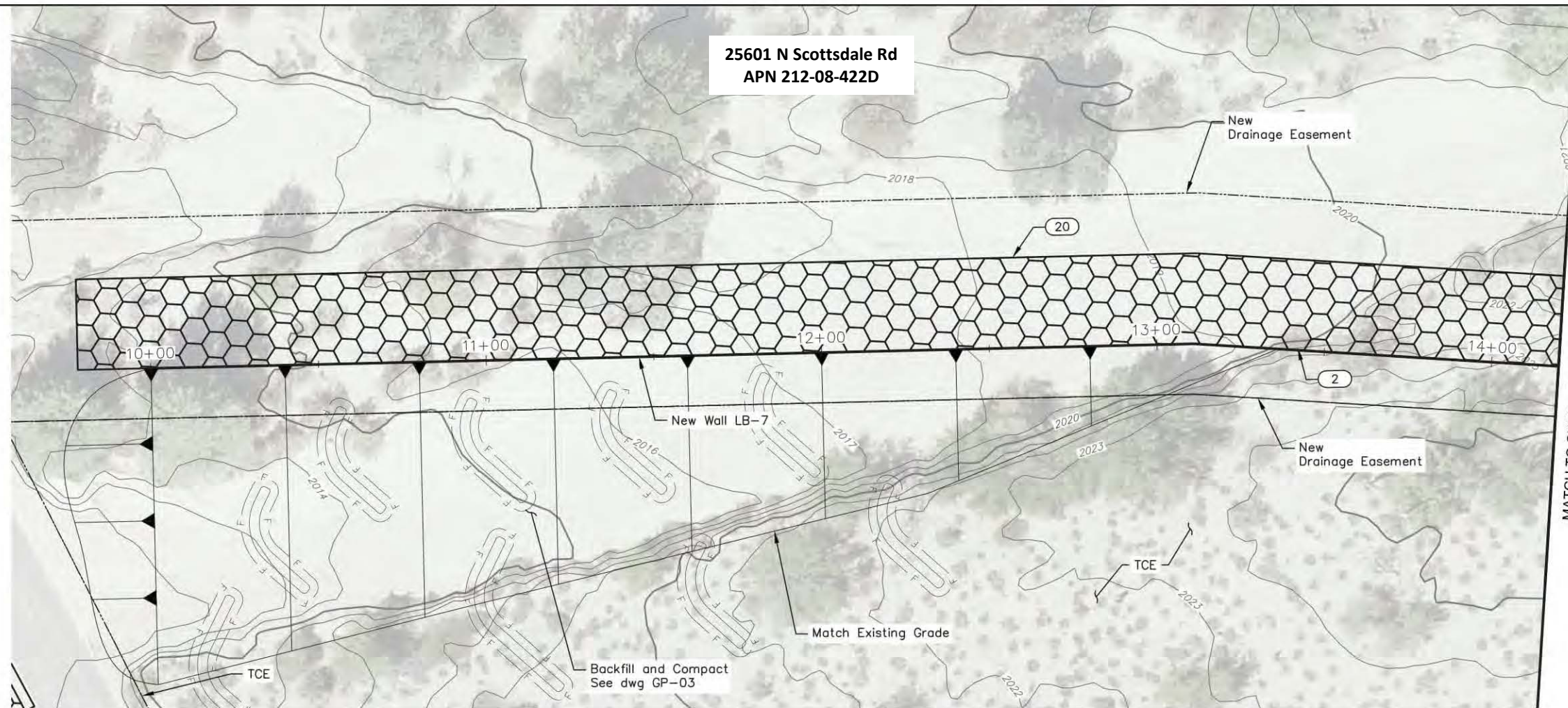
FLOOD CONTROL DISTRICT OF MARICOPA COUNTY

RAWHIDE WASH FLOOD HAZARD MITIGATION  
FCD2018C015 - PCN 122.01.30

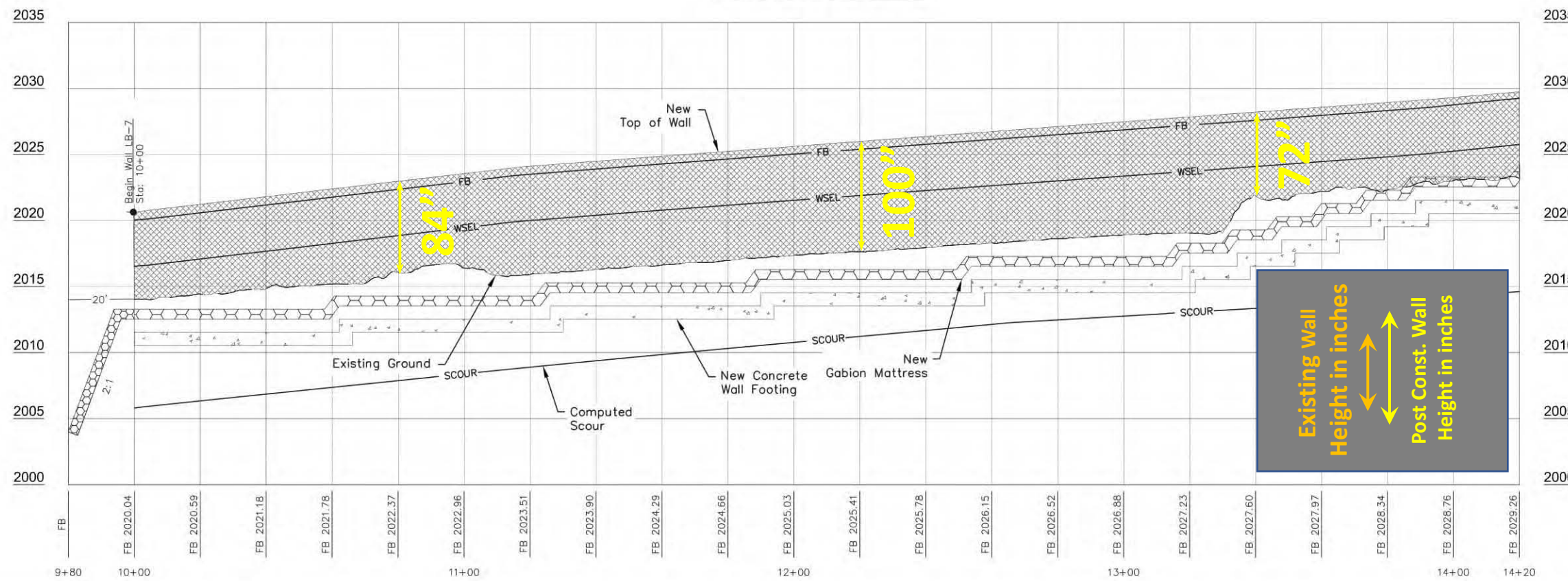
	BY	DATE
DESIGNED	WSO/ROL/BJD/CGC	3/08/2021
DRAWN	CGC/BJD	3/08/2021
CHECKED	WSO/ROL	3/08/2021

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TEMPE, AZ 85284  
(480) 222-5701

DRAWING NO. PP-E19 EAST PLAN AND PROFILE SHEET 77 OF 95



NEW WALL LB-7 - PLAN



REMOVE	UNIT	QTY
RELOCATE	UNIT	QTY
CONSTRUCT	UNIT	QTY
2 NEW CMU BLOCK FLOODWALL PER DWG S-03	SF	4358
20 GABION MATTRESS (12" THICK) PER DTL 1, DWG DET-01	CY	315

THE AERIAL IMAGERY SHOWN IS FOR GRAPHICAL PURPOSES ONLY, AND MAY NOT COINCIDE WITH ACTUAL SURVEYED DATA. DESIGN ELEMENTS, GEOMETRY, AND LINE WORK LOCATIONS REFERENCE SURVEY DATA.

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Contact Arizona 811 at least two full working days before you begin excavation

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NO.	REVISION	BY	DATE
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FLOOD CONTROL DISTRICT OF MARICOPA COUNTY

RAWHIDE WASH FLOOD HAZARD MITIGATION  
FCD2018C015 - PCN 122.01.30

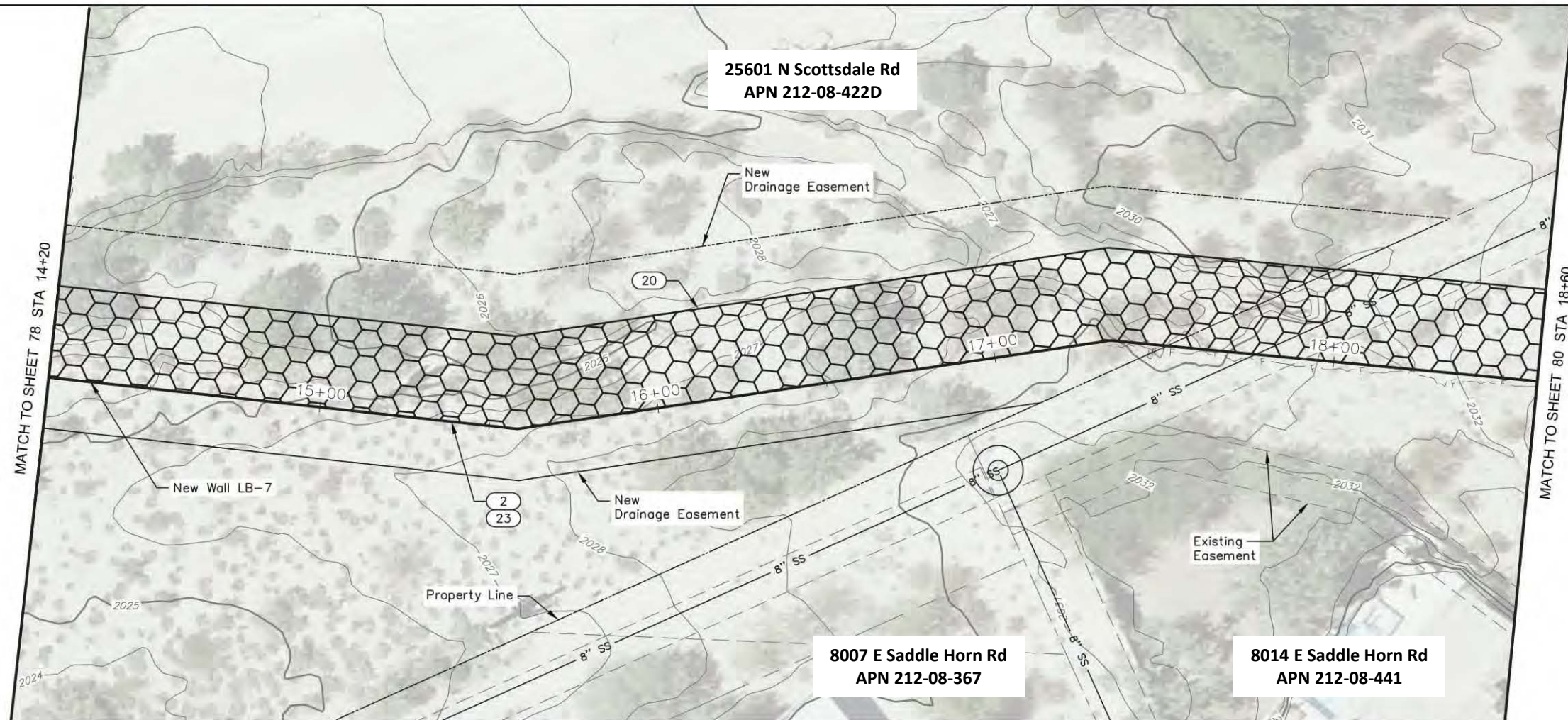
	BY	DATE
DESIGNED	WSO/ROL/BJD/CGC	3/08/2021
DRAWN	CGC/BJD	3/08/2021
CHECKED	WSO/ROL	3/08/2021

PRELIMINARY NOT FOR CONSTRUCTION

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TEMPE, AZ 85284  
(480) 222-5701

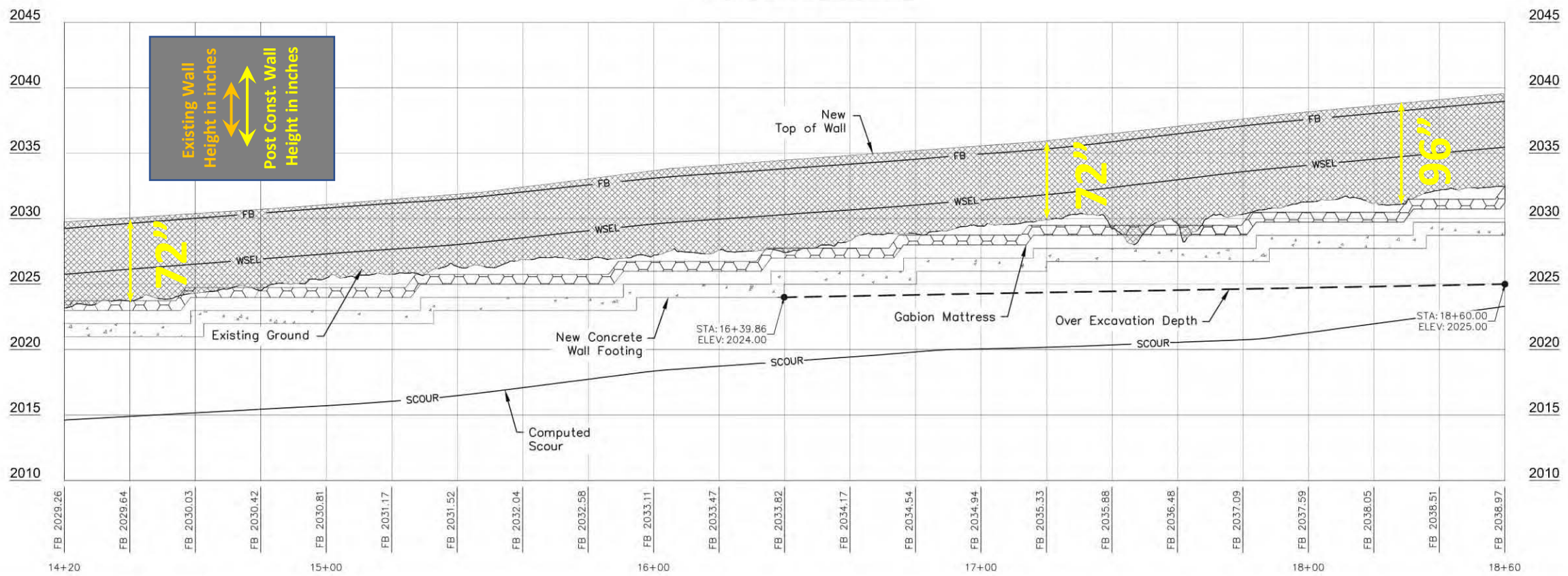
DRAWING NO. PP-E20 EAST PLAN AND PROFILE

SHEET OF 78 95



		UNIT	QTY
REMOVE			
RELOCATE			
CONSTRUCT			
2	NEW CMU BLOCK FLOODWALL PER DWG S-03	SF	4044
20	GABION MATTRESS (12" THICK) PER DTL 1, DWG DET-01	CY	440
23	OVER-EXCAVATE, BACKFILL, AND COMPACT FOOTER SUBGRADE PER DTL 13, DWG DET-03	CY	89

NEW WALL LB-7 - PLAN



THE AERIAL IMAGERY SHOWN IS FOR GRAPHICAL PURPOSES ONLY, AND MAY NOT COINCIDE WITH ACTUAL SURVEYED DATA, DESIGN ELEMENTS, GEOMETRY, AND LINE WORK LOCATIONS REFERENCE SURVEY DATA.

0 20 40

Contact Arizona 811 at least two full working days before you begin excavation  
**ARIZONA811**  
 Call 811 or click Arizona811.com

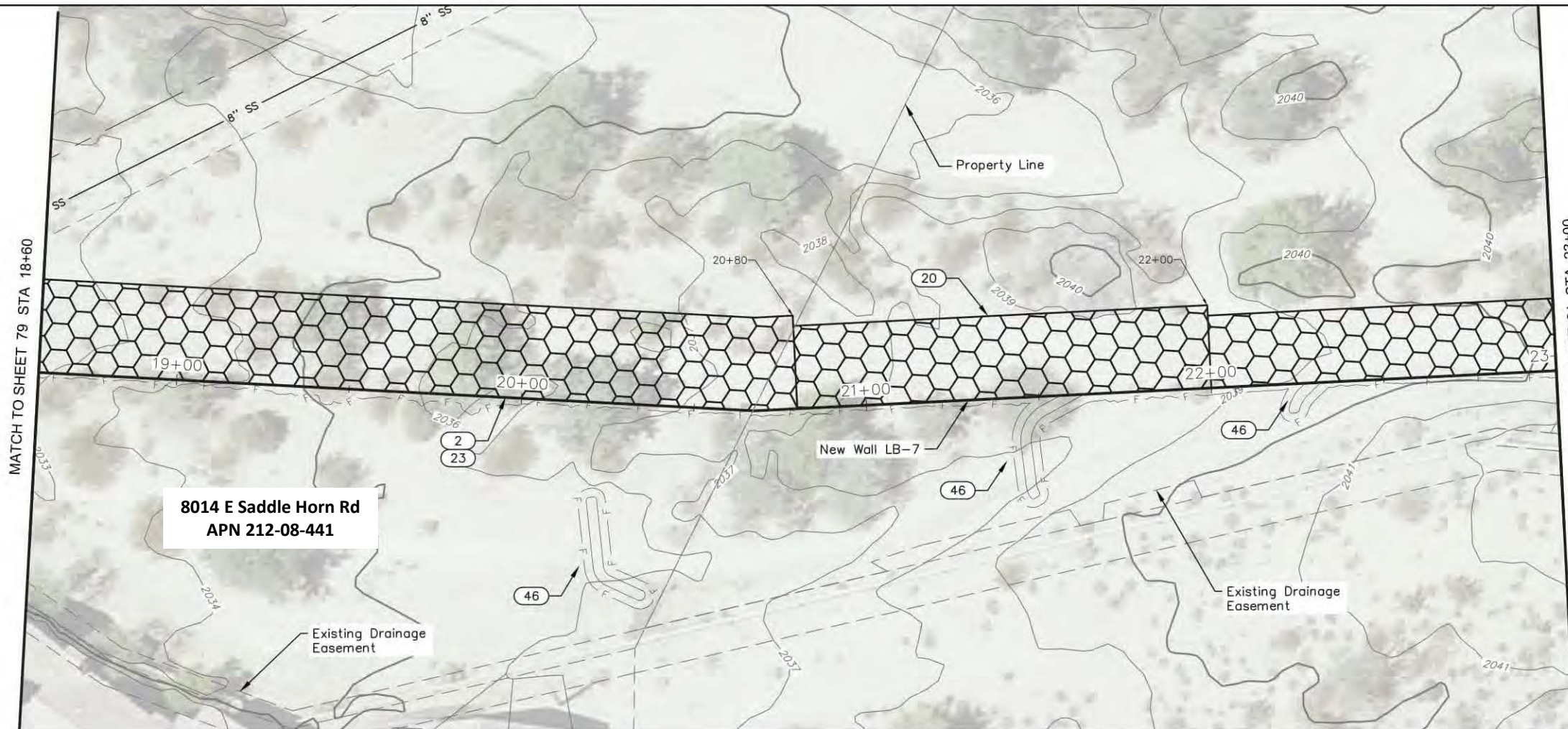
NO.	REVISION	BY	DATE
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**FLOOD CONTROL DISTRICT OF MARICOPA COUNTY**  
 RAWHIDE WASH FLOOD HAZARD MITIGATION  
 FCD2018C015 - PCN 122.01.30

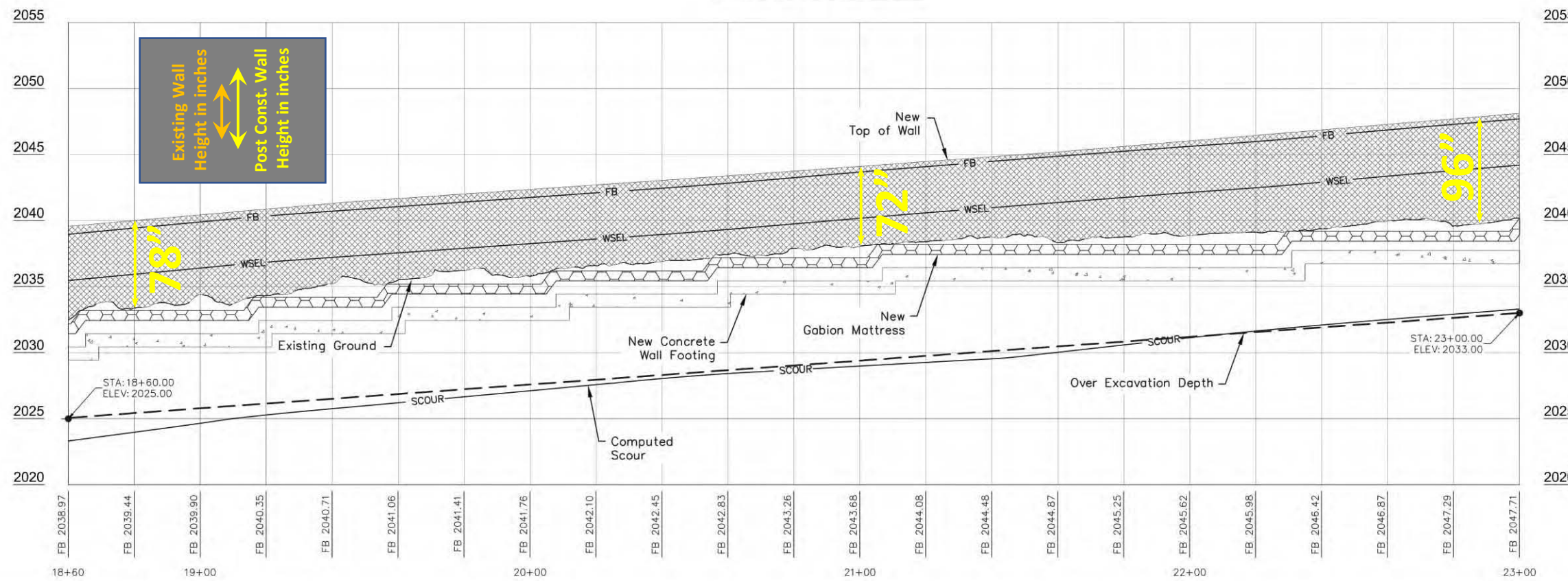
	DESIGNED	BY	DATE
PRELIMINARY NOT FOR CONSTRUCTION	WSO/ROL/BJD/CGC	WSO/ROL/BJD/CGC	3/08/2021
	CGC/BJD	CGC/BJD	3/08/2021
	WSO/ROL	WSO/ROL	3/08/2021

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DRAWING NO. PP-E21 EAST PLAN AND PROFILE SHEET OF 79 95


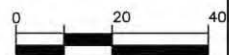



NEW WALL LB-7 - PLAN



REMOVE		UNIT	QTY
RELOCATE		UNIT	QTY
CONSTRUCT		UNIT	QTY
2	NEW CMU BLOCK FLOODWALL PER DWG S-03	SF	4096
20	GABION MATTRESS (12" THICK) PER DTL 1, DWG DET-01	CY	405
46	AGGREGATE BERM PER DTL 11, DWG DET-03	CY	10
23	OVER-EXCAVATE, BACKFILL, AND COMPACT FOOTER SUBGRADE PER DTL 13, DWG DET-03	CY	398


THE AERIAL IMAGERY SHOWN IS FOR GRAPHICAL PURPOSES ONLY, AND MAY NOT COINCIDE WITH ACTUAL SURVEYED DATA. DESIGN ELEMENTS, GEOMETRY, AND LINE WORK LOCATIONS REFERENCE SURVEY DATA.



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**FLOOD CONTROL DISTRICT OF MARICOPA COUNTY**

RAWHIDE WASH FLOOD HAZARD MITIGATION  
FCD2018C015 - PCN 122.01.30

	BY	DATE
DESIGNED	WSO/ROL/BJD/CGC	3/08/2021
DRAWN	CGC/BJD	3/08/2021
CHECKED	WSO/ROL	3/08/2021

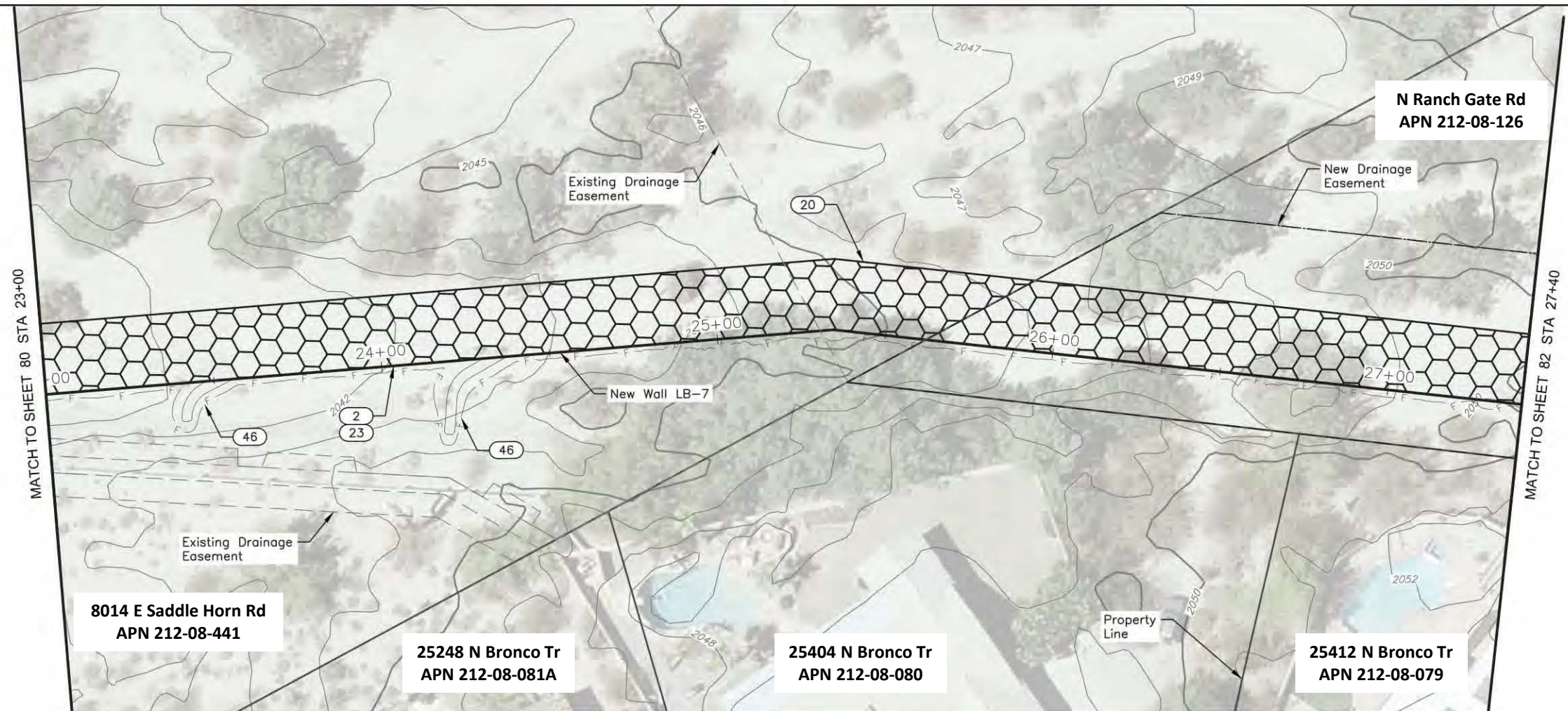


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STE. 201  
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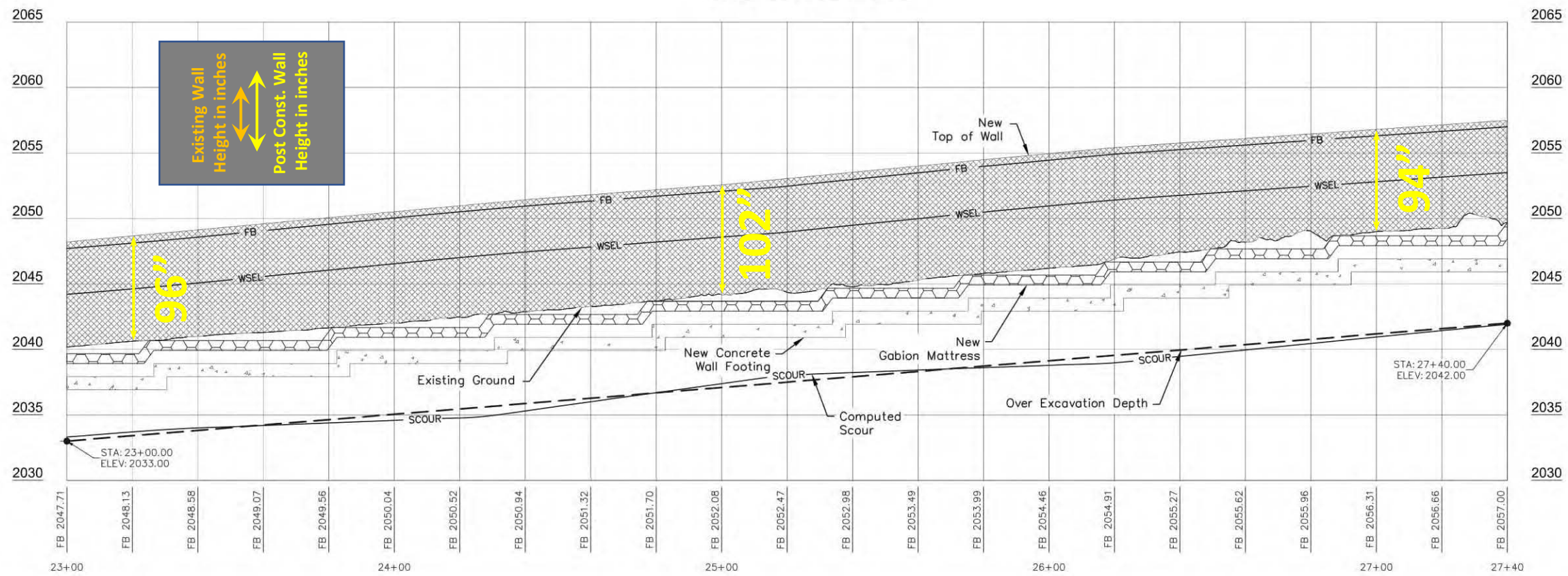
PRELIMINARY NOT FOR CONSTRUCTION

DRAWING NO. PP-E22 EAST PLAN AND PROFILE

SHEET OF 80 95



NEW WALL LB-7 - PLAN



	UNIT	QTY
<input type="checkbox"/> REMOVE		
<input type="checkbox"/> RELOCATE		
<input checked="" type="checkbox"/> CONSTRUCT		
2 NEW CMU BLOCK FLOODWALL PER DWG S-03	SF	4764
20 GABION MATTRESS (12" THICK) PER DTL 1, DWG DET-01	CY	343
45 AGGREGATE BERM PER DTL 12, DWG DET-03	CY	6
23 OVER-EXCAVATE, BACKFILL, AND COMPACT FOOTER SUBGRADE PER DTL 13, DWG DET-03	CY	354

THE AERIAL IMAGERY SHOWN IS FOR GRAPHICAL PURPOSES ONLY, AND MAY NOT COINCIDE WITH ACTUAL SURVEYED DATA, DESIGN ELEMENTS, GEOMETRY, AND LINE WORK LOCATIONS REFERENCE SURVEY DATA.

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NO.	REVISION	BY	DATE
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**FLOOD CONTROL DISTRICT OF MARICOPA COUNTY**

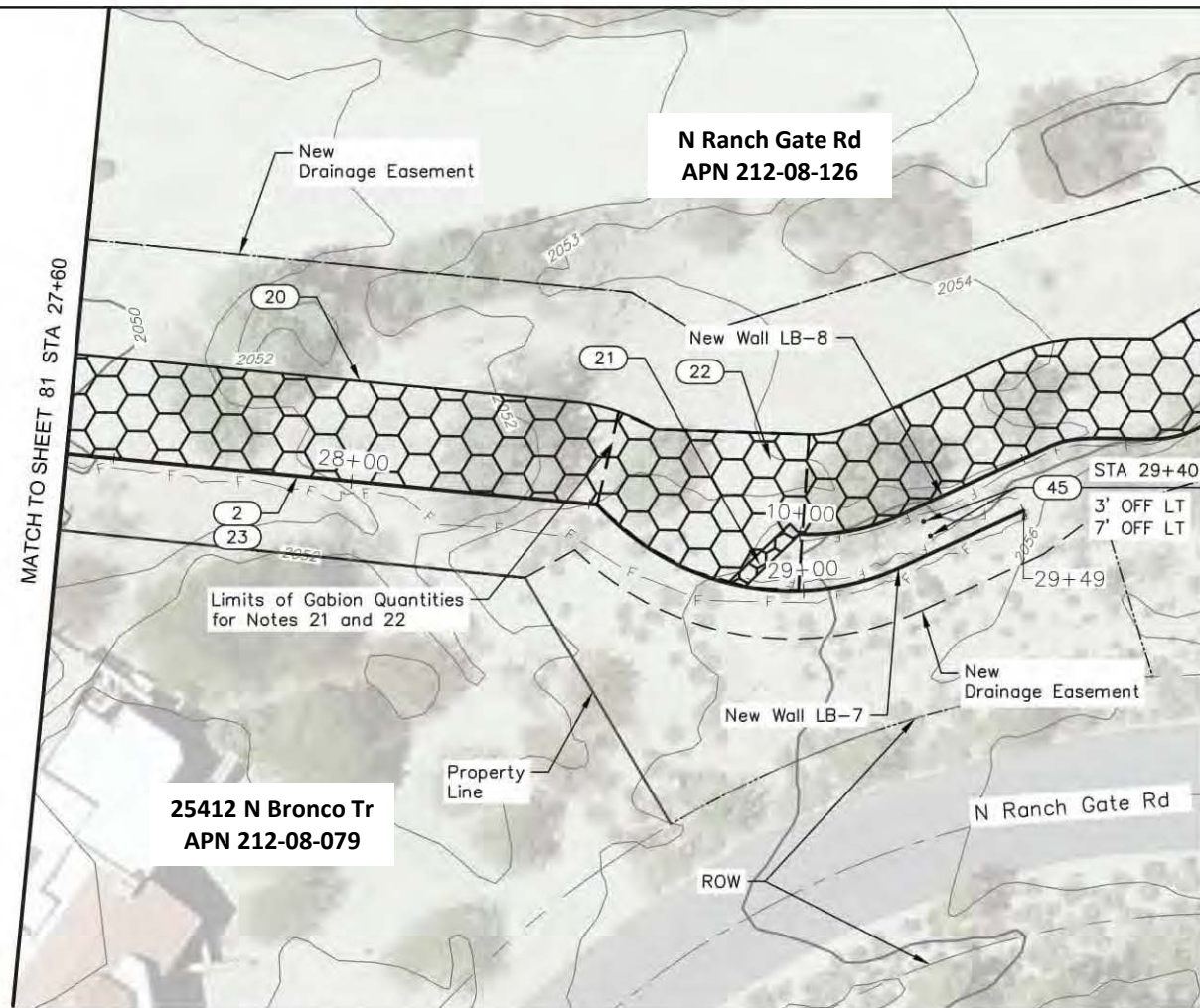
RAWHIDE WASH FLOOD HAZARD MITIGATION  
FCD2018C015 - PCN 122.01.30

	BY	DATE
DESIGNED	WSO/ROL/BJD/CGC	3/08/2021
DRAWN	CGC/BJD	3/08/2021
CHECKED	WSO/ROL	3/08/2021

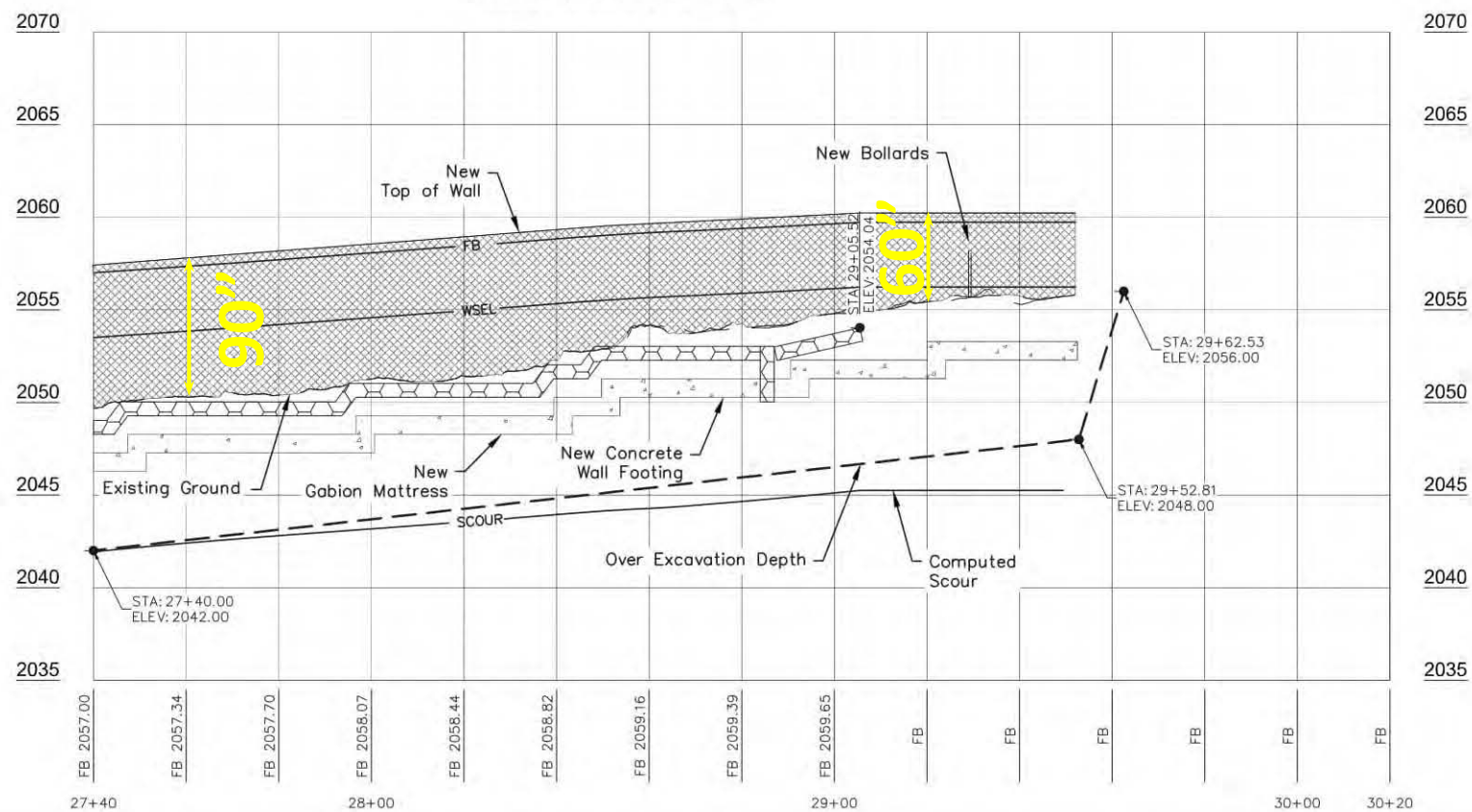
PRELIMINARY NOT FOR CONSTRUCTION

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TEMPE, AZ 85284  
(480) 222-5701

DRAWING NO. PP-E23 EAST PLAN AND PROFILE SHEET OF 81 95



NEW WALL LB-7 - PLAN



Existing Wall Height in inches

Post Const. Wall Height in inches

REMOVE		UNIT	QTY
RELOCATE		UNIT	QTY
CONSTRUCT		UNIT	QTY
2	NEW CMU BLOCK FLOODWALL PER DWG S-03	SF	1890
20	GABION MATTRESS (12" THICK) PER DTL 1, DET-01	CY	86
21	GABION BASKET (3'X3') PER DTL 4, DWG DET-02	CY	14
22	GABION MATTRESS (12" THICK) PER DTL 4, DWG DET-02	CY	48
46	REMOVABLE BOLLARD PER MAG STD DTL 140	EA	2
23	OVER-EXCAVATE, BACKFILL, AND COMPACT FOOTER SUBGRADE PER DTL 13, DWG DET-03	CY	525

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FLOOD CONTROL DISTRICT OF MARICOPA COUNTY

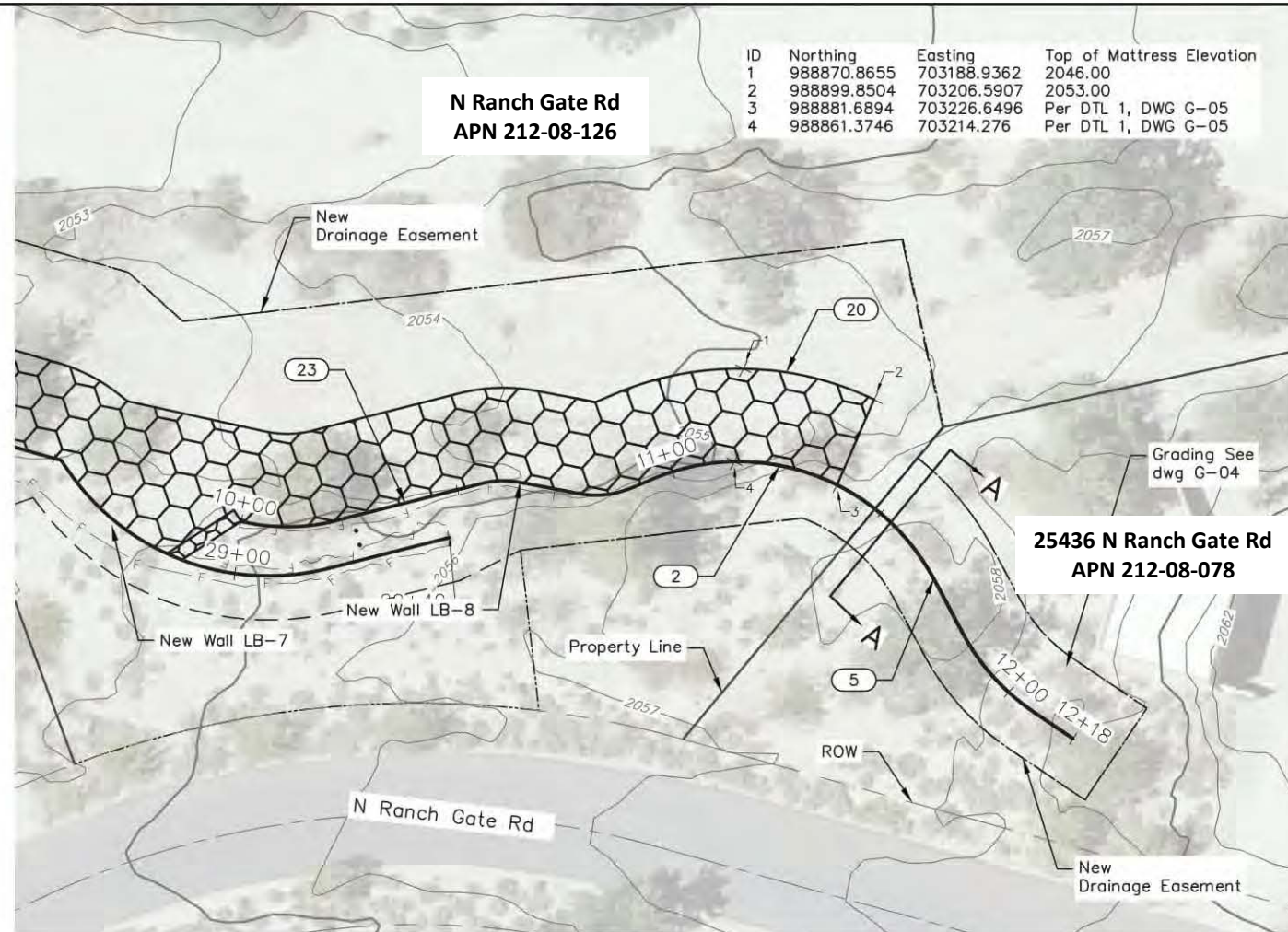
RAWHIDE WASH FLOOD HAZARD MITIGATION  
FCD2018C015 - PCN 122.01.30

	BY	DATE
DESIGNED	WSO/ROL/BJD/CGC	3/08/2021
DRAWN	CGC/BJD	3/08/2021
CHECKED	WSO/ROL	3/08/2021

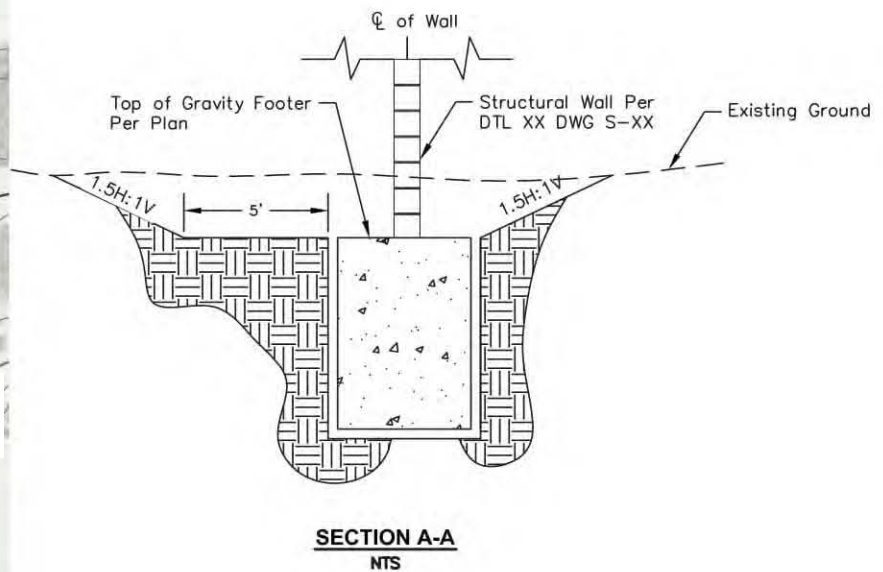
PRELIMINARY NOT FOR CONSTRUCTION

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(480) 222-5701

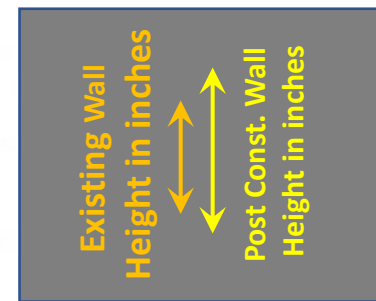
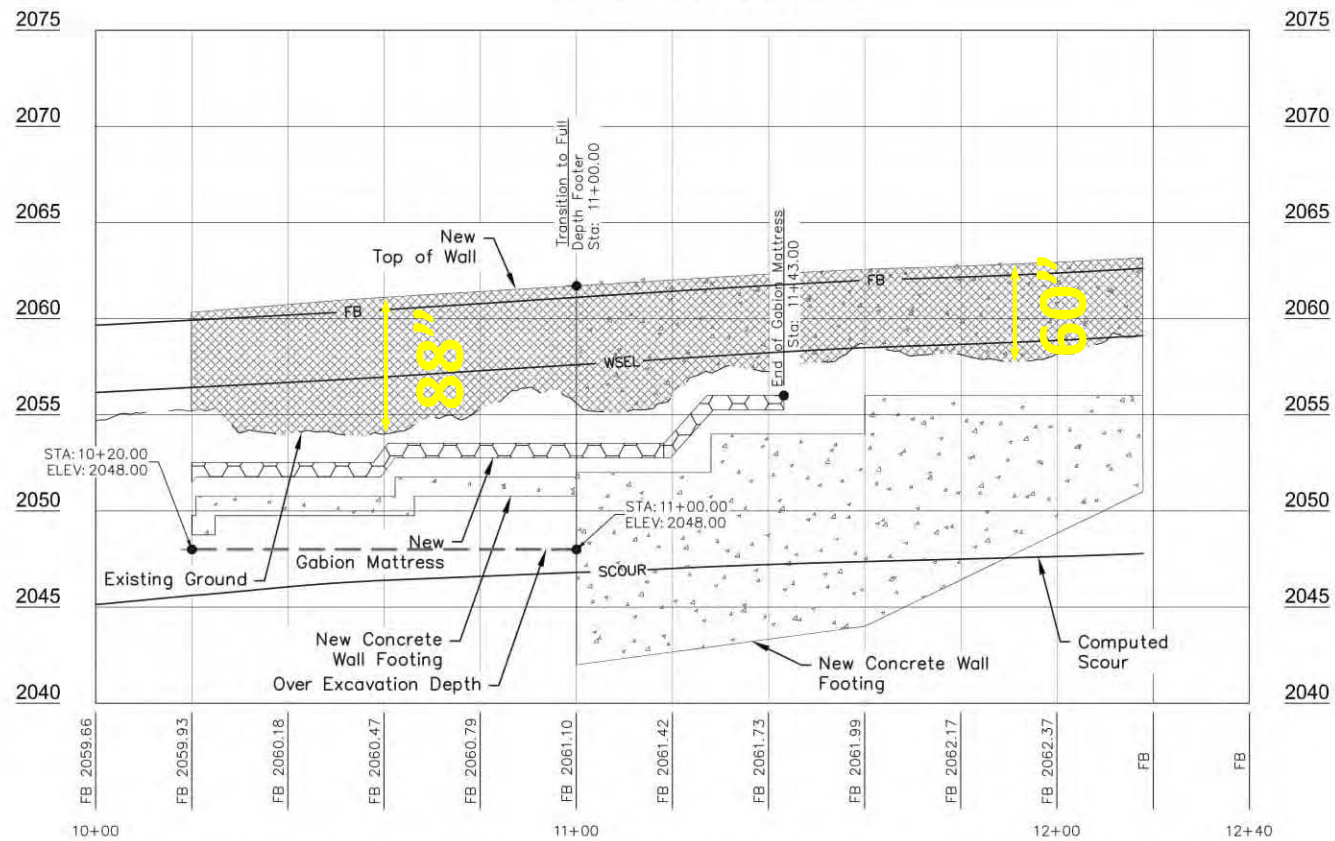
DRAWING NO. PP-E24 EAST PLAN AND PROFILE SHEET OF 82 95



ID	Northing	Easting	Top of Mattress Elevation
1	988870.8655	703188.9362	2046.00
2	988899.8504	703206.5907	2053.00
3	988881.6894	703226.6496	Per DTL 1, DWG G-05
4	988861.3746	703214.276	Per DTL 1, DWG G-05



**NEW WALL LB-8 - PLAN**



REMOVE		UNIT	QTY
RELOCATE		UNIT	QTY
CONSTRUCT		UNIT	QTY
2	NEW CMU BLOCK FLOODWALL PER DWG S-04	SF	1398
5	NEW CMU BLOCK FLOODWALL, WITH FULL DEPTH FOOTER PER DWG S-04	SF	904
20	GABION MATTRESS (12" THICK) PER DTL 1, DWG DET-01	CY	111
23	OVER-EXCAVATE, BACKFILL, AND COMPACT FOOTER SUBGRADE PER DTL 13, DWG DET-03	CY	21

THE AERIAL IMAGERY SHOWN IS FOR GRAPHICAL PURPOSES ONLY, AND MAY NOT COINCIDE WITH ACTUAL SURVEYED DATA, DESIGN ELEMENTS, GEOMETRY, AND LINE WORK LOCATIONS REFERENCE SURVEY DATA.

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FLOOD CONTROL DISTRICT OF MARICOPA COUNTY

RAWHIDE WASH FLOOD HAZARD MITIGATION  
FCD2018C015 - PCN 122.01.30

	BY	DATE
DESIGNED	WSO/ROL/BJD/CGC	3/08/2021
DRAWN	CGC/BJD	3/08/2021
CHECKED	WSO/ROL	3/08/2021

PRELIMINARY NOT FOR CONSTRUCTION

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DRAWING NO. PP-E25 EAST PLAN AND PROFILE SHEET OF 83 95

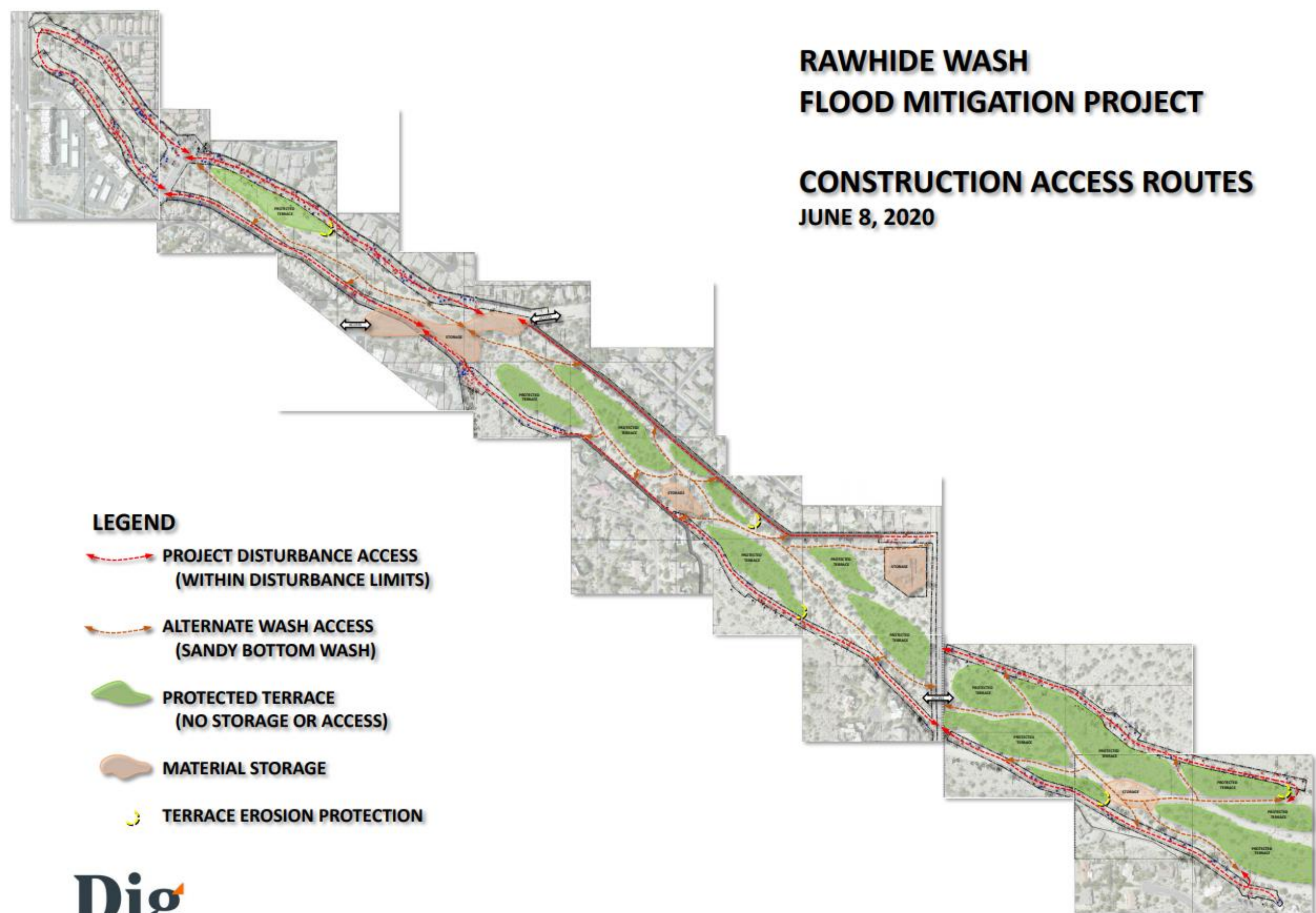


# RAWHIDE WASH FLOOD MITIGATION PROJECT

## CONSTRUCTION ACCESS ROUTES JUNE 8, 2020

### LEGEND

-  PROJECT DISTURBANCE ACCESS  
(WITHIN DISTURBANCE LIMITS)
-  ALTERNATE WASH ACCESS  
(SANDY BOTTOM WASH)
-  PROTECTED TERRACE  
(NO STORAGE OR ACCESS)
-  MATERIAL STORAGE
-  TERRACE EROSION PROTECTION



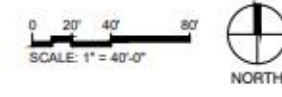
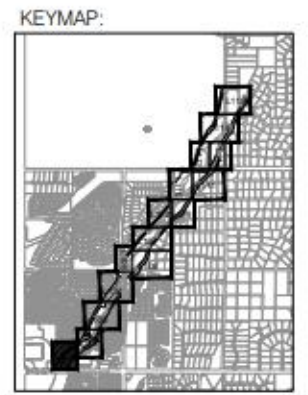


**LEGEND**

	PARCEL LINES
	UNDERGROUND ELECTRICAL
	STORM SEWER
	TV LINE
	WATER LINE
	EXISTING GABION MAT TO REMAIN IN PLACE
	NEW GABION MAT RE: CIVIL SHEETS

**DEMOLITION LEGEND**

	TREE TO BE REMOVED
	TREE TO BE SALVAGED
	TREE TO REMAIN IN PLACE - PROTECT IN PLACE
	CACTUS TO BE REMOVED
	CACTUS TO BE SALVAGED
	CACTUS TO REMAIN IN PLACE - PROTECT IN PLACE



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NO.	REVISION	BY	DATE
 <b>FLOOD CONTROL DISTRICT OF MARICOPA COUNTY ENGINEERING DIVISION</b>			
<b>RAWHIDE WASH FLOOD HAZARD MITIGATION</b> FINAL DESIGN - FCD2018C015 - WA#1 - PCN 122.01.30			
	DESIGNED	PW	06/19/2019
	DRAWN	PW, YY	07/01/2021
	CHECKED	JH	
DRAWING NO.	LANDSCAPE INVENTORY AND SALVAGE PLANS	SHEET OF	7 OF 22
LS101			

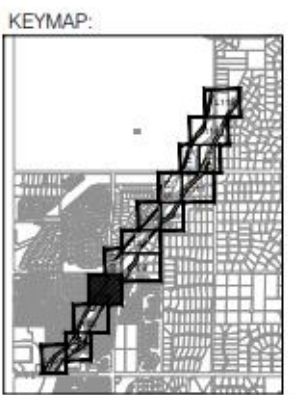


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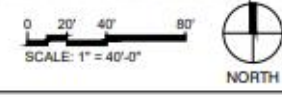
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	UNDERGROUND ELECTRICAL
	STORM SEWER
	TV LINE
	WATER LINE
	EXISTING GABION MAT TO REMAIN IN PLACE
	NEW GABION MAT RE: CIVIL SHEETS

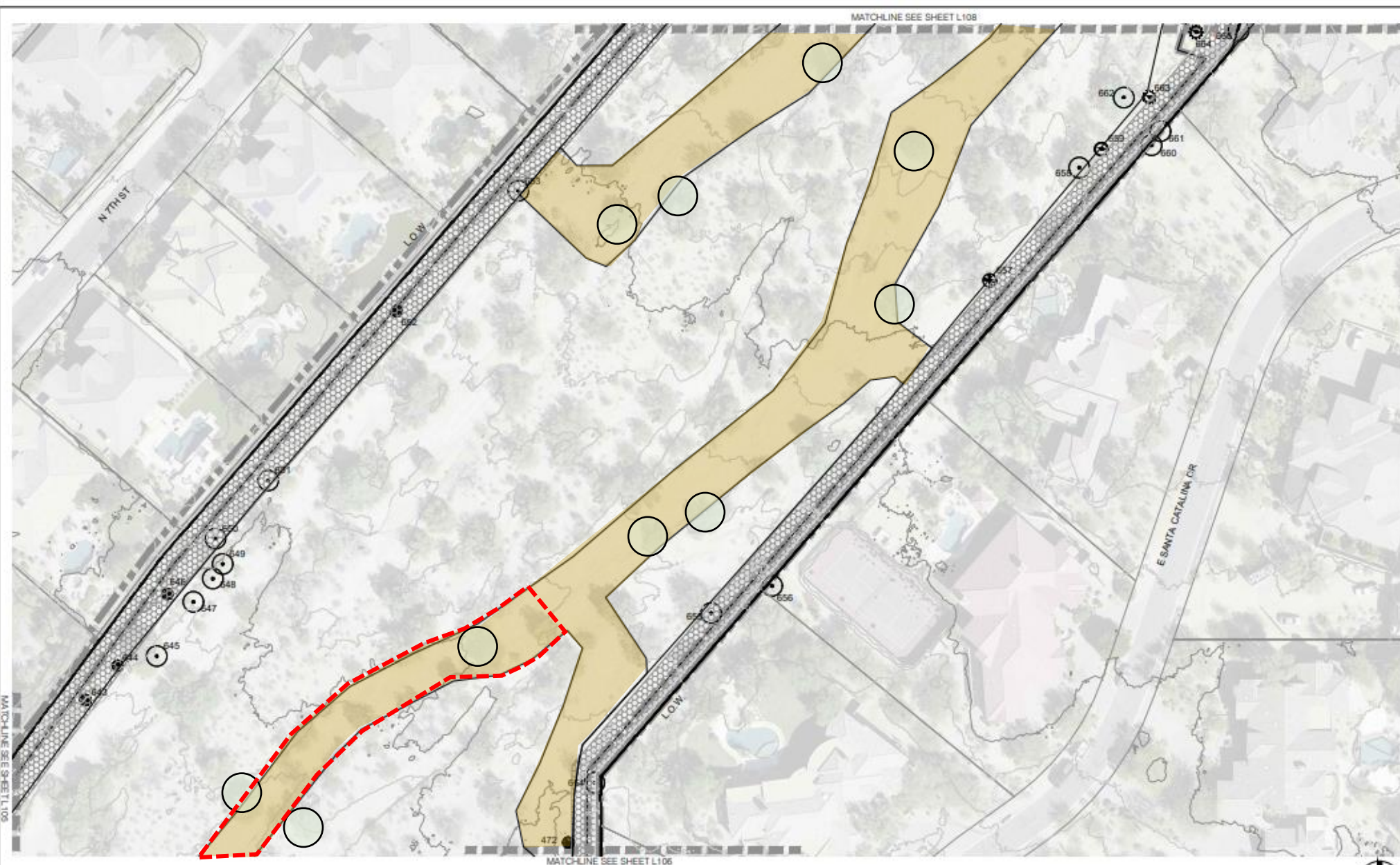
**DEMOLITION LEGEND**

	<u>TREE TO BE REMOVED</u>
	<u>TREE TO BE SALVAGED</u>
	<u>TREE TO REMAIN IN PLACE - PROTECT IN PLACE</u>
	<u>CACTUS TO BE REMOVED</u>
	<u>CACTUS TO BE SALVAGED</u>
	<u>CACTUS TO REMAIN IN PLACE - PROTECT IN PLACE</u>



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NO.	REVISION	BY	DATE
 <b>FLOOD CONTROL DISTRICT OF MARICOPA COUNTY ENGINEERING DIVISION</b>			
<b>RAWHIDE WASH FLOOD HAZARD MITIGATION</b> FINAL DESIGN - FCD2018C015 - WA#1 - PCN 122.01.30			
	DESIGNED	PW	06/19/2019
	DRAWN	PW, YY	07/01/2021
	CHECKED	JH	
		SHEET OF 10 OF 22	
DRAWING NO. LS104		LANDSCAPE INVENTORY AND SALVAGE PLANS	



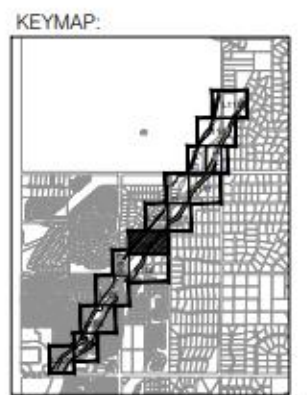


**LEGEND**

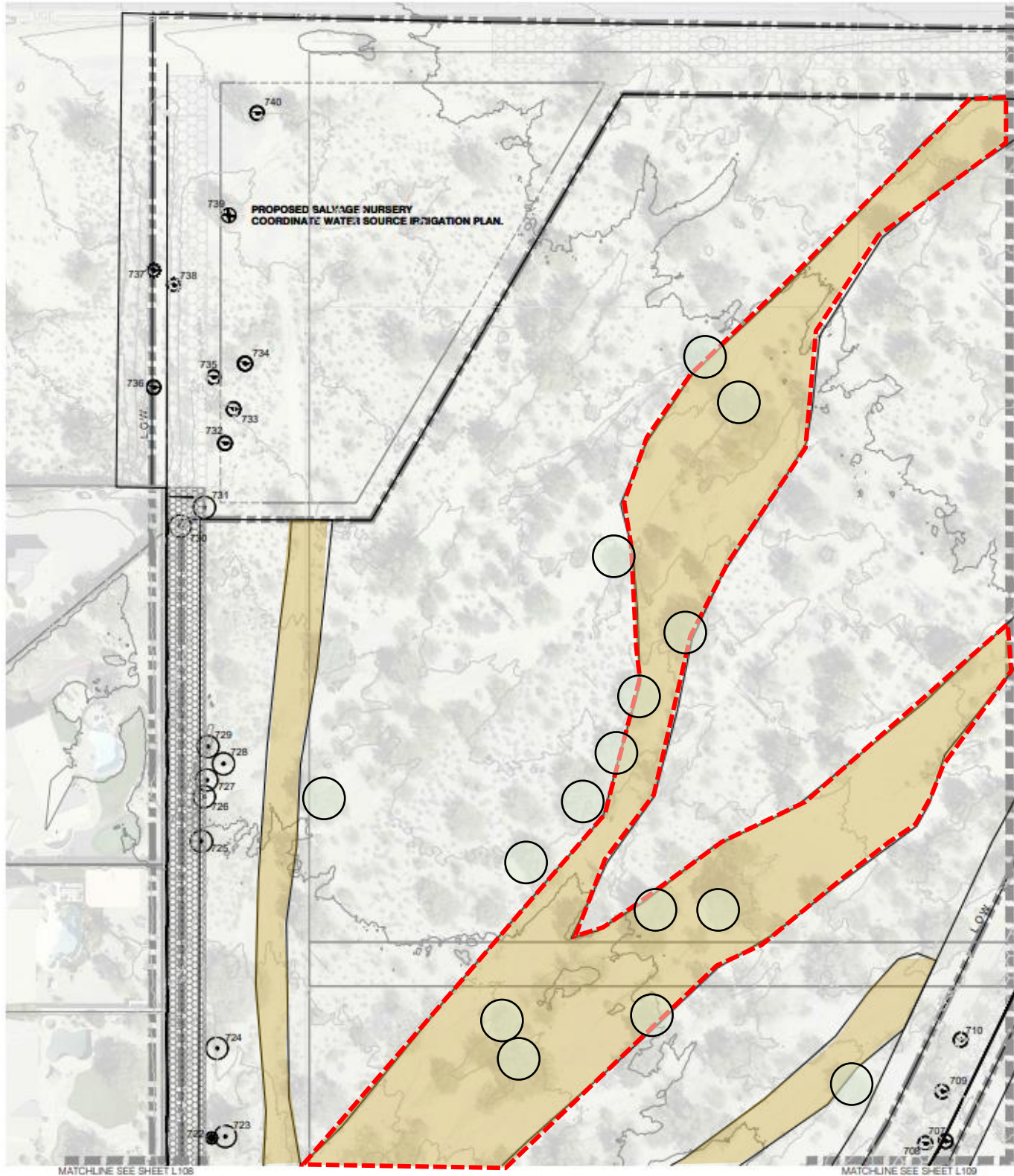
	PARCEL LINES
	UNDERGROUND ELECTRICAL
	STORM SEWER
	TELE
	TV LINE
	WATER LINE
	EXISTING GABION MAT TO REMAIN IN PLACE
	NEW GABION MAT RE: CIVIL SHEETS

**DEMOLITION LEGEND**

	TREE TO BE REMOVED
	TREE TO BE SALVAGED
	TREE TO REMAIN IN PLACE - PROTECT IN PLACE
	CACTUS TO BE REMOVED
	CACTUS TO BE SALVAGED
	CACTUS TO REMAIN IN PLACE - PROTECT IN PLACE



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NO.	REVISION	BY	DATE
 <b>FLOOD CONTROL DISTRICT OF MARICOPA COUNTY ENGINEERING DIVISION</b>			
<b>RAWHIDE WASH FLOOD HAZARD MITIGATION</b> FINAL DESIGN - FCD2018C015 - WA#1 - PCN 122.01.30			
	DESIGNED	PW	06/19/2019
	DRAWN	PW, YY	07/01/2021
	CHECKED	JH	
DRAWING NO.	LANDSCAPE INVENTORY AND SALVAGE PLANS		SHEET OF
LS107			13 OF 22

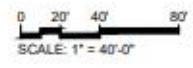
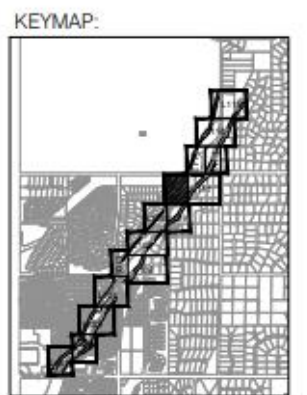


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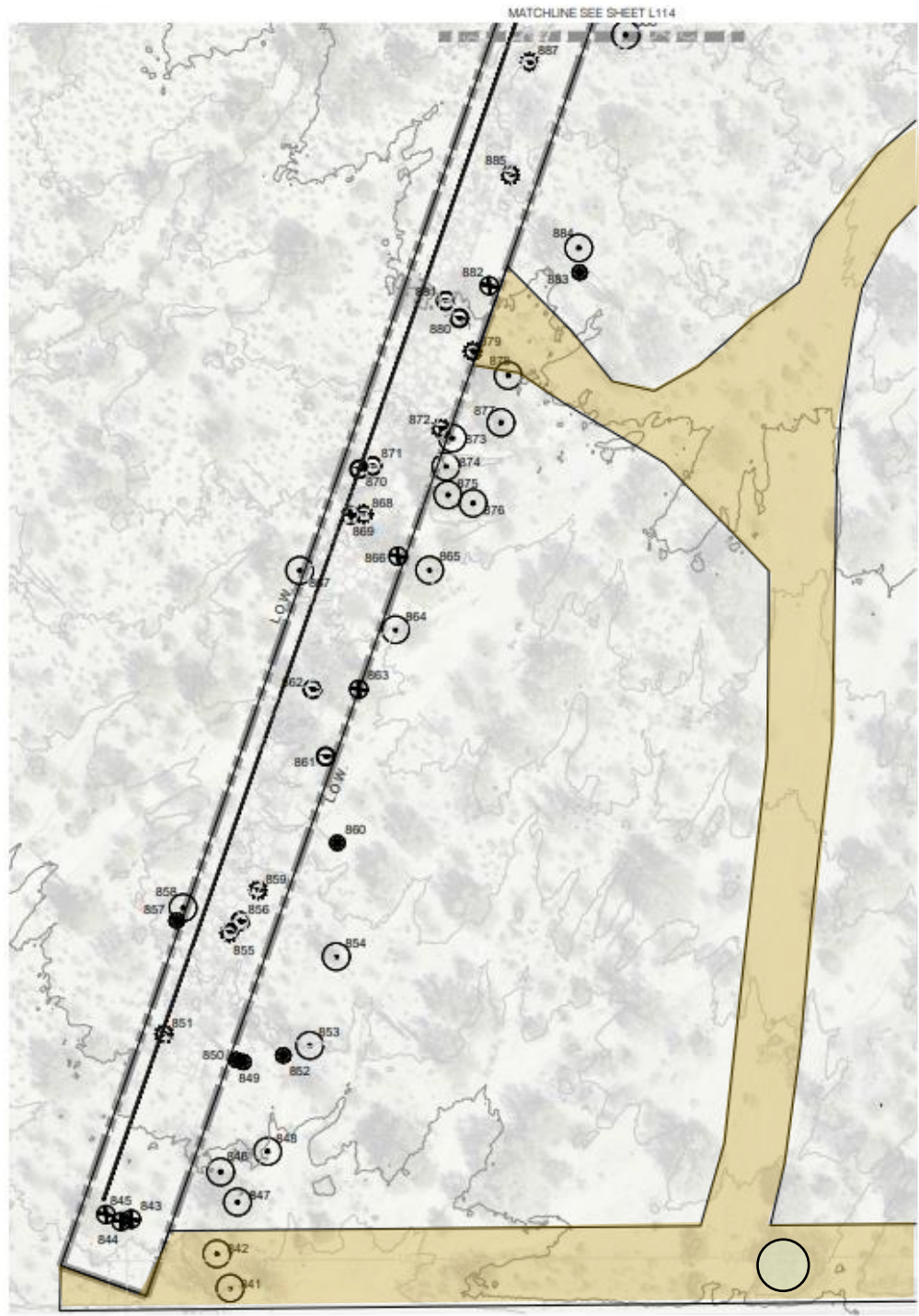
	PARCEL LINES
	UNDERGROUND ELECTRICAL
	STORM SEWER
	TV LINE
	WATER LINE
	EXISTING GABION MAT TO REMAIN IN PLACE
	NEW GABION MAT RE: CIVIL SHEETS

**DEMOLITION LEGEND**

	TREE TO BE REMOVED
	TREE TO BE SALVAGED
	TREE TO REMAIN IN PLACE - PROTECT IN PLACE
	CACTUS TO BE REMOVED
	CACTUS TO BE SALVAGED
	CACTUS TO REMAIN IN PLACE - PROTECT IN PLACE



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NO.	REVISION	BY	DATE
 <b>FLOOD CONTROL DISTRICT OF MARICOPA COUNTY ENGINEERING DIVISION</b>			
<b>RAWHIDE WASH FLOOD HAZARD MITIGATION</b> FINAL DESIGN - FCD2018C015 - WA#1 - PCN 122.01.30			
 EXP. 6/30/2023	DESIGNED	PW	06/19/2019
	DRAWN	PW, YY	07/01/2021
	CHECKED	JH	
DRAWING NO.	LANDSCAPE INVENTORY AND SALVAGE PLANS	SHEET OF	
LS110		16 OF 22	

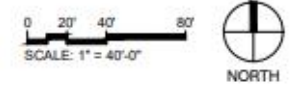


**LEGEND**

	PARCEL LINES
	UNDERGROUND ELECTRICAL
	STORM SEWER
	TV LINE
	WATER LINE
	EXISTING GABION MAT TO REMAIN IN PLACE
	NEW GABION MAT RE: CIVIL SHEETS

**DEMOLITION LEGEND**

	TREE TO BE REMOVED
	TREE TO BE SALVAGED
	TREE TO REMAIN IN PLACE - PROTECT IN PLACE
	CACTUS TO BE REMOVED
	CACTUS TO BE SALVAGED
	CACTUS TO REMAIN IN PLACE - PROTECT IN PLACE



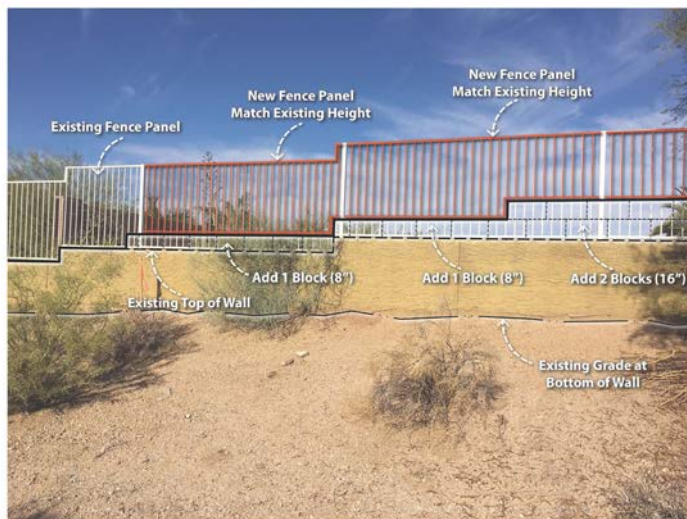
3			
2			
1			
NO.	REVISION	BY	DATE
 <b>FLOOD CONTROL DISTRICT OF MARICOPA COUNTY ENGINEERING DIVISION</b>			
<b>RAWHIDE WASH FLOOD HAZARD MITIGATION</b> FINAL DESIGN - FCD2018C015 - WA#1 - PCN 122.01.30			
	DESIGNED	PW	06/19/2019
	DRAWN	PW, YY	07/01/2021
	CHECKED	JH	
		SHEET OF 18 OF 22	
DRAWING NO. LS112		LANDSCAPE INVENTORY AND SALVAGE PLANS	

# RAWHIDE WASH FHMP | DRB Material Board

## Wall A Increase Wall Height



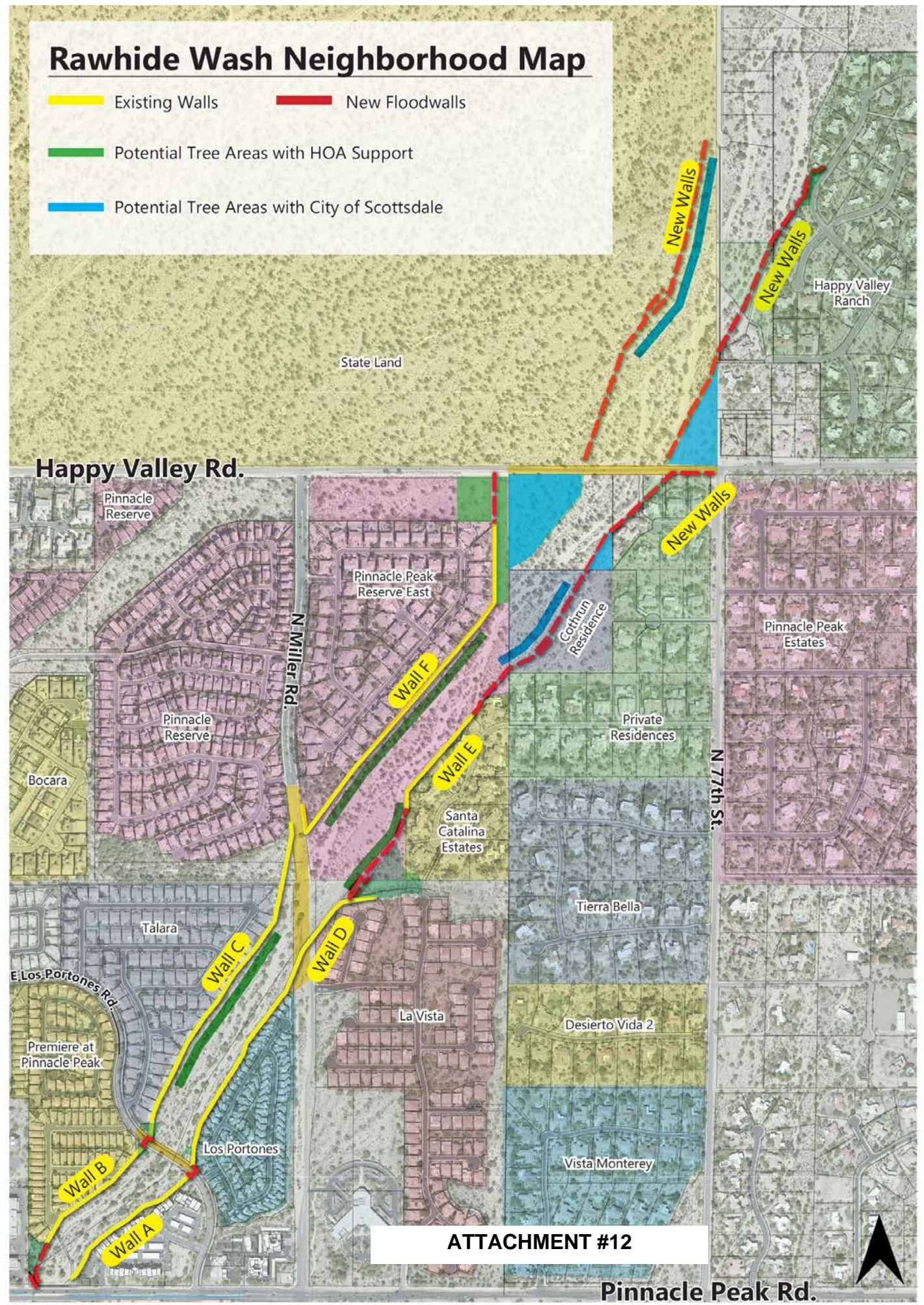
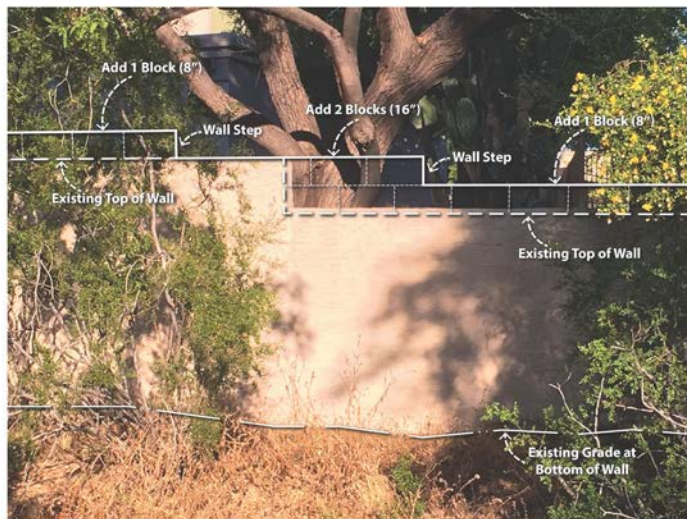
## Wall B - Wall F Increase Wall Height



## Wall C Increase Wall Height



## Wall D Increase Wall Height - Match Existing



# RAWHIDE WASH FHMP | DRB Material Board

## New Walls Slump Block with Mortar Wash Finish



Photos of existing walls



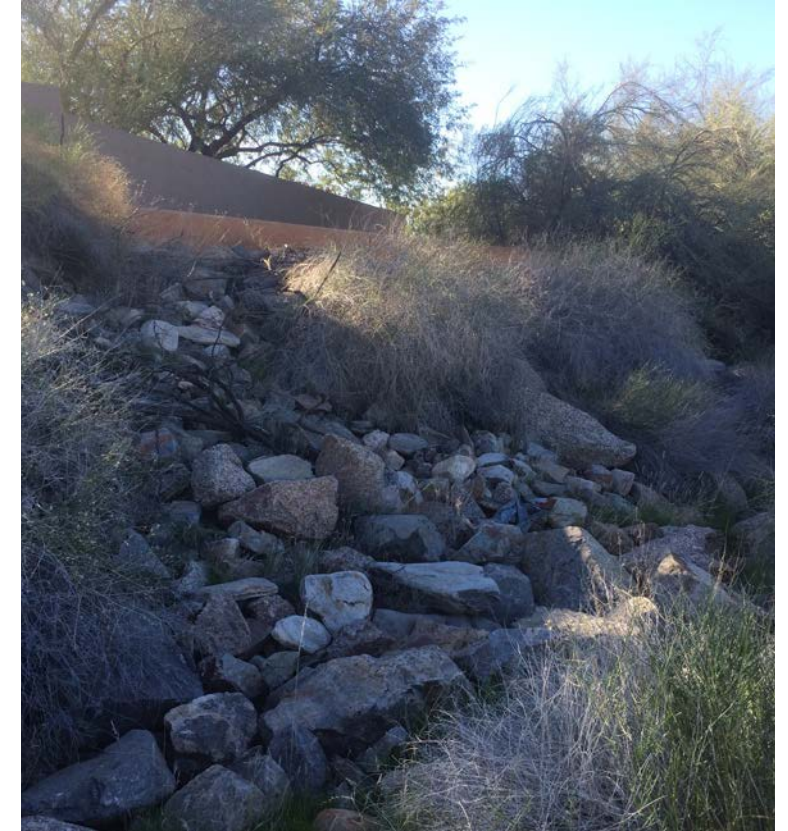
6" x 16" Slump Block  
Supplier : Superlite Block  
Color : Spanish Brown

Mortar and  
Wall Wash Finish  
Color: Match Concrete Block  
1 LB MC-54 / 78LBs



Raked joints, no mortar wash,  
specific to walls along Happy  
Valley Ranch.

## Loose Rock Riprap







## **CITIZEN INVOLVEMENT REPORT**

### **1.1 General**

The Rawhide Wash Flood Hazard Mitigation Project (Project) is a partnership between the Flood Control District of Maricopa County, City of Phoenix and City of Scottsdale. The Flood Control District of Maricopa County entered into design intergovernmental agreements (IGA FCD 2018A013) with the Cities of Scottsdale (IGA No. 2018-164-COS) and Phoenix to begin the final design process.

The Project generally includes design of a floodwall and levee system to contain the 100-year flood (1% chance of occurring in any given year) with required freeboard within the Rawhide Wash corridor from ½ mile north of Happy Valley Road to just upstream of Pinnacle Peak Road. The general project limits are shown on Figure 1.

Currently, Rawhide Wash is identified by the Federal Emergency Management Agency (FEMA) as an active alluvial fan floodplain with high flows during major storm events. Over 800 buildings (mostly houses) are located within the FEMA delineated Special Flood Hazard Area (SFHA). The Project was originally formulated as the Conveyance Alternative in the recently completed Pinnacle Peak West (PPW) Area Master Drainage Study (ADMS), which was led by the Flood Control District of Maricopa County (FCD), with the Cities of Scottsdale and Phoenix being key stakeholders. Additional post-PPW ADMS design concept work was performed by the FCD, in cooperation with Scottsdale and Phoenix, to refine the Conveyance Alternative and perform non-destructive testing and evaluation of existing floodwalls and erosion control measures constructed by past development within the project limits, to determine their suitability for incorporation into the Project and certifiability with FEMA. The results from those analyses and other conceptual design work on the Conveyance Alternative, form the basis of the Project.

### **1.2 Project Scope**

The Project will be designed for the 100-year flood and will predominantly contain the washes within its natural condition floodway corridor and remove the flow-path uncertainty associated with the alluvial fan apex. The major Project elements include:

- Construction of new floodwalls and/or earthen levees.
- Modification of existing floodwalls as needed to bring them into compliance with FEMA National Flood Insurance Program (NFIP) standards and requirements for a certified levee system. Existing floodwall modifications may include one or more of the following:
  - Increase the wall height to meet FEMA freeboard requirements.
  - Install new erosion protection or augment existing erosion protection at the base of the walls to protect the wall from erosion (i.e., scour).





- Retrofit existing floodwalls to increase the structural strength of the walls to withstand the forces of water during a flood.
- Roadway improvements at the Los Portones Drive crossing of Rawhide Wash to provide FEMA certifiable containment (Miller Road crossing will not be improved with this Project). Containment will be provided using a combination of roadway modifications and installation of automatic floodgates.
- Design and construction of interior drainage systems to convey local runoff generated on the land side of the floodwall levee system along and back into Rawhide Wash or other dedicated drainage-ways, using low impact methods and materials that are compatible with Scottsdale’s Environmentally Sensitive Lands Overlay and the Natural Area Open Space (NAOS) requirements.
- Application for a FEMA Conditional Letter of Map Revision (CLOMR) to revise the floodplain boundaries to reflect the Project improvements.

### **1.3 Public Involvement / Citizen Outreach**

Over a period 7-plus years, extensive public involvement efforts related to the Project have been cooperatively performed by FCD and the Cities of Scottsdale and Phoenix. The following subsections provide a chronological summary of the past efforts to-date.

#### **Public Involvement for Pinnacle Peak West (PPW) Area Drainage Master Study (ADMS)**

A significant level of public involvement and stakeholder coordination was performed during the PPW ADMS effort and is summarized in a report entitled *Pinnacle Peak West Area Drainage Master Study – Public Involvement Summary<sup>1</sup>(PPWPI)*. Over a period of approximately 3-years, more than 1,100 community members participated in the PPW ADMS study outreach events and provided input through the following activities:

- 33 key community stakeholders were interviewed to develop an Issue and Risk Assessment which identified issues, concerns, and perceptions about flooding issues and was used to inform the overall public involvement approach for the study.
- 397 residents and community managers participated in study briefings at meetings with 28 homeowners’ associations (HOAs) to provide them with information about flooding hazards and risks in their subdivisions and learn about their flooding experience and concerns.
- 284 people attended two series of public meetings in September 2014 (117 attendees) and May 2015 (167 attendees) to learn about the study, flood hazards and risks

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<sup>1</sup> Gunn Communications, Inc., 2015, *Pinnacle Peak West Area Drainage Master Study – Public Involvement Summary*.



identified, and provide input on flooding concerns and alternative approaches for minimizing flood hazards.

- 68 community members completed comment forms at or following public meetings.
- 54 community members attended a series of Flood Talk events to provide general community education about flooding and to encourage residents to report previous flooding on their property.
- 179 residents completed surveys on their tolerance to different types of flooding hazards.
- Site visits and one-on-one meetings were held with several homeowners who had flooding concerns.
- Dozens of residents provided comments on line at FloodTalk.org and uploaded photos to ReportaFlood.org.
- More than 700 emails and phone calls were made with 151 community members (63 residents and 88 managers of homeowners' associations) to discuss the study.

**Post PPW ADMS Public Involvement**

Post PPW ADMS public involvement efforts were performed during the Project’s concept development and pre-design process, with a focus on flood hazard mitigation alternatives for Rawhide Wash and the currently proposed Project elements. Outreach was primarily focused on the PPW Community Stakeholder Group (CSG) and local HOAs and individual residents located within the immediate Project area. The CSG is composed of 20-25 members who either live in communities along the wash or represent community and government organizations with a vested interest in the Project. Since the issuance of the PPWPI, the following additional public involvement and stakeholder efforts have been performed:

*Table 1. Post PPW ADMS Public Involvement*

DATE	TYPE	DESCRIPTION
May 2017	CSG Meeting	Met to provide Project update and present alternatives for mitigating the Los Portones crossing
November 2017	Public Newsletter	Widely distributed to HOAs and residents within the Project study area.
June 2018	CSG Meeting	Met to provide Project update and preliminary results from existing floodwall investigations
August 2018	Happy Valley Ranch HOA Site Meeting	Met onsite with HOA and local residents to discuss the design concept for locations of new walls along the Happy Valley Ranch boundary
September 2018	Ramirez Property Site Meeting	Met onsite with the Ramirez’s to discuss retrofits needed to bring their existing floodwall into compliance with FEMA standards





**Rawhide Wash Flood Hazard Mitigation Project**  
**Design Review Board Application – Citizen Involvement Report**  
**FCD2018C015, WA#1, PCN 122.01.30**  
**City of Scottsdale Pre Application No. 284-PA-2019 and Case No. 7-WM-2020**

February 2019	Public Newsletter	Widely distributed to HOAs and residents within the Project study area.
February 2019	Happy Valley Ranch HOA Site Meeting	City of Scottsdale Neighborhood Services staff met with several Happy Valley Ranch homeowners and HOA board members to discuss concerns about the project.

**Rawhide Wash Flood Hazard Mitigation Project - Design Phase Public Involvement**

The public involvement efforts continued with move from the pre-design efforts to the full project design. At this step, the CSG committee was transitioned to a Project Aesthetics Advisory Committee (PAAC). The role of the PAAC is to provide input to the design team regarding aesthetic details of the project design elements, with the goal of having a final project that both serves the intended flood control functions and fits with the aesthetic character of the area. Other continued one-on-one public involvement efforts also have continued during the design phase. General open house style public meetings (2) were also planned for the project, however, restrictions due to the COVID19 pandemic ended those plans as of the writing of this report. The following table provides a summary of the various public outreach efforts that have been performed during the design phase.

*Table 2. Rawhide Wash Flood Hazard Mitigation Project Design Phase Public Involvement*

DATE	TYPE	DESCRIPTION
September 2019	Final CSG Meeting	This was the closeout meeting for the CSG. Met to provide Project update and discuss the transitioning of the CSG to the PAAC
October 2019	Public Newsletter Announcing 30% Design Process	Newsletter that was widely distributed to HOAs and residents within the Project study area announcing the 30% design phase and providing a project update.
June 2019	Destructive Testing Information Sheet	An information sheet outlining the pending destructive testing efforts was widely distributed to the HOAs and residents within the Project area.
April 2019	Happy Valley Ranch HOA Site Meeting No. 1	The project team met with 3 of the Happy Valley Ranch HOA board members onsite to discuss the revised floodwall alignments and address comments. The result of the meeting was an agreed upon alignment and agreement by the HVR HOA board to grant the project a right-of-entry to perform the archaeological and geotechnical investigations
April 2019	Fact Sheet/ Letter	Delivered Fact Sheet and invitation letters to non-HOA residents requesting one-on-one meetings. Delivery methods included emails, phone calls, and door hangars.





**Rawhide Wash Flood Hazard Mitigation Project**  
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DATE	TYPE	DESCRIPTION
April and May, 2019	One-on-One Meetings at 30% Design Level	Individual meetings were convened with several homeowners that responded to the Fact Sheet and invitation letters to present the 30% designs and potential impacts to their property. Meetings were held with the following property owners: <ul style="list-style-type: none"> <li>• Mr. Brendon Cothrun</li> <li>• Mr. and Ms. Powers (actually part of the Los Portones Townhomes area, but requested a personal meeting)</li> <li>• Ms. Ramirez</li> <li>• Mr. and Mrs. Kort</li> <li>• Mr. and Mrs. Cottarel</li> <li>• Mr. and Mrs. Helm</li> </ul>
April 30, 2019	Los Portones Master HOA Meeting	Attended the Los Portones Master HOA Meeting and provided a design update and answered questions from the attendees. There were over 40 residents in attendance.
July 2019	Phase 2 Geotechnical Testing Information Sheet	An information sheet outlining the activities and schedule for the 2 <sup>nd</sup> phase of geotechnical testing. The sheet was widely distributed to the HOAs and residents within the Project area.
October 2019	PAAC Meeting No. 1	The PAAC was convened for the first time to review and discuss the 30% designs and provide input on some of the initial wall and color palette, salvage and irrigation, and other project aesthetics.
October 2019	One-on-One Meeting with Patricia Smith	JE Fuller met with Ms. Smith at her home to discuss her concerns and work she was having done in her back yard that would impact the floodwall.
December 2019	Existing Wall Photo Inventory Information Sheet	An information sheet notifying the community about a pedestrian level wall photographic inventory was prepared and widely distributed to the HOAs and residents within the Project area.
January 2020	Phase 3 Geotechnical Testing Information Sheet	An information sheet outlining the activities and schedule for the 3 <sup>rd</sup> phase of geotechnical testing. The sheet was widely distributed to the HOAs and residents within the Project area.
January 2020	Site Meeting No. 2 with HVR HOA representatives and individual homeowners	JE Fuller convened a meeting with HVR HOA board members and two individual lot owners to present and discuss a 60% design change and impacts to the HVR HOA Tract A and the lot of Mr. and Mrs. Doherty. Alternatives were discussed and a partial agreement on concept was developed.
January 2020	Site Meeting No. 3 with HVR HOA representatives and individual homeowners	JE Fuller convened a meeting with HVR HOA individual lot owners (Mr. Doherty and Mr. Finkel) to review and discuss owner-proposed changes to the designs previously identified. Meeting concluded with JE Fuller agreeing to analyze the proposal and include in 60% submittal.





**Rawhide Wash Flood Hazard Mitigation Project**  
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DATE	TYPE	DESCRIPTION
January 2020	Native Plant Inventory Information Sheet	An information sheet outlining the activities and schedule for the native plant inventory work. The sheet was widely distributed to the HOAs and residents within the Project area.
March 2020	Site Meeting No. 4 with HVR HOA representatives and individual homeowners	JE Fuller convened a meeting with HVR HOA individual lot owners (Mr. Doherty and Mr. Finkel) to stake and review the post-60% wall alignment change precipitated by feedback from FEMA that rendered the previous alignment un-approvable.
May 2020	Public Newsletter with 60% design updates	Newsletter that was widely distributed to HOAs and residents within the Project study area providing an update of for the 60% design phase efforts and schedule. The newsletter also introduced the Construction Manager at Risk (CMAR) that joined the design team at the post 60% level.
June 2020	Utility Potholing Information Sheet	An information sheet outlining the activities and schedule for the utility potholing work was prepared and widely distributed to the HOAs and residents within the Project area.
August 2020	Response to Inquiry Regarding First Street Foundation’s Flood Factor Release	The project team coordinated with and prepared a response to a resident inquiry regarding the newly published information by First Street Foundation on their Flood Factor website. A detailed email response was generated by the project team and delivered by the City of Scottsdale.
January 2021	Virtual Public Meeting and Open House	Due to COVID constraints, a virtual public meeting and open house (VPM) was hosted on the FCDMC website. The VPM consisted of narrated presentations of the general project, project design details, landscape and aesthetics details, and an introductory construction manager at risk (CMAR) presentation. Downloadable maps and graphics were prepared to aid with communicating the project impacts and proposed designs.
August 2021	Individual Homeowner APN 212-05-211 (Dooley Property)	Email and phone coordination with APN 212-05-211 (Dooley Property) on salvage of trees and requests for having salvaged trees returned to a location near their property.
September 2021	Attendance at Los Portones HOA Meeting	The project team attended a regular Los Portones HOA meeting to provide a project update and answer questions.  Also included email exchange with Loreen Leitzen to answer follow-up questions to the public meeting
January 2022	General Update to Residents	Email exchange with Loreen Leitzen to provide an update on the project activities and schedule.





**Rawhide Wash Flood Hazard Mitigation Project**  
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DATE	TYPE	DESCRIPTION
February 2022	Coordination with HOA Representative	Email coordination with Happy Valley Ranch HOA representative (Ron Finkel) on concerns about recent tree tags and implications to the residents and promises made. Assured Ron that the project will protect the trees we committed to protect and will look at others to see if they can be protected as well.
February 2022	Individual Homeowner APN 212-12-290 (Braunstein Property – Brandy Solinksi and parents Don & Roberta Braunstein)	Email coordination and site meeting with APN 212-12-290 (Braunstein Property – Brandy Solinksi and parents Don & Roberta Braunstein) owners to discuss their concerns and answer questions about the project impacts to their property.

In addition to these specific meetings, the project team has responded and continues to respond to multiple emails and phone calls from residents and concerned public, answering their questions, and responding to comments about the Project. There have also been several council and board actions from the Project partners (Scottsdale, Phoenix and FCD) to approve intergovernmental agreements and amendments.

The project team is currently investigating ways to conduct virtual meetings with citizens to further the communication efforts and keep the public informed, and especially with the PAAC. Also, a new round of public contact will begin with the start of property rights acquisitions.



## Murillo, Jesus

---

**From:** Jenna Chapman <jenna@cpioha.com>  
**Sent:** Wednesday, March 09, 2022 1:21 PM  
**To:** Murillo, Jesus  
**Subject:** RE: Rawhide Wash Project - 7-WM-2020

**Follow Up Flag:** Follow up  
**Flag Status:** Completed

**⚠ External Email: Please use caution if opening links or attachments!**

Thankyou.

**Jenna Chapman**  
*Community Manager*



**Cornerstone Properties, Inc.**  
P.O. Box 62073  
Phoenix, AZ 85082

Office: (602) 433-0331 X117  
Fax: (602) 244-9214  
E-Mail: [jenna@cpioha.com](mailto:jenna@cpioha.com)  
<http://www.cpioha.com>

---

**From:** Murillo, Jesus <JMurillo@ScottsdaleAz.Gov>  
**Sent:** Wednesday, March 9, 2022 12:28 PM  
**To:** Jenna Chapman <jenna@cpioha.com>  
**Subject:** RE: Rawhide Wash Project - 7-WM-2020

Hello Jenna,

I will have a link soon that you can share with your residents.

I should have it by Monday.

Jesús

---

**From:** Jenna Chapman <[jenna@cpioha.com](mailto:jenna@cpioha.com)>  
**Sent:** Wednesday, March 09, 2022 11:03 AM  
**To:** Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>  
**Subject:** RE: Rawhide Wash Project - 7-WM-2020

**⚠ External Email: Please use caution if opening links or attachments!**

Hi.  
Thank you.  
Is this something that I should send out to the community?  
Jenna

**Jenna Chapman**  
*Community Manager*





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<http://www.cpioha.com>

---

**From:** Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>  
**Sent:** Tuesday, February 1, 2022 7:14 PM  
**To:** Jenna Chapman <[jenna@cpioha.com](mailto:jenna@cpioha.com)>  
**Subject:** FW: Rawhide Wash Project - 7-WM-2020

Hello Jenna,

You are receiving this email due to Janet's automatic reply.

Sincerely,

Jesús

I am retiring as of October 31, 2021 and Jenna Chapman will now be your Association Manager. Jenna's e-mail is [jenna@cpioha.com](mailto:jenna@cpioha.com).

For Kempton Crossing only: Lia Peahu will be your Association Manager.  
Lia's e-mail is [lia@cpioha.com](mailto:lia@cpioha.com).

I have enjoyed working with you. Stay well.

*janet*

---

**From:** Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>  
**Sent:** Tuesday, February 01, 2022 7:12 PM  
**To:** Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>  
**Subject:** Rawhide Wash Project - 7-WM-2020

Hello Everyone,

I Hope this email finds you all doing well. You are receiving this email because you have expressed interest in the above-mentioned project (**Rawhide Wash - 7-WM-2020**).

I wanted to first point out that this update is in regards to the Rawhide Wash flood hazard mitigation portion of the project, and **does not include the proposed improvements along N. Miller Road (bridge project)**. That particular portion of the Rawhide project has been submitted and reviewed, and I will provide a sperate email shortly.

The materials for the Rawhide Flood Control project were resubmitted, and are currently under review. The resubmittal still need to receive reviews from a couple of the City's departments. It appears as though the project may be slated to be scheduled to be heard by the Development Review Board. The resubmittal was complete and appears to have addressed the majority of staff's concerns.

Staff is targeting the **MARCH 17, 2022 DEVELOPMENT REVIEW BOARD** hearing date.

**I wanted to remind everyone that all of the communication that staff has received will be included in staff's report to the Development Review Board.**

I also wanted to mention that I will be conducting the native plant inventory that will be associated with this project. So please do not be surprised if you see me, along with other City planners, walking the wash area soon.

Please feel free to contact me with any further questions or comments.

Sincerely,

Jesús Murillo  
Senior Planner  
City of Scottsdale  
Planning and Development Services  
7447 E. Indian School Road, Ste. 105  
Scottsdale, AZ 85251  
Phone: 480-312-7849  
Fax: 480-312-9037

Get informed!



## Murillo, Jesus

---

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**Flag Status:** Completed

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*Community Manager*



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<http://www.cpihoa.com>

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Jesús

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For Kempton Crossing only: Lia Peahu will be your Association Manager. Lia's e-mail is [lia@cpioha.com](mailto:lia@cpioha.com).

I have enjoyed working with you. Stay well.

*janet*

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**To:** Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>  
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Staff is targeting the **MARCH 17, 2022 DEVELOPMENT REVIEW BOARD** hearing date.

**I wanted to remind everyone that all of the communication that staff has received will be included in staff's report to the Development Review Board.**

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Please feel free to contact me with any further questions or comments.

Sincerely,

Jesús Murillo  
Senior Planner  
City of Scottsdale  
Planning and Development Services

7447 E. Indian School Road, Ste. 105  
Scottsdale, AZ 85251  
Phone: 480-312-7849  
Fax: 480-312-9037

Get informed!



## Murillo, Jesus

---

**From:** Mary Brockman <mbrockman9@cox.net>  
**Sent:** Wednesday, March 09, 2022 11:35 AM  
**To:** Murillo, Jesus  
**Subject:** Re: Rawhide Wash - DRB Hearing Participation (7-WM-2020)

**Follow Up Flag:** Follow up  
**Flag Status:** Completed

 **External Email: Please use caution if opening links or attachments!**

Sent from my iPhone

On Mar 9, 2022, at 8:35 AM, Murillo, Jesus <JMurillo@scottsdaleaz.gov> wrote:  
Thanks

Hello Mary,

Thank you for the quick reply. I will be providing the link and information early next week.

Sincerely,

Jesús

---

**From:** Mary Brockman <mbrockman9@cox.net>  
**Sent:** Wednesday, March 09, 2022 8:10 AM  
**To:** Murillo, Jesus <JMurillo@ScottsdaleAz.Gov>  
**Subject:** Re: Rawhide Wash - DRB Hearing Participation (7-WM-2020)

 **External Email: Please use caution if opening links or attachments!**

Please include on virtual list  
Mary Brockman

Sent from my iPhone

On Mar 8, 2022, at 5:52 PM, Murillo, Jesus <[JMurillo@scottsdaleaz.gov](mailto:JMurillo@scottsdaleaz.gov)> wrote:

Hello Everyone,

I hope this email finds you all doing well. You are receiving this email because you have expressed interest in the above-mentioned project (**Rawhide Wash - 7-WM-2020**).

I wanted to first point out again that this update is in regards to the Rawhide Wash flood hazard mitigation portion of the project, and **does not include the proposed N. Miller Road Bridge project**. That particular portion of the Rawhide project has not been scheduled for a hearing.

As stated in my previous email to you all, the Rawhide Wash Flood Hazard Mitigation project is still scheduled to be heard on **Thursday, March 17, 2022**. The other purpose for this email is that staff is trying to get a count of the number of people that may participate in person, and those that may participate via virtual process. The virtual process has a limited capacity, and I am trying to get a feel for how many people will want to participate virtually. I think it would be a good idea for a household to speak as one “speaker card” if participating virtually.

I would greatly appreciate if you would please respond to this email with information on how you plan to participate in the hearing. Your response will help staff better prepare for the hearing and make sure everyone’s voice is heard. I will also be sending an additional reminder email next week.

I will also be sending a link to the final report when completed, and I wanted to remind the group that all your previous emails and communications will be included in staff’s report to the Development Review Board.

I will provide a map and directions to the hearing location next week. Please feel free to contact me with any further questions or comments. Again, this case is particular to the Rawhide Wash case and not the Miller Road Bridge. There will be a hearing scheduled for those particular comments.

Sincerely,

Jesús Murillo  
Senior Planner  
City of Scottsdale  
Planning and Development Services  
7447 E. Indian School Road, Ste. 105  
Scottsdale, AZ 85251  
Phone: 480-312-7849  
Fax: 480-312-9037

Get informed!



## Murillo, Jesus

---

**From:** Socorro Rudolph <Socorro@cox.net>  
**Sent:** Wednesday, March 09, 2022 11:34 AM  
**To:** Murillo, Jesus  
**Subject:** Rawhide Wash - DRB Hearing Participation (7-WM-2020)

**Follow Up Flag:** Follow up  
**Flag Status:** Completed

**⚠ External Email: Please use caution if opening links or attachments!**

Hi Jesús,

Thank you for the email. I will not be available to participate in this hearing on March 17, 2022.

All the best,  
**Socorro Rudolph**  
**480-765-1312**

---

**From:** Murillo, Jesus [mailto:JMurillo@ScottsdaleAz.Gov]  
**Sent:** Tuesday, March 8, 2022 5:53 PM  
**To:** Murillo, Jesus  
**Subject:** Rawhide Wash - DRB Hearing Participation (7-WM-2020)

Hello Everyone,

I hope this email finds you all doing well. You are receiving this email because you have expressed interest in the above-mentioned project (**Rawhide Wash - 7-WM-2020**).

I wanted to first point out again that this update is in regards to the Rawhide Wash flood hazard mitigation portion of the project, and **does not include the proposed N. Miller Road Bridge project**. That particular portion of the Rawhide project has not been scheduled for a hearing.

As stated in my previous email to you all, the Rawhide Wash Flood Hazard Mitigation project is still scheduled to be heard on **Thursday, March 17, 2022**. The other purpose for this email is that staff is trying to get a count of the number of people that may participate in person, and those that may participate via virtual process. The virtual process has a limited capacity, and I am trying to get a feel for how many people will want to participate virtually. I think it would be a good idea for a household to speak as one "speaker card" if participating virtually.

I would greatly appreciate if you would please respond to this email with information on how you plan to participate in the hearing. Your response will help staff better prepare for the hearing and make sure everyone's voice is heard. I will also be sending an additional reminder email next week.

I will also be sending a link to the final report when completed, and I wanted to remind the group that all your previous emails and communications will be included in staff's report to the Development Review Board.

I will provide a map and directions to the hearing location next week. Please feel free to contact me with any further questions or comments. Again, this case is particular to the Rawhide Wash case and not the Miller Road Bridge. There will be a hearing scheduled for those particular comments.



Sincerely,

Jesús Murillo  
Senior Planner  
City of Scottsdale  
Planning and Development Services  
7447 E. Indian School Road, Ste. 105  
Scottsdale, AZ 85251  
Phone: 480-312-7849  
Fax: 480-312-9037

Get informed!



## Murillo, Jesus

---

**From:** Jenna Chapman <jenna@cpioha.com>  
**Sent:** Wednesday, March 09, 2022 11:03 AM  
**To:** Murillo, Jesus  
**Subject:** RE: Rawhide Wash Project - 7-WM-2020

**⚠ External Email: Please use caution if opening links or attachments!**

Hi.  
Thank you.  
Is this something that I should send out to the community?  
Jenna

**Jenna Chapman**  
Community Manager



**Cornerstone Properties, Inc.**  
P.O. Box 62073  
Phoenix, AZ 85082

Office: (602) 433-0331 X117  
Fax: (602) 244-9214  
E-Mail: [jenna@cpioha.com](mailto:jenna@cpioha.com)  
<http://www.cpioha.com>

---

**From:** Murillo, Jesus <JMurillo@ScottsdaleAz.Gov>  
**Sent:** Tuesday, February 1, 2022 7:14 PM  
**To:** Jenna Chapman <jenna@cpioha.com>  
**Subject:** FW: Rawhide Wash Project - 7-WM-2020

Hello Jenna,

You are receiving this email due to Janet's automatic reply.

Sincerely,

Jesús

I am retiring as of October 31, 2021 and Jenna Chapman will now be your Association Manager. Jenna's e-mail is [jenna@cpioha.com](mailto:jenna@cpioha.com).

For Kempton Crossing only: Lia Peahu will be your Association Manager.  
Lia's e-mail is [lia@cpioha.com](mailto:lia@cpioha.com).

I have enjoyed working with you. Stay well.

*janet*

---

**From:** Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>  
**Sent:** Tuesday, February 01, 2022 7:12 PM

To: Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>

Subject: Rawhide Wash Project - 7-WM-2020

Hello Everyone,

I Hope this email finds you all doing well. You are receiving this email because you have expressed interest in the above-mentioned project (**Rawhide Wash - 7-WM-2020**).

I wanted to first point out that this update is in regards to the Rawhide Wash flood hazard mitigation portion of the project, and **does not include the proposed improvements along N. Miller Road (bridge project)**. That particular portion of the Rawhide project has been submitted and reviewed, and I will provide a sperate email shortly.

The materials for the Rawhide Flood Control project were resubmitted, and are currently under review. The resubmittal still need to receive reviews from a couple of the City's departments. It appears as though the project may be slated to be scheduled to be heard by the Development Review Board. The resubmittal was complete and appears to have addressed the majority of staff's concerns.

Staff is targeting the **MARCH 17, 2022 DEVELOPMENT REVIEW BOARD** hearing date.

**I wanted to remind everyone that all of the communication that staff has received will be included in staff's report to the Development Review Board.**

I also wanted to mention that I will be conducting the native plant inventory that will be associated with this project. So please do not be surprised if you see me, along with other City planners, walking the wash area soon.

Please feel free to contact me with any further questions or comments.

Sincerely,

Jesús Murillo  
Senior Planner  
City of Scottsdale  
Planning and Development Services  
7447 E. Indian School Road, Ste. 105  
Scottsdale, AZ 85251  
Phone: 480-312-7849  
Fax: 480-312-9037

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## Murillo, Jesus

---

**From:** Elaine Monaco <monaco3334@comcast.net>  
**Sent:** Wednesday, March 09, 2022 9:13 AM  
**To:** Murillo, Jesus  
**Subject:** Re: Rawhide Wash - DRB Hearing Participation (7-WM-2020)

**Follow Up Flag:** Follow up  
**Flag Status:** Completed

**⚠ External Email: Please use caution if opening links or attachments!**

Hi Jesus,  
My husband and I would like to attend. Just tell us what time and where...  
M Elaine Monaco  
24741 N 77th St  
Pinnacle Peak East  
503.705..0645  
Thank you for the heads up!

Sent from my iPad

On Mar 8, 2022, at 5:53 PM, Murillo, Jesus <JMurillo@scottsdaleaz.gov> wrote:

Hello Everyone,

I hope this email finds you all doing well. You are receiving this email because you have expressed interest in the above-mentioned project (**Rawhide Wash - 7-WM-2020**).

I wanted to first point out again that this update is in regards to the Rawhide Wash flood hazard mitigation portion of the project, and **does not include the proposed N. Miller Road Bridge project**. That particular portion of the Rawhide project has not been scheduled for a hearing.

As stated in my previous email to you all, the Rawhide Wash Flood Hazard Mitigation project is still scheduled to be heard on **Thursday, March 17, 2022**. The other purpose for this email is that staff is trying to get a count of the number of people that may participate in person, and those that may participate via virtual process. The virtual process has a limited capacity, and I am trying to get a feel for how many people will want to participate virtually. I think it would be a good idea for a household to speak as one "speaker card" if participating virtually.

I would greatly appreciate if you would please respond to this email with information on how you plan to participate in the hearing. Your response will help staff better prepare for the hearing and make sure everyone's voice is heard. I will also be sending an additional reminder email next week.

I will also be sending a link to the final report when completed, and I wanted to remind the group that all your previous emails and communications will be included in staff's report to the Development Review Board.

I will provide a map and directions to the hearing location next week. Please feel free to contact me with any further questions or comments. Again, this case is particular to the Rawhide Wash case and not the Miller Road Bridge. There will be a hearing scheduled for those particular comments.

Sincerely,

Jesús Murillo  
Senior Planner  
City of Scottsdale  
Planning and Development Services  
7447 E. Indian School Road, Ste. 105  
Scottsdale, AZ 85251  
Phone: 480-312-7849  
Fax: 480-312-9037

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## Murillo, Jesus

---

**From:** Ron Finkel <finkel.ron@gmail.com>  
**Sent:** Wednesday, March 09, 2022 8:47 AM  
**To:** Murillo, Jesus  
**Subject:** Re: Rawhide Wash - DRB Hearing Participation (7-WM-2020)

**Follow Up Flag:** Follow up  
**Flag Status:** Completed

**⚠ External Email: Please use caution if opening links or attachments!**

Perfect....nothing over the top.

FYI, I just want to point out the importance of monitoring and signage to keep ATV and Motorcycles from using it as a motocross track as they say.

I Just want it heavily monitored and signage....etc....

Again, knowing the homeowners along the project don't want that to be an issue.

Thanks,

**Ronald Finkel**

On Wed, Mar 9, 2022 at 8:34 AM Murillo, Jesus <[JMurillo@scottsdaleaz.gov](mailto:JMurillo@scottsdaleaz.gov)> wrote:

Hello Ron,

Thank you for the quick reply. There will be a way to submit a written comment prior to the meeting, and an email to staff will always be provided. I will provide the information early next week.

Sincerely,

Jesús

---

**From:** Ron Finkel <[finkel.ron@gmail.com](mailto:finkel.ron@gmail.com)>  
**Sent:** Wednesday, March 09, 2022 7:44 AM  
**To:** Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>  
**Subject:** Re: Rawhide Wash - DRB Hearing Participation (7-WM-2020)

**⚠ External Email: Please use caution if opening links or attachments!**

Morning...

Yes I am aware of the scheduled meeting. I was just going to watch it virtually only and not attend.

But a question, is there a means for comment cards ahead of time?

Otherwise I might participate, but FYI; I do fully support the project.

Thanks,

**Ronald Finkel**

On Tue, Mar 8, 2022 at 5:52 PM Murillo, Jesus <[JMurillo@scottsdaleaz.gov](mailto:JMurillo@scottsdaleaz.gov)> wrote:

Hello Everyone,

I hope this email finds you all doing well. You are receiving this email because you have expressed interest in the above-mentioned project (**Rawhide Wash - 7-WM-2020**).

I wanted to first point out again that this update is in regards to the Rawhide Wash flood hazard mitigation portion of the project, and **does not include the proposed N. Miller Road Bridge project**. That particular portion of the Rawhide project has not been scheduled for a hearing.

As stated in my previous email to you all, the Rawhide Wash Flood Hazard Mitigation project is still scheduled to be heard on **Thursday, March 17, 2022**. The other purpose for this email is that staff is trying to get a count of the number of people that may participate in person, and those that may participate via virtual process. The virtual process has a limited capacity, and I am trying to get a feel for how many people will want to participate virtually. I think it would be a good idea for a household to speak as one "speaker card" if participating virtually.

I would greatly appreciate if you would please respond to this email with information on how you plan to participate in the hearing. Your response will help staff better prepare for the hearing and make sure everyone's voice is heard. I will also be sending an additional reminder email next week.

I will also be sending a link to the final report when completed, and I wanted to remind the group that all your previous emails and communications will be included in staff's report to the Development Review Board.

I will provide a map and directions to the hearing location next week. Please feel free to contact me with any further questions or comments. Again, this case is particular to the Rawhide Wash case and not the Miller Road Bridge. There will be a hearing scheduled for those particular comments.

Sincerely,

Jesús Murillo

Senior Planner

City of Scottsdale

Planning and Development Services

7447 E. Indian School Road, Ste. 105

Scottsdale, AZ 85251

Phone: 480-312-7849

Fax: 480-312-9037

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## Murillo, Jesus

---

**From:** John Dooley/Pinnacle Productions <pinnacle1@cox.net>  
**Sent:** Wednesday, March 09, 2022 8:45 AM  
**To:** Murillo, Jesus  
**Subject:** RE: Rawhide Wash - DRB Hearing Participation (7-WM-2020)

**Follow Up Flag:** Follow up  
**Flag Status:** Completed

 **External Email: Please use caution if opening links or attachments!**

Thanks Jesus. I'll be there.

John Dooley  
Pinnacle Productions  
602-538-5429

----- Original message -----

**From:** "Murillo, Jesus" <JMurillo@ScottsdaleAz.Gov>  
**Date:** 3/9/22 8:36 AM (GMT-07:00)  
**To:** John Dooley/Pinnacle Productions <pinnacle1@cox.net>  
**Subject:** RE: Rawhide Wash - DRB Hearing Participation (7-WM-2020)

Hello John,

Thank you for the quick response. The meeting begins at 1:00 p.m. I will be providing additional information early next week.

Sincerely,

Jesús

---

**From:** John Dooley/Pinnacle Productions <pinnacle1@cox.net>  
**Sent:** Tuesday, March 08, 2022 9:50 PM  
**To:** Murillo, Jesus <JMurillo@ScottsdaleAz.Gov>  
**Subject:** RE: Rawhide Wash - DRB Hearing Participation (7-WM-2020)

⚠ External Email: Please use caution if opening links or attachments!

Hi Jesus,

What time is the meeting on the 17th?

John Dooley

Pinnacle Productions

602-538-5429

----- Original message -----

From: "Murillo, Jesus" <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>

Date: 3/8/22 5:52 PM (GMT-07:00)

To: "Murillo, Jesus" <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>

Subject: Rawhide Wash - DRB Hearing Participation (7-WM-2020)

Hello Everyone,

I hope this email finds you all doing well. You are receiving this email because you have expressed interest in the above-mentioned project (**Rawhide Wash - 7-WM-2020**).

I wanted to first point out again that this update is in regards to the Rawhide Wash flood hazard mitigation portion of the project, and **does not include the proposed N. Miller Road Bridge project**. That particular portion of the Rawhide project has not been scheduled for a hearing.

As stated in my previous email to you all, the Rawhide Wash Flood Hazard Mitigation project is still scheduled to be heard on **Thursday, March 17, 2022**. The other purpose for this email is that staff is trying to get a count of the

number of people that may participate in person, and those that may participate via virtual process. The virtual process has a limited capacity, and I am trying to get a feel for how many people will want to participate virtually. I think it would be a good idea for a household to speak as one “speaker card” if participating virtually.

I would greatly appreciate if you would please respond to this email with information on how you plan to participate in the hearing. Your response will help staff better prepare for the hearing and make sure everyone’s voice is heard. I will also be sending an additional reminder email next week.

I will also be sending a link to the final report when completed, and I wanted to remind the group that all your previous emails and communications will be included in staff’s report to the Development Review Board.

I will provide a map and directions to the hearing location next week. Please feel free to contact me with any further questions or comments. Again, this case is particular to the Rawhide Wash case and not the Miller Road Bridge. There will be a hearing scheduled for those particular comments.

Sincerely,

Jesús Murillo

Senior Planner

City of Scottsdale

Planning and Development Services

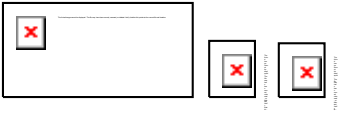
7447 E. Indian School Road, Ste. 105

Scottsdale, AZ 85251

Phone: 480-312-7849

Fax: 480-312-9037

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## Murillo, Jesus

---

**From:** Murillo, Jesus  
**Sent:** Wednesday, March 09, 2022 8:41 AM  
**To:** M Dugan  
**Subject:** RE: Rawhide Wash - DRB Hearing Participation (7-WM-2020)

Good question. The hearing will begin at 1:00 p.m. This is one of the few meetings that are held during the day. This is one of the reasons we are offering the virtual option for this particular case.

---

**From:** M Dugan <savagrey@gmail.com>  
**Sent:** Tuesday, March 08, 2022 6:40 PM  
**To:** Murillo, Jesus <JMurillo@ScottsdaleAz.Gov>  
**Subject:** Re: Rawhide Wash - DRB Hearing Participation (7-WM-2020)

**⚠ External Email: Please use caution if opening links or attachments!**

Is it at 6pm 3/17?

On Tue, Mar 8, 2022 at 5:52 PM Murillo, Jesus <[JMurillo@scottsdaleaz.gov](mailto:JMurillo@scottsdaleaz.gov)> wrote:

Hello Everyone,

I hope this email finds you all doing well. You are receiving this email because you have expressed interest in the above-mentioned project (**Rawhide Wash - 7-WM-2020**).

I wanted to first point out again that this update is in regards to the Rawhide Wash flood hazard mitigation portion of the project, and **does not include the proposed N. Miller Road Bridge project**. That particular portion of the Rawhide project has not been scheduled for a hearing.

As stated in my previous email to you all, the Rawhide Wash Flood Hazard Mitigation project is still scheduled to be heard on **Thursday, March 17, 2022**. The other purpose for this email is that staff is trying to get a count of the number of people that may participate in person, and those that may participate via virtual process. The virtual process has a limited capacity, and I am trying to get a feel for how many people will want to participate virtually. I think it would be a good idea for a household to speak as one "speaker card" if participating virtually.

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Sincerely,

Jesús Murillo

Senior Planner

City of Scottsdale

Planning and Development Services

[7447 E. Indian School Road, Ste. 105](#)

[Scottsdale, AZ 85251](#)

Phone: 480-312-7849

Fax: 480-312-9037

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--  
Margie D

## Murillo, Jesus

---

**From:** Murillo, Jesus  
**Sent:** Wednesday, March 09, 2022 8:39 AM  
**To:** Copper Phillips  
**Subject:** RE: Rawhide Wash - DRB Hearing Participation (7-WM-2020)

Hello Copper,

Really good to hear from you. You are always doing amazing things. Thank you for the quick reply.

I will give you an update on the hearing. Have a safe drive out there.

Sincerely,

Jesús

---

**From:** Copper Phillips <jcopperphillips1174@outlook.com>  
**Sent:** Tuesday, March 08, 2022 7:31 PM  
**To:** Murillo, Jesus <JMurillo@ScottsdaleAz.Gov>  
**Subject:** Re: Rawhide Wash - DRB Hearing Participation (7-WM-2020)

**⚠ External Email: Please use caution if opening links or attachments!**

Hi, Jesus.

I will be unable to participate on 3/17 as I will be working on the Navajo Rez that day.

Regards,

Joanne "Copper" Phillips

On Mar 8, 2022, at 5:52 PM, Murillo, Jesus <[JMurillo@scottsdaleaz.gov](mailto:JMurillo@scottsdaleaz.gov)> wrote:

Hello Everyone,

I hope this email finds you all doing well. You are receiving this email because you have expressed interest in the above-mentioned project (**Rawhide Wash - 7-WM-2020**).

I wanted to first point out again that this update is in regards to the Rawhide Wash flood hazard mitigation portion of the project, and **does not include the proposed N. Miller Road Bridge project**. That particular portion of the Rawhide project has not been scheduled for a hearing.

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I would greatly appreciate if you would please respond to this email with information on how you plan to participate in the hearing. Your response will help staff better prepare for the hearing and make sure everyone's voice is heard. I will also be sending an additional reminder email next week.

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Sincerely,

Jesús Murillo  
Senior Planner  
City of Scottsdale  
Planning and Development Services  
7447 E. Indian School Road, Ste. 105  
Scottsdale, AZ 85251  
Phone: 480-312-7849  
Fax: 480-312-9037

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## Murillo, Jesus

---

**From:** Murillo, Jesus  
**Sent:** Wednesday, March 09, 2022 8:37 AM  
**To:** pj enyart  
**Subject:** RE: Rawhide Wash - DRB Hearing Participation (7-WM-2020)

Hello Paula,

Thank you for the quick reply. I will be providing the link early next week.

Sincerely,

Jesús

---

**From:** pj enyart <pjenyart@gmail.com>  
**Sent:** Tuesday, March 08, 2022 9:24 PM  
**To:** Murillo, Jesus <JMurillo@ScottsdaleAz.Gov>  
**Subject:** Re: Rawhide Wash - DRB Hearing Participation (7-WM-2020)

 **External Email: Please use caution if opening links or attachments!**

I can do virtual

Paula Enyart

On Mar 8, 2022, at 5:52 PM, Murillo, Jesus <[JMurillo@scottsdaleaz.gov](mailto:JMurillo@scottsdaleaz.gov)> wrote:

Hello Everyone,

I hope this email finds you all doing well. You are receiving this email because you have expressed interest in the above-mentioned project (**Rawhide Wash - 7-WM-2020**).

I wanted to first point out again that this update is in regards to the Rawhide Wash flood hazard mitigation portion of the project, and **does not include the proposed N. Miller Road Bridge project**. That particular portion of the Rawhide project has not been scheduled for a hearing.

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Sincerely,

Jesús Murillo  
Senior Planner  
City of Scottsdale  
Planning and Development Services  
7447 E. Indian School Road, Ste. 105  
Scottsdale, AZ 85251  
Phone: 480-312-7849  
Fax: 480-312-9037

Get informed!



## Murillo, Jesus

---

**From:** Murillo, Jesus  
**Sent:** Wednesday, March 09, 2022 8:36 AM  
**To:** John Dooley/Pinnacle Productions  
**Subject:** RE: Rawhide Wash - DRB Hearing Participation (7-WM-2020)

Hello John,

Thank you for the quick response. The meeting begins at 1:00 p.m. I will be providing additional information early next week.

Sincerely,

Jesús

---

**From:** John Dooley/Pinnacle Productions <pinnacle1@cox.net>  
**Sent:** Tuesday, March 08, 2022 9:50 PM  
**To:** Murillo, Jesus <JMurillo@ScottsdaleAz.Gov>  
**Subject:** RE: Rawhide Wash - DRB Hearing Participation (7-WM-2020)

**⚠ External Email: Please use caution if opening links or attachments!**

Hi Jesus,

What time is the meeting on the 17th?

John Dooley  
Pinnacle Productions  
602-538-5429

----- Original message -----

From: "Murillo, Jesus" <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>  
Date: 3/8/22 5:52 PM (GMT-07:00)  
To: "Murillo, Jesus" <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>  
Subject: Rawhide Wash - DRB Hearing Participation (7-WM-2020)

Hello Everyone,

I hope this email finds you all doing well. You are receiving this email because you have expressed interest in the above-mentioned project (**Rawhide Wash - 7-WM-2020**).

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Sincerely,

Jesús Murillo

Senior Planner

City of Scottsdale

Planning and Development Services

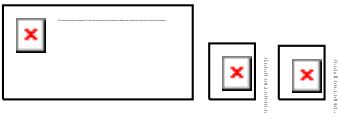
7447 E. Indian School Road, Ste. 105

Scottsdale, AZ 85251

Phone: 480-312-7849

Fax: 480-312-9037

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## Murillo, Jesus

---

**From:** Murillo, Jesus  
**Sent:** Wednesday, March 09, 2022 8:35 AM  
**To:** Mary Brockman  
**Subject:** RE: Rawhide Wash - DRB Hearing Participation (7-WM-2020)

Hello Mary,

Thank you for the quick reply. I will be providing the link and information early next week.

Sincerely,

Jesús

---

**From:** Mary Brockman <mbrockman9@cox.net>  
**Sent:** Wednesday, March 09, 2022 8:10 AM  
**To:** Murillo, Jesus <JMurillo@ScottsdaleAz.Gov>  
**Subject:** Re: Rawhide Wash - DRB Hearing Participation (7-WM-2020)

**⚠ External Email: Please use caution if opening links or attachments!**

Please include on virtual list  
Mary Brockman

Sent from my iPhone

On Mar 8, 2022, at 5:52 PM, Murillo, Jesus <[JMurillo@scottsdaleaz.gov](mailto:JMurillo@scottsdaleaz.gov)> wrote:

Hello Everyone,

I hope this email finds you all doing well. You are receiving this email because you have expressed interest in the above-mentioned project (**Rawhide Wash - 7-WM-2020**).

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I will provide a map and directions to the hearing location next week. Please feel free to contact me with any further questions or comments. Again, this case is particular to the Rawhide Wash case and not the Miller Road Bridge. There will be a hearing scheduled for those particular comments.

Sincerely,

Jesús Murillo  
Senior Planner  
City of Scottsdale  
Planning and Development Services  
7447 E. Indian School Road, Ste. 105  
Scottsdale, AZ 85251  
Phone: 480-312-7849  
Fax: 480-312-9037

Get informed!



## Murillo, Jesus

---

**From:** Murillo, Jesus  
**Sent:** Wednesday, March 09, 2022 8:34 AM  
**To:** Ron Finkel  
**Subject:** RE: Rawhide Wash - DRB Hearing Participation (7-WM-2020)

Hello Ron,

Thank you for the quick reply. There will be a way to submit a written comment prior to the meeting, and an email to staff will always be provided. I will provide the information early next week.

Sincerely,

Jesús

---

**From:** Ron Finkel <finkel.ron@gmail.com>  
**Sent:** Wednesday, March 09, 2022 7:44 AM  
**To:** Murillo, Jesus <JMurillo@ScottsdaleAz.Gov>  
**Subject:** Re: Rawhide Wash - DRB Hearing Participation (7-WM-2020)

**⚠ External Email: Please use caution if opening links or attachments!**

Morning...

Yes I am aware of the scheduled meeting. I was just going to watch it virtually only and not attend.

But a question, is there a means for comment cards ahead of time? Otherwise I might participate, but FYI; I do fully support the project. Thanks,

**Ronald Finkel**

On Tue, Mar 8, 2022 at 5:52 PM Murillo, Jesus <[JMurillo@scottsdaleaz.gov](mailto:JMurillo@scottsdaleaz.gov)> wrote:

Hello Everyone,

I hope this email finds you all doing well. You are receiving this email because you have expressed interest in the above-mentioned project (**Rawhide Wash - 7-WM-2020**).

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City of Scottsdale

Planning and Development Services

7447 E. Indian School Road, Ste. 105

Scottsdale, AZ 85251

Phone: 480-312-7849

Fax: 480-312-9037

Get informed!



## Murillo, Jesus

---

**From:** Mary Brockman <mbrockman9@cox.net>  
**Sent:** Wednesday, March 09, 2022 8:10 AM  
**To:** Murillo, Jesus  
**Subject:** Re: Rawhide Wash - DRB Hearing Participation (7-WM-2020)

**⚠ External Email: Please use caution if opening links or attachments!**

Please include on virtual list  
Mary Brockman

Sent from my iPhone

On Mar 8, 2022, at 5:52 PM, Murillo, Jesus <JMurillo@scottsdaleaz.gov> wrote:

Hello Everyone,

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Senior Planner

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7447 E. Indian School Road, Ste. 105  
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Phone: 480-312-7849  
Fax: 480-312-9037

Get informed!



## Murillo, Jesus

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**From:** Ron Finkel <finkel.ron@gmail.com>  
**Sent:** Wednesday, March 09, 2022 7:44 AM  
**To:** Murillo, Jesus  
**Subject:** Re: Rawhide Wash - DRB Hearing Participation (7-WM-2020)

**Follow Up Flag:** Follow up  
**Flag Status:** Completed

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Morning...

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Thanks,

**Ronald Finkel**

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City of Scottsdale

Planning and Development Services

7447 E. Indian School Road, Ste. 105

Scottsdale, AZ 85251

Phone: 480-312-7849

Fax: 480-312-9037

Get informed!



|

## Murillo, Jesus

---

**From:** John Dooley/Pinnacle Productions <pinnacle1@cox.net>  
**Sent:** Tuesday, March 08, 2022 9:50 PM  
**To:** Murillo, Jesus  
**Subject:** RE: Rawhide Wash - DRB Hearing Participation (7-WM-2020)

**Follow Up Flag:** Follow up  
**Flag Status:** Completed

 **External Email: Please use caution if opening links or attachments!**

Hi Jesus,

What time is the meeting on the 17th?

John Dooley  
Pinnacle Productions  
602-538-5429

----- Original message -----

From: "Murillo, Jesus" <JMurillo@ScottsdaleAz.Gov>  
Date: 3/8/22 5:52 PM (GMT-07:00)  
To: "Murillo, Jesus" <JMurillo@ScottsdaleAz.Gov>  
Subject: Rawhide Wash - DRB Hearing Participation (7-WM-2020)

Hello Everyone,

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Jesús Murillo

Senior Planner

City of Scottsdale

Planning and Development Services

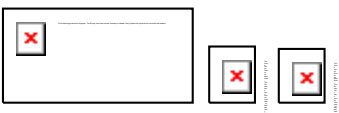
7447 E. Indian School Road, Ste. 105

Scottsdale, AZ 85251

Phone: 480-312-7849

Fax: 480-312-9037

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## Murillo, Jesus

---

**From:** pj enyart <pjenyart@gmail.com>  
**Sent:** Tuesday, March 08, 2022 9:24 PM  
**To:** Murillo, Jesus  
**Subject:** Re: Rawhide Wash - DRB Hearing Participation (7-WM-2020)

**Follow Up Flag:** Follow up  
**Flag Status:** Completed

 **External Email: Please use caution if opening links or attachments!**

I can do virtual

Paula Enyart

On Mar 8, 2022, at 5:52 PM, Murillo, Jesus <JMurillo@scottsdaleaz.gov> wrote:

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7447 E. Indian School Road, Ste. 105  
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Phone: 480-312-7849  
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## Murillo, Jesus

---

**From:** Deea McBride <deea@global.t-bird.edu>  
**Sent:** Tuesday, March 08, 2022 7:36 PM  
**To:** Barbara Frey  
**Cc:** Jenna Chapman; Scott Ogden; Jeremiah Hancock (jhancock@rummelconstruction.com); Murillo, Jesus; Couch, Ashley; Dan Galvin  
**Subject:** Re: Rawhide Wash FHMP - Talara View Fence Discussion

**⚠ External Email: Please use caution if opening links or attachments!**

I can try to make Tuesday after 2 work. The later in the day the better.

Sent from my iPhone

On Mar 8, 2022, at 1:20 PM, Barbara Frey <b.freydesign@outlook.com> wrote:

Hi Scott, as of now Tuesday the 15<sup>th</sup> would also work for me if its 2:00 or after. Barb



TRANSFORMING INDOOR & OUTDOOR ENVIRONMENTS  
BARBARA FREY  
602-316-4585  
[b.freydesign@outlook.com](mailto:b.freydesign@outlook.com)

---

**From:** Jenna Chapman <jenna@cpioha.com>  
**Sent:** Tuesday, March 8, 2022 1:08 PM  
**To:** Scott Ogden <scott@jefuller.com>; Barbara Frey <b.freydesign@outlook.com>; deea@global.t-bird.edu  
**Cc:** Jeremiah Hancock (jhancock@rummelconstruction.com) <jhancock@rummelconstruction.com>; Murillo, Jesus <jmurillo@scottsdaleaz.gov>; Ashley Couch (ACouch@ScottsdaleAz.Gov) <acouch@scottsdaleaz.gov>; Dan Galvin <dgalvin@gciaz.com>  
**Subject:** RE: Rawhide Wash FHMP - Talara View Fence Discussion

Hi.  
I am available anytime Tuesday 15<sup>th</sup>.  
Jenna

**Jenna Chapman**  
Community Manager



**Cornerstone Properties, Inc.**  
P.O. Box 62073  
Phoenix, AZ 85082

Office: (602) 433-0331 X117  
Fax: (602) 244-9214  
E-Mail: [jenna@cpihoa.com](mailto:jenna@cpihoa.com)  
<http://www.cpihoa.com>

---

**From:** Scott Ogden <[scott@jefuller.com](mailto:scott@jefuller.com)>  
**Sent:** Monday, March 7, 2022 5:09 PM  
**To:** Barbara Frey <[b.freydesign@outlook.com](mailto:b.freydesign@outlook.com)>; Jenna Chapman <[jenna@cpihoa.com](mailto:jenna@cpihoa.com)>; [deea@global.t-bird.edu](mailto:deea@global.t-bird.edu)  
**Cc:** Jeremiah Hancock ([j Hancock@rummelconstruction.com](mailto:j Hancock@rummelconstruction.com)) <[j Hancock@rummelconstruction.com](mailto:j Hancock@rummelconstruction.com)>;  
Murillo, Jesus <[jmurillo@scottsdaleaz.gov](mailto:jmurillo@scottsdaleaz.gov)>; Ashley Couch ([ACouch@ScottsdaleAz.Gov](mailto:ACouch@ScottsdaleAz.Gov))  
<[acouch@scottsdaleaz.gov](mailto:acouch@scottsdaleaz.gov)>; Dan Galvin <[dgalvin@gciaz.com](mailto:dgalvin@gciaz.com)>  
**Subject:** Rawhide Wash FHMP - Talara View Fence Discussion

Hello Barb, Jenna and Deea,

As our project design is nearing the completion point, I have one item that I need to discuss with this group specifically regarding the metal view fence along the Talara lots that back to Rawhide Wash. As you are aware, we will be raising the masonry portion of the rear fence across several of the Talara lots by one or more 8" lifts. This will necessitate removal and replacement of the metal view fence panels along those lots as well. Since many of the yards have pools without separate enclosures, the rear masonry and metal view fence will be required to meet current building code requirements for pool fences. The metal view fence currently in place will **NOT** meet those building codes due to the creation of footholds by the slanted rails (see snip – the red Xs represent easy footholds for scaling the fence.



Where we must modify the fence, we will also have to construct back a normal view fence with vertical pickets. However, we do not have to raise or modify the walls on several lots and can leave the fence as-is. Since we are trying to minimize the impacts to homeowners, we are looking to the HOA for guidance on the objectives of the HOA.

We would like to schedule a 1-hour Zoom call to discuss this situation and get feedback from you. Can you provide your availability for the following times:

Thu March 10<sup>th</sup>, after 1pm  
Fri March 11<sup>th</sup>, 9am to Noon; After 2:30pm  
Mon March 14<sup>th</sup>, All day  
Tue March 15<sup>th</sup>, All day



W. Scott Ogden | P.E., CFM | President/CEO  
Project Manager / Senior Engineer  
8400 S Kyrene Rd, Suite 201 | Tempe, AZ 85284  
Office: (480) 222-5717 | Mobile: (480) 299-3394  
[www.JEFuller.com](http://www.JEFuller.com)

Note: Engineering data, calculations, or opinion transmitted via e-mail are Preliminary and Not For Construction.

## Murillo, Jesus

---

**From:** Copper Phillips <jcopperphillips1174@outlook.com>  
**Sent:** Tuesday, March 08, 2022 7:31 PM  
**To:** Murillo, Jesus  
**Subject:** Re: Rawhide Wash - DRB Hearing Participation (7-WM-2020)

**Follow Up Flag:** Follow up  
**Flag Status:** Completed

**⚠ External Email: Please use caution if opening links or attachments!**

Hi, Jesus.

I will be unable to participate on 3/17 as I will be working on the Navajo Rez that day.

Regards,

Joanne "Copper" Phillips

On Mar 8, 2022, at 5:52 PM, Murillo, Jesus <JMurillo@scottsdaleaz.gov> wrote:

Hello Everyone,

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City of Scottsdale  
Planning and Development Services  
7447 E. Indian School Road, Ste. 105  
Scottsdale, AZ 85251  
Phone: 480-312-7849  
Fax: 480-312-9037

Get informed!



## Murillo, Jesus

---

**From:** Deea McBride <deea@global.t-bird.edu>  
**Sent:** Tuesday, March 08, 2022 6:48 PM  
**To:** Scott Ogden  
**Cc:** Barbara Frey; Jenna Chapman; Nazar Nabaty (Nazar.Nabaty@Maricopa.Gov); Murillo, Jesus; Couch, Ashley  
**Subject:** Re: Rawhide Wash FHMP - Talara View Fence (Wall C-1)  
**Attachments:** mime-attachment.ics

**⚠ External Email: Please use caution if opening links or attachments!**

Sorry I missed this. I don't generally check my personal mail during work hours.

Sent from my iPhone

On Mar 8, 2022, at 3:30 PM, Scott Ogden <scott@jefuller.com> wrote:



Hi there,

Scott Ogden is inviting you to a scheduled Zoom meeting.

### [Join Zoom Meeting](#)

One tap US: [+17207072699](tel:+17207072699), [81877065241](tel:+181877065241)#, ..., \*487622# or  
mobile: [+12532158782](tel:+12532158782), [81877065241](tel:+181877065241)#, ..., \*487622#

Meeting <https://jefuller.zoom.us/j/81877065241?pwd=cjVJNEMyc2k4WmJYZ242cInK01uZz09>

URL:

Meeting 818 7706 5241

ID:

Passcode:487622

### **Join by Telephone**

For higher quality, dial a number based on your current location.

Dial:

US: +1 720 707 2699 or +1 253 215 8782 or +1 346 248 7799 or +1 646 558 8656 or  
+1 301 715 8592 or +1 312 626 6799

Meeting ID: 818 7706 5241

ID:

Passcode:487622

International numbers

## Murillo, Jesus

---

**From:** M Dugan <savagrey@gmail.com>  
**Sent:** Tuesday, March 08, 2022 6:40 PM  
**To:** Murillo, Jesus  
**Subject:** Re: Rawhide Wash - DRB Hearing Participation (7-WM-2020)

**Follow Up Flag:** Follow up  
**Flag Status:** Completed

**⚠ External Email: Please use caution if opening links or attachments!**

Is it at 6pm 3/17?

On Tue, Mar 8, 2022 at 5:52 PM Murillo, Jesus <[JMurillo@scottsdaleaz.gov](mailto:JMurillo@scottsdaleaz.gov)> wrote:

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Jesús Murillo

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City of Scottsdale

Planning and Development Services

[7447 E. Indian School Road, Ste. 105](#)

[Scottsdale, AZ 85251](#)

Phone: 480-312-7849

Fax: 480-312-9037

Get informed!



--  
Margie D

## Murillo, Jesus

---

**From:** Microsoft Outlook  
**To:** Cara@Amcorprop.com  
**Sent:** Tuesday, March 08, 2022 5:53 PM  
**Subject:** Undeliverable: Rawhide Wash - DRB Hearing Participation (7-WM-2020)



Your message to [Cara@Amcorprop.com](mailto:Cara@Amcorprop.com) couldn't be delivered.

**Cara** wasn't found at [amcorprop.com](https://www.amcorprop.com).

**JMurillo**

**Office 365**

**Cara**

**Action Required**

Recipient

Unknown To address

### How to Fix It

The address may be misspelled or may not exist. Try one or more of the following:

- Send the message again following these steps: In Outlook, open this non-delivery report (NDR) and choose **Send Again** from the Report ribbon. In Outlook on the web, select this NDR, then select the link "**To send this message again, click here.**" Then delete and retype the entire recipient address. If prompted with an Auto-Complete List suggestion don't select it. After typing the complete address, click **Send**.
- Contact the recipient (by phone, for example) to check that the address exists and is correct.
- The recipient may have set up email forwarding to an incorrect address. Ask them to check that any forwarding they've set up is working correctly.
- Clear the recipient Auto-Complete List in Outlook or Outlook on the web by following the steps in this article: [Fix email delivery issues for error code 5.1.1 in Office 365](#), and then send the message again. Retype the entire recipient address before selecting **Send**.

If the problem continues, forward this message to your email admin. If you're an email admin, refer to the **More Info for Email Admins** section below.

## More Info for Email Admins

Status code: 550 5.1.1

This error occurs because the sender sent a message to an email address outside of Office 365, but the address is incorrect or doesn't exist at the destination domain. The error is reported by the recipient domain's email server, but most often it must be fixed by the person who sent the message. If the steps in the **How to Fix It** section above don't fix the problem, and you're the email admin for the recipient, try one or more of the following:

**The email address exists and is correct** - Confirm that the recipient address exists, is correct, and is accepting messages.

**Synchronize your directories** - If you have a hybrid environment and are using directory synchronization make sure the recipient's email address is synced correctly in both Office 365 and in your on-premises directory.

**Errant forwarding rule** - Check for forwarding rules that aren't behaving as expected. Forwarding can be set up by an admin via mail flow rules or mailbox forwarding address settings, or by the recipient via the Inbox Rules feature.

**Mail flow settings and MX records are not correct** - Misconfigured mail flow or MX record settings can cause this error. Check your Office 365 mail flow settings to make sure your domain and any mail flow connectors are set up correctly. Also, work with your domain registrar to make sure the MX records for your domain are configured correctly.

For more information and additional tips to fix this issue, see [Fix email delivery issues for error code 550 5.1.1 in Office 365](#).

### Original Message Details

Created Date: 3/9/2022 12:52:48 AM  
Sender Address: JMurillo@ScottsdaleAz.Gov  
Recipient Address: Cara@Amcorprop.com  
Subject: Rawhide Wash - DRB Hearing Participation (7-WM-2020)

### Error Details

Reported error: 550 5.1.1 <Cara@Amcorprop.com>: Recipient address rejected: User unknown in relay recipient table  
DSN generated by: SA9PR09MB4702.namprd09.prod.outlook.com

### Message Hops

HOP	TIME (UTC)	FROM	TO	WITH
-----	------------	------	----	------

1	3/9/2022 12:52:48 AM	SA9PR09MB5504.namprd09.prod.outlook.com	SA9PR09MB5504.namprd09.prod.outlook.com	mapi
2	3/9/2022 12:52:49 AM	SA9PR09MB5504.namprd09.prod.outlook.com	SA9PR09MB4702.namprd09.prod.outlook.com	Microsoft SMTP Server cipher=TLS_ECDHE_RS

## Original Message Headers

ARC-Seal: i=1; a=rsa-sha256; s=arcselector9901; d=microsoft.com; cv=none;

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ARC-Authentication-Results: i=1; mx.microsoft.com 1; spf=pass

smtp.mailfrom=scottsdaleaz.gov; dmarc=pass action=none  
header.from=scottsdaleaz.gov; dkim=pass header.d=scottsdaleaz.gov; arc=none

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Received: from SA9PR09MB5504.namprd09.prod.outlook.com (2603:10b6:806:4c::11)

by SA9PR09MB4702.namprd09.prod.outlook.com (2603:10b6:806:44::9) with

Microsoft SMTP Server (version=TLS1\_2,

cipher=TLS\_ECDHE\_RSA\_WITH\_AES\_256\_GCM\_SHA384) id 15.20.5038.14; Wed, 9 Mar

2022 00:52:49 +0000

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00:52:48 +0000

From: "Murillo, Jesus" <JMurillo@ScottsdaleAz.Gov>

To: "Murillo, Jesus" <JMurillo@ScottsdaleAz.Gov>

Subject: Rawhide Wash - DRB Hearing Participation (7-WM-2020)

Thread-Topic: Rawhide Wash - DRB Hearing Participation (7-WM-2020)

Thread-Index: AdgzR4lJtpzseE85pRsyBU5by3g3pjQ==



Date: Wed, 9 Mar 2022 00:52:48 +0000

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(UTC)

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X-MS-Exchange-Transport-CrossTenantHeadersStamped: SA9PR09MB4702

## Murillo, Jesus

---

**From:** Murillo, Jesus  
**Sent:** Tuesday, March 08, 2022 5:53 PM  
**To:** Murillo, Jesus  
**Subject:** Rawhide Wash - DRB Hearing Participation (7-WM-2020)

Hello Everyone,

I hope this email finds you all doing well. You are receiving this email because you have expressed interest in the above-mentioned project (**Rawhide Wash - 7-WM-2020**).

I wanted to first point out again that this update is in regards to the Rawhide Wash flood hazard mitigation portion of the project, and **does not include the proposed N. Miller Road Bridge project**. That particular portion of the Rawhide project has not been scheduled for a hearing.

As stated in my previous email to you all, the Rawhide Wash Flood Hazard Mitigation project is still scheduled to be heard on **Thursday, March 17, 2022**. The other purpose for this email is that staff is trying to get a count of the number of people that may participate in person, and those that may participate via virtual process. The virtual process has a limited capacity, and I am trying to get a feel for how many people will want to participate virtually. I think it would be a good idea for a household to speak as one "speaker card" if participating virtually.

I would greatly appreciate if you would please respond to this email with information on how you plan to participate in the hearing. Your response will help staff better prepare for the hearing and make sure everyone's voice is heard. I will also be sending an additional reminder email next week.

I will also be sending a link to the final report when completed, and I wanted to remind the group that all your previous emails and communications will be included in staff's report to the Development Review Board.

I will provide a map and directions to the hearing location next week. Please feel free to contact me with any further questions or comments. Again, this case is particular to the Rawhide Wash case and not the Miller Road Bridge. There will be a hearing scheduled for those particular comments.

Sincerely,

Jesús Murillo  
Senior Planner  
City of Scottsdale  
Planning and Development Services  
7447 E. Indian School Road, Ste. 105  
Scottsdale, AZ 85251  
Phone: 480-312-7849  
Fax: 480-312-9037

Get informed!





## Murillo, Jesus

---

**From:** Murillo, Jesus  
**Sent:** Tuesday, March 08, 2022 5:53 PM  
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**Subject:** Rawhide Wash - DRB Hearing Participation (7-WM-2020)

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Jesús Murillo  
Senior Planner  
City of Scottsdale  
Planning and Development Services  
7447 E. Indian School Road, Ste. 105  
Scottsdale, AZ 85251  
Phone: 480-312-7849  
Fax: 480-312-9037

Get informed!





## Murillo, Jesus

---

**From:** Murillo, Jesus  
**Sent:** Tuesday, March 08, 2022 10:30 AM  
**To:** dl; Lori Lundberg  
**Cc:** Worth, Daniel; City Council; Richter, Jeremy  
**Subject:** RE: City of Scottsdale - Case Info Sheet

Hello Lori and Dan,

I hope you do not mind that I have consolidated the couple of emails I have received from you into this one communication. I thought it would be easier. Thank you for your patience as I have tried to get as much information on both of these projects.

I will start by responding to Dan's inquiry about the sign. The sign is one of the formal notifications identifying the Development Review Board hearing that I have shared with the group (March 17, 2022). This is the same Rawhide Wash modification we have been discussing. I had our planning assistant staff locate the signs where I felt they would be seen by the most residents. I had them place five signs at key locations (please see map below). The hearing will also be advertised in the newspaper and on the City's website. I will also be sending an additional reminder email next Monday to the group I have kept in communication.

Next, I would like to provide an update on the items that we discussed during our on-site visit. I have discussed the possibility of the heightening of the walls identified in the Rawhide Wash and Miller Road bridge projects. The project team for the Rawhide Wash flood hazard mitigation project has analyzed the request and have identified that the raising of the subject wall (known as C-2 on the plans we reviewed) is not required with this project. They have identified that your request is more related to the bridge project, and not the wash modification project. The request is in relationship to the use tied to the bridge. The raising of the one or two blocks is what is required to meet the drainage requirements.

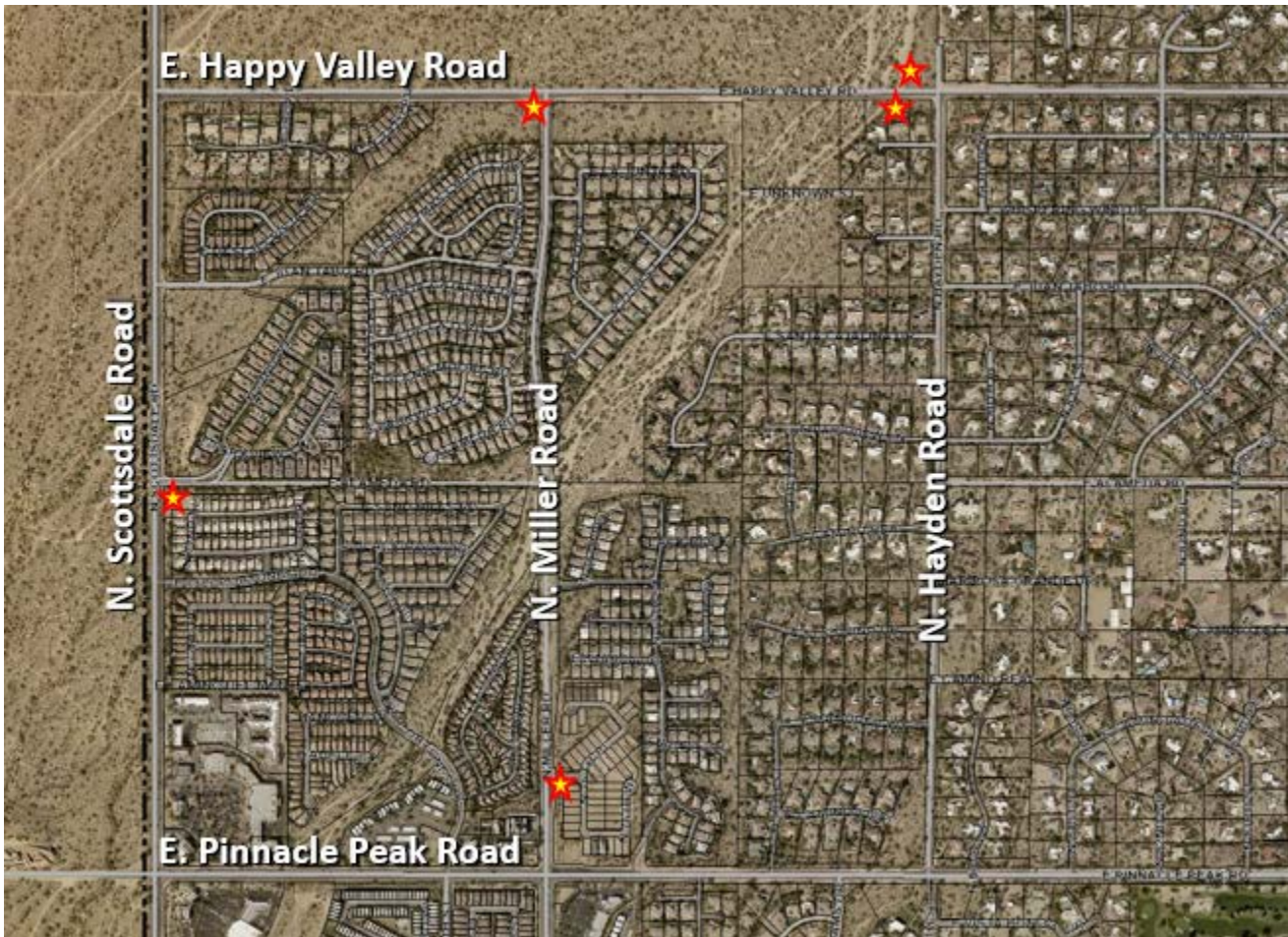
I have shared this with Jeremy, and his team will be looking at the request with the Miller Road bridge project. As I shared with you at the meeting. The project has been submitted once, and will be resubmitted with the updated information. I have shared this information with the development team so that the request will be taken into consideration and addressed with the resubmittal. I will keep you updated.

I have spoken with my planning assistant team, and the virtual log-ins for the hearing are not created until the week of the hearing. I will be providing you, and the rest of the residents, with that link as soon as it is created. I was thinking of providing the link with the hearing reminder email. I will also be sending a separate link to the resident team about the limited number of virtual participants in relation to the in-person attendees.

I do realize how important this information is to you and the other residents, and will keep you updated.

Sincerely,

Jesús



---

**From:** dl <dl@centurylink.net>  
**Sent:** Friday, March 04, 2022 6:00 PM  
**To:** Murillo, Jesus <JMurillo@ScottsdaleAz.Gov>  
**Subject:** City of Scottsdale - Case Info Sheet

**⚠ External Email: Please use caution if opening links or attachments!**

Mr. Murillo

Another sign emerged on Miller Rd at Happy Valley. Can you tell me anything about this proposed modification to Rawhide Wash?

Thank you  
Dan Lundberg

[https://eservices.scottsdaleaz.gov/bldgresources/Cases/Details/7-WM-2020?utm\\_source=planning-postcard&utm\\_medium=qr-code&utm\\_campaign=7-WM-2020](https://eservices.scottsdaleaz.gov/bldgresources/Cases/Details/7-WM-2020?utm_source=planning-postcard&utm_medium=qr-code&utm_campaign=7-WM-2020)

Sent from my Verizon, Samsung Galaxy smartphone



## Murillo, Jesus

---

**From:** dl <dl@centurylink.net>  
**Sent:** Monday, March 07, 2022 12:36 PM  
**To:** Murillo, Jesus  
**Subject:** RE: 03-17-22 Regular Agenda.pdf

**⚠ External Email: Please use caution if opening links or attachments!**

Thanks. We need to get our neighbors informed so we can all ask for the increase in wall height that we are all hoping for!

Sent from my Verizon, Samsung Galaxy smartphone

----- Original message -----

**From:** "Murillo, Jesus" <JMurillo@ScottsdaleAz.Gov>  
**Date:** 3/7/22 12:29 PM (GMT-07:00)  
**To:** dl <dl@centurylink.net>  
**Subject:** RE: 03-17-22 Regular Agenda.pdf

Hello Dan,

I have an email I am drafting to you and Lori,

Should have it out soon.

---

**From:** dl <dl@centurylink.net>  
**Sent:** Monday, March 07, 2022 12:27 PM  
**To:** Murillo, Jesus <JMurillo@ScottsdaleAz.Gov>  
**Subject:** 03-17-22 Regular Agenda.pdf

**⚠ External Email: Please use caution if opening links or attachments!**

Jesus,

Im trying to find the time and virtual login details and request to speak for the March 17 development review meeting.

Do you know what time the development review meeting is for the changes to Rawhide Wash and how we can view the meeting and speak remotely?

Thank you

Dan Lundberg

Sent from my Verizon, Samsung Galaxy smartphone

## Murillo, Jesus

---

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**Sent:** Monday, March 07, 2022 12:27 PM  
**To:** Murillo, Jesus  
**Subject:** 03-17-22 Regular Agenda.pdf

**⚠ External Email: Please use caution if opening links or attachments!**

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Sent from my Verizon, Samsung Galaxy smartphone

## Murillo, Jesus

---

**From:** dl <dl@centurylink.net>  
**Sent:** Friday, March 04, 2022 6:00 PM  
**To:** Murillo, Jesus  
**Subject:** City of Scottsdale - Case Info Sheet  
**Attachments:** 20220304\_173354.jpg

**⚠ External Email: Please use caution if opening links or attachments!**

Mr. Murillo

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Thank you  
Dan Lundberg

[https://eservices.scottsdaleaz.gov/bldgresources/Cases/Details/7-WM-2020?utm\\_source=planning-postcard&utm\\_medium=qr-code&utm\\_campaign=7-WM-2020](https://eservices.scottsdaleaz.gov/bldgresources/Cases/Details/7-WM-2020?utm_source=planning-postcard&utm_medium=qr-code&utm_campaign=7-WM-2020)

Sent from my Verizon, Samsung Galaxy smartphone

# PUBLIC HEARING NOTICE

**REQUEST:** for a Wash Modification for portion of the Rawhide Wash Regional Corridor, adjacent to several communities, for the purposes of flood hazard mitigation, located approximately between E. Jomax Road, south, to E. Pinnacle Peak Road, within the Environmentally Sensitive Lands (ESL) Overlay district area.



Scan, snap, save and share

**CASE#:** 7-WM-2020

**DATE:** March 17<sup>th</sup> 2022

**HEARING DATE SUBJECT TO CHANGE  
PLEASE CHECK OUR WEBSITE FOR LATEST  
INFORMATION**

UNLESS OTHERWISE NOTIFIED, ALL  
PUBLIC HEARINGS ARE HELD AT:

SCOTTSDALE CITY HALL  
3939 N. DRINKWATER BLVD.

IF YOU WISH TO SPEAK AT THIS MEETING, PLEASE ARRIVE EARLY  
TO FILL OUT A COMMENT CARD TO SPEAK

<https://www.scottsdaleaz.gov/boards/development-review-board>

ALL INTERESTED PARTIES ARE INVITED TO LISTEN/VIEW THIS MEETING



POSTING DATE:

**480-312-7767**

**MARCH 3 2022**

**1:00 P.M.**

**DEVELOPMENT REVIEW BOARD**

<https://eservices.scottsdaleaz.gov/bldgresources/Cases>

## Murillo, Jesus

---

**From:** Murillo, Jesus  
**Sent:** Friday, March 04, 2022 7:17 AM  
**To:** Linda Parker; jj.levine@cox.net  
**Subject:** RE: Rawhide Wash Project - 7-WM-2020

Hello Linda and Joe,

Thank you for your patience. I know we have played a bit of email-tag. I have Monday open for some times here, but I could meet your group after work at your location, say around 6:00. Or we could schedule a meeting here at the office at other times.

Sincerely,

Jesús

---

**From:** Linda Parker <Linda.Parker@associa.us>  
**Sent:** Thursday, March 03, 2022 7:52 PM  
**To:** Murillo, Jesus <JMurillo@ScottsdaleAz.Gov>; jj.levine@cox.net  
**Subject:** RE: Rawhide Wash Project - 7-WM-2020  
**Importance:** High

**⚠ External Email: Please use caution if opening links or attachments!**

Good evening Jesus,

I am following up on the meeting that was recently scheduled at La Vista at Pinnacle Peak (see below). My understanding is the meeting did not take place and we would like to reschedule.

Please advise your availability for a reschedule. I have copied Joe Levine, the Board President, on this email so that we can also coordinate with the other Board members.

Thank you,  
Linda Parker, CMCA®, AMS®  
Vice President of Operations  
Associa Arizona®  
7373 N Scottsdale Rd, Ste A102  
Scottsdale, AZ 85253  
Office: 480-892-5222, option 0  
[www.associaarizona.com](http://www.associaarizona.com)  
[Your feedback is important!](#) • [TownSq](#)



ASSOCIA IS CERTIFIED AS A  
GREAT PLACE TO WORK!

---

**From:** Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>

**Sent:** Monday, February 14, 2022 12:38 PM

**To:** [j.j.levine@cox.net](mailto:j.j.levine@cox.net)

**Cc:** 'Ed Toschik' <[ed.toschik@gmail.com](mailto:ed.toschik@gmail.com)>; [shay.noonan.az@gmail.com](mailto:shay.noonan.az@gmail.com); 'Lisa Riley' <[lisabarattoriley@gmail.com](mailto:lisabarattoriley@gmail.com)>; 'Aaron Brown' <[aaronb@lhmfinancial.com](mailto:aaronb@lhmfinancial.com)>; Kristin Bullock <[Kristin.Bullock@associa.us](mailto:Kristin.Bullock@associa.us)>; Linda Parker <[Linda.Parker@associa.us](mailto:Linda.Parker@associa.us)>

**Subject:** RE: Rawhide Wash Project - 7-WM-2020

[EXTERNAL EMAIL] This email originated from outside of Associa.

Hello Mr. Levine,

I can definitely provide some time tomorrow at 4:00 prior to my native plant site-walk, or a little more time at the end of native plant survey. Tuesday's visit to the site was mainly to complete the native plant inventory. Again, I would definitely have some time to meet then, or come back at a later time this week, and dedicate more time to your team.

I will be starting at the Hayden/Happy Valley intersection with the native plant inventory. I could also meet with your team, at around 5:00, at the north end of the Miller Road construction site. It should be there at about that time with the inventory walk.

Please let me know what you think.

Jesús

---

**From:** [j.j.levine@cox.net](mailto:j.j.levine@cox.net) <[j.j.levine@cox.net](mailto:j.j.levine@cox.net)>

**Sent:** Sunday, February 13, 2022 9:18 AM

**To:** Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>

**Cc:** 'Ed Toschik' <[ed.toschik@gmail.com](mailto:ed.toschik@gmail.com)>; [shay.noonan.az@gmail.com](mailto:shay.noonan.az@gmail.com); 'Lisa Riley' <[lisabarattoriley@gmail.com](mailto:lisabarattoriley@gmail.com)>; 'Aaron Brown' <[aaronb@lhmfinancial.com](mailto:aaronb@lhmfinancial.com)>; 'Kristin Bullock' <[Kristin.Bullock@associa.us](mailto:Kristin.Bullock@associa.us)>; Linda Parker <[Linda.Parker@associa.us](mailto:Linda.Parker@associa.us)>

**Subject:** RE: Rawhide Wash Project - 7-WM-2020

 **External Email: Please use caution if opening links or attachments!**

Jesús,

Four of our five board members are looking forward to meeting with you on Tuesday the 15 of February at 4:00. I am assuming that we can get together by the project. North end of Miller Rd. or if you would like, at the park in La Vista (77<sup>th</sup> street and Mariposa Grande road).

If you have other suggestions, we are flexible.

In the pursuit of health and happiness,

*Joseph J. Levine*

7645 E. Mariposa Grande Dr.

Scottsdale AZ 85255

CELL (602) 568-0192

EMAIL [J.J.Levine@cox.net](mailto:J.J.Levine@cox.net)

[Joe at LinkedIn](#)



---

**From:** Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>

**Sent:** Thursday, February 10, 2022 6:45 PM

**To:** [j.j.levine@cox.net](mailto:j.j.levine@cox.net)

**Cc:** 'Ed Toschik' <[ed.toschik@gmail.com](mailto:ed.toschik@gmail.com)>; [shay.noonan.az@gmail.com](mailto:shay.noonan.az@gmail.com); 'Lisa Riley' <[lisabarattoriley@gmail.com](mailto:lisabarattoriley@gmail.com)>; 'Aaron Brown' <[aaronb@lhmfinancial.com](mailto:aaronb@lhmfinancial.com)>; Kristin Bullock <[Kristin.Bullock@associa.us](mailto:Kristin.Bullock@associa.us)>

**Subject:** RE: Rawhide Wash Project - 7-WM-2020

Hello Mr. Levine,

I would love to meet with your board. A meeting on site "outside" would be preferred to meet with the COVID protocols. Let me know what days work for your team, and I will try to set up a meeting date and time.

I have been working with Mr. Jeremy Richter, and home to get those landscape plans soon.

I have conducted half the review on the plants, and look to be out there probably next Tuesday, around 4:00.

Sincerely,

Jesús

---

**From:** [j.j.levine@cox.net](mailto:j.j.levine@cox.net) <[j.j.levine@cox.net](mailto:j.j.levine@cox.net)>

**Sent:** Wednesday, February 02, 2022 6:26 AM

**To:** Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>

**Cc:** 'Ed Toschik' <[ed.toschik@gmail.com](mailto:ed.toschik@gmail.com)>; [shay.noonan.az@gmail.com](mailto:shay.noonan.az@gmail.com); 'Lisa Riley' <[lisabarattoriley@gmail.com](mailto:lisabarattoriley@gmail.com)>; 'Aaron Brown' <[aaronb@lhmfinancial.com](mailto:aaronb@lhmfinancial.com)>; Kristin Bullock <[Kristin.Bullock@associa.us](mailto:Kristin.Bullock@associa.us)>

**Subject:** RE: Rawhide Wash Project - 7-WM-2020

**⚠ External Email: Please use caution if opening links or attachments!**

Jesus, Thank you for the update.

Looking forward to 'bumping' into you to discuss the trees proposed by one of you fellow planners along the miller road corridor to mitigate the noise. Still waiting on that landscape plan.

Would there be a good time for you to meet with our board late one afternoon?



*Joseph Levine*

*It's amazing what obstacles the human mind can overcome, if given the proper tools.  
Unfortunately, the world is nuts and all I've got a rubber mallet.*

---

**From:** Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>  
**Sent:** Tuesday, February 1, 2022 7:12 PM  
**To:** Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>  
**Subject:** Rawhide Wash Project - 7-WM-2020

Hello Everyone,

I Hope this email finds you all doing well. You are receiving this email because you have expressed interest in the above-mentioned project (**Rawhide Wash - 7-WM-2020**).

I wanted to first point out that this update is in regards to the Rawhide Wash flood hazard mitigation portion of the project, and **does not include the proposed improvements along N. Miller Road (bridge project)**. That particular portion of the Rawhide project has been submitted and reviewed, and I will provide a sperate email shortly.

The materials for the Rawhide Flood Control project were resubmitted, and are currently under review. The resubmittal still need to receive reviews from a couple of the City's departments. It appears as though the project may be slated to be scheduled to be heard by the Development Review Board. The resubmittal was complete and appears to have addressed the majority of staff's concerns.

Staff is targeting the **MARCH 17, 2022 DEVELOPMENT REVIEW BOARD** hearing date.

**I wanted to remind everyone that all of the communication that staff has received will be included in staff's report to the Development Review Board.**

I also wanted to mention that I will be conducting the native plant inventory that will be associated with this project. So please do not be surprised if you see me, along with other City planners, walking the wash area soon.

Please feel free to contact me with any further questions or comments.

Sincerely,

Jesús Murillo  
Senior Planner  
City of Scottsdale  
Planning and Development Services  
7447 E. Indian School Road, Ste. 105  
Scottsdale, AZ 85251  
Phone: 480-312-7849  
Fax: 480-312-9037

Get informed!





## Murillo, Jesus

---

**From:** "VOICE/+4807101612"@vm1wa103.ci.scottsdale.az.us  
**Sent:** Friday, February 18, 2022 11:23 AM  
**To:** Murillo, Jesus  
**Subject:** Voice mail: 57 sec.  
**Attachments:** 4549196\_VOICE\_220218-112248.wav

**Follow Up Flag:** Follow up  
**Flag Status:** Completed

## Murillo, Jesus

---

**From:** dl <dl@centurylink.net>  
**Sent:** Wednesday, February 16, 2022 12:54 PM  
**To:** Murillo, Jesus; City Council  
**Cc:** Worth, Daniel; 'Lori Lundberg'  
**Subject:** RE: RE: Rawhide Wash Project - 7-WM-2020

**⚠ External Email: Please use caution if opening links or attachments!**

Confirmed! Thank you for your call.

Sent from my Verizon, Samsung Galaxy smartphone

----- Original message -----

**From:** "Murillo, Jesus" <JMurillo@ScottsdaleAz.Gov>  
**Date:** 2/16/22 12:42 PM (GMT-07:00)  
**To:** dl <dl@centurylink.net>, City Council <CityCouncil@scottsdaleaz.gov>  
**Cc:** "Worth, Daniel" <DaWorth@scottsdaleaz.gov>, 'Lori Lundberg' <Loriscomputer@centurylink.net>  
**Subject:** RE: RE: Rawhide Wash Project - 7-WM-2020

Hello Mr. Lundberg,

Thank you for receiving my call today. I understand now that the group you met with were other City staff, and that you are not part of the group I am meeting with next Tuesday. I wanted to confirm our own personal meeting this Friday at 1:00, north end of the barricade (at E. Parkview Lane). I will bring the improvement plans that are relevant to the location we discussed.

I will have with me a City cell-phone, and I will call you as I leave the office, and as I arrive on the site. I will use the cellphone to make sure that we don't miss each other on the site.

Sincerely,

Jesús

---

**From:** dl <dl@centurylink.net>  
**Sent:** Wednesday, February 16, 2022 12:08 PM

**To:** Murillo, Jesus <JMurillo@ScottsdaleAz.Gov>; City Council <CityCouncil@scottsdaleaz.gov>  
**Cc:** Worth, Daniel <DaWorth@scottsdaleaz.gov>; 'Lori Lundberg' <Loriscomputer@centurylink.net>  
**Subject:** RE: RE: Rawhide Wash Project - 7-WM-2020

**⚠ External Email: Please use caution if opening links or attachments!**

I dont know who Mr. Levine is or what "group" you are referring to. My wife and I organized a meeting here on the 14th and there wasnt a Mr. Levine present. Both of my site walks yesterday at 4:00 and 4:30 started at the very south end of the project where the dirt has been ramped up and goes over the wall at the south end of Rawhide Wash, precisely where you stated you were yesterday.

If you are coming back for a meeting with a "group" in the community of Pinnacle Reserve or Los Portones, my wife and I would like to know what the date time and exact location of the meeting is.

Sent from my Verizon, Samsung Galaxy smartphone

----- Original message -----

From: "Murillo, Jesus" <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>

Date: 2/16/22 11:52 AM (GMT-07:00)

To: "Dan L." <[DL@centurylink.net](mailto:DL@centurylink.net)>, City Council <[CityCouncil@scottsdaleaz.gov](mailto:CityCouncil@scottsdaleaz.gov)>

Cc: "Worth, Daniel" <[DaWorth@scottsdaleaz.gov](mailto:DaWorth@scottsdaleaz.gov)>, 'Lori Lundberg' <[Loriscomputer@centurylink.net](mailto:Loriscomputer@centurylink.net)>

Subject: RE: RE: Rawhide Wash Project - 7-WM-2020

Hello Mr. Lundberg,

I am really sorry to hear about the accidents. I hope for your speedy recovery.

I was out on the site yesterday, from about 4:30 to 6:30, and completed the south side of the wash. I had received an email from Mr. Levine stating that he would prefer I go out to the site and meet with your group next week. I had explained to the group that yesterday was more reserved for the native plant inventory. Mr. Levine stated that the group preferred a separate meeting, without the native plant inventory slowing down the conversation.

I am hoping to meet with the group this next Tuesday.

I may also be out there this Friday morning to finish up the south side of the inventory.

Sincerely,

Jesús

---

**From:** Dan L. <[DL@centurylink.net](mailto:DL@centurylink.net)>  
**Sent:** Wednesday, February 16, 2022 11:32 AM  
**To:** City Council <[CityCouncil@scottsdaleaz.gov](mailto:CityCouncil@scottsdaleaz.gov)>  
**Cc:** Worth, Daniel <[DaWorth@scottsdaleaz.gov](mailto:DaWorth@scottsdaleaz.gov)>; Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>; 'Lori Lundberg' <[Loriscomputer@centurylink.net](mailto:Loriscomputer@centurylink.net)>  
**Subject:** RE: RE: Rawhide Wash Project - 7-WM-2020

 **External Email: Please use caution if opening links or attachments!**

I walked the area yesterday 2-15, today is 2-16. Ever since tearing my retina and vitreous in my right eye in the accident I have trouble typing and reading. Been hit and injured in two auto accidents in this area within 16-weeks of each other recently.

---

**From:** Dan L. <[DL@centurylink.net](mailto:DL@centurylink.net)>  
**Sent:** Wednesday, February 16, 2022 8:40 AM  
**To:** 'City Council' <[CityCouncil@scottsdaleaz.gov](mailto:CityCouncil@scottsdaleaz.gov)>  
**Cc:** 'dworth@scottsdaleaz.gov' <[dworth@scottsdaleaz.gov](mailto:dworth@scottsdaleaz.gov)>; 'Murillo, Jesus' <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>; 'Lori Lundberg' <[Loriscomputer@centurylink.net](mailto:Loriscomputer@centurylink.net)>  
**Subject:** FW: RE: Rawhide Wash Project - 7-WM-2020

Dear Council members Mr. Worth and Mr. Murillo,

Please see the email thread below. I walked the project area yesterday 2-16 at 4:00PM and again at 4:30PM expecting to find Mr. Murillo to have the opportunity to discuss with him our request to increase the height (to 6ft or more) of the flood wall that is parallel to the Miller Rd Bridge Project, separating our backyard view fences from the road and bridge. Mr. Murillo said he would be in the area around 4:00PM Tuesday 2-15. I am very disappointed that I was unable to locate Mr. Murillo on two separate attempts.

We would like to know where the Development review board meeting is on March 17, we would also like to ask if we can attend remotely via a zoom meeting.

Again, we are pleading with the city and council to increase the height of this wall to at least 6 ft when all the other flood walls are being increased in height and or building new flood walls in the Rawhide wash area. As we understood it from the on-site meeting in PPR on Jan 14, the plan is to increase the wall to 5 ft for flood, and we ask when that happens, the wall be increase at least another foot or so for noise and light abatement, privacy, safety and security to the back of our properties.

I can tell you the noise from the construction is horrible and disrupting all day every weekday. In the future, traffic in the same area in such close proximity will be equally as bad. Please increase the wall height to 6ft or higher.

Thank you,

Dan Lundberg

---

**From:** dl <[dl@centurylink.net](mailto:dl@centurylink.net)>

**Sent:** Wednesday, February 16, 2022 8:19 AM

**To:** [DL@centurylink.net](mailto:DL@centurylink.net)

**Subject:** FW: RE: Rawhide Wash Project - 7-WM-2020

Sent from my Verizon, Samsung Galaxy smartphone

----- Original message -----

From: Lori Lundberg <[Loriscomputer@centurylink.net](mailto:Loriscomputer@centurylink.net)>

Date: 2/15/22 9:51 PM (GMT-07:00)

To: "'Murillo, Jesus'" <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>

Cc: "'Dan L.'" <[DL@centurylink.net](mailto:DL@centurylink.net)>

Subject: RE: Rawhide Wash Project - 7-WM-2020

Hi Mr. Murillo,

Dan stopped by the project twice to meet up with you but could not connect. Will you be back this week? If so, please let us know. I copied him on this email.

Thanks!

Lori Lundberg

---

**From:** Lori Lundberg <[Loriscomputer@centurylink.net](mailto:Loriscomputer@centurylink.net)>

**Sent:** Thursday, February 10, 2022 8:36 PM

**To:** 'Murillo, Jesus' <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>

**Subject:** RE: Rawhide Wash Project - 7-WM-2020

Hi Mr. Murillo,



We are specifically asking about the wall that parallels Miller Road that runs behind homes starting at Park View and past our NAOS. It is hard to describe so when you are in the area on Tuesday, if you could please call or text my husband, Dan at 602-618-8155. He can come out to show you. I will still be at work at that time.

We will plan to come to the meeting and look forward to the details.

Thank you very much!

Lori Lundberg

---

**From:** Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>  
**Sent:** Thursday, February 10, 2022 6:49 PM  
**To:** Lori Lundberg <[Loriscomputer@centurylink.net](mailto:Loriscomputer@centurylink.net)>  
**Subject:** RE: Rawhide Wash Project - 7-WM-2020

Hello Lori,

Yes, the plans do have the existing and proposed wall heights identified. If you are looking for a specific location, please let me know – I will try to get the graphics to you.

Yes, the Development Review Board meeting will be open to the public. I will send a reminder to all those that have send me communications.

I will be out there again this upcoming Tuesday, starting around 4:00 in the afternoon. I have been piecing the review – it is a large site.

Sincerely,

---

**From:** Lori Lundberg <[Loriscomputer@centurylink.net](mailto:Loriscomputer@centurylink.net)>  
**Sent:** Tuesday, February 01, 2022 8:38 PM  
**To:** Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>  
**Subject:** RE: Rawhide Wash Project - 7-WM-2020

 **External Email: Please use caution if opening links or attachments!**

Hi Mr. Murillo,

Thank you for this information. I have 2 questions:

1. Does this resubmittal include additional height to the retaining walls?
2. Can homeowners attend the meeting on March 17<sup>th</sup>?

If you are out and about, I would like to meet you briefly. I wanted to ask about some of the planned landscaping along the NAOS. I put my cell phone below if you are able to text or reply to this email.

Thank you so much!

Lori Lundberg

480-620-2960

---

**From:** Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>  
**Sent:** Tuesday, February 1, 2022 7:12 PM  
**To:** Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>  
**Subject:** Rawhide Wash Project - 7-WM-2020

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I wanted to first point out that this update is in regards to the Rawhide Wash flood hazard mitigation portion of the project, and **does not include the proposed improvements along N. Miller Road (bridge project)**. That particular portion of the Rawhide project has been submitted and reviewed, and I will provide a sperate email shortly.

The materials for the Rawhide Flood Control project were resubmitted, and are currently under review. The resubmittal still need to receive reviews from a couple of the City's departments. It appears as though the project may be slated to be scheduled to be heard by the Development Review Board. The resubmittal was complete and appears to have addressed the majority of staff's concerns.

Staff is targeting the **MARCH 17, 2022 DEVELOPMENT REVIEW BOARD** hearing date.

**I wanted to remind everyone that all of the communication that staff has received will be included in staff's report to the Development Review Board.**

I also wanted to mention that I will be conducting the native plant inventory that will be associated with this project. So please do not be surprised if you see me, along with other City planners, walking the wash area soon.

Please feel free to contact me with any further questions or comments.

Sincerely,

Jesús Murillo

Senior Planner

City of Scottsdale

Planning and Development Services

7447 E. Indian School Road, Ste. 105

Scottsdale, AZ 85251

Phone: 480-312-7849

Fax: 480-312-9037

Get informed!



## Murillo, Jesus

---

**From:** Murillo, Jesus  
**Sent:** Wednesday, February 16, 2022 12:42 PM  
**To:** dl; City Council  
**Cc:** Worth, Daniel; 'Lori Lundberg'  
**Subject:** RE: RE: Rawhide Wash Project - 7-WM-2020

Hello Mr. Lundberg,

Thank you for receiving my call today. I understand now that the group you met with were other City staff, and that you are not part of the group I am meeting with next Tuesday. I wanted to confirm our own personal meeting this Friday at 1:00, north end of the barricade (at E. Parkview Lane). I will bring the improvement plans that are relevant to the location we discussed.

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Jesús

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**Sent:** Wednesday, February 16, 2022 12:08 PM  
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**Subject:** RE: RE: Rawhide Wash Project - 7-WM-2020

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**Date:** 2/16/22 11:52 AM (GMT-07:00)  
**To:** "Dan L." <[DL@centurylink.net](mailto:DL@centurylink.net)>, City Council <[CityCouncil@scottsdaleaz.gov](mailto:CityCouncil@scottsdaleaz.gov)>  
**Cc:** "Worth, Daniel" <[DaWorth@scottsdaleaz.gov](mailto:DaWorth@scottsdaleaz.gov)>, 'Lori Lundberg' <[Loriscomputer@centurylink.net](mailto:Loriscomputer@centurylink.net)>  
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Hello Mr. Lundberg,

I am really sorry to hear about the accidents. I hope for your speedy recovery.

I was out on the site yesterday, from about 4:30 to 6:30, and completed the south side of the wash. I had received an email from Mr. Levine stating that he would prefer I go out to the site and meet with your group next week. I had explained to the group that yesterday was more reserved for the native plant inventory. Mr. Levine stated that the group preferred a separate meeting, without the native plant inventory slowing down the conversation.

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Jesús

---

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**Sent:** Wednesday, February 16, 2022 11:32 AM  
**To:** City Council <[CityCouncil@scottsdaleaz.gov](mailto:CityCouncil@scottsdaleaz.gov)>  
**Cc:** Worth, Daniel <[DaWorth@scottsdaleaz.gov](mailto:DaWorth@scottsdaleaz.gov)>; Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>; 'Lori Lundberg' <[Loriscomputer@centurylink.net](mailto:Loriscomputer@centurylink.net)>  
**Subject:** RE: RE: Rawhide Wash Project - 7-WM-2020

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---

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**Sent:** Wednesday, February 16, 2022 8:40 AM

To: 'City Council' <[CityCouncil@scottsdaleaz.gov](mailto:CityCouncil@scottsdaleaz.gov)>

Cc: 'dworth@scottsdaleaz.gov' <[dworth@scottsdaleaz.gov](mailto:dworth@scottsdaleaz.gov)>; 'Murillo, Jesus' <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>; 'Lori Lundberg' <[Loriscomputer@centurylink.net](mailto:Loriscomputer@centurylink.net)>

Subject: FW: RE: Rawhide Wash Project - 7-WM-2020

Dear Council members Mr. Worth and Mr. Murillo,

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**To:** [DL@centurylink.net](mailto:DL@centurylink.net)  
**Subject:** FW: RE: Rawhide Wash Project - 7-WM-2020

Sent from my Verizon, Samsung Galaxy smartphone

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**Date:** 2/15/22 9:51 PM (GMT-07:00)

**To:** "'Murillo, Jesus'" <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>

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Jesús

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Lori Lundberg

480-620-2960

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**Subject:** Rawhide Wash Project - 7-WM-2020

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I also wanted to mention that I will be conducting the native plant inventory that will be associated with this project. So please do not be surprised if you see me, along with other City planners, walking the wash area soon.

Please feel free to contact me with any further questions or comments.

Sincerely,

Jesús Murillo

Senior Planner

City of Scottsdale

Planning and Development Services

7447 E. Indian School Road, Ste. 105

Scottsdale, AZ 85251

Phone: 480-312-7849

Fax: 480-312-9037

Get informed!



## Murillo, Jesus

---

**From:** dl <dl@centurylink.net>  
**Sent:** Wednesday, February 16, 2022 12:08 PM  
**To:** Murillo, Jesus; City Council  
**Cc:** Worth, Daniel; 'Lori Lundberg'  
**Subject:** RE: RE: Rawhide Wash Project - 7-WM-2020

**⚠ External Email: Please use caution if opening links or attachments!**

I dont know who Mr. Levine is or what "group" you are referring to. My wife and I organized a meeting here on the 14th and there wasnt a Mr. Levine present. Both of my site walks yesterday at 4:00 and 4:30 started at the very south end of the project where the dirt has been ramped up and goes over the wall at the south end of Rawhide Wash, precisely where you stated you were yesterday.

If you are coming back for a meeting with a "group" in the community of Pinnacle Reserve or Los Portones, my wife and I would like to know what the date time and exact location of the meeting is.

Sent from my Verizon, Samsung Galaxy smartphone

----- Original message -----

From: "Murillo, Jesus" <JMurillo@ScottsdaleAz.Gov>  
Date: 2/16/22 11:52 AM (GMT-07:00)  
To: "Dan L." <DL@centurylink.net>, City Council <CityCouncil@scottsdaleaz.gov>  
Cc: "Worth, Daniel" <DaWorth@scottsdaleaz.gov>, 'Lori Lundberg' <Loriscomputer@centurylink.net>  
Subject: RE: RE: Rawhide Wash Project - 7-WM-2020

Hello Mr. Lundberg,

I am really sorry to hear about the accidents. I hope for your speedy recovery.

I was out on the site yesterday, from about 4:30 to 6:30, and completed the south side of the wash. I had received an email from Mr. Levine stating that he would preferer I go out to the site and meet with your group next week. I had explained to the group that yesterday was more reserved for the native plant inventory. Mr. Levine stated that the group preferred a sperate meeting, without the native plant inventory slowing down the conversation.

I am hoping to meet with the group this next Tuesday.

I may also be out there this Friday morning to finish up the south side of the inventory.

Sincerely,

Jesús

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**From:** Dan L. <DL@centurylink.net>  
**Sent:** Wednesday, February 16, 2022 11:32 AM  
**To:** City Council <CityCouncil@scottsdaleaz.gov>  
**Cc:** Worth, Daniel <DaWorth@scottsdaleaz.gov>; Murillo, Jesus <JMurillo@ScottsdaleAz.Gov>; 'Lori Lundberg' <Loriscomputer@centurylink.net>  
**Subject:** RE: RE: Rawhide Wash Project - 7-WM-2020

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**From:** Dan L. <DL@centurylink.net>  
**Sent:** Wednesday, February 16, 2022 8:40 AM  
**To:** 'City Council' <CityCouncil@scottsdaleaz.gov>  
**Cc:** 'dworth@scottsdaleaz.gov' <dworth@scottsdaleaz.gov>; 'Murillo, Jesus' <JMurillo@ScottsdaleAz.Gov>; 'Lori Lundberg' <Loriscomputer@centurylink.net>  
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We would like to know where the Development review board meeting is on March 17, we would also like to ask if we can attend remotely via a zoom meeting.

Again, we are pleading with the city and council to increase the height of this wall to at least 6 ft when all the other flood walls are being increased in height and or building new flood walls in the Rawhide wash area. As we understood it from the on-site meeting in PPR on Jan 14, the plan is to increase the wall to 5 ft for flood, and we ask when that happens, the wall be increase at least another foot or so for noise and light abatement, privacy, safety and security to the back of our properties.

I can tell you the noise from the construction is horrible and disrupting all day every weekday. In the future, traffic in the same area in such close proximity will be equally as bad. Please increase the wall height to 6ft or higher.

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City of Scottsdale

Planning and Development Services

7447 E. Indian School Road, Ste. 105

Scottsdale, AZ 85251

Phone: 480-312-7849

Fax: 480-312-9037

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## Murillo, Jesus

---

**From:** Murillo, Jesus  
**Sent:** Wednesday, February 16, 2022 11:51 AM  
**To:** jj.levine@cox.net  
**Subject:** RE: Rawhide Wash Project - 7-WM-2020

Hello Mr. Levine,

How does next Tuesday, around 5:30 or so, work for the team?

Sincerely,

Jesús

---

**From:** jj.levine@cox.net <jj.levine@cox.net>  
**Sent:** Monday, February 14, 2022 6:08 PM  
**To:** Murillo, Jesus <JMurillo@ScottsdaleAz.Gov>  
**Subject:** RE: Rawhide Wash Project - 7-WM-2020  
**Importance:** High

**⚠ External Email: Please use caution if opening links or attachments!**

Jesus,

Just walked in. please ignore my message. I can be a bit pushy. We have not heard back from our management company and next week would be great to prepare for.

What day next week would work for you?

I would be available any day after 4:00 PM.

*Joseph Levine*

It's amazing what obstacles the human mind can overcome, if given the proper tools.

*Unfortunately, the world is nuts and all I've got a rubber mallet.*

---

**From:** Murillo, Jesus <JMurillo@ScottsdaleAz.Gov>  
**Sent:** Monday, February 14, 2022 12:38 PM  
**To:** [jj.levine@cox.net](mailto:jj.levine@cox.net)  
**Cc:** 'Ed Toschik' <[ed.toschik@gmail.com](mailto:ed.toschik@gmail.com)>; shay.noonan.az@gmail.com; 'Lisa Riley' <[lisabarattoriley@gmail.com](mailto:lisabarattoriley@gmail.com)>; 'Aaron Brown' <[aaronb@lhmfinancial.com](mailto:aaronb@lhmfinancial.com)>; 'Kristin Bullock' <[Kristin.Bullock@associa.us](mailto:Kristin.Bullock@associa.us)>; Linda Parker <[Linda.Parker@associa.us](mailto:Linda.Parker@associa.us)>  
**Subject:** RE: Rawhide Wash Project - 7-WM-2020

Hello Mr. Levine,

I can definitely provide some time tomorrow at 4:00 prior to my native plant site-walk, or a little more time at the end of native plant survey. Tuesday's visit to the site was mainly to complete the native plant inventory. Again, I would definitely have some time to meet then, or come back at a later time this week, and dedicate more time to your team.

I will be starting at the Hayden/Happy Valley intersection with the native plant inventory. I could also meet with your team, at around 5:00, at the north end of the Miller Road construction site. It should be there at about that time with the inventory walk.

Please let me know what you think.

Jesús

---

**From:** [j.j.levine@cox.net](mailto:j.j.levine@cox.net) <[j.j.levine@cox.net](mailto:j.j.levine@cox.net)>  
**Sent:** Sunday, February 13, 2022 9:18 AM  
**To:** Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>  
**Cc:** 'Ed Toschik' <[ed.toschik@gmail.com](mailto:ed.toschik@gmail.com)>; [shay.noonan.az@gmail.com](mailto:shay.noonan.az@gmail.com); 'Lisa Riley' <[lisabarattoriley@gmail.com](mailto:lisabarattoriley@gmail.com)>; 'Aaron Brown' <[aaronb@lhmfinancial.com](mailto:aaronb@lhmfinancial.com)>; 'Kristin Bullock' <[Kristin.Bullock@associa.us](mailto:Kristin.Bullock@associa.us)>; Linda Parker <[Linda.Parker@associa.us](mailto:Linda.Parker@associa.us)>  
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**⚠ External Email: Please use caution if opening links or attachments!**

Jesús,

Four of our five board members are looking forward to meeting with you on Tuesday the 15 of February at 4:00. I am assuming that we can get together by the project. North end of Miller Rd. or if you would like, at the park in La Vista (77<sup>th</sup> street and Mariposa Grande road).

If you have other suggestions, we are flexible.

In the pursuit of health and happiness,

*Joseph J. Levine*

7645 E. Mariposa Grande Dr.

Scottsdale AZ 85255

CELL (602) 568-0192

EMAIL [J.J.Levine@cox.net](mailto:J.J.Levine@cox.net)

[Joe at LinkedIn](#)



---

**From:** Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>  
**Sent:** Thursday, February 10, 2022 6:45 PM  
**To:** [j.j.levine@cox.net](mailto:j.j.levine@cox.net)  
**Cc:** 'Ed Toschik' <[ed.toschik@gmail.com](mailto:ed.toschik@gmail.com)>; [shay.noonan.az@gmail.com](mailto:shay.noonan.az@gmail.com); 'Lisa Riley' <[lisabarattoriley@gmail.com](mailto:lisabarattoriley@gmail.com)>; 'Aaron

Brown' <[aaronb@lhmfinancial.com](mailto:aaronb@lhmfinancial.com)>; Kristin Bullock <[Kristin.Bullock@associa.us](mailto:Kristin.Bullock@associa.us)>

**Subject:** RE: Rawhide Wash Project - 7-WM-2020

Hello Mr. Levine,

I would love to meet with your board. A meeting on site "outside" would be preferred to meet with the COVID protocols. Let me know what days work for your team, and I will try to set up a meeting date and time.

I have been working with Mr. Jeremy Richter, and home to get those landscape plans soon.

I have conducted half the review on the plants, and look to be out there probably next Tuesday, around 4:00.

Sincerely,

Jesús

---

**From:** [j.j.levine@cox.net](mailto:j.j.levine@cox.net) <[j.j.levine@cox.net](mailto:j.j.levine@cox.net)>

**Sent:** Wednesday, February 02, 2022 6:26 AM

**To:** Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>

**Cc:** 'Ed Toschik' <[ed.toschik@gmail.com](mailto:ed.toschik@gmail.com)>; [shay.noonan.az@gmail.com](mailto:shay.noonan.az@gmail.com); 'Lisa Riley' <[lisabarattoriley@gmail.com](mailto:lisabarattoriley@gmail.com)>; 'Aaron Brown' <[aaronb@lhmfinancial.com](mailto:aaronb@lhmfinancial.com)>; Kristin Bullock <[Kristin.Bullock@associa.us](mailto:Kristin.Bullock@associa.us)>

**Subject:** RE: Rawhide Wash Project - 7-WM-2020

**⚠ External Email: Please use caution if opening links or attachments!**

Jesus, Thank you for the update.

Looking forward to 'bumping' into you to discuss the trees proposed by one of you fellow planners along the miller road corridor to mitigate the noise. Still waiting on that landscape plan.

Would there be a good time for you to meet with our board late one afternoon?

*Joseph Levine*

*It's amazing what obstacles the human mind can overcome, if given the proper tools.*

*Unfortunately, the world is nuts and all I've got a rubber mallet.*

---

**From:** Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>

**Sent:** Tuesday, February 1, 2022 7:12 PM

**To:** Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>

**Subject:** Rawhide Wash Project - 7-WM-2020

Hello Everyone,

I Hope this email finds you all doing well. You are receiving this email because you have expressed interest in the above-mentioned project (**Rawhide Wash - 7-WM-2020**).

I wanted to first point out that this update is in regards to the Rawhide Wash flood hazard mitigation portion of the project, and **does not include the proposed improvements along N. Miller Road (bridge project)**. That particular portion of the Rawhide project has been submitted and reviewed, and I will provide a sperate email shortly.

The materials for the Rawhide Flood Control project were resubmitted, and are currently under review. The resubmittal still need to receive reviews from a couple of the City's departments. It appears as though the project may be slated to

be scheduled to be heard by the Development Review Board. The resubmittal was complete and appears to have addressed the majority of staff's concerns.

Staff is targeting the **MARCH 17, 2022 DEVELOPMENT REVIEW BOARD** hearing date.

**I wanted to remind everyone that all of the communication that staff has received will be included in staff's report to the Development Review Board.**

I also wanted to mention that I will be conducting the native plant inventory that will be associated with this project. So please do not be surprised if you see me, along with other City planners, walking the wash area soon.

Please feel free to contact me with any further questions or comments.

Sincerely,

Jesús Murillo  
Senior Planner  
City of Scottsdale  
Planning and Development Services  
7447 E. Indian School Road, Ste. 105  
Scottsdale, AZ 85251  
Phone: 480-312-7849  
Fax: 480-312-9037

Get informed!



## Murillo, Jesus

---

**From:** Dan L. <DL@centurylink.net>  
**Sent:** Wednesday, February 16, 2022 11:32 AM  
**To:** City Council  
**Cc:** Worth, Daniel; Murillo, Jesus; 'Lori Lundberg'  
**Subject:** RE: RE: Rawhide Wash Project - 7-WM-2020

**⚠ External Email: Please use caution if opening links or attachments!**

I walked the area yesterday 2-15, today is 2-16. Ever since tearing my retina and vitreous in my right eye in the accident I have trouble typing and reading. Been hit and injured in two auto accidents in this area within 16-weeks of each other recently.

---

**From:** Dan L. <DL@centurylink.net>  
**Sent:** Wednesday, February 16, 2022 8:40 AM  
**To:** 'City Council' <CityCouncil@scottsdaleaz.gov>  
**Cc:** 'dworth@scottsdaleaz.gov' <dworth@scottsdaleaz.gov>; 'Murillo, Jesus' <JMurillo@ScottsdaleAz.Gov>; 'Lori Lundberg' <Loriscomputer@centurylink.net>  
**Subject:** FW: RE: Rawhide Wash Project - 7-WM-2020

Dear Council members Mr. Worth and Mr. Murillo,

Please see the email thread below. I walked the project area yesterday 2-16 at 4:00PM and again at 4:30PM expecting to find Mr. Murillo to have the opportunity to discuss with him our request to increase the height (to 6ft or more) of the flood wall that is parallel to the Miller Rd Bridge Project, separating our backyard view fences from the road and bridge. Mr. Murillo said he would be in the area around 4:00PM Tuesday 2-15. I am very disappointed that I was unable to locate Mr. Murillo on two separate attempts.

We would like to know where the Development review board meeting is on March 17, we would also like to ask if we can attend remotely via a zoom meeting.

Again, we are pleading with the city and council to increase the height of this wall to at least 6 ft when all the other flood walls are being increased in height and or building new flood walls in the Rawhide wash area. As we understood it from the on-site meeting in PPR on Jan 14, the plan is to increase the wall to 5 ft for flood, and we ask when that happens, the wall be increase at least another foot or so for noise and light abatement, privacy, safety and security to the back of our properties.

I can tell you the noise from the construction is horrible and disrupting all day every weekday. In the future, traffic in the same area in such close proximity will be equally as bad. Please increase the wall height to 6ft or higher.

Thank you,  
Dan Lundberg

---

**From:** dl <[dl@centurylink.net](mailto:dl@centurylink.net)>  
**Sent:** Wednesday, February 16, 2022 8:19 AM  
**To:** [DL@centurylink.net](mailto:DL@centurylink.net)  
**Subject:** FW: RE: Rawhide Wash Project - 7-WM-2020

Sent from my Verizon, Samsung Galaxy smartphone

----- Original message -----

**From:** Lori Lundberg <[Loriscomputer@centurylink.net](mailto:Loriscomputer@centurylink.net)>  
**Date:** 2/15/22 9:51 PM (GMT-07:00)  
**To:** "'Murillo, Jesus'" <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>  
**Cc:** "'Dan L.'" <[DL@centurylink.net](mailto:DL@centurylink.net)>  
**Subject:** RE: Rawhide Wash Project - 7-WM-2020

Hi Mr. Murillo,

Dan stopped by the project twice to meet up with you but could not connect. Will you be back this week? If so, please let us know. I copied him on this email.

Thanks!

Lori Lundberg

---

**From:** Lori Lundberg <[Loriscomputer@centurylink.net](mailto:Loriscomputer@centurylink.net)>  
**Sent:** Thursday, February 10, 2022 8:36 PM  
**To:** 'Murillo, Jesus' <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>  
**Subject:** RE: Rawhide Wash Project - 7-WM-2020

Hi Mr. Murillo,



We are specifically asking about the wall that parallels Miller Road that runs behind homes starting at Park View and past our NAOS. It is hard to describe so when you are in the area on Tuesday, if you could please call or text my husband, Dan at 602-618-8155. He can come out to show you. I will still be at work at that time.

We will plan to come to the meeting and look forward to the details.

Thank you very much!

Lori Lundberg

---

**From:** Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>  
**Sent:** Thursday, February 10, 2022 6:49 PM  
**To:** Lori Lundberg <[Loriscomputer@centurylink.net](mailto:Loriscomputer@centurylink.net)>  
**Subject:** RE: Rawhide Wash Project - 7-WM-2020

Hello Lori,

Yes, the plans do have the existing and proposed wall heights identified. If you are looking for a specific location, please let me know – I will try to get the graphics to you.

Yes, the Development Review Board meeting will be open to the public. I will send a reminder to all those that have send me communications.

I will be out there again this upcoming Tuesday, starting around 4:00 in the afternoon. I have been piecing the review – it is a large site.

Sincerely,

Jesús

---

**From:** Lori Lundberg <[Loriscomputer@centurylink.net](mailto:Loriscomputer@centurylink.net)>  
**Sent:** Tuesday, February 01, 2022 8:38 PM  
**To:** Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>  
**Subject:** RE: Rawhide Wash Project - 7-WM-2020

 **External Email: Please use caution if opening links or attachments!**

Hi Mr. Murillo,

Thank you for this information. I have 2 questions:

1. Does this resubmittal include additional height to the retaining walls?
2. Can homeowners attend the meeting on March 17<sup>th</sup>?

If you are out and about, I would like to meet you briefly. I wanted to ask about some of the planned landscaping along the NAOS. I put my cell phone below if you are able to text or reply to this email.

Thank you so much!

Lori Lundberg

480-620-2960

---

**From:** Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>  
**Sent:** Tuesday, February 1, 2022 7:12 PM  
**To:** Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>  
**Subject:** Rawhide Wash Project - 7-WM-2020

Hello Everyone,

I Hope this email finds you all doing well. You are receiving this email because you have expressed interest in the above-mentioned project (**Rawhide Wash - 7-WM-2020**).

I wanted to first point out that this update is in regards to the Rawhide Wash flood hazard mitigation portion of the project, and **does not include the proposed improvements along N. Miller Road (bridge project)**. That particular portion of the Rawhide project has been submitted and reviewed, and I will provide a sperate email shortly.

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Staff is targeting the **MARCH 17, 2022 DEVELOPMENT REVIEW BOARD** hearing date.

**I wanted to remind everyone that all of the communication that staff has received will be included in staff's report to the Development Review Board.**

I also wanted to mention that I will be conducting the native plant inventory that will be associated with this project. So please do not be surprised if you see me, along with other City planners, walking the wash area soon.

Please feel free to contact me with any further questions or comments.

Sincerely,

Jesús Murillo

Senior Planner

City of Scottsdale

Planning and Development Services

7447 E. Indian School Road, Ste. 105

Scottsdale, AZ 85251

Phone: 480-312-7849

Fax: 480-312-9037

Get informed!



## Murillo, Jesus

---

**From:** Scott Ogden <scott@jefuller.com>  
**Sent:** Wednesday, February 16, 2022 11:19 AM  
**To:** Murillo, Jesus  
**Cc:** Nazar Nabaty (FCD); Couch, Ashley; Ray Dovalina; Jay Hicks (jay@digstudio.com)  
**Subject:** RE: Rawhide Wash FHMP - 7WM2020 - Response package to the 2nd Review Letter

**⚠ External Email: Please use caution if opening links or attachments!**

Hi Jesus,

Just following up on this thread to kick it to the top of your inbox. Advice for contacting and scheduling the pre-DRB meetings with board members?

Thanks,  
Scott

---

**From:** Couch, Ashley <ACouch@ScottsdaleAz.Gov>  
**Sent:** Wednesday, January 26, 2022 12:45 AM  
**To:** Scott Ogden <scott@jefuller.com>; Murillo, Jesus <JMurillo@ScottsdaleAz.Gov>  
**Cc:** Nazar Nabaty (FCD) <Nazar.Nabaty@Maricopa.Gov>; Ray Dovalina <ray.dovalina@phoenix.gov>; Jay Hicks (jay@digstudio.com) <jay@digstudio.com>  
**Subject:** Re: Rawhide Wash FHMP - 7WM2020 - Response package to the 2nd Review Letter

CAUTION: [EXTERNAL] : this e-mail originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

My tentative vacation is now set for February 12-20. No changes to March vacation. I may work a bit during the February vacation, but not the March one.

Please let us know how these meetings with DR Board members are scheduled.

Thanks!

Ashley

---

**From:** Couch, Ashley  
**Sent:** Thursday, January 20, 2022 9:00:01 PM  
**To:** Scott Ogden <[scott@jefuller.com](mailto:scott@jefuller.com)>; Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>  
**Cc:** Nazar Nabaty (FCD) <[Nazar.Nabaty@Maricopa.Gov](mailto:Nazar.Nabaty@Maricopa.Gov)>; Ray Dovalina <[ray.dovalina@phoenix.gov](mailto:ray.dovalina@phoenix.gov)>; Jay Hicks ([jay@digstudio.com](mailto:jay@digstudio.com)) <[jay@digstudio.com](mailto:jay@digstudio.com)>  
**Subject:** RE: Rawhide Wash FHMP - 7WM2020 - Response package to the 2nd Review Letter

Thanks for getting this on the agenda.

I was just going to ask the same thing. What's the best way to schedule these meetings? I would like to attend and I think Scott Ogden and Jay Hicks should attend as well. Would you like to attend? I think it would be helpful if you have time.

We probably ought to start scheduling these since I will be on vacation February 19-27 (tentative, and not all these days) and March 4-13 (definite, all these days).

Thanks!

Ashley

---

**From:** Scott Ogden <[scott@jefuller.com](mailto:scott@jefuller.com)>  
**Sent:** Thursday, January 20, 2022 2:42 PM  
**To:** Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>  
**Cc:** Nazar Nabaty (FCD) <[Nazar.Nabaty@Maricopa.Gov](mailto:Nazar.Nabaty@Maricopa.Gov)>; Ray Dovalina <[ray.dovalina@phoenix.gov](mailto:ray.dovalina@phoenix.gov)>; Jay Hicks ([jay@digstudio.com](mailto:jay@digstudio.com)) <[jay@digstudio.com](mailto:jay@digstudio.com)>; Couch, Ashley <[ACouch@ScottsdaleAz.Gov](mailto:ACouch@ScottsdaleAz.Gov)>  
**Subject:** RE: Rawhide Wash FHMP - 7WM2020 - Response package to the 2nd Review Letter

**⚠ External Email: Please use caution if opening links or attachments!**

Thank you, Jesus. Appreciate the download and dates. Do you have good contact information for the Board members you recommend we meet with in advance?

Thanks,  
Scott

---

**From:** Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>  
**Sent:** Thursday, January 20, 2022 1:44 PM  
**To:** Scott Ogden <[scott@jefuller.com](mailto:scott@jefuller.com)>  
**Cc:** Nazar Nabaty (FCD) <[Nazar.Nabaty@Maricopa.Gov](mailto:Nazar.Nabaty@Maricopa.Gov)>; Ray Dovalina <[ray.dovalina@phoenix.gov](mailto:ray.dovalina@phoenix.gov)>; Jay Hicks ([jay@digstudio.com](mailto:jay@digstudio.com)) <[jay@digstudio.com](mailto:jay@digstudio.com)>; Couch, Ashley <[ACouch@ScottsdaleAz.Gov](mailto:ACouch@ScottsdaleAz.Gov)>  
**Subject:** RE: Rawhide Wash FHMP - 7WM2020 - Response package to the 2nd Review Letter

CAUTION: [EXTERNAL] : this e-mail originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

Hello Scott,

Thank you for your patience – I have been playing catch-up all this week.

I looked at the system, and the case has been placed on the March 17, 2022 DRB hearing date. The review is due out by the reviewers on February 3, 2022. This means that the my report is due on March 3, 2022. I will assume that the project has provided the information needed to move forward. This will also give us time to switch-out sheets if requested by the reviewers.

I will be sending the concerned residents an update, and the DRB date as well. I will keep you updated on the comments I receive.

Again, thank you for your patience.

Sincerely,

Jesús

---

**From:** Scott Ogden <[scott@jefuller.com](mailto:scott@jefuller.com)>  
**Sent:** Monday, January 17, 2022 6:03 PM  
**To:** Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>  
**Cc:** Nazar Nabaty (FCD) <[Nazar.Nabaty@Maricopa.Gov](mailto:Nazar.Nabaty@Maricopa.Gov)>; Ray Dovalina <[ray.dovalina@phoenix.gov](mailto:ray.dovalina@phoenix.gov)>; Jay Hicks ([jay@digstudio.com](mailto:jay@digstudio.com)) <[jay@digstudio.com](mailto:jay@digstudio.com)>; Couch, Ashley <[ACouch@ScottsdaleAz.Gov](mailto:ACouch@ScottsdaleAz.Gov)>  
**Subject:** RE: Rawhide Wash FHMP - 7WM2020 - Response package to the 2nd Review Letter

**⚠ External Email: Please use caution if opening links or attachments!**

Hello Again,  
Now that everything has been uploaded, are you able to give us an idea of the DRB schedule ahead?

Thanks,  
Scott

---

**From:** Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>  
**Sent:** Thursday, January 6, 2022 8:21 PM  
**To:** Scott Ogden <[scott@jefuller.com](mailto:scott@jefuller.com)>  
**Cc:** Nazar Nabaty (FCD) <[Nazar.Nabaty@Maricopa.Gov](mailto:Nazar.Nabaty@Maricopa.Gov)>; Ray Dovalina <[ray.dovalina@phoenix.gov](mailto:ray.dovalina@phoenix.gov)>; Jay Hicks ([jay@digstudio.com](mailto:jay@digstudio.com)) <[jay@digstudio.com](mailto:jay@digstudio.com)>; Couch, Ashley <[ACouch@ScottsdaleAz.Gov](mailto:ACouch@ScottsdaleAz.Gov)>  
**Subject:** RE: Rawhide Wash FHMP - 7WM2020 - Response package to the 2nd Review Letter

Hello Sir,

That's great. I will have the planning assistant un-lock the case in the morning.

Jesús

## Murillo, Jesus

---

**From:** Dan L. <DL@centurylink.net>  
**Sent:** Wednesday, February 16, 2022 8:40 AM  
**To:** City Council  
**Cc:** Worth, Daniel; Murillo, Jesus; 'Lori Lundberg'  
**Subject:** FW: RE: Rawhide Wash Project - 7-WM-2020

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Dear Council members Mr. Worth and Mr. Murillo,

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Thank you,  
Dan Lundberg

---

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**Sent:** Wednesday, February 16, 2022 8:19 AM  
**To:** DL@centurylink.net  
**Subject:** FW: RE: Rawhide Wash Project - 7-WM-2020



Sent from my Verizon, Samsung Galaxy smartphone

----- Original message -----

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Date: 2/15/22 9:51 PM (GMT-07:00)  
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Cc: "'Dan L.'" <[DL@centurylink.net](mailto:DL@centurylink.net)>  
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Hi Mr. Murillo,

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Thanks!

Lori Lundberg

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Thank you very much!

Lori Lundberg

---

**From:** Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>  
**Sent:** Thursday, February 10, 2022 6:49 PM  
**To:** Lori Lundberg <[Loriscomputer@centurylink.net](mailto:Loriscomputer@centurylink.net)>  
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Hi Mr. Murillo,

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1. Does this resubmittal include additional height to the retaining walls?
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If you are out and about, I would like to meet you briefly. I wanted to ask about some of the planned landscaping along the NAOS. I put my cell phone below if you are able to text or reply to this email.

Thank you so much!

Lori Lundberg

480-620-2960

---

**From:** Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>

**Sent:** Tuesday, February 1, 2022 7:12 PM

**To:** Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>

**Subject:** Rawhide Wash Project - 7-WM-2020

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Please feel free to contact me with any further questions or comments.

Sincerely,

Jesús Murillo

Senior Planner

City of Scottsdale

Planning and Development Services

7447 E. Indian School Road, Ste. 105

Scottsdale, AZ 85251

Phone: 480-312-7849

Fax: 480-312-9037

Get informed!



## Murillo, Jesus

---

**From:** Ron Finkel <finkel.ron@gmail.com>  
**Sent:** Wednesday, February 16, 2022 8:06 AM  
**To:** Scott Ogden  
**Cc:** Murillo, Jesus; Jay Hicks (jay@digstudio.com)  
**Subject:** Re: Rawhide Wash Project - 7-WM-2020

**⚠ External Email: Please use caution if opening links or attachments!**

As always, I appreciate everyone's effort.

Working with you not against you.....

Thanks,

**Ronald Finkel**

On Tue, Feb 15, 2022 at 10:31 AM Scott Ogden <[scott@jefuller.com](mailto:scott@jefuller.com)> wrote:

Ron and Jesus – please see my reponses embedded below in **GREEN**,

Thanks,

Scott

---

**From:** Ron Finkel <[finkel.ron@gmail.com](mailto:finkel.ron@gmail.com)>  
**Sent:** Tuesday, February 15, 2022 9:08 AM  
**To:** Murillo, Jesus <[JMurillo@scottsdaleaz.gov](mailto:JMurillo@scottsdaleaz.gov)>; Scott Ogden <[scott@jefuller.com](mailto:scott@jefuller.com)>; Ron Finkel <[finkel.ron@gmail.com](mailto:finkel.ron@gmail.com)>  
**Subject:** Re: Rawhide Wash Project - 7-WM-2020

CAUTION: [EXTERNAL] : this e-mail originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

Jesus and Scott,

Thanks for taking the time to work on this, but I think we have a conflict now that Jesus has color tagged and identified the plant tags.

Just trying to get out in front of this before it becomes more of an issue.

The conflict is what was stated to Lot 70 HVR1 owner Murawski(25404 N Bronco Trail), and what was told verbally and emailed by Scott, but different than the tags.

Muraski approved the project, communicated with Scott and myself with the understanding below. He will come UNGLUED AND WILL BE A HUGE PROBLEM IF NOT RESOLVED.

**Concerning Lot 70 HVR1 owner Murawski....**

Look at the plant tags #1041 and #1049.

#1041(Blue Tag-Destroyed) is old growth Ironwood and it was fully understood that it would remain, but be trimmed back in the least amount possible of trimming.

#1049(Blue Tag-Destroyed) is a huge multi-trunk I believe a Hackberry of some type. Again that was discussed that it would be trimmed back in the least amount possible of trimming.

**Regarding Nos. 1041 and 1049, Ron is correct in that we will be directing the contractor to preserve these trees and trim back as necessary to do their work. Jesus – I realize these are shown within our disturbance limits, but we will be making a special exception here. We can construct the wall without removing these trees.**

**On a separate note.....please explain below.**

#1052 and #1053 are basically growing together, and both healthy.

#1052(White Tag-Remains) is again, I believe, a Hackberry.

#1053(Blue Tag-Destroyed) old growth Ironwood barely a few feet from #1052 which was tagged White to remain. This Ironwood is barely inside of the easement if at all, barely!

I Believe it should remain.

**On one more separate note....please explain below.**

#1048 (Blue Tag-Destroyed) old growth Ironwood, healthy, again barely inside if at all, barely!

I Believe it should remain.

Nos. 1048 and 1053 are nominally in the disturbance area. I can communicate with our CMAR contractor to see if they would be opposed to leaving the trees in place and working around them. They are not located within the new gabion limits, so keeping them in tact may be an option. I will let you know what I find out.

I know we are just getting started on physical work, hence why I wanted to work on these issues now.

I am not trying to keep in front of issues before things might get stirred up.

Thanks,

**Ronald Finkel**

Happy Valley Ranch 1, HOA

Board Member

On Thu, Feb 10, 2022 at 6:38 PM Murillo, Jesus <[JMurillo@scottsdaleaz.gov](mailto:JMurillo@scottsdaleaz.gov)> wrote:

Hello Mr. Finkel,

Good to hear from you, I hope you are well.

I have responded below to your email.

Sincerely,



Jesús

---

**From:** Ron Finkel <[finkel.ron@gmail.com](mailto:finkel.ron@gmail.com)>  
**Sent:** Wednesday, February 02, 2022 8:35 AM  
**To:** Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>; Ron Finkel <[finkel.ron@gmail.com](mailto:finkel.ron@gmail.com)>  
**Subject:** Re: Rawhide Wash Project - 7-WM-2020

**⚠ External Email: Please use caution if opening links or attachments!**

Morning....thanks for the update.

I have been the point of contact for Happy Valley Ranch 1, HOA and very involved with this project.

You and I have met before on the project.

I have a few questions...not urgent but please respond.

1. The cleared approximately 1 acre of land on Happy Valley Road(Between Hayden and Miller/South Side), on the 9 acres approximately the City purchased in 2019.

Is that I assume a staging area for equipment or location of saved landscape, or what?

This area will be staging are for the native plants that are going to be salvage, and placed back into the project with the additional revegetation of the disturbed areas. This area should have irrigation, but should probably not have much equipment other than that required to manage the native plants.

2. On January 31st, I was unable to watch or locate the City of Scottsdale meeting on the vote on the Consent Agenda I believe #4, about the COS

financial participation of the project, was that passed?

Yes, the Council approved the funding to acquire the right-of-way need to allow the construction and modification of the floodwall improvements related to this project. It was approved with a vote of 7-0.

3. As you have been tagging the vegetation people have been asking what the different color tags mean, I think the colors are below:

Great question. I have been out in the area confirming and reviewing the tags as provided by the company that the project team hired. Please see below for what these tags mean.

**Red:** Identifies a protected native plant within the construction area that will be salvaged. This plant will be placed in the native plant nursery identified in question no. 1.

**White:** Identifies a protected native plant within the construction area that will remain in place. It will not be disturbed.

**Blue:** Identifies a protect native plant within the construction area that will be destroyed, because it would not survive the disturbance or plant nursery.

**Green:** This color was form a previous review, and do not correspond to the review.

Thanks,

My pleasure – anytime.

**Ronald Finkel**

On Tue, Feb 1, 2022 at 7:12 PM Murillo, Jesus <[JMurillo@scottsdaleaz.gov](mailto:JMurillo@scottsdaleaz.gov)> wrote:

Hello Everyone,

I Hope this email finds you all doing well. You are receiving this email because you have expressed interest in the above-mentioned project (**Rawhide Wash - 7-WM-2020**).

I wanted to first point out that this update is in regards to the Rawhide Wash flood hazard mitigation portion of the project, and **does not include the proposed improvements along N. Miller Road (bridge project)**. That particular portion of the Rawhide project has been submitted and reviewed, and I will provide a sperate email shortly.

The materials for the Rawhide Flood Control project were resubmitted, and are currently under review. The resubmittal still need to receive reviews from a couple of the City's departments. It appears as though the project may be slated to be scheduled to be heard by the Development Review Board. The resubmittal was complete and appears to have addressed the majority of staff's concerns.

Staff is targeting the **MARCH 17, 2022 DEVELOPMENT REVIEW BOARD** hearing date.

**I wanted to remind everyone that all of the communication that staff has received will be included in staff's report to the Development Review Board.**

I also wanted to mention that I will be conducting the native plant inventory that will be associated with this project. So please do not be surprised if you see me, along with other City planners, walking the wash area soon.

Please feel free to contact me with any further questions or comments.

Sincerely,

Jesús Murillo

Senior Planner

City of Scottsdale

Planning and Development Services

7447 E. Indian School Road, Ste. 105

Scottsdale, AZ 85251

Phone: 480-312-7849

Fax: 480-312-9037

Get informed!



## Murillo, Jesus

---

**From:** Lori Lundberg <Loriscomputer@centurylink.net>  
**Sent:** Tuesday, February 15, 2022 9:51 PM  
**To:** Murillo, Jesus  
**Cc:** 'Dan L.'  
**Subject:** RE: Rawhide Wash Project - 7-WM-2020

**⚠ External Email: Please use caution if opening links or attachments!**

Hi Mr. Murillo,

Dan stopped by the project twice to meet up with you but could not connect. Will you be back this week? If so, please let us know. I copied him on this email.

Thanks!  
Lori Lundberg

---

**From:** Lori Lundberg <Loriscomputer@centurylink.net>  
**Sent:** Thursday, February 10, 2022 8:36 PM  
**To:** 'Murillo, Jesus' <JMurillo@ScottsdaleAz.Gov>  
**Subject:** RE: Rawhide Wash Project - 7-WM-2020

Hi Mr. Murillo,

We are specifically asking about the wall that parallels Miller Road that runs behind homes starting at Park View and past our NAOS. It is hard to describe so when you are in the area on Tuesday, if you could please call or text my husband, Dan at 602-618-8155. He can come out to show you. I will still be at work at that time.

We will plan to come to the meeting and look forward to the details.

Thank you very much!  
Lori Lundberg

---

**From:** Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>  
**Sent:** Thursday, February 10, 2022 6:49 PM  
**To:** Lori Lundberg <[Loriscomputer@centurylink.net](mailto:Loriscomputer@centurylink.net)>  
**Subject:** RE: Rawhide Wash Project - 7-WM-2020

Hello Lori,

Yes, the plans do have the existing and proposed wall heights identified. If you are looking for a specific location, please let me know – I will try to get the graphics to you.

Yes, the Development Review Board meeting will be open to the public. I will send a reminder to all those that have send me communications.

I will be out there again this upcoming Tuesday, starting around 4:00 in the afternoon. I have been piecing the review – it is a large site.

Sincerely,

Jesús

---

**From:** Lori Lundberg <[Loriscomputer@centurylink.net](mailto:Loriscomputer@centurylink.net)>

**Sent:** Tuesday, February 01, 2022 8:38 PM

**To:** Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>

**Subject:** RE: Rawhide Wash Project - 7-WM-2020

**⚠ External Email: Please use caution if opening links or attachments!**

Hi Mr. Murillo,

Thank you for this information. I have 2 questions:

- 1) Does this resubmittal include additional height to the retaining walls?
- 2) Can homeowners attend the meeting on March 17<sup>th</sup>?

If you are out and about, I would like to meet you briefly. I wanted to ask about some of the planned landscaping along the NAOS. I put my cell phone below if you are able to text or reply to this email.

Thank you so much!

Lori Lundberg

480-620-2960

---

**From:** Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>

**Sent:** Tuesday, February 1, 2022 7:12 PM

**To:** Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>

**Subject:** Rawhide Wash Project - 7-WM-2020

Hello Everyone,

I Hope this email finds you all doing well. You are receiving this email because you have expressed interest in the above-mentioned project (**Rawhide Wash - 7-WM-2020**).

I wanted to first point out that this update is in regards to the Rawhide Wash flood hazard mitigation portion of the project, and **does not include the proposed improvements along N. Miller Road (bridge project)**. That particular portion of the Rawhide project has been submitted and reviewed, and I will provide a sperate email shortly.

The materials for the Rawhide Flood Control project were resubmitted, and are currently under review. The resubmittal still need to receive reviews from a couple of the City's departments. It appears as though the project may be slated to be scheduled to be heard by the Development Review Board. The resubmittal was complete and appears to have addressed the majority of staff's concerns.

Staff is targeting the **MARCH 17, 2022 DEVELOPMENT REVIEW BOARD** hearing date.

**I wanted to remind everyone that all of the communication that staff has received will be included in staff's report to the Development Review Board.**

I also wanted to mention that I will be conducting the native plant inventory that will be associated with this project. So please do not be surprised if you see me, along with other City planners, walking the wash area soon.

Please feel free to contact me with any further questions or comments.

Sincerely,

Jesús Murillo  
Senior Planner  
City of Scottsdale  
Planning and Development Services  
7447 E. Indian School Road, Ste. 105  
Scottsdale, AZ 85251  
Phone: 480-312-7849  
Fax: 480-312-9037

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## Murillo, Jesus

---

**From:** Murillo, Jesus  
**Sent:** Tuesday, February 15, 2022 3:04 PM  
**To:** jj.levine@cox.net  
**Subject:** RE: Rawhide Wash Project - 7-WM-2020

Thank you, I will send some dates and times tomorrow...

---

**From:** jj.levine@cox.net <jj.levine@cox.net>  
**Sent:** Monday, February 14, 2022 6:08 PM  
**To:** Murillo, Jesus <JMurillo@ScottsdaleAz.Gov>  
**Subject:** RE: Rawhide Wash Project - 7-WM-2020  
**Importance:** High

**⚠ External Email: Please use caution if opening links or attachments!**

Jesus,

Just walked in. please ignore my message. I can be a bit pushy. We have not heard back from our management company and next week would be great to prepare for.  
What day next week would work for you?  
I would be available any day after 4:00 PM.

*Joseph Levine*

*It's amazing what obstacles the human mind can overcome, if given the proper tools.  
Unfortunately, the world is nuts and all I've got a rubber mallet.*

---

**From:** Murillo, Jesus <JMurillo@ScottsdaleAz.Gov>  
**Sent:** Monday, February 14, 2022 12:38 PM  
**To:** [jj.levine@cox.net](mailto:jj.levine@cox.net)  
**Cc:** 'Ed Toschik' <[ed.toschik@gmail.com](mailto:ed.toschik@gmail.com)>; [shay.noonan.az@gmail.com](mailto:shay.noonan.az@gmail.com); 'Lisa Riley' <[lisabarattoriley@gmail.com](mailto:lisabarattoriley@gmail.com)>; 'Aaron Brown' <[aaronb@lhmfinancial.com](mailto:aaronb@lhmfinancial.com)>; 'Kristin Bullock' <[Kristin.Bullock@associa.us](mailto:Kristin.Bullock@associa.us)>; Linda Parker <[Linda.Parker@associa.us](mailto:Linda.Parker@associa.us)>  
**Subject:** RE: Rawhide Wash Project - 7-WM-2020

Hello Mr. Levine,

I can definitely provide some time tomorrow at 4:00 prior to my native plant site-walk, or a little more time at the end of native plant survey. Tuesday's visit to the site was mainly to complete the native plant inventory. Again, I would definitely have some time to meet then, or come back at a later time this week, and dedicate more time to your team.

I will be starting at the Hayden/Happy Valley intersection with the native plant inventory. I could also meet with your team, at around 5:00, at the north end of the Miller Road construction site. It should be there at about that time with the inventory walk.

Please let me know what you think.

Jesús



---

**From:** [j.j.levine@cox.net](mailto:j.j.levine@cox.net) <[j.j.levine@cox.net](mailto:j.j.levine@cox.net)>  
**Sent:** Sunday, February 13, 2022 9:18 AM  
**To:** Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>  
**Cc:** 'Ed Toschik' <[ed.toschik@gmail.com](mailto:ed.toschik@gmail.com)>; [shay.noonan.az@gmail.com](mailto:shay.noonan.az@gmail.com); 'Lisa Riley' <[lisabarattoriley@gmail.com](mailto:lisabarattoriley@gmail.com)>; 'Aaron Brown' <[aaronb@lhmfinancial.com](mailto:aaronb@lhmfinancial.com)>; 'Kristin Bullock' <[Kristin.Bullock@associa.us](mailto:Kristin.Bullock@associa.us)>; Linda Parker <[Linda.Parker@associa.us](mailto:Linda.Parker@associa.us)>  
**Subject:** RE: Rawhide Wash Project - 7-WM-2020

**⚠ External Email: Please use caution if opening links or attachments!**

Jesús,

Four of our five board members are looking forward to meeting with you on Tuesday the 15 of February at 4:00. I am assuming that we can get together by the project. North end of Miller Rd. or if you would like, at the park in La Vista (77<sup>th</sup> street and Mariposa Grande road). If you have other suggestions, we are flexible.

In the pursuit of health and happiness,

*Joseph J. Levine*

7645 E. Mariposa Grande Dr.  
Scottsdale AZ 85255  
CELL (602) 568-0192  
EMAIL [J.J.Levine@cox.net](mailto:J.J.Levine@cox.net)  
[Joe at LinkedIn](#)



---

**From:** Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>  
**Sent:** Thursday, February 10, 2022 6:45 PM  
**To:** [j.j.levine@cox.net](mailto:j.j.levine@cox.net)  
**Cc:** 'Ed Toschik' <[ed.toschik@gmail.com](mailto:ed.toschik@gmail.com)>; [shay.noonan.az@gmail.com](mailto:shay.noonan.az@gmail.com); 'Lisa Riley' <[lisabarattoriley@gmail.com](mailto:lisabarattoriley@gmail.com)>; 'Aaron Brown' <[aaronb@lhmfinancial.com](mailto:aaronb@lhmfinancial.com)>; Kristin Bullock <[Kristin.Bullock@associa.us](mailto:Kristin.Bullock@associa.us)>  
**Subject:** RE: Rawhide Wash Project - 7-WM-2020

Hello Mr. Levine,

I would love to meet with your board. A meeting on site "outside" would be preferred to meet with the COVID protocols. Let me know what days work for your team, and I will try to set up a meeting date and time.

I have been working with Mr. Jeremy Richter, and hope to get those landscape plans soon.

I have conducted half the review on the plans, and look to be out there probably next Tuesday, around 4:00.

Sincerely,

Jesús

---

**From:** [j.j.levine@cox.net](mailto:j.j.levine@cox.net) <[j.j.levine@cox.net](mailto:j.j.levine@cox.net)>  
**Sent:** Wednesday, February 02, 2022 6:26 AM  
**To:** Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>  
**Cc:** 'Ed Toschik' <[ed.toschik@gmail.com](mailto:ed.toschik@gmail.com)>; [shay.noonan.az@gmail.com](mailto:shay.noonan.az@gmail.com); 'Lisa Riley' <[lisabarattoriley@gmail.com](mailto:lisabarattoriley@gmail.com)>; 'Aaron Brown' <[aaronb@lhmfinancial.com](mailto:aaronb@lhmfinancial.com)>; Kristin Bullock <[Kristin.Bullock@associa.us](mailto:Kristin.Bullock@associa.us)>  
**Subject:** RE: Rawhide Wash Project - 7-WM-2020

**⚠ External Email: Please use caution if opening links or attachments!**

Jesus, Thank you for the update.

Looking forward to 'bumping' into you to discuss the trees proposed by one of your fellow planners along the Miller Road corridor to mitigate the noise. Still waiting on that landscape plan.

Would there be a good time for you to meet with our board late one afternoon?

*Joseph Levine*

*It's amazing what obstacles the human mind can overcome, if given the proper tools.  
Unfortunately, the world is nuts and all I've got a rubber mallet.*

---

**From:** Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>  
**Sent:** Tuesday, February 1, 2022 7:12 PM  
**To:** Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>  
**Subject:** Rawhide Wash Project - 7-WM-2020

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I also wanted to mention that I will be conducting the native plant inventory that will be associated with this project. So please do not be surprised if you see me, along with other City planners, walking the wash area soon.

Please feel free to contact me with any further questions or comments.

Sincerely,

Jesús Murillo  
Senior Planner  
City of Scottsdale  
Planning and Development Services  
7447 E. Indian School Road, Ste. 105  
Scottsdale, AZ 85251  
Phone: 480-312-7849  
Fax: 480-312-9037

Get informed!



## Murillo, Jesus

---

**From:** Liza Richards <liza\_richards@yahoo.com>  
**Sent:** Friday, February 11, 2022 9:43 AM  
**To:** City Council  
**Subject:** Miller Road

⚠ External Email: Please use caution if opening links or attachments!

Greetings, council members. I would like to request the installation of speed limiting and traffic calming large, rolling speed bumps on Miller Road during the construction phase to prevent bad route habits before they start.

I've been a resident in this area for 13 years, and I know what traffic is like on Scottsdale and Pima roads. People speed and drive recklessly, as those are main thoroughfares. We have seen so many accidents between Happy Valley and Pinnacle Peak road on Scottsdale, and that has me very concerned. I would like to petition the council to add speed bumps to Miller road during the construction process.

This a neighborhood road with many families living alongside it, nearer to the street than anything along Scottsdale or Pima. I would like to prevent bad driving habits before they begin and encourage responsible, speed reduced driving on these roads.

Thank you for your consideration.

Liza Richards  
24454 N 77th st  
Scottsdale, AZ 85255

Sent from my iPhone

## Murillo, Jesus

---

**From:** Carl <carl5050@cox.net>  
**Sent:** Wednesday, February 02, 2022 11:56 AM  
**To:** City Council  
**Subject:** Hayden Miller bridge/Rawhide wash

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

**⚠ External Email: Please use caution if opening links or attachments!**

I have been a resident of Pinnacle Reserve for the past 24 years. One of the main factors in choosing this community was the privacy that it provided by not having traffic congestion and noise flow through the community. I have many concerns with the addition of the bridge over the Rawhide wash. This project will have negative unintended consequences that are not being addressed within the current scope of the project.

Going for a walk along Miller Road will become increasingly more of a hazard for local residents with the increased traffic flow. In the project area you are proposing 8' wide sidewalks with a landscaping area as a gap before you transition to the street. The transition to our sidewalks at Parkview lane will essentially create a bottleneck as you transition from 8' sidewalk to a 5' wide sidewalk. People currently have to step into the street when passing each other while walking their dogs or walking with children. This will become a higher risk for accidents once the bridge and traffic are in place. What are the proactive steps that the City of Scottsdale will be taking to ensure that our sidewalks are as safe as the sidewalks in the project areas?

Crossing Miller road on foot will also become problematic. Crossing Miller Road from Pinnacle Reserve 1 and Pinnacle Reserve 2 with only one crosswalk at the far north end at Happy Valley Road. Currently you can cross the street safely at the south end near Parkview lane as well without jay walking. What are the proactive steps that the City of Scottsdale will be taking to address this issue?

Noise abatement, is discussed in the project area, but there is no mention of any noise abatement in the Pinnacle Reserve neighborhood where the need is greater because the homes are closer to the street than the homes that are in the project development area. Why doesn't my neighborhood receive the same consideration when it comes to noise abatement? What are the proactive steps that the City of Scottsdale will be taking to address this issue?

Currently, our HOA is responsible for all of the tree trimming, landscape maintenance and trash pickup along Miller Road between Happy Valley Road and Parkview Lane. With the new inflow of traffic there will be more trash. Over time we will have additional costs to our maintenance areas because of the additional traffic.

I **am not** in favor of this project. It seem that my only choice now is to move from my home of the past 24 years or adjust to more noise, more traffic, more crime and more trash. This project is making my neighborhood less private, less desirable, with more noise and congestion.

Here are a few low cost solutions that if implemented now would help make this project more tolerable to live with.

1. Lower the speed limit to 30 mph on the bridge to Happy Valley Road. This would help with general safety and noise abatement with very little cost to the city.
2. Speed bumps/speed tables or speed dips. Low costs effective control.
3. Restrict large commercial vehicle traffic.
4. Add crosswalks at Juan Tabo and Parkview.
5. Insure that our HOA is fairly compensated for additional costs for landscaping and maintenance costs along Miller Rd.
6. Insure that our HOA is fairly compensated for any land easements on to our property.
7. Raise community walls to help with noise abatement.

Thank you for your consideration,

Carl Meyer

## Murillo, Jesus

---

**From:** Thomas Cassidy <tcassidy6@comcast.net>  
**Sent:** Wednesday, February 02, 2022 2:07 PM  
**To:** City Council  
**Cc:** Worth, Daniel  
**Subject:** Miller Rd Extension Project

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

**⚠ External Email: Please use caution if opening links or attachments!**

Dear City Council Members,

Please allow us to voice our concerns about the potential volume of traffic and noise levels coming along with the completion of this Miller Rd Extension Project.

I wish the council to consider the possibility of adding Rolling Speed Bumps to the section of roadway/bridge north of Pinnacle Peak Rd up to Juan Tabo. We believe this may be a viable solution to reducing traffic volume and noise levels.

Thank you for your consideration.

Sincerely,  
Tom & Charlene Cassidy  
7553 E. Alameda Rd.

## Murillo, Jesus

---

**From:** Lori Lundberg <Loriscomputer@centurylink.net>  
**Sent:** Wednesday, February 02, 2022 9:49 PM  
**To:** City Council  
**Subject:** Miller Road speed abatement

**⚠ External Email: Please use caution if opening links or attachments!**

Hello City Council Members,

As a resident of Pinnacle Peak Reserve, the neighborhood that the Miller Road extension runs directly through, I am asking for your support on speed tables being added to this project before it is complete in order to protect neighbors, like me, that regularly walk, jog, bike, etc. up Miller Road to Happy Valley. The speed limit is 35 mph, but we are concerned that the projected 8,000 vehicles using this road will not adhere to this and will create safety hazards in our neighborhood.

I understand there is a petition process after the project is complete and traffic data is obtained, but given the unique set up of our neighborhood, I am appealing to my City Council to please help get this important and necessary speed abatement BEFORE the Miller Road extension project is completed for safety reasons.

We have many neighbors interested in this as well, and you should begin hearing from them. Please let me know what else we can do to gain your support for this request and make this a part of the project now.

Thank you!  
Lori Lundberg  
480-620-2960



## Murillo, Jesus

---

**From:** georgevance100@gmail.com  
**Sent:** Thursday, February 03, 2022 11:44 AM  
**To:** City Council  
**Subject:** Miller Road Extension

**Follow Up Flag:** Follow up  
**Flag Status:** Completed

**⚠ External Email: Please use caution if opening links or attachments!**

Dear City Council,

I live at 24721 N 75<sup>th</sup> Way. Miller Road is directly behind my backyard. Due to that, I have a direct concern regarding the extension of Miller to Pinnacle Peak and an eventual extension to Dynamite.

I'm **extremely concerned** about both the traffic noise that will result from the extension, as well as the safety of the sidewalks adjacent to Miller Road.

I would like to request that speed limiting, and traffic-calming speed bumps be installed during the construction phase of the extension. It makes sense to install these features now rather than waiting for an indefinite point in the future after driver's are already accustomed to speeding through our neighborhood. Anyone observing traffic on Scottsdale Road knows that driver's pay very little attention to speed limit signs.

While I understand the need for the extension, I would hope that one of the goals of the project would be to cause as little destruction to our community's lifestyle and safety as possible.

My wife and I have lived at this home since 2001, are now retired, and hope to maintain as much of our current peace and quiet as possible as well as feel safe when we take a walk along Miller Road behind our home.

Respectfully,

**George Vance**

**602-361-0903**

## Murillo, Jesus

---

**From:** kristendezso@gmail.com  
**Sent:** Friday, February 04, 2022 7:23 PM  
**To:** City Council  
**Subject:** Speed Abatement - Miller Road Extension

**⚠ External Email: Please use caution if opening links or attachments!**

Good evening,

I am writing as a homeowner in Pinnacle Reserve East who is concerned about the road extension and the increase in traffic. This is a quiet community. Every morning and evening, scores of people are out walking dogs, taking family walks and bike rides. We've known this road is coming and I have commented during the public portion of this project how concerned I am about the speeders and drag racers in North Scottsdale. My suggestion was to slow traffic with a roundabout, but I know that isn't in the plan and pretty unattainable. However, might traffic calming bumps be an option? Or curbing like on Sweetwater between Scottsdale and Hayden Roads?

Please consider this. We don't want any more of this in our neighborhoods:

[Scottsdale police: 1 dead in crash at Williams Drive and Miller Road \(azcentral.com\)](https://www.azcentral.com/story/news/local/scottsdale-police-1-dead-in-crash-at-williams-drive-and-miller-road/2022/02/04/scottsdale-police-1-dead-in-crash-at-williams-drive-and-miller-road/7000000001)

Signed, a concerned neighbor,

Kristen Dezso  
24440 N 77<sup>th</sup> Street  
Scottsdale, AZ 85255  
602-320-8090

## Murillo, Jesus

---

**From:** Mrs. Vogrin <darlavogrin@gmail.com>  
**Sent:** Monday, February 07, 2022 9:10 AM  
**To:** City Council  
**Subject:** Miller Road Extension - Speed Control

**⚠ External Email: Please use caution if opening links or attachments!**

Morning,

I am writing as a concerned PPR homeowner and parent. For the safety of our community, speed-limiting and traffic-calming large rolling speed bumps should be placed on Miller road. Elementary, middle, and high school bus stops are along this road, which means a large number of children walk along this road.

Please take this opportunity to ensure the safety of pedestrians for the Scottsdale community families. Install the necessary speed controls on the Miller Rd extension.

Regards,

Darla Vogrin

## Murillo, Jesus

---

**From:** Jacquelyn Wilson <wilsjac@me.com>  
**Sent:** Monday, February 07, 2022 1:12 PM  
**To:** City Council  
**Subject:** Speed bumps on Miller Hayden

⚠ External Email: Please use caution if opening links or attachments!

I live near the Miller/Hayden construction-on De La O Road. I would like to request the installation of speed-limiting large rolling speed bumps on Miller Road during construction of this project. Otherwise Miller/Hayden will become a race like Scottsdale Road.

Thank you for your consideration.

Jackie Wilson

Sent from Jackie Wilson

## Murillo, Jesus

---

**From:** Jim Batstone <jimbatstone@gmail.com>  
**Sent:** Monday, February 07, 2022 2:28 PM  
**To:** City Council  
**Cc:** Jim Batstone  
**Subject:** Miller Road Extension

**⚠ External Email: Please use caution if opening links or attachments!**

Good afternoon,

My name is Jim Batstone and my wife Kathy & I are residents in Pinnacle Peak Reserve. We have lived here for over 4 years and love the outdoors and walking/hiking in the area.

With the new construction, Miller Road will soon be connecting Pinnacle Peak Road to Happy Valley Road and traffic will be speeding through Pinnacle Peak Reserve (PPR) with nothing but speed limit signs to control it. Signs that most drivers will ignore!

Currently, Miller Road is where many of us go on walks, walk our dogs, our grandchildren, etc. Initially, we were told to expect 8,000 cars daily with an increase to as much as 30,000 cars per day. Miller Road will become like Scottsdale and Pima Roads and not be nearly as safe to walk on without Speed Bumps or Round-a-Bouts installed, even during construction.

I am one of the many homeowners requesting the installation of speed-limiting and traffic-calming large rolling speed bumps on Miller Road during the construction phases.

I hope you hear our concerns.

Thank you for the opportunity to comment, I look forward to your response.

Jim Batstone  
(602) 999-9850

## Murillo, Jesus

---

**From:** C Marino <marino4@gmail.com>  
**Sent:** Monday, February 07, 2022 2:45 PM  
**To:** City Council  
**Subject:** Request for traffic mitigation on new Miller Road extension

**⚠ External Email: Please use caution if opening links or attachments!**

Dear City Council of Scottsdale,

This new extension through the middle of our neighborhood will bring a significant flow of traffic into our little neighborhood, an area now where families and kids walk/play everyday. We have had numerous meetings about this already with local officials, and brought this up already, but can you **please** help us with speed mitigation along this extension? Roundabouts or speed bumps, anything, but without this no doubt it will cause injuries (or worse) with cars speeding down this straight-away.

Please consider this.

I am happy to bring this up in any manner or format again wherever we can.

Thank you.  
Chris Marino  
7558 E Christmas Cholla Dr.  
Scottsdale, AZ 85255

**Murillo, Jesus**

---

**From:** Ken Reinstein <kreinstein22@gmail.com>  
**Sent:** Tuesday, February 08, 2022 6:20 PM  
**To:** City Council  
**Subject:** The Miller Road Extension and Bridge Project Construction

**⚠ External Email: Please use caution if opening links or attachments!**

To Whom It May Concern:

I request the installation of speed-limiting and traffic-calming large rolling speed bumps on Miller Road during the construction phases to prevent bad route habits along the Miller Road Extension and Bridge Project Construction project.

I am a Scottsdale Resident who lives in a neighborhood directly impacted by this road project.

Ken Reinstein  
7430 E Glenn Moore Rd, Scottsdale, AZ 85255

Thank you.

**Ken Reinstein**  
**480-510-9762**

## Murillo, Jesus

---

**From:** Jerry Manning <jerryamanning@gmail.com>  
**Sent:** Monday, February 14, 2022 1:06 PM  
**To:** City Council  
**Subject:** Miller Road extension - Speed bump request

**⚠ External Email: Please use caution if opening links or attachments!**

Hello,

Im writing to request the installation of speed limiting and traffic-claiming large rolling speed bumps on Miller Road during the construction phase. We live in Pinnacle Peak Reserve on De La O, and want to ensure the safety of our kids.

Thanks for your help!

Jerry Manning

--

Jerry A. Manning  
Cell: (847) 340-5347



## Murillo, Jesus

---

**From:** Schilling, Bethany  
**Sent:** Tuesday, February 15, 2022 9:51 AM  
**To:** Brian Wilson  
**Cc:** City Council; Murillo, Jesus  
**Subject:** RE: Miller Road Extension - Roundabouts

Good Morning Mr. Wilson,

Thank you for reaching out to City Council with your concern. Jeremy Richter, the Project Manager for this project provided the following information as to traffic calming and ways the city is addressing concerns about speeding:

"The original design of this segment was for a posted speed limit of 40mph. Based on resident feedback, the posted speed limit was lowered to be 35mph. Typical major collector roadway speed limits elsewhere in the city vary from 35mph-45mph; our project is at the lower end of this range. Once the roadway is opened, our transportation department will monitor the speed situation and employ mitigation measures as needed.

Unfortunately traffic calming with speed cushions is not allowed per our Neighborhood Traffic Management Policy. Traffic calming devices are only for streets with one lane per direction. The anticipated volume also exceeds the limit allowed. Our Fire Department would not support these either. Traffic calming devices are intended for use on residential streets with houses that front the street and have driveways on it."

Again, thank you for reaching out to City Council with your concerns. The Miller Road project will be monitored by the city's Transportation Department to determine if additional changes are needed.

Very Respectfully,

Bethany Schilling  
Management Assistant to the Mayor and City Council Office of Mayor David D. Ortega  
3939 N. Drinkwater Blvd  
Scottsdale, AZ 85251  
Phone: 480.312.7977  
Email: bschilling@scottsdaleaz.gov

-----Original Message-----

From: Brian Wilson <wilsbri1@gmail.com>  
Sent: Tuesday, February 15, 2022 4:38 AM  
To: City Council <CityCouncil@scottsdaleaz.gov>  
Subject: Miller Road Extension - Roundabouts

 External Email: Please use caution if opening links or attachments!

To whom it may concern,

As a concerned resident, I'm asking you to consider using some sort of speed abatement between Happy Valley Rd on the new extension on Miller Road. Cars already go up to 45 mph at times and with the anticipated increase in traffic the speed will most certainly increase. If the city will place only one roundabout, the stretch will be cut in half and speeds should decrease to safer levels.

Respectfully yours,

Brian Wilson  
7459 E De La O Rd  
Scottsdale, AZ 85255

## Murillo, Jesus

---

**From:** Ron Finkel <finkel.ron@gmail.com>  
**Sent:** Tuesday, February 15, 2022 9:08 AM  
**To:** Murillo, Jesus; Scott Ogden; Ron Finkel  
**Subject:** Re: Rawhide Wash Project - 7-WM-2020

**⚠ External Email: Please use caution if opening links or attachments!**

Jesus and Scott,

Thanks for taking the time to work on this, but I think we have a conflict now that Jesus has color tagged and identified the plant tags.

Just trying to get out in front of this before it becomes more of an issue.

The conflict is what was stated to Lot 70 HVR1 owner Murawski(25404 N Bronco Trail), and what was told verbally and emailed by Scott, but different than the tags.

Muraski approved the project, communicated with Scott and myself with the understanding below. He will come UNGLUED AND WILL BE A HUGE PROBLEM IF NOT RESOLVED.

### **Concerning Lot 70 HVR1 owner Murawski....**

Look at the plant tags #1041 and #1049.

#1041(Blue Tag-Destroyed) is old growth Ironwood and it was fully understood that it would remain, but be trimmed back in the least amount possible of trimming.

#1049(Blue Tag-Destroyed) is a huge multi-trunk I believe a Hackberry of some type. Again that was discussed that it would be trimmed back in the least amount possible of trimming.

### **On a separate note.....please explain below.**

#1052 and #1053 are basically growing together, and both healthy.

#1052(White Tag-Remains) is again, I believe, a Hackberry.

#1053(Blue Tag-Destroyed) old growth Ironwood barely a few feet from #1052 which was tagged White to remain. This Ironwood is barely inside of the easement if at all, barely!

I Believe it should remain.

### **On one more separate note....please explain below.**

#1048 (Blue Tag-Destroyed) old growth Ironwood, healthy, again barely inside if at all, barely!

I Believe it should remain.

I know we are just getting started on physical work, hence why I wanted to work on these issues now.

I am not trying to keep in front of issues before things might get stirred up.

Thanks,

**Ronald Finkel**

Happy Valley Ranch 1, HOA  
Board Member

On Thu, Feb 10, 2022 at 6:38 PM Murillo, Jesus <[JMurillo@scottsdaleaz.gov](mailto:JMurillo@scottsdaleaz.gov)> wrote:

Hello Mr. Finkel,

Good to hear from you, I hope you are well.

I have responded below to your email.

Sincerely,

Jesús

---

**From:** Ron Finkel <[finkel.ron@gmail.com](mailto:finkel.ron@gmail.com)>  
**Sent:** Wednesday, February 02, 2022 8:35 AM  
**To:** Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>; Ron Finkel <[finkel.ron@gmail.com](mailto:finkel.ron@gmail.com)>  
**Subject:** Re: Rawhide Wash Project - 7-WM-2020

**⚠ External Email: Please use caution if opening links or attachments!**

Morning....thanks for the update.

I have been the point of contact for Happy Valley Ranch 1, HOA and very involved with this project.

You and I have met before on the project.

I have a few questions...not urgent but please respond.

1. The cleared approximately 1 acre of land on Happy Valley Road(Between Hayden and Miller/South Side), on the 9 acres approximately the City purchased in 2019.

Is that I assume a staging area for equipment or location of saved landscape, or what?

This area will be staging are for the native plants that are going to be salvage, and placed back into the project with the additional revegetation of the disturbed areas. This area should have irrigation, but should probably not have much equipment other than that required to manage the native plants.

2. On January 31st, I was unable to watch or locate the City of Scottsdale meeting on the vote on the Consent Agenda I believe #4, about the COS

financial participation of the project, was that passed?

Yes, the Council approved the funding to acquire the right-of-way need to allow the construction and modification of the floodwall improvements related to this project. It was approved with a vote of 7-0.

3. As you have been tagging the vegetation people have been asking what the different color tags mean, I think the colors are below:

Great question. I have been out in the area confirming and reviewing the tags as provided by the company that the project team hired. Please see below for what these tags mean.

**Red:** Identifies a protected native plant within the construction area that will be salvaged. This plant will be placed in the native plant nursery identified in question no. 1.

**White:** Identifies a protected native plant within the construction area that will remain in place. It will not be disturbed.

**Blue:** Identifies a protect native plant within the construction area that will be destroyed, because it would not survive the disturbance or plant nursery.

**Green:** This color was form a previous review, and do not correspond to the review.

Thanks,

My pleasure – anytime.

**Ronald Finkel**

On Tue, Feb 1, 2022 at 7:12 PM Murillo, Jesus <[JMurillo@scottsdaleaz.gov](mailto:JMurillo@scottsdaleaz.gov)> wrote:

Hello Everyone,

I Hope this email finds you all doing well. You are receiving this email because you have expressed interest in the above-mentioned project (**Rawhide Wash - 7-WM-2020**).

I wanted to first point out that this update is in regards to the Rawhide Wash flood hazard mitigation portion of the project, and **does not include the proposed improvements along N. Miller Road (bridge project)**. That particular portion of the Rawhide project has been submitted and reviewed, and I will provide a sperate email shortly.

The materials for the Rawhide Flood Control project were resubmitted, and are currently under review. The resubmittal still need to receive reviews from a couple of the City's departments. It appears as though the project may be slated to be scheduled to be heard by the Development Review Board. The resubmittal was complete and appears to have addressed the majority of staff's concerns.

Staff is targeting the **MARCH 17, 2022 DEVELOPMENT REVIEW BOARD** hearing date.

**I wanted to remind everyone that all of the communication that staff has received will be included in staff's report to the Development Review Board.**

I also wanted to mention that I will be conducting the native plant inventory that will be associated with this project. So please do not be surprised if you see me, along with other City planners, walking the wash area soon.

Please feel free to contact me with any further questions or comments.

Sincerely,

Jesús Murillo

Senior Planner

City of Scottsdale

Planning and Development Services

7447 E. Indian School Road, Ste. 105

Scottsdale, AZ 85251

Phone: 480-312-7849

Fax: 480-312-9037

Get informed!



## Murillo, Jesus

---

**From:** jj.levine@cox.net  
**Sent:** Monday, February 14, 2022 6:08 PM  
**To:** Murillo, Jesus  
**Subject:** RE: Rawhide Wash Project - 7-WM-2020

**Importance:** High

**⚠ External Email: Please use caution if opening links or attachments!**

Jesus,

Just walked in. please ignore my message. I can be a bit pushy. We have not heard back from our management company and next week would be great to prepare for.

What day next week would work for you?

I would be available any day after 4:00 PM.

*Joseph Levine*

*It's amazing what obstacles the human mind can overcome, if given the proper tools.  
Unfortunately, the world is nuts and all I've got a rubber mallet.*

---

**From:** Murillo, Jesus <JMurillo@ScottsdaleAz.Gov>

**Sent:** Monday, February 14, 2022 12:38 PM

**To:** jj.levine@cox.net

**Cc:** 'Ed Toschik' <ed.toschik@gmail.com>; shay.noonan.az@gmail.com; 'Lisa Riley' <lisabarattoriley@gmail.com>; 'Aaron Brown' <aaronb@lhmfinancial.com>; 'Kristin Bullock' <Kristin.Bullock@associa.us>; Linda Parker <Linda.Parker@associa.us>

**Subject:** RE: Rawhide Wash Project - 7-WM-2020

Hello Mr. Levine,

I can definitely provide some time tomorrow at 4:00 prior to my native plant site-walk, or a little more time at the end of native plant survey. Tuesday's visit to the site was mainly to complete the native plant inventory. Again, I would definitely have some time to meet then, or come back at a later time this week, and dedicate more time to your team.

I will be starting at the Hayden/Happy Valley intersection with the native plant inventory. I could also meet with your team, at around 5:00, at the north end of the Miller Road construction site. It should be there at about that time with the inventory walk.

Please let me know what you think.

Jesús

---

**From:** [jj.levine@cox.net](mailto:jj.levine@cox.net) <[jj.levine@cox.net](mailto:jj.levine@cox.net)>

**Sent:** Sunday, February 13, 2022 9:18 AM

**To:** Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>

**Cc:** 'Ed Toschik' <[ed.toschik@gmail.com](mailto:ed.toschik@gmail.com)>; [shay.noonan.az@gmail.com](mailto:shay.noonan.az@gmail.com); 'Lisa Riley' <[lisabarattoriley@gmail.com](mailto:lisabarattoriley@gmail.com)>; 'Aaron Brown' <[aaronb@lhmfinancial.com](mailto:aaronb@lhmfinancial.com)>; 'Kristin Bullock' <[Kristin.Bullock@associa.us](mailto:Kristin.Bullock@associa.us)>; Linda Parker



<[Linda.Parker@associa.us](mailto:Linda.Parker@associa.us)>

**Subject:** RE: Rawhide Wash Project - 7-WM-2020

**⚠ External Email: Please use caution if opening links or attachments!**

Jesús,

Four of our five board members are looking forward to meeting with you on Tuesday the 15 of February at 4:00. I am assuming that we can get together by the project. North end of Miller Rd. or if you would like, at the park in La Vista (77<sup>th</sup> street and Mariposa Grande road).

If you have other suggestions, we are flexible.

In the pursuit of health and happiness,

*Joseph J. Levine*

7645 E. Mariposa Grande Dr.

Scottsdale AZ 85255

CELL (602) 568-0192

EMAIL [J.J.Levine@cox.net](mailto:J.J.Levine@cox.net)

[Joe at LinkedIn](#)



---

**From:** Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>

**Sent:** Thursday, February 10, 2022 6:45 PM

**To:** [j.j.levine@cox.net](mailto:j.j.levine@cox.net)

**Cc:** 'Ed Toschik' <[ed.toschik@gmail.com](mailto:ed.toschik@gmail.com)>; [shay.noonan.az@gmail.com](mailto:shay.noonan.az@gmail.com); 'Lisa Riley' <[lisabarattoriley@gmail.com](mailto:lisabarattoriley@gmail.com)>; 'Aaron Brown' <[aaronb@lhmfinancial.com](mailto:aaronb@lhmfinancial.com)>; Kristin Bullock <[Kristin.Bullock@associa.us](mailto:Kristin.Bullock@associa.us)>

**Subject:** RE: Rawhide Wash Project - 7-WM-2020

Hello Mr. Levine,

I would love to meet with your board. A meeting on site “outside” would be preferred to meet with the COVID protocols. Let me know what days work for your team, and I will try to set up a meeting date and time.

I have been working with Mr. Jeremy Richter, and hope to get those landscape plans soon.

I have conducted half the review on the plants, and look to be out there probably next Tuesday, around 4:00.

Sincerely,

Jesús

---

**From:** [j.j.levine@cox.net](mailto:j.j.levine@cox.net) <[j.j.levine@cox.net](mailto:j.j.levine@cox.net)>  
**Sent:** Wednesday, February 02, 2022 6:26 AM  
**To:** Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>  
**Cc:** 'Ed Toschik' <[ed.toschik@gmail.com](mailto:ed.toschik@gmail.com)>; [shay.noonan.az@gmail.com](mailto:shay.noonan.az@gmail.com); 'Lisa Riley' <[lisabarattoriley@gmail.com](mailto:lisabarattoriley@gmail.com)>; 'Aaron Brown' <[aaronb@lhmfinancial.com](mailto:aaronb@lhmfinancial.com)>; Kristin Bullock <[Kristin.Bullock@associa.us](mailto:Kristin.Bullock@associa.us)>  
**Subject:** RE: Rawhide Wash Project - 7-WM-2020

**⚠ External Email: Please use caution if opening links or attachments!**

Jesus, Thank you for the update.

Looking forward to 'bumping' into you to discuss the trees proposed by one of you fellow planners along the miller road corridor to mitigate the noise. Still waiting on that landscape plan.

Would there be a good time for you to meet with our board late one afternoon?

*Joseph Levine*

*It's amazing what obstacles the human mind can overcome, if given the proper tools.  
Unfortunately, the world is nuts and all I've got a rubber mallet.*

---

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**Sent:** Tuesday, February 1, 2022 7:12 PM  
**To:** Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>  
**Subject:** Rawhide Wash Project - 7-WM-2020

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Please feel free to contact me with any further questions or comments.

Sincerely,

Jesús Murillo  
Senior Planner  
City of Scottsdale  
Planning and Development Services  
7447 E. Indian School Road, Ste. 105  
Scottsdale, AZ 85251  
Phone: 480-312-7849  
Fax: 480-312-9037

Get informed!



## Murillo, Jesus

---

**From:** "VOICE/+6025680192"@vm1wa103.ci.scottsdale.az.us  
**Sent:** Monday, February 14, 2022 5:11 PM  
**To:** Murillo, Jesus  
**Subject:** Voice mail: 23 sec.  
**Attachments:** 4542272\_VOICE\_220214-171046.wav

## Murillo, Jesus

---

**From:** "VOICE/+6025680192"@vm1wa103.ci.scottsdale.az.us  
**Sent:** Monday, February 14, 2022 5:09 PM  
**To:** Murillo, Jesus  
**Subject:** Voice mail: 22 sec.  
**Attachments:** 4542267\_VOICE\_220214-170918.wav

## Murillo, Jesus

---

**From:** Murillo, Jesus  
**Sent:** Monday, February 14, 2022 12:38 PM  
**To:** jj.levine@cox.net  
**Cc:** 'Ed Toschik'; shay.noonan.az@gmail.com; 'Lisa Riley'; 'Aaron Brown'; 'Kristin Bullock'; Linda Parker  
**Subject:** RE: Rawhide Wash Project - 7-WM-2020

Hello Mr. Levine,

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I will be starting at the Hayden/Happy Valley intersection with the native plant inventory. I could also meet with your team, at around 5:00, at the north end of the Miller Road construction site. It should be there at about that time with the inventory walk.

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If you have other suggestions, we are flexible.

In the pursuit of health and happiness,

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7645 E. Mariposa Grande Dr.

Scottsdale AZ 85255

CELL (602) 568-0192

EMAIL [J.J.Levine@cox.net](mailto:J.J.Levine@cox.net)

[Joe at LinkedIn](#)



---

**From:** Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>

**Sent:** Thursday, February 10, 2022 6:45 PM

**To:** [j.j.levine@cox.net](mailto:j.j.levine@cox.net)

**Cc:** 'Ed Toschik' <[ed.toschik@gmail.com](mailto:ed.toschik@gmail.com)>; [shay.noonan.az@gmail.com](mailto:shay.noonan.az@gmail.com); 'Lisa Riley' <[lisabarattoriley@gmail.com](mailto:lisabarattoriley@gmail.com)>; 'Aaron Brown' <[aaronb@lhmfinancial.com](mailto:aaronb@lhmfinancial.com)>; Kristin Bullock <[Kristin.Bullock@associa.us](mailto:Kristin.Bullock@associa.us)>

**Subject:** RE: Rawhide Wash Project - 7-WM-2020

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**Subject:** RE: Rawhide Wash Project - 7-WM-2020

**⚠ External Email: Please use caution if opening links or attachments!**

Jesus, Thank you for the update.

Looking forward to 'bumping' into you to discuss the trees proposed by one of you fellow planners along the miller road corridor to mitigate the noise. Still waiting on that landscape plan.

Would there be a good time for you to meet with our board late one afternoon?

*Joseph Levine*

*It's amazing what obstacles the human mind can overcome, if given the proper tools.  
Unfortunately, the world is nuts and all I've got a rubber mallet.*

---

**From:** Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>  
**Sent:** Tuesday, February 1, 2022 7:12 PM  
**To:** Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>  
**Subject:** Rawhide Wash Project - 7-WM-2020

Hello Everyone,

I Hope this email finds you all doing well. You are receiving this email because you have expressed interest in the above-mentioned project (**Rawhide Wash - 7-WM-2020**).

I wanted to first point out that this update is in regards to the Rawhide Wash flood hazard mitigation portion of the project, and **does not include the proposed improvements along N. Miller Road (bridge project)**. That particular portion of the Rawhide project has been submitted and reviewed, and I will provide a sperate email shortly.

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Staff is targeting the **MARCH 17, 2022 DEVELOPMENT REVIEW BOARD** hearing date.

**I wanted to remind everyone that all of the communication that staff has received will be included in staff's report to the Development Review Board.**

I also wanted to mention that I will be conducting the native plant inventory that will be associated with this project. So please do not be surprised if you see me, along with other City planners, walking the wash area soon.

Please feel free to contact me with any further questions or comments.

Sincerely,

Jesús Murillo  
Senior Planner  
City of Scottsdale  
Planning and Development Services  
7447 E. Indian School Road, Ste. 105  
Scottsdale, AZ 85251  
Phone: 480-312-7849  
Fax: 480-312-9037

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## Murillo, Jesus

---

**From:** jj.levine@cox.net  
**Sent:** Sunday, February 13, 2022 9:18 AM  
**To:** Murillo, Jesus  
**Cc:** 'Ed Toschik'; shay.noonan.az@gmail.com; 'Lisa Riley'; 'Aaron Brown'; 'Kristin Bullock'; Linda Parker  
**Subject:** RE: Rawhide Wash Project - 7-WM-2020

**⚠ External Email: Please use caution if opening links or attachments!**

Jesús,

Four of our five board members are looking forward to meeting with you on Tuesday the 15 of February at 4:00. I am assuming that we can get together by the project. North end of Miller Rd. or if you would like, at the park in La Vista (77<sup>th</sup> street and Mariposa Grande road).  
If you have other suggestions, we are flexible.

In the pursuit of health and happiness,

*Joseph J. Levine*

7645 E. Mariposa Grande Dr.

Scottsdale AZ 85255

CELL (602) 568-0192

EMAIL [J.J.Levine@cox.net](mailto:J.J.Levine@cox.net)

[Joe at LinkedIn](#)



---

**From:** Murillo, Jesus <JMurillo@ScottsdaleAz.Gov>

**Sent:** Thursday, February 10, 2022 6:45 PM

**To:** jj.levine@cox.net

**Cc:** 'Ed Toschik' <ed.toschik@gmail.com>; shay.noonan.az@gmail.com; 'Lisa Riley' <lisabarattoriley@gmail.com>; 'Aaron Brown' <aaronb@lhmfinancial.com>; Kristin Bullock <Kristin.Bullock@associa.us>

**Subject:** RE: Rawhide Wash Project - 7-WM-2020

Hello Mr. Levine,

I would love to meet with your board. A meeting on site “outside” would be preferred to meet with the COVID protocols. Let me know what days work for your team, and I will try to set up a meeting date and time.

I have been working with Mr. Jeremy Richter, and hope to get those landscape plans soon.

I have conducted half the review on the plants, and look to be out there probably next Tuesday, around 4:00.

Sincerely,

Jesús

---

**From:** [j.j.levine@cox.net](mailto:j.j.levine@cox.net) <[j.j.levine@cox.net](mailto:j.j.levine@cox.net)>  
**Sent:** Wednesday, February 02, 2022 6:26 AM  
**To:** Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>  
**Cc:** 'Ed Toschik' <[ed.toschik@gmail.com](mailto:ed.toschik@gmail.com)>; [shay.noonan.az@gmail.com](mailto:shay.noonan.az@gmail.com); 'Lisa Riley' <[lisabarattoriley@gmail.com](mailto:lisabarattoriley@gmail.com)>; 'Aaron Brown' <[aaronb@lhmfinancial.com](mailto:aaronb@lhmfinancial.com)>; Kristin Bullock <[Kristin.Bullock@associa.us](mailto:Kristin.Bullock@associa.us)>  
**Subject:** RE: Rawhide Wash Project - 7-WM-2020

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Please feel free to contact me with any further questions or comments.

Sincerely,

Jesús Murillo  
Senior Planner  
City of Scottsdale  
Planning and Development Services  
7447 E. Indian School Road, Ste. 105  
Scottsdale, AZ 85251  
Phone: 480-312-7849  
Fax: 480-312-9037

Get informed!



## Murillo, Jesus

---

**From:** M Dugan <savagrey@gmail.com>  
**Sent:** Saturday, February 12, 2022 4:26 PM  
**To:** Murillo, Jesus  
**Subject:** Re: Truck leaking

**⚠ External Email: Please use caution if opening links or attachments!**

Thank you!

On Sat, Feb 12, 2022 at 4:03 PM Murillo, Jesus <[JMurillo@scottsdaleaz.gov](mailto:JMurillo@scottsdaleaz.gov)> wrote:

Hello Margie,

THANK YOU! I have forwarded your email to the project manager. He is the direct contact to the company.

Sincerely,

Jesús

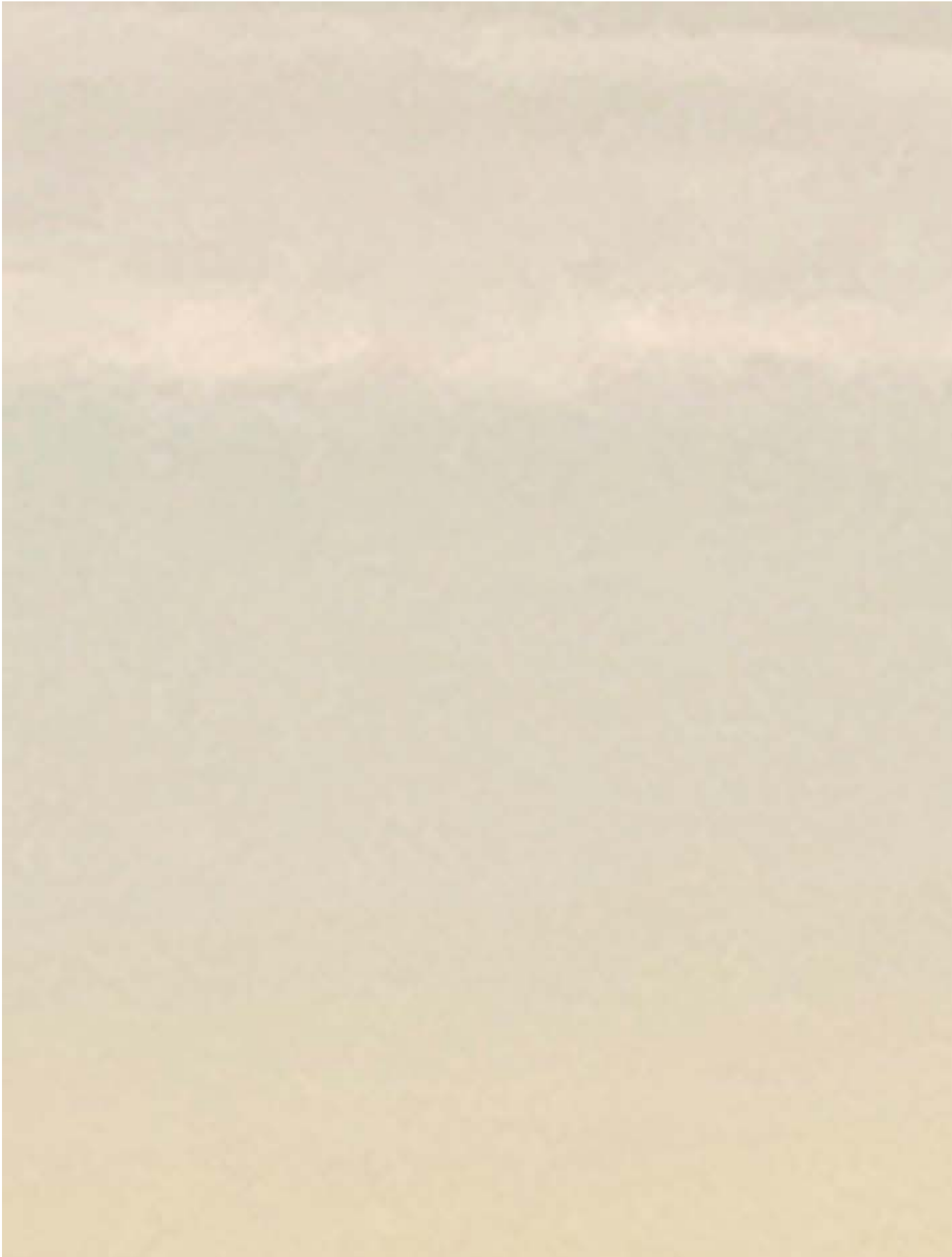
---

**From:** M Dugan <[savagrey@gmail.com](mailto:savagrey@gmail.com)>  
**Sent:** Saturday, February 12, 2022 7:18 AM  
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**Subject:** Truck leaking

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Hi just wanted to let you know one of the big white water trucks is leaking something out of the front end FYI I have included a picture not sure what exactly it is. Not sure who I should call or let know.

I



--

Margie D

--

Margie D

## Murillo, Jesus

---

**From:** Murillo, Jesus  
**Sent:** Saturday, February 12, 2022 4:03 PM  
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**Subject:** RE: Truck leaking

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Sincerely,

Jesús

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I



--

Margie D

## Murillo, Jesus

---

**From:** Md <savagrey@gmail.com>  
**Sent:** Friday, February 11, 2022 4:56 PM  
**To:** Murillo, Jesus  
**Subject:** Re: Rawhide Wash Flood Hazard Mitigation Project (7-WM-20220)

**⚠ External Email: Please use caution if opening links or attachments!**

Can you ask whom ever is doing the fence project, I would like a solid wall if I can, the activity right now is bad and I think it will just get worse.

Thank you  
Margie D

"Adopting one greyhound will not change the world, but for one dog the world will change. Change a world....adopt a greyhound, they're greyt!"

On Feb 10, 2022, at 6:50 PM, Murillo, Jesus <JMurillo@scottsdaleaz.gov> wrote:

My Pleasure,

I will send another reminder of the meeting: confirming dates, times, and locations.

Jesús

---

**From:** Md <savagrey@gmail.com>  
**Sent:** Tuesday, February 01, 2022 8:12 PM  
**To:** Murillo, Jesus <JMurillo@ScottsdaleAz.Gov>  
**Subject:** Re: Rawhide Wash Flood Hazard Mitigation Project (7-WM-20220)

**⚠ External Email: Please use caution if opening links or attachments!**

Hi  
Thank you for the update! I will stay tuned for more info as it becomes available.

Margie D

"Adopting one greyhound will not change the world, but for one dog the world will change. Change a world....adopt a greyhound, they're greyt!"

On Feb 1, 2022, at 7:10 PM, Murillo, Jesus <[JMurillo@scottsdaleaz.gov](mailto:JMurillo@scottsdaleaz.gov)> wrote:

Hello Margerie,

The fencing will not be able to redone until the DRB approves the project in its entirety. I will be sending out in email in about 10 minutes providing that update. Staff is looking at March 17, 2022 for that hearing date. I will work diligently in addressing the outhouse, and I will reach out to the project manager for the other concerns (landscaping). I will reach out to you by the end of the week with an update.

Sincerely,

Jesús

---

**From:** Md <[savagrey@gmail.com](mailto:savagrey@gmail.com)>

**Sent:** Sunday, January 30, 2022 8:59 AM

**To:** Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>

**Subject:** Re: Rawhide Wash Flood Hazard Mitigation Project (7-WM-20220)

**⚠ External Email: Please use caution if opening links or attachments!**

Hello

I see lots of progress happening! Some questions:

- 1) Any updates on when the resident home fencing & block wall will be redone? I have 2 big dogs so they will need to put up temporary fencing when it's being worked on.
- 2) I'm dealing with the constant beeping all day long working from home but how long will the outhouse be there as it's outside my back window, can they put it behind some trees?
- 3) Do they know what the landscaping choices we will have or what they will be for behind our homes to block off lights, bridge and the road?

Thank you!

Margie D

"Adopting one greyhound will not change the world, but for one dog the world will change. Change a world....adopt a greyhound, they're greyt!"

On Sep 7, 2021, at 9:30 AM, Murillo, Jesus <[JMurillo@scottsdaleaz.gov](mailto:JMurillo@scottsdaleaz.gov)> wrote:

Hello Margie,

The DRB meeting have not occurred yet, I will keep you posted.

Sincerely,

Jesús

---

**From:** Md <[savagrey@gmail.com](mailto:savagrey@gmail.com)>  
**Sent:** Wednesday, September 01, 2021 6:54 PM  
**To:** Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>  
**Subject:** Re: Rawhide Wash Flood Hazard Mitigation Project (7-WM-20220)

**⚠ External Email: Please use caution if opening links or attachments!**

Hi

Thank you for the update. I couldn't make the meeting but would like to know if it was recorded so I could view?

Thank you!

Margie D

"Saving one greyhound will not change the world, but for one dog the world will change. Change a world....adopt a greyhound, they're greyt!"



On Sep 1, 2021, at 3:19 PM, Murillo, Jesus  
<[JMurillo@scottsdaleaz.gov](mailto:JMurillo@scottsdaleaz.gov)> wrote:

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I wanted to first point out that this update is in regards to the Rawhide Wash flood hazard mitigation portion of the project, and **does not include the proposed improvements along N. Miller Road (bridge project)**. That particular portion of the Rawhide project has not been officially submitted for review as of yet. I will keep everyone posted when it is submitted for review.

The materials for the Rawhide Flood Control project were resubmitted, and are currently under review. The resubmittal still need to receive reviews from a couple of the City's departments. Having said this, it appears as though the project may be slated to be scheduled to be heard by the Development Review Board. The resubmittal was complete and appears to have addressed the majority of staff's concerns. Again, there are still a couple departments that will confirm or deny this outcome. I thought it best to give an update at this point, rather than later.

Please feel free to contact me with any further questions or comments.

Sincerely,

Jesús Murillo  
Senior Planner  
City of Scottsdale  
Planning and Development Services  
7447 E. Indian School Road, Ste. 105  
Scottsdale, AZ 85251  
Phone: 480-312-7849  
Fax: 480-312-9037

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<[image001.png](#)>

<[image002.png](#)>

<[image003.png](#)>



## Murillo, Jesus

---

**From:** Joe Keyser <joeowenk@icloud.com>  
**Sent:** Friday, February 11, 2022 1:40 PM  
**To:** Richter, Jeremy  
**Cc:** Murillo, Jesus; Hughes, Jon; teresa@makprosvc.com; Michael Corona; McGriff, Michael  
**Subject:** Re: Rawhide Wash Project - 7-WM-2020

**⚠ External Email: Please use caution if opening links or attachments!**

Hello Jeremy & Jesus,

Thank you both for the info. I would appreciate the walkway through construction as I do go through there almost daily. As you know, I was against the project and especially the flood control project which will remove the plants and natural habitats there. But looks like the city is moving forward on packing as many people in as possible up here.

Hope you all have a great weekend!

Joe

Sent from my iPhone

On Feb 11, 2022, at 8:00 AM, Richter, Jeremy <JRichter@scottsdaleaz.gov> wrote:

Good morning Joe,

Thanks for reach out to us. Our contractor is currently working on pedestrian safe routes through the job site. We hope to have those in place by next week. Additionally, next week the project team will be posting a map of pedestrian safe routes and pedestrian safety information on the project website. Please refer to [www.millerroadimprovements.com](http://www.millerroadimprovements.com) for the most current project information.

Respectfully,

**Jeremy Richter**

Project Manager

City of Scottsdale

Capital Project Management

7447 E. Indian School Road, Suite 205

Scottsdale, Arizona 85251

Phone: (480) 312-7869

Email: [jrichter@scottsdaleaz.gov](mailto:jrichter@scottsdaleaz.gov)

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---

**From:** Murillo, Jesus <JMurillo@ScottsdaleAz.Gov>

**Sent:** Thursday, February 10, 2022 6:57 PM

**To:** Joe Keyser <joeowenk@icloud.com>

**Subject:** RE: Rawhide Wash Project - 7-WM-2020

Hello Joe,

Good to hear from you again. I think that the “Rawhide Wash” portion of the project has done its best to address resident concerns. Was there a particular concern that you would like the team to address?

As for a connection to the wash, this is a comment that staff also asked of the “Miller Road” portion of the project. I will inquire directly with Mr. Richter, the project manager, and get back with you.

Jesús

---

**From:** Joe Keyser <[joeowenk@icloud.com](mailto:joeowenk@icloud.com)>  
**Sent:** Tuesday, February 01, 2022 7:41 PM  
**To:** Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>  
**Subject:** Re: Rawhide Wash Project - 7-WM-2020

 **External Email: Please use caution if opening links or attachments!**

Jesus,

Also, I meant to ask that we need a path from the wash to Miller road through the duration of the bridge project. If I can connect there, it will ruin my morning jog and I will end up fat! Please advise.

Thanks,

Joe

Sent from my iPhone

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I also wanted to mention that I will be conducting the native plant inventory that will be associated with this project. So please do not be surprised if you see me, along with other City planners, walking the wash area soon.

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Sincerely,

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City of Scottsdale  
Planning and Development Services  
7447 E. Indian School Road, Ste. 105  
Scottsdale, AZ 85251  
Phone: 480-312-7849  
Fax: 480-312-9037

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## Murillo, Jesus

---

**From:** Murillo, Jesus  
**Sent:** Friday, February 11, 2022 8:55 AM  
**To:** Ron Finkel  
**Subject:** RE: Rawhide Wash Project - 7-WM-2020

Ron, please understand, I do appreciate the calls and emails you absorb for me. Thank you!

---

**From:** Ron Finkel <finkel.ron@gmail.com>  
**Sent:** Thursday, February 10, 2022 8:02 PM  
**To:** Murillo, Jesus <JMurillo@ScottsdaleAz.Gov>  
**Subject:** Re: Rawhide Wash Project - 7-WM-2020

**⚠ External Email: Please use caution if opening links or attachments!**

Huge thanks for your time.....it is amazing how many people ask me the particulars with this project.

In a minor way, I am able to absorb a few emails and calls for you.

See you again soon at some point, and if you have any issues that I can help with; reach out to me as a resident of this project.

Sincerely,

**Ronald Finkel**

On Thu, Feb 10, 2022 at 6:38 PM Murillo, Jesus <[JMurillo@scottsdaleaz.gov](mailto:JMurillo@scottsdaleaz.gov)> wrote:

Hello Mr. Finkel,

Good to hear from you, I hope you are well.

I have responded below to your email.

Sincerely,

Jesús

**From:** Ron Finkel <[finkel.ron@gmail.com](mailto:finkel.ron@gmail.com)>  
**Sent:** Wednesday, February 02, 2022 8:35 AM  
**To:** Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>; Ron Finkel <[finkel.ron@gmail.com](mailto:finkel.ron@gmail.com)>  
**Subject:** Re: Rawhide Wash Project - 7-WM-2020

**⚠ External Email: Please use caution if opening links or attachments!**

Morning....thanks for the update.

I have been the point of contact for Happy Valley Ranch 1, HOA and very involved with this project.

You and I have met before on the project.

I have a few questions...not urgent but please respond.

1. The cleared approximately 1 acre of land on Happy Valley Road(Between Hayden and Miller/South Side), on the 9 acres approximately the City purchased in 2019.

Is that I assume a staging area for equipment or location of saved landscape, or what?

This area will be staging area for the native plants that are going to be salvage, and placed back into the project with the additional revegetation of the disturbed areas. This area should have irrigation, but should probably not have much equipment other than that required to manage the native plants.

2. On January 31st, I was unable to watch or locate the City of Scottsdale meeting on the vote on the Consent Agenda I believe #4, about the COS

financial participation of the project, was that passed?

Yes, the Council approved the funding to acquire the right-of-way need to allow the construction and modification of the floodwall improvements related to this project. It was approved with a vote of 7-0.

3. As you have been tagging the vegetation people have been asking what the different color tags mean, I think the colors are below:

Great question. I have been out in the area confirming and reviewing the tags as provided by the company that the project team hired. Please see below for what these tags mean.

**Red:** Identifies a protected native plant within the construction area that will be salvaged. This plant will be placed in the native plant nursery identified in question no. 1.

White: Identifies a protected native plant within the construction area that will remain in place. It will not be disturbed.

Blue: Identifies a protect native plant within the construction area that will be destroyed, because it would not survive the disturbance or plant nursery.

Green: This color was form a previous review, and do not correspond to the review.

Thanks,

My pleasure – anytime.

**Ronald Finkel**

On Tue, Feb 1, 2022 at 7:12 PM Murillo, Jesus <[JMurillo@scottsdaleaz.gov](mailto:JMurillo@scottsdaleaz.gov)> wrote:

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City of Scottsdale

Planning and Development Services

7447 E. Indian School Road, Ste. 105

Scottsdale, AZ 85251

Phone: 480-312-7849

Fax: 480-312-9037

Get informed!



||

## Murillo, Jesus

---

**From:** Richter, Jeremy  
**Sent:** Friday, February 11, 2022 8:00 AM  
**To:** Murillo, Jesus; Joe Keyser  
**Cc:** Hughes, Jon; teresa@makprosvc.com; Michael Corona; McGriff, Michael  
**Subject:** RE: Rawhide Wash Project - 7-WM-2020

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Respectfully,

### Jeremy Richter

Project Manager  
City of Scottsdale  
Capital Project Management  
7447 E. Indian School Road, Suite 205  
Scottsdale, Arizona 85251  
Phone: (480) 312-7869  
Email: [jrichter@scottsdaleaz.gov](mailto:jrichter@scottsdaleaz.gov)  
To send large files [click here](#)

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**From:** Murillo, Jesus <JMurillo@ScottsdaleAz.Gov>  
**Sent:** Thursday, February 10, 2022 6:57 PM  
**To:** Joe Keyser <joeowenk@icloud.com>  
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I wanted to first point out that this update is in regards to the Rawhide Wash flood hazard mitigation portion of the project, and **does not include the proposed improvements along N. Miller Road (bridge project)**. That particular portion of the Rawhide project has been submitted and reviewed, and I will provide a sperate email shortly.

The materials for the Rawhide Flood Control project were resubmitted, and are currently under review. The resubmittal still need to receive reviews from a couple of the City's departments. It appears as though the project may be slated to be scheduled to be heard by the Development Review Board. The resubmittal was complete and appears to have addressed the majority of staff's concerns.

Staff is targeting the **MARCH 17, 2022 DEVELOPMENT REVIEW BOARD** hearing date.

**I wanted to remind everyone that all of the communication that staff has received will be included in staff's report to the Development Review Board.**

I also wanted to mention that I will be conducting the native plant inventory that will be associated with this project. So please do not be surprised if you see me, along with other City planners, walking the wash area soon.

Please feel free to contact me with any further questions or comments.

Sincerely,

Jesús Murillo  
Senior Planner  
City of Scottsdale  
Planning and Development Services  
7447 E. Indian School Road, Ste. 105  
Scottsdale, AZ 85251  
Phone: 480-312-7849  
Fax: 480-312-9037

Get informed!



## Murillo, Jesus

---

**From:** Lori Lundberg <Loriscomputer@centurylink.net>  
**Sent:** Thursday, February 10, 2022 8:36 PM  
**To:** Murillo, Jesus  
**Subject:** RE: Rawhide Wash Project - 7-WM-2020

**⚠ External Email: Please use caution if opening links or attachments!**

Hi Mr. Murillo,

We are specifically asking about the wall that parallels Miller Road that runs behind homes starting at Park View and past our NAOS. It is hard to describe so when you are in the area on Tuesday, if you could please call or text my husband, Dan at 602-618-8155. He can come out to show you. I will still be at work at that time.

We will plan to come to the meeting and look forward to the details.

Thank you very much!  
Lori Lundberg

---

**From:** Murillo, Jesus <JMurillo@ScottsdaleAz.Gov>  
**Sent:** Thursday, February 10, 2022 6:49 PM  
**To:** Lori Lundberg <Loriscomputer@centurylink.net>  
**Subject:** RE: Rawhide Wash Project - 7-WM-2020

Hello Lori,

Yes, the plans do have the existing and proposed wall heights identified. If you are looking for a specific location, please let me know – I will try to get the graphics to you.

Yes, the Development Review Board meeting will be open to the public. I will send a reminder to all those that have send me communications.

I will be out there again this upcoming Tuesday, starting around 4:00 in the afternoon. I have been piecing the review – it is a large site.

Sincerely,

Jesús

---

**From:** Lori Lundberg <[Loriscomputer@centurylink.net](mailto:Loriscomputer@centurylink.net)>  
**Sent:** Tuesday, February 01, 2022 8:38 PM  
**To:** Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>  
**Subject:** RE: Rawhide Wash Project - 7-WM-2020

**⚠ External Email: Please use caution if opening links or attachments!**

Hi Mr. Murillo,

Thank you for this information. I have 2 questions:

- 1) Does this resubmittal include additional height to the retaining walls?
- 2) Can homeowners attend the meeting on March 17<sup>th</sup>?

If you are out and about, I would like to meet you briefly. I wanted to ask about some of the planned landscaping along the NAOS. I put my cell phone below if you are able to text or reply to this email.

Thank you so much!

Lori Lundberg  
480-620-2960

---

**From:** Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>

**Sent:** Tuesday, February 1, 2022 7:12 PM

**To:** Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>

**Subject:** Rawhide Wash Project - 7-WM-2020

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Fax: 480-312-9037

Get informed!





## Murillo, Jesus

---

**From:** Ron Finkel <finkel.ron@gmail.com>  
**Sent:** Thursday, February 10, 2022 8:02 PM  
**To:** Murillo, Jesus  
**Subject:** Re: Rawhide Wash Project - 7-WM-2020

**⚠ External Email: Please use caution if opening links or attachments!**

Huge thanks for your time.....it is amazing how many people ask me the particulars with this project.

In a minor way, I am able to absorb a few emails and calls for you.

See you again soon at some point, and if you have any issues that I can help with; reach out to me as a resident of this project.

Sincerely,

**Ronald Finkel**

On Thu, Feb 10, 2022 at 6:38 PM Murillo, Jesus <[JMurillo@scottsdaleaz.gov](mailto:JMurillo@scottsdaleaz.gov)> wrote:

Hello Mr. Finkel,

Good to hear from you, I hope you are well.

I have responded below to your email.

Sincerely,

Jesús

---

**From:** Ron Finkel <[finkel.ron@gmail.com](mailto:finkel.ron@gmail.com)>  
**Sent:** Wednesday, February 02, 2022 8:35 AM  
**To:** Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>; Ron Finkel <[finkel.ron@gmail.com](mailto:finkel.ron@gmail.com)>  
**Subject:** Re: Rawhide Wash Project - 7-WM-2020

Morning....thanks for the update.

I have been the point of contact for Happy Valley Ranch 1, HOA and very involved with this project.

You and I have met before on the project.

I have a few questions...not urgent but please respond.

1. The cleared approximately 1 acre of land on Happy Valley Road(Between Hayden and Miller/South Side), on the 9 acres approximately the City purchased in 2019.

Is that I assume a staging area for equipment or location of saved landscape, or what?

This area will be staging area for the native plants that are going to be salvage, and placed back into the project with the additional revegetation of the disturbed areas. This area should have irrigation, but should probably not have much equipment other than that required to manage the native plants.

2. On January 31st, I was unable to watch or locate the City of Scottsdale meeting on the vote on the Consent Agenda I believe #4, about the COS

financial participation of the project, was that passed?

Yes, the Council approved the funding to acquire the right-of-way need to allow the construction and modification of the floodwall improvements related to this project. It was approved with a vote of 7-0.

3. As you have been tagging the vegetation people have been asking what the different color tags mean, I think the colors are below:

Great question. I have been out in the area confirming and reviewing the tags as provided by the company that the project team hired. Please see below for what these tags mean.

**Red:** Identifies a protected native plant within the construction area that will be salvaged. This plant will be placed in the native plant nursery identified in question no. 1.

**White:** Identifies a protected native plant within the construction area that will remain in place. It will not be disturbed.

**Blue:** Identifies a protect native plant within the construction area that will be destroyed, because it would not survive the disturbance or plant nursery.

Green: This color was form a previous review, and do not correspond to the review.

Thanks,

My pleasure – anytime.

**Ronald Finkel**

On Tue, Feb 1, 2022 at 7:12 PM Murillo, Jesus <[JMurillo@scottsdaleaz.gov](mailto:JMurillo@scottsdaleaz.gov)> wrote:

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Jesús Murillo

Senior Planner

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Planning and Development Services

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Scottsdale, AZ 85251

Phone: 480-312-7849

Fax: 480-312-9037

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## Murillo, Jesus

---

**From:** Murillo, Jesus  
**Sent:** Thursday, February 10, 2022 6:57 PM  
**To:** Joe Keyser  
**Subject:** RE: Rawhide Wash Project - 7-WM-2020

Hello Joe,

Good to hear from you again. I think that the “Rawhide Wash” portion of the project has done its best to address resident concerns. Was there a particular concern that you would like the team to address?

As for a connection to the wash, this is a comment that staff also asked of the “Miller Road” portion of the project. I will inquire directly with Mr. Richter, the project manager, and get back with you.

Jesús

---

**From:** Joe Keyser <joeowenk@icloud.com>  
**Sent:** Tuesday, February 01, 2022 7:41 PM  
**To:** Murillo, Jesus <JMurillo@ScottsdaleAz.Gov>  
**Subject:** Re: Rawhide Wash Project - 7-WM-2020

 **External Email: Please use caution if opening links or attachments!**

Jesus,

Also, I meant to ask that we need a path from the wash to Miller road through the duration of the bridge project. If I can connect there, it will ruin my morning jog and I will end up fat! Please advise.

Thanks,

Joe

Sent from my iPhone

On Feb 1, 2022, at 7:12 PM, Murillo, Jesus <[JMurillo@scottsdaleaz.gov](mailto:JMurillo@scottsdaleaz.gov)> wrote:

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Please feel free to contact me with any further questions or comments.

Sincerely,

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7447 E. Indian School Road, Ste. 105  
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## Murillo, Jesus

---

**From:** Murillo, Jesus  
**Sent:** Thursday, February 10, 2022 6:50 PM  
**To:** Md  
**Subject:** RE: Rawhide Wash Flood Hazard Mitigation Project (7-WM-20220)

My Pleasure,

I will send another reminder of the meeting: confirming dates, times, and locations.

Jesús

---

**From:** Md <savagrey@gmail.com>  
**Sent:** Tuesday, February 01, 2022 8:12 PM  
**To:** Murillo, Jesus <JMurillo@ScottsdaleAz.Gov>  
**Subject:** Re: Rawhide Wash Flood Hazard Mitigation Project (7-WM-20220)

**⚠ External Email: Please use caution if opening links or attachments!**

Hi

Thank you for the update! I will stay tuned for more info as it becomes available.

Margie D

"Adopting one greyhound will not change the world, but for one dog the world will change. Change a world....adopt a greyhound, they're greyt!"

On Feb 1, 2022, at 7:10 PM, Murillo, Jesus <[JMurillo@scottsdaleaz.gov](mailto:JMurillo@scottsdaleaz.gov)> wrote:

Hello Margerie,

The fencing will not be able to redone until the DRB approves the project in its entirety. I will be sending out in email in about 10 minutes providing that update. Staff is looking at March 17, 2022 for that hearing date. I will work diligently in addressing the outhouse, and I will reach out to the project manager for the other concerns (landscaping). I will reach out to you by the end of the week with an update.

Sincerely,

Jesús

---

**From:** Md <[savagrey@gmail.com](mailto:savagrey@gmail.com)>  
**Sent:** Sunday, January 30, 2022 8:59 AM

To: Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>

Subject: Re: Rawhide Wash Flood Hazard Mitigation Project (7-WM-20220)

**⚠ External Email: Please use caution if opening links or attachments!**

Hello

I see lots of progress happening! Some questions:

- 1) Any updates on when the resident home fencing & block wall will be redone? I have 2 big dogs so they will need to put up temporary fencing when it's being worked on.
- 2) I'm dealing with the constant beeping all day long working from home but how long will the outhouse be there as it's outside my back window, can they put it behind some trees?
- 3) Do they know what the landscaping choices we will have or what they will be for behind our homes to block off lights, bridge and the road?

Thank you!

Margie D

"Adopting one greyhound will not change the world, but for one dog the world will change. Change a world....adopt a greyhound, they're greyt!"

On Sep 7, 2021, at 9:30 AM, Murillo, Jesus <[JMurillo@scottsdaleaz.gov](mailto:JMurillo@scottsdaleaz.gov)> wrote:

Hello Margie,

The DRB meeting have not occurred yet, I will keep you posted.

Sincerely,

Jesús

---

**From:** Md <[savagrey@gmail.com](mailto:savagrey@gmail.com)>

**Sent:** Wednesday, September 01, 2021 6:54 PM

**To:** Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>

**Subject:** Re: Rawhide Wash Flood Hazard Mitigation Project (7-WM-20220)

**⚠ External Email: Please use caution if opening links or attachments!**

Hi

Thank you for the update. I couldn't make the meeting but would like to know if it was recorded so I could view?



Thank you!

Margie D

"Saving one greyhound will not change the world, but for one dog the world will change. Change a world....adopt a greyhound, they're greyt!"

On Sep 1, 2021, at 3:19 PM, Murillo, Jesus <[JMurillo@scottsdaleaz.gov](mailto:JMurillo@scottsdaleaz.gov)> wrote:

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I wanted to first point out that this update is in regards to the Rawhide Wash flood hazard mitigation portion of the project, and **does not include the proposed improvements along N. Miller Road (bridge project)**. That particular portion of the Rawhide project has not been officially submitted for review as of yet. I will keep everyone posted when it is submitted for review.

The materials for the Rawhide Flood Control project were resubmitted, and are currently under review. The resubmittal still need to receive reviews from a couple of the City's departments. Having said this, it appears as though the project may be slated to be scheduled to be heard by the Development Review Board. The resubmittal was complete and appears to have addressed the majority of staff's concerns. Again, there are still a couple departments that will confirm or deny this outcome. I thought it best to give an update at this point, rather than later.

Please feel free to contact me with any further questions or comments.

Sincerely,

Jesús Murillo

Senior Planner  
City of Scottsdale  
Planning and Development Services  
7447 E. Indian School Road, Ste. 105  
Scottsdale, AZ 85251  
Phone: 480-312-7849  
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[<image001.png>](#)

[<image002.png>](#)

[<image003.png>](#)

## Murillo, Jesus

---

**From:** Murillo, Jesus  
**Sent:** Thursday, February 10, 2022 6:49 PM  
**To:** Lori Lundberg  
**Subject:** RE: Rawhide Wash Project - 7-WM-2020

Hello Lori,

Yes, the plans do have the existing and proposed wall heights identified. If you are looking for a specific location, please let me know – I will try to get the graphics to you.

Yes, the Development Review Board meeting will be open to the public. I will send a reminder to all those that have send me communications.

I will be out there again this upcoming Tuesday, starting around 4:00 in the afternoon. I have been piecing the review – it is a large site.

Sincerely,

Jesús

---

**From:** Lori Lundberg <Loriscomputer@centurylink.net>  
**Sent:** Tuesday, February 01, 2022 8:38 PM  
**To:** Murillo, Jesus <JMurillo@ScottsdaleAz.Gov>  
**Subject:** RE: Rawhide Wash Project - 7-WM-2020

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Hi Mr. Murillo,

Thank you for this information. I have 2 questions:

- 1) Does this resubmittal include additional height to the retaining walls?
- 2) Can homeowners attend the meeting on March 17<sup>th</sup>?

If you are out and about, I would like to meet you briefly. I wanted to ask about some of the planned landscaping along the NAOS. I put my cell phone below if you are able to text or reply to this email.

Thank you so much!  
Lori Lundberg  
480-620-2960

---

**From:** Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>  
**Sent:** Tuesday, February 1, 2022 7:12 PM  
**To:** Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>  
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## Murillo, Jesus

---

**From:** Murillo, Jesus  
**Sent:** Thursday, February 10, 2022 6:45 PM  
**To:** jj.levine@cox.net  
**Cc:** 'Ed Toschik'; shay.noonan.az@gmail.com; 'Lisa Riley'; 'Aaron Brown'; Kristin Bullock  
**Subject:** RE: Rawhide Wash Project - 7-WM-2020

Hello Mr. Levine,

I would love to meet with your board. A meeting on site "outside" would be preferred to meet with the COVID protocols. Let me know what days work for your team, and I will try to set up a meeting date and time.

I have been working with Mr. Jeremy Richter, and hope to get those landscape plans soon.

I have conducted half the review on the plants, and look to be out there probably next Tuesday, around 4:00.

Sincerely,

Jesús

---

**From:** jj.levine@cox.net <jj.levine@cox.net>  
**Sent:** Wednesday, February 02, 2022 6:26 AM  
**To:** Murillo, Jesus <JMurillo@ScottsdaleAz.Gov>  
**Cc:** 'Ed Toschik' <ed.toschik@gmail.com>; shay.noonan.az@gmail.com; 'Lisa Riley' <lisabarattoriley@gmail.com>; 'Aaron Brown' <aaronb@lhmfinancial.com>; Kristin Bullock <Kristin.Bullock@associa.us>  
**Subject:** RE: Rawhide Wash Project - 7-WM-2020

**⚠ External Email: Please use caution if opening links or attachments!**

Jesús, Thank you for the update.

Looking forward to 'bumping' into you to discuss the trees proposed by one of your fellow planners along the Miller Road corridor to mitigate the noise. Still waiting on that landscape plan.

Would there be a good time for you to meet with our board late one afternoon?

*Joseph Levine*

*It's amazing what obstacles the human mind can overcome, if given the proper tools.  
Unfortunately, the world is nuts and all I've got a rubber mallet.*

---

**From:** Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>  
**Sent:** Tuesday, February 1, 2022 7:12 PM  
**To:** Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>  
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Phone: 480-312-7849  
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**From:** Murillo, Jesus  
**Sent:** Thursday, February 10, 2022 6:39 PM  
**To:** Ron Finkel  
**Subject:** RE: Rawhide Wash Project - 7-WM-2020

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Good to hear from you, I hope you are well.

I have responded below to your email.

Sincerely,

Jesús

---

**From:** Ron Finkel <finkel.ron@gmail.com>  
**Sent:** Wednesday, February 02, 2022 8:35 AM  
**To:** Murillo, Jesus <JMurillo@ScottsdaleAz.Gov>; Ron Finkel <finkel.ron@gmail.com>  
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I also wanted to mention that I will be conducting the native plant inventory that will be associated with this project. So please do not be surprised if you see me, along with other City planners, walking the wash area soon.



Please feel free to contact me with any further questions or comments.

Sincerely,

Jesús Murillo

Senior Planner

City of Scottsdale

Planning and Development Services

7447 E. Indian School Road, Ste. 105

Scottsdale, AZ 85251

Phone: 480-312-7849

Fax: 480-312-9037

Get informed!



## Murillo, Jesus

---

**From:** Scott Ogden <scott@jefuller.com>  
**Sent:** Tuesday, February 08, 2022 8:33 AM  
**To:** Couch, Ashley; Brodzinski, Walt; Zappanti, Joseph; Gagnon, Kristi - FDFI106; Ramirez, David J; Nazar Nabaty (FCD); Peter Acton  
**Cc:** Aouad, Ghassan; Pence, Jack; Murillo, Jesus; Lutrick, Troy; Zimmerman, Mark - FD019  
**Subject:** RE: Rawhide Wash Flood Gate Design Details at Los Portones Drive  
**Attachments:** Rawhide Final Design\_LP Flood Warning System\_Agenda.docx

 **External Email: Please use caution if opening links or attachments!**

All,  
Attached is an agenda for today's meeting. Talk with you all soon.

Thanks,  
Scott

-----Original Appointment-----

**From:** Couch, Ashley <ACouch@ScottsdaleAz.Gov>  
**Sent:** Monday, January 31, 2022 7:11 PM  
**To:** Couch, Ashley; Brodzinski, Walt; Zappanti, Joseph; Gagnon, Kristi - FDFI106; Ramirez, David J; Scott Ogden; Nazar Nabaty (FCD); Peter Acton  
**Cc:** Aouad, Ghassan; Pence, Jack; Murillo, Jesus; Lutrick, Troy; Zimmerman, Mark - FD019  
**Subject:** Rawhide Wash Flood Gate Design Details at Los Portones Drive  
**When:** Tuesday, February 8, 2022 2:00 PM-3:30 PM (UTC-07:00) Arizona.  
**Where:** Microsoft Teams  
**Importance:** High

CAUTION: [EXTERNAL] : this e-mail originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

Troy: Your calendar shows you as unavailable. Is it alright to go ahead without you, or do we need to find another time slot? Kristi Gagnon and David Ramirez are both available.

---

## Microsoft Teams meeting

**Join on your computer or mobile app**

[Click here to join the meeting](#)

[Learn More](#) | [Meeting options](#)

---

## Murillo, Jesus

---

**From:** John Dooley/Pinnacle Productions <pinnacle1@cox.net>  
**Sent:** Monday, February 07, 2022 6:43 PM  
**To:** Murillo, Jesus  
**Subject:** Rawhide Wash Project conversation

**⚠ External Email: Please use caution if opening links or attachments!**

It was nice meeting Jesus. Here are some of the things we talked to you about today.

Gate for our fence,  
street lights,

a taller noise abatement wall to block traffic noise and headlights of cars,  
returning trees and plants back to our area to block sight of the bridge as much as possible. Thanks again for all your assistance.

Take care, John

John & Christina Dooley  
7517 E. Mariposa Grande Dr.  
Scottsdale Arizona 85245  
602-538-5429

## Murillo, Jesus

---

**From:** "VOICE/+4807101612"@vm1wa103.ci.scottsdale.az.us  
**Sent:** Friday, February 04, 2022 8:39 AM  
**To:** Murillo, Jesus  
**Subject:** Voice mail: 81 sec.  
**Attachments:** 4527528\_VOICE\_220204-083840.wav

**Follow Up Flag:** Follow up  
**Flag Status:** Completed

## Murillo, Jesus

---

**From:** Ron Finkel <finkel.ron@gmail.com>  
**Sent:** Wednesday, February 02, 2022 8:35 AM  
**To:** Murillo, Jesus; Ron Finkel  
**Subject:** Re: Rawhide Wash Project - 7-WM-2020

**Follow Up Flag:** Follow up  
**Flag Status:** Completed

**⚠ External Email: Please use caution if opening links or attachments!**

Morning....thanks for the update.

I have been the point of contact for Happy Valley Ranch 1, HOA and very involved with this project.

You and I have met before on the project.

I have a few questions...not urgent but please respond.

1. The cleared approximately 1 acre of land on Happy Valley Road(Between Hayden and Miller/South Side), on the 9 acres approximately the City purchased in 2019.

Is that I assume a staging area for equipment or location of saved landscape, or what?

2. On January 31st, I was unable to watch or locate the City of Scottsdale meeting on the vote on the Consent Agenda I believe #4, about the COS

financial participation of the project, was that passed?

3. As you have been tagging the vegetation people have been asking what the different color tags mean, I think the colors are below:

Red:

White:

Blue:

Green:

Thanks,

**Ronald Finkel**

On Tue, Feb 1, 2022 at 7:12 PM Murillo, Jesus <[JMurillo@scottsdaleaz.gov](mailto:JMurillo@scottsdaleaz.gov)> wrote:

Hello Everyone,

I Hope this email finds you all doing well. You are receiving this email because you have expressed interest in the above-mentioned project (**Rawhide Wash - 7-WM-2020**).

I wanted to first point out that this update is in regards to the Rawhide Wash flood hazard mitigation portion of the project, and **does not include the proposed improvements along N. Miller Road (bridge project)**. That particular portion of the Rawhide project has been submitted and reviewed, and I will provide a sperate email shortly.

The materials for the Rawhide Flood Control project were resubmitted, and are currently under review. The resubmittal still need to receive reviews from a couple of the City's departments. It appears as though the project may be slated to be scheduled to be heard by the Development Review Board. The resubmittal was complete and appears to have addressed the majority of staff's concerns.

Staff is targeting the **MARCH 17, 2022 DEVELOPMENT REVIEW BOARD** hearing date.

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I also wanted to mention that I will be conducting the native plant inventory that will be associated with this project. So please do not be surprised if you see me, along with other City planners, walking the wash area soon.

Please feel free to contact me with any further questions or comments.

Sincerely,

Jesús Murillo

Senior Planner

City of Scottsdale

Planning and Development Services

7447 E. Indian School Road, Ste. 105

Scottsdale, AZ 85251

Phone: 480-312-7849

Fax: 480-312-9037

Get informed!



## Murillo, Jesus

---

**From:** jj.levine@cox.net  
**Sent:** Wednesday, February 02, 2022 6:26 AM  
**To:** Murillo, Jesus  
**Cc:** 'Ed Toschik'; shay.noonan.az@gmail.com; 'Lisa Riley'; 'Aaron Brown'; Kristin Bullock  
**Subject:** RE: Rawhide Wash Project - 7-WM-2020

**Follow Up Flag:** Follow up  
**Flag Status:** Completed

**⚠ External Email: Please use caution if opening links or attachments!**

Jesus, Thank you for the update.

Looking forward to 'bumping' into you to discuss the trees proposed by one of you fellow planners along the miller road corridor to mitigate the noise. Still waiting on that landscape plan.

Would there be a good time for you to meet with our board late one afternoon?

*Joseph Levine*

*It's amazing what obstacles the human mind can overcome, if given the proper tools.  
Unfortunately, the world is nuts and all I've got a rubber mallet.*

---

**From:** Murillo, Jesus <JMurillo@ScottsdaleAz.Gov>  
**Sent:** Tuesday, February 1, 2022 7:12 PM  
**To:** Murillo, Jesus <JMurillo@ScottsdaleAz.Gov>  
**Subject:** Rawhide Wash Project - 7-WM-2020

Hello Everyone,

I Hope this email finds you all doing well. You are receiving this email because you have expressed interest in the above-mentioned project (**Rawhide Wash - 7-WM-2020**).

I wanted to first point out that this update is in regards to the Rawhide Wash flood hazard mitigation portion of the project, and **does not include the proposed improvements along N. Miller Road (bridge project)**. That particular portion of the Rawhide project has been submitted and reviewed, and I will provide a sperate email shortly.

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I also wanted to mention that I will be conducting the native plant inventory that will be associated with this project. So please do not be surprised if you see me, along with other City planners, walking the wash area soon.

Please feel free to contact me with any further questions or comments.

Sincerely,

Jesús Murillo  
Senior Planner  
City of Scottsdale  
Planning and Development Services  
7447 E. Indian School Road, Ste. 105  
Scottsdale, AZ 85251  
Phone: 480-312-7849  
Fax: 480-312-9037

Get informed!



## Murillo, Jesus

---

**From:** Lori Lundberg <Loriscomputer@centurylink.net>  
**Sent:** Tuesday, February 01, 2022 8:38 PM  
**To:** Murillo, Jesus  
**Subject:** RE: Rawhide Wash Project - 7-WM-2020

**Follow Up Flag:** Follow up  
**Flag Status:** Completed

 **External Email: Please use caution if opening links or attachments!**

Hi Mr. Murillo,

Thank you for this information. I have 2 questions:

- 1) Does this resubmittal include additional height to the retaining walls?
- 2) Can homeowners attend the meeting on March 17<sup>th</sup>?

If you are out and about, I would like to meet you briefly. I wanted to ask about some of the planned landscaping along the NAOS. I put my cell phone below if you are able to text or reply to this email.

Thank you so much!  
Lori Lundberg  
480-620-2960

---

**From:** Murillo, Jesus <JMurillo@ScottsdaleAz.Gov>  
**Sent:** Tuesday, February 1, 2022 7:12 PM  
**To:** Murillo, Jesus <JMurillo@ScottsdaleAz.Gov>  
**Subject:** Rawhide Wash Project - 7-WM-2020

Hello Everyone,

I Hope this email finds you all doing well. You are receiving this email because you have expressed interest in the above-mentioned project (**Rawhide Wash - 7-WM-2020**).

I wanted to first point out that this update is in regards to the Rawhide Wash flood hazard mitigation portion of the project, and **does not include the proposed improvements along N. Miller Road (bridge project)**. That particular portion of the Rawhide project has been submitted and reviewed, and I will provide a sperate email shortly.

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Staff is targeting the **MARCH 17, 2022 DEVELOPMENT REVIEW BOARD** hearing date.

**I wanted to remind everyone that all of the communication that staff has received will be included in staff's report to the Development Review Board.**

I also wanted to mention that I will be conducting the native plant inventory that will be associated with this project. So please do not be surprised if you see me, along with other City planners, walking the wash area soon.

Please feel free to contact me with any further questions or comments.

Sincerely,

Jesús Murillo  
Senior Planner  
City of Scottsdale  
Planning and Development Services  
7447 E. Indian School Road, Ste. 105  
Scottsdale, AZ 85251  
Phone: 480-312-7849  
Fax: 480-312-9037

Get informed!



## Murillo, Jesus

---

**From:** Md <savagrey@gmail.com>  
**Sent:** Tuesday, February 01, 2022 8:12 PM  
**To:** Murillo, Jesus  
**Subject:** Re: Rawhide Wash Flood Hazard Mitigation Project (7-WM-20220)

**Follow Up Flag:** Follow up  
**Flag Status:** Completed

 **External Email: Please use caution if opening links or attachments!**

Hi

Thank you for the update! I will stay tuned for more info as it becomes available.

Margie D

"Adopting one greyhound will not change the world, but for one dog the world will change. Change a world....adopt a greyhound, they're greyt!"

On Feb 1, 2022, at 7:10 PM, Murillo, Jesus <JMurillo@scottsdaleaz.gov> wrote:

Hello Margerie,

The fencing will not be able to redone until the DRB approves the project in its entirety. I will be sending out in email in about 10 minutes providing that update. Staff is looking at March 17, 2022 for that hearing date. I will work diligently in addressing the outhouse, and I will reach out to the project manager for the other concerns (landscaping). I will reach out to you by the end of the week with an update.

Sincerely,

Jesús

---

**From:** Md <savagrey@gmail.com>  
**Sent:** Sunday, January 30, 2022 8:59 AM  
**To:** Murillo, Jesus <JMurillo@ScottsdaleAz.Gov>  
**Subject:** Re: Rawhide Wash Flood Hazard Mitigation Project (7-WM-20220)

 **External Email: Please use caution if opening links or attachments!**

Hello

I see lots of progress happening! Some questions:

- 1) Any updates on when the resident home fencing & block wall will be redone? I have 2 big dogs so they will need to put up temporary fencing when it's being worked on.
- 2) I'm dealing with the constant beeping all day long working from home but how long will the outhouse be there as it's outside my back window, can they put it behind some trees?
- 3) Do they know what the landscaping choices we will have or what they will be for behind our homes to block off lights, bridge and the road?

Thank you!

Margie D

"Adopting one greyhound will not change the world, but for one dog the world will change. Change a world....adopt a greyhound, they're greyt!"

On Sep 7, 2021, at 9:30 AM, Murillo, Jesus <[JMurillo@scottsdaleaz.gov](mailto:JMurillo@scottsdaleaz.gov)> wrote:

Hello Margie,

The DRB meeting have not occurred yet, I will keep you posted.

Sincerely,

Jesús

---

**From:** Md <[savagrey@gmail.com](mailto:savagrey@gmail.com)>

**Sent:** Wednesday, September 01, 2021 6:54 PM

**To:** Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>

**Subject:** Re: Rawhide Wash Flood Hazard Mitigation Project (7-WM-20220)

**⚠ External Email: Please use caution if opening links or attachments!**

Hi

Thank you for the update. I couldn't make the meeting but would like to know if it was recorded so I could view?

Thank you!

Margie D

"Saving one greyhound will not change the world, but for one dog the world will change. Change a world....adopt a greyhound, they're greyt!"

On Sep 1, 2021, at 3:19 PM, Murillo, Jesus <[JMurillo@scottsdaleaz.gov](mailto:JMurillo@scottsdaleaz.gov)> wrote:

Hello Everyone,

I Hope this email finds you all doing well. You are receiving this email because you have expressed interest in the above-mentioned project (**Rawhide Wash - 7-WM-2020**).

I wanted to first point out that this update is in regards to the Rawhide Wash flood hazard mitigation portion of the project, and **does not include the proposed improvements along N. Miller Road (bridge project)**. That particular portion of the Rawhide project has not been officially submitted for review as of yet. I will keep everyone posted when it is submitted for review.

The materials for the Rawhide Flood Control project were resubmitted, and are currently under review. The resubmittal still need to receive reviews from a couple of the City's departments. Having said this, it appears as though the project may be slated to be scheduled to be heard by the Development Review Board. The resubmittal was complete and appears to have addressed the majority of staff's concerns. Again, there are still a couple departments that will confirm or deny this outcome. I thought it best to give an update at this point, rather than later.

Please feel free to contact me with any further questions or comments.

Sincerely,

Jesús Murillo  
Senior Planner  
City of Scottsdale  
Planning and Development Services  
7447 E. Indian School Road, Ste. 105  
Scottsdale, AZ 85251  
Phone: 480-312-7849

Fax: 480-312-9037

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<image001.png>

<image002.png>

<image003.png>

## Murillo, Jesus

---

**From:** John Dooley/Pinnacle Productions <pinnacle1@cox.net>  
**Sent:** Tuesday, February 01, 2022 7:47 PM  
**To:** Murillo, Jesus  
**Subject:** RE: Rawhide Wash Project - 7-WM-2020

**Follow Up Flag:** Follow up  
**Flag Status:** Completed

 **External Email: Please use caution if opening links or attachments!**

Are you or Jeremy going to return my calls?

John Dooley  
602-538-5429

----- Original message -----

From: "Murillo, Jesus" <JMurillo@ScottsdaleAz.Gov>  
Date: 2/1/22 7:12 PM (GMT-07:00)  
To: "Murillo, Jesus" <JMurillo@ScottsdaleAz.Gov>  
Subject: Rawhide Wash Project - 7-WM-2020

Hello Everyone,

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I wanted to first point out that this update is in regards to the Rawhide Wash flood hazard mitigation portion of the project, and **does not include the proposed improvements along N. Miller Road (bridge project)**. That particular portion of the Rawhide project has been submitted and reviewed, and I will provide a sperate email shortly.

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Please feel free to contact me with any further questions or comments.

Sincerely,

Jesús Murillo

Senior Planner

City of Scottsdale

Planning and Development Services

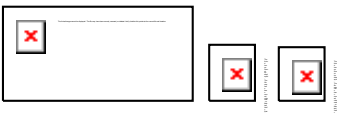
7447 E. Indian School Road, Ste. 105

Scottsdale, AZ 85251

Phone: 480-312-7849

Fax: 480-312-9037

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## Murillo, Jesus

---

**From:** Joe Keyser <joeowenk@icloud.com>  
**Sent:** Tuesday, February 01, 2022 7:41 PM  
**To:** Murillo, Jesus  
**Subject:** Re: Rawhide Wash Project - 7-WM-2020

**Follow Up Flag:** Follow up  
**Flag Status:** Completed

 **External Email: Please use caution if opening links or attachments!**

Jesus,

Also, I meant to ask that we need a path from the wash to Miller road through the duration of the bridge project. If I can connect there, it will ruin my morning jog and I will end up fat! Please advise.

Thanks,

Joe

Sent from my iPhone

On Feb 1, 2022, at 7:12 PM, Murillo, Jesus <JMurillo@scottsdaleaz.gov> wrote:

Hello Everyone,

I Hope this email finds you all doing well. You are receiving this email because you have expressed interest in the above-mentioned project (**Rawhide Wash - 7-WM-2020**).

I wanted to first point out that this update is in regards to the Rawhide Wash flood hazard mitigation portion of the project, and **does not include the proposed improvements along N. Miller Road (bridge project)**. That particular portion of the Rawhide project has been submitted and reviewed, and I will provide a sperate email shortly.

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Please feel free to contact me with any further questions or comments.

Sincerely,

Jesús Murillo  
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City of Scottsdale  
Planning and Development Services  
7447 E. Indian School Road, Ste. 105  
Scottsdale, AZ 85251  
Phone: 480-312-7849  
Fax: 480-312-9037

Get informed!



## Murillo, Jesus

---

**From:** Joe Keyser <joeowenk@icloud.com>  
**Sent:** Tuesday, February 01, 2022 7:39 PM  
**To:** Murillo, Jesus  
**Subject:** Re: Rawhide Wash Project - 7-WM-2020

**Follow Up Flag:** Follow up  
**Flag Status:** Completed

**⚠ External Email: Please use caution if opening links or attachments!**

Hi Jesus,

Thank you for your email. You stated that the resubmittal was complete and appears to have addressed the majority of staff's concerns. However, did it also address the concerns of the residents?

Thank you

Joe  
Sent from my iPhone

On Feb 1, 2022, at 7:12 PM, Murillo, Jesus <JMurillo@scottsdaleaz.gov> wrote:

Hello Everyone,

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Sincerely,

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City of Scottsdale  
Planning and Development Services  
7447 E. Indian School Road, Ste. 105  
Scottsdale, AZ 85251  
Phone: 480-312-7849  
Fax: 480-312-9037

Get informed!



## Murillo, Jesus

---

**From:** Murillo, Jesus  
**Sent:** Tuesday, February 01, 2022 7:14 PM  
**To:** jenna@cpihoa.com  
**Subject:** FW: Rawhide Wash Project - 7-WM-2020

Hello Jenna,

You are receiving this email due to Janet's automatic reply.

Sincerely,

Jesús

I am retiring as of October 31, 2021 and Jenna Chapman will now be your Association Manager. Jenna's e-mail is [jenna@cpihoa.com](mailto:jenna@cpihoa.com).

For Kempton Crossing only: Lia Peahu will be your Association Manager. Lia's e-mail is [lia@cpihoa.com](mailto:lia@cpihoa.com).

I have enjoyed working with you. Stay well.

*janet*

---

**From:** Murillo, Jesus <JMurillo@ScottsdaleAz.Gov>  
**Sent:** Tuesday, February 01, 2022 7:12 PM  
**To:** Murillo, Jesus <JMurillo@ScottsdaleAz.Gov>  
**Subject:** Rawhide Wash Project - 7-WM-2020

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Senior Planner  
City of Scottsdale  
Planning and Development Services  
7447 E. Indian School Road, Ste. 105  
Scottsdale, AZ 85251  
Phone: 480-312-7849  
Fax: 480-312-9037

Get informed!





## Murillo, Jesus

---

**From:** Janet L. Bussing, CPM, CCIM, CAAM <janet@cpihoa.com>  
**Sent:** Tuesday, February 01, 2022 7:12 PM  
**To:** Murillo, Jesus  
**Subject:** Automatic reply: Rawhide Wash Project - 7-WM-2020

**⚠ External Email: Please use caution if opening links or attachments!**

I am retiring as of October 31, 2021 and Jenna Chapman will now be your Association Manager. Jenna's e-mail is [jenna@cpihoa.com](mailto:jenna@cpihoa.com).

For Kempton Crossing only: Lia Peahu will be your Association Manager.  
Lia's e-mail is [lia@cpihoa.com](mailto:lia@cpihoa.com).

I have enjoyed working with you. Stay well.

*janet*

## Murillo, Jesus

---

**From:** Murillo, Jesus  
**Sent:** Tuesday, February 01, 2022 7:12 PM  
**To:** Murillo, Jesus  
**Subject:** Rawhide Wash Project - 7-WM-2020

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Sincerely,

Jesús Murillo  
Senior Planner  
City of Scottsdale  
Planning and Development Services  
7447 E. Indian School Road, Ste. 105  
Scottsdale, AZ 85251  
Phone: 480-312-7849  
Fax: 480-312-9037

Get informed!





## Murillo, Jesus

---

**From:** Murillo, Jesus  
**Sent:** Tuesday, February 01, 2022 7:10 PM  
**To:** Md  
**Subject:** RE: Rawhide Wash Flood Hazard Mitigation Project (7-WM-20220)

Hello Margerie,

The fencing will not be able to redone until the DRB approves the project in its entirety. I will be sending out in email in about 10 minutes providing that update. Staff is looking at March 17, 2022 for that hearing date. I will work diligently in addressing the outhouse, and I will reach out to the project manager for the other concerns (landscaping). I will reach out to you by the end of the week with an update.

Sincerely,

Jesús

---

**From:** Md <savagrey@gmail.com>  
**Sent:** Sunday, January 30, 2022 8:59 AM  
**To:** Murillo, Jesus <JMurillo@ScottsdaleAz.Gov>  
**Subject:** Re: Rawhide Wash Flood Hazard Mitigation Project (7-WM-20220)

**⚠ External Email: Please use caution if opening links or attachments!**

Hello

I see lots of progress happening! Some questions:

- 1) Any updates on when the resident home fencing & block wall will be redone? I have 2 big dogs so they will need to put up temporary fencing when it's being worked on.
- 2) I'm dealing with the constant beeping all day long working from home but how long will the outhouse be there as it's outside my back window, can they put it behind some trees?
- 3) Do they know what the landscaping choices we will have or what they will be for behind our homes to block off lights, bridge and the road?

Thank you!

Margie D

"Adopting one greyhound will not change the world, but for one dog the world will change. Change a world....adopt a greyhound, they're greyt!"

On Sep 7, 2021, at 9:30 AM, Murillo, Jesus <[JMurillo@scottsdaleaz.gov](mailto:JMurillo@scottsdaleaz.gov)> wrote:

Hello Margie,

The DRB meeting have not occurred yet, I will keep you posted.

Sincerely,

Jesús

---

**From:** Md <[savagrey@gmail.com](mailto:savagrey@gmail.com)>  
**Sent:** Wednesday, September 01, 2021 6:54 PM  
**To:** Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>  
**Subject:** Re: Rawhide Wash Flood Hazard Mitigation Project (7-WM-20220)

 **External Email: Please use caution if opening links or attachments!**

Hi

Thank you for the update. I couldn't make the meeting but would like to know if it was recorded so I could view?

Thank you!

Margie D

"Saving one greyhound will not change the world, but for one dog the world will change. Change a world....adopt a greyhound, they're greyt!"

On Sep 1, 2021, at 3:19 PM, Murillo, Jesus <[JMurillo@scottsdaleaz.gov](mailto:JMurillo@scottsdaleaz.gov)> wrote:

Hello Everyone,

I Hope this email finds you all doing well. You are receiving this email because you have expressed interest in the above-mentioned project (**Rawhide Wash - 7-WM-2020**).

I wanted to first point out that this update is in regards to the Rawhide Wash flood hazard mitigation portion of the project, and **does not include the proposed improvements along N. Miller Road (bridge project)**. That particular portion of the Rawhide project has not been officially submitted for review as of yet. I will keep everyone posted when it is submitted for review.

The materials for the Rawhide Flood Control project were resubmitted, and are currently under review. The resubmittal still need to receive reviews from a couple of

the City's departments. Having said this, it appears as though the project may be slated to be scheduled to be heard by the Development Review Board. The resubmittal was complete and appears to have addressed the majority of staff's concerns. Again, there are still a couple departments that will confirm or deny this outcome. I thought it best to give an update at this point, rather than later.

Please feel free to contact me with any further questions or comments.

Sincerely,

Jesús Murillo  
Senior Planner  
City of Scottsdale  
Planning and Development Services  
7447 E. Indian School Road, Ste. 105  
Scottsdale, AZ 85251  
Phone: 480-312-7849  
Fax: 480-312-9037

Get informed!

[<image001.png>](#)

[<image002.png>](#)

[<image003.png>](#)

## Murillo, Jesus

---

**From:** Md <savagrey@gmail.com>  
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**To:** Murillo, Jesus  
**Subject:** Re: Rawhide Wash Flood Hazard Mitigation Project (7-WM-20220)

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Jesús

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**To:** Murillo, Jesus <JMurillo@ScottsdaleAz.Gov>  
**Subject:** Re: Rawhide Wash Flood Hazard Mitigation Project (7-WM-20220)

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Please feel free to contact me with any further questions or comments.

Sincerely,

Jesús Murillo  
Senior Planner  
City of Scottsdale  
Planning and Development Services  
7447 E. Indian School Road, Ste. 105



Scottsdale, AZ 85251  
Phone: 480-312-7849  
Fax: 480-312-9037

Get informed!

[<image001.png>](#)

[<image002.png>](#)

[<image003.png>](#)

## Murillo, Jesus

---

**From:** Scott Ogden <[scott@jefuller.com](mailto:scott@jefuller.com)>  
**Sent:** Monday, January 17, 2022 6:03 PM  
**To:** Murillo, Jesus  
**Cc:** Nazar Nabaty (FCD); Ray Dovalina; Jay Hicks ([jay@digstudio.com](mailto:jay@digstudio.com)); Couch, Ashley  
**Subject:** RE: Rawhide Wash FHMP - 7WM2020 - Response package to the 2nd Review Letter

**⚠ External Email: Please use caution if opening links or attachments!**

Hello Again,

Now that everything has been uploaded, are you able to give us an idea of the DRB schedule ahead?

Thanks,  
Scott

---

**From:** Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>  
**Sent:** Thursday, January 6, 2022 8:21 PM  
**To:** Scott Ogden <[scott@jefuller.com](mailto:scott@jefuller.com)>  
**Cc:** Nazar Nabaty (FCD) <[Nazar.Nabaty@Maricopa.Gov](mailto:Nazar.Nabaty@Maricopa.Gov)>; Ray Dovalina <[ray.dovalina@phoenix.gov](mailto:ray.dovalina@phoenix.gov)>; Jay Hicks ([jay@digstudio.com](mailto:jay@digstudio.com)) <[jay@digstudio.com](mailto:jay@digstudio.com)>; Couch, Ashley <[ACouch@ScottsdaleAz.Gov](mailto:ACouch@ScottsdaleAz.Gov)>  
**Subject:** RE: Rawhide Wash FHMP - 7WM2020 - Response package to the 2nd Review Letter

Hello Sir,

That's great. I will have the planning assistant un-lock the case in the morning.

Jesús

---

**From:** Scott Ogden <[scott@jefuller.com](mailto:scott@jefuller.com)>  
**Sent:** Thursday, January 06, 2022 5:50 PM  
**To:** Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>  
**Cc:** Nazar Nabaty (FCD) <[Nazar.Nabaty@Maricopa.Gov](mailto:Nazar.Nabaty@Maricopa.Gov)>; Ray Dovalina <[ray.dovalina@phoenix.gov](mailto:ray.dovalina@phoenix.gov)>; Jay Hicks ([jay@digstudio.com](mailto:jay@digstudio.com)) <[jay@digstudio.com](mailto:jay@digstudio.com)>; Couch, Ashley <[ACouch@ScottsdaleAz.Gov](mailto:ACouch@ScottsdaleAz.Gov)>  
**Subject:** Rawhide Wash FHMP - 7WM2020 - Response package to the 2nd Review Letter

**⚠ External Email: Please use caution if opening links or attachments!**

Hi Jesus and Happy New Year!

After several rounds of back and forth with the Water Resources Department, we finally have enough in place to send a response package to your 2<sup>nd</sup> review letter. Per your instructions, I tried to upload the package digitally through the online portal, but got the following:

## DIGITAL CASE SUBMITTAL FILE EXCHANGE (CASE NUM

If you have drawings or documents you would like to add to this application follow the instructions below.

### Be advised...

The case digital file exchange is currently locked and files can only be downloaded at this time. Contact 480-312-77

### Questions?

#### Current Planning

7447 E. Indian School Road, Suite 105  
Scottsdale, AZ 85251

I will try and call the number tomorrow, but in the meantime, I am attaching a zip file of the materials hereto.

I believe we have everything addressed now to a point that we can get a DRB date set? We are working on the full plan set update to get them ready for our next submittal to the Rawhide Project team (FCDMC, Scottsdale and Phoenix). These will be a 100% submittal with only one more review cycle before we final. They are substantially similar to the 90% plans you already have, but we are doing a lot of clean up and refinement of details, quantities, QC, etc. I would like to think that the 90% plans tell the story well enough, but I also DO NOT want to have to redo DRB either. The other wildcard is the pending first round of FEMA CLOMR comments on the levee system (they did not review that data the first time...). I don't want to get locked up and delayed further while we wait on those as I have no idea when we can expect them. Hopefully they are such that they do not change anything substantial in the design. Looking for feedback on how best to proceed? Let me know if we need to talk.

Thanks,  
Scott

---

**From:** Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>

**Sent:** Tuesday, September 21, 2021 7:27 PM

**To:** Couch, Ashley <[ACouch@ScottsdaleAz.Gov](mailto:ACouch@ScottsdaleAz.Gov)>

**Cc:** Nazar Nabaty (FCD) <[Nazar.Nabaty@Maricopa.Gov](mailto:Nazar.Nabaty@Maricopa.Gov)>; Scott Ogden <[scott@jefuller.com](mailto:scott@jefuller.com)>; Ray Dovalina <[ray.dovalina@phoenix.gov](mailto:ray.dovalina@phoenix.gov)>

**Subject:** RE: Enclosed NAOS Calcs

Hello Ashley,

We do have comments that engineering feels should be addressed before scheduling for DRB. The Water Resources Department has not finished the review, but I wanted to provide you the comments for engineering. I provided Water Resources past comments for reference. Please feel free to contact them.

Sincerely,

Jesús

---

**From:** Couch, Ashley <[ACouch@ScottsdaleAz.Gov](mailto:ACouch@ScottsdaleAz.Gov)>  
**Sent:** Tuesday, September 21, 2021 4:18 PM  
**To:** Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>  
**Cc:** Nazar Nabaty (FCD) <[Nazar.Nabaty@Maricopa.Gov](mailto:Nazar.Nabaty@Maricopa.Gov)>; Scott Ogden <[scott@jefuller.com](mailto:scott@jefuller.com)>; Ray Dovalina <[ray.dovalina@phoenix.gov](mailto:ray.dovalina@phoenix.gov)>  
**Subject:** FW: Enclosed NAOS Calcs  
**Importance:** High

Do we have a DRB date yet? If not, what are you lacking from the project team to set a DRB date?

Thanks!

Ashley

---

**From:** Nazar Nabaty (FCD) <[Nazar.Nabaty@Maricopa.Gov](mailto:Nazar.Nabaty@Maricopa.Gov)>  
**Sent:** Monday, September 20, 2021 3:36 PM  
**To:** Couch, Ashley <[ACouch@ScottsdaleAz.Gov](mailto:ACouch@ScottsdaleAz.Gov)>  
**Cc:** Scott Ogden <[scott@jefuller.com](mailto:scott@jefuller.com)>; 'Ray Dovalina' <[ray.dovalina@phoenix.gov](mailto:ray.dovalina@phoenix.gov)>  
**Subject:** RE: Enclosed NAOS Calcs  
**Importance:** High

**⚠ External Email: Please use caution if opening links or attachments!**

Hi Ashley,

Please follow in this issue and let us know what the holdup is?! I been questioned by my management on this issue?

Thank you,

**Nazar Nabaty, P.E.**

Project Manager  
Project Management Branch



**Flood Control District of Maricopa County**

[2801 W Durango St, Phoenix, AZ 85009](https://www.maricopa.gov/floodcontrol)

(O) 602-506-4592

[Nazar.Nabaty@maricopa.gov](mailto:Nazar.Nabaty@maricopa.gov)

[www.maricopa.gov/floodcontrol](https://www.maricopa.gov/floodcontrol)



---

**From:** Scott Ogden [<mailto:scott@jefuller.com>]  
**Sent:** Monday, September 20, 2021 3:09 PM  
**To:** Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>  
**Cc:** Nazar Nabaty (FCD) <[Nazar.Nabaty@Maricopa.Gov](mailto:Nazar.Nabaty@Maricopa.Gov)>; Ashley Couch ([ACouch@ScottsdaleAz.Gov](mailto:ACouch@ScottsdaleAz.Gov)) <[acouch@scottsdaleaz.gov](mailto:acouch@scottsdaleaz.gov)>  
**Subject:** RE: Enclosed NAOS Calcs

Hi Jesus,

Just checking on this. Any more word on the status of setting our DRB date?

Thanks,  
Scott

---

**From:** Scott Ogden  
**Sent:** Friday, September 10, 2021 2:41 PM  
**To:** Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>  
**Subject:** RE: Enclosed NAOS Calcs

Thanks, Jesus. I guess I was confused by what constitutes “enclosed” and appreciate the examples below. Attached is an updated table with the added areas and corrected calculations of the “percent of NAOS”. I have also updated the site plan map series to highlight the added areas and I will send that file to you via the city filedrop site (let me know if you get that).

Let me know if you need anything else from me and have a great weekend!

Thanks,  
Scott

---

**From:** Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>  
**Sent:** Thursday, September 9, 2021 5:25 PM  
**To:** Scott Ogden <[scott@jefuller.com](mailto:scott@jefuller.com)>  
**Subject:** Enclosed NAOS Calcs

Hello Scott,

I am working on parts of this project to begin final analysis, and I noticed that the enclosed NAOS table has some gaps. I have calculated more than 3 acres of enclosed area, and the table suggests only about an acre. I see that there are some “0s” that should have a value under the “Area In Acres.” I was hoping you could update this table. I have provided some examples below the table.

		"Enclosed" NAOS Area Created by Project	
Percent of NAOS	Area in Acres	Percent of NAOS	Revised Percent
97%	0	5.51%	
35%	0	59.76%	
00%	0	0.00%	
38%	0	85.19%	
31%	0	39.81%	
40%	0	76.40%	
00%	0	36.00%	
44%	0	43.39%	
34%	0	34.14%	
13%	0	16.13%	
34%	0.004	18.09%	
03%	0.801	60.84%	
39%	0.805	1.14%	



Jesús Murillo  
 Senior Planner  
 City of Scottsdale  
 Planning and Development Services  
 7447 E. Indian School Road, Ste. 105  
 Scottsdale, AZ 85251  
 Phone: 480-312-7849  
 Fax: 480-312-9037

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[EXTERNAL]

[EXTERNAL]

[EXTERNAL]



## Murillo, Jesus

---

**From:** Jay Hicks <jay@digstudio.com>  
**Sent:** Tuesday, January 11, 2022 8:11 AM  
**To:** Murillo, Jesus  
**Subject:** RE: Rawhide Wash Native Plant Review

**⚠ External Email: Please use caution if opening links or attachments!**

Jesus,

If you need a staff member to assist, I'd be glad to help you bush-whack your way way through the corridor.

Please enjoy your time off, we can visit after you catch up on your emails.

Thanks,

Jay

602-363-1890

Jay Hicks  
Sr. Principal  
Dig Studio, Inc  
600 N. 4<sup>th</sup> Street, Blg D  
Phoenix, AZ 85004  
Mb. 602-363-1890  
Em. [jay@digstudio.com](mailto:jay@digstudio.com)

*We're back in the office! In response to the CDC and state guidance on public gathering, Dig Studio employees are vaccinated and working in the office, and we have resumed modified normal business practices. We look forward to collaborating and seeing you in person soon!*

---

**From:** Murillo, Jesus <JMurillo@ScottsdaleAz.Gov>  
**Sent:** Tuesday, January 11, 2022 7:53 AM  
**To:** Jay Hicks <jay@digstudio.com>  
**Subject:** Re: Rawhide Wash Native Plant Review

Hello Jay,

Thank you for the heads up. I have not completed the review, I was not allowed to use other staff. I also received looks when I went out for the initial review. I am out of the office now, but will finish the review next week. I will also be sending an email to the residents letting them know I will be in their back yards.

I will complete the review next week. I will be in the office Monday completing a report.

Jesús

---

**From:** Jay Hicks <[jay@digstudio.com](mailto:jay@digstudio.com)>  
**Sent:** Monday, January 10, 2022 3:41 PM  
**To:** Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>  
**Cc:** Scott Ogden ([scott@jefuller.com](mailto:scott@jefuller.com)) <[scott@jefuller.com](mailto:scott@jefuller.com)>  
**Subject:** RE: Rawhide Wash Native Plant Review

**⚠ External Email: Please use caution if opening links or attachments!**

Hello Jesus,

Looks like by the email traffic and a conversation with Scott, it appears that the project is coming back alive. I'm following up on my previous email to see if you had any comments on the plant inventory.

Happy New Year!

Thanks,  
Jay  
602-363-1890

Jay Hicks  
Sr. Principal  
Dig Studio, Inc  
600 N. 4<sup>th</sup> Street, Blg D  
Phoenix, AZ 85004  
Mb. 602-363-1890  
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---

**From:** Jay Hicks  
**Sent:** Tuesday, December 7, 2021 8:48 AM  
**To:** 'Murillo, Jesus' <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>  
**Cc:** Scott Ogden <[scott@jefuller.com](mailto:scott@jefuller.com)>  
**Subject:** RE: Rawhide Wash Native Plant Review

Good Morning Jesus,

Were you able to walk the site and review the native plant tagging? Any comments or recommendations on the plans?

Thanks,  
Jay  
602-363-1890

Jay Hicks  
Sr. Principal  
Dig Studio, Inc  
600 N. 4<sup>th</sup> Street, Blg D  
Phoenix, AZ 85004  
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**From:** Jay Hicks  
**Sent:** Monday, October 4, 2021 1:19 PM  
**To:** Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>  
**Subject:** RE: Native Plant Review

I'll deliver the sets late afternoon today

Thanks,  
Jay  
602-363-1890

Jay Hicks  
Sr. Principal  
Dig Studio, Inc  
600 N. 4<sup>th</sup> Street, Blg D  
Phoenix, AZ 85004  
Mb. 602-363-1890  
Em. [jay@digstudio.com](mailto:jay@digstudio.com)

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---

**From:** Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>  
**Sent:** Monday, October 4, 2021 12:07 PM  
**To:** Jay Hicks <[jay@digstudio.com](mailto:jay@digstudio.com)>  
**Subject:** RE: Native Plant Review

Yes - perfect

---

**From:** Jay Hicks <[jay@digstudio.com](mailto:jay@digstudio.com)>  
**Sent:** Monday, October 04, 2021 10:08 AM  
**To:** Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>  
**Subject:** RE: Native Plant Review

 **External Email: Please use caution if opening links or attachments!**  
Is this what you are looking for?



Thanks,  
Jay  
602-363-1890

Jay Hicks  
Sr. Principal  
Dig Studio, Inc  
600 N. 4<sup>th</sup> Street, Blg D  
Phoenix, AZ 85004  
Mb. 602-363-1890  
Em. [jay@digstudio.com](mailto:jay@digstudio.com)

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**From:** Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>  
**Sent:** Monday, October 4, 2021 9:58 AM  
**To:** Jay Hicks <[jay@digstudio.com](mailto:jay@digstudio.com)>  
**Subject:** RE: Native Plant Review

Perfect – thank you...

---

**From:** Jay Hicks <[jay@digstudio.com](mailto:jay@digstudio.com)>  
**Sent:** Monday, October 04, 2021 7:08 AM  
**To:** Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>  
**Subject:** RE: Native Plant Review

**⚠ External Email: Please use caution if opening links or attachments!**

Sorry again – 24" x 36" color sheets

We'll get them updated and delivered.

Thanks,  
Jay  
602-363-1890

Jay Hicks  
Sr. Principal  
Dig Studio, Inc  
600 N. 4<sup>th</sup> Street, Blg D  
Phoenix, AZ 85004  
Mb. 602-363-1890  
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**From:** Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>  
**Sent:** Thursday, September 30, 2021 6:35 PM  
**To:** Jay Hicks <[jay@digstudio.com](mailto:jay@digstudio.com)>  
**Subject:** Native Plant Review

Hello Jay,

I had set up a time to take my staff, and when the time came I noticed the plans were not color-coded. So please color-code the plans on the plan, and I will set up the time to out with staff. I do not need you to resubmit the plans to go out. Just please update the plans, and please drop off three copies of the plans at 24x36.

Thanks

	<u>TREE TO REMAIN IN PLACE - PROTECT IN PLACE</u>	341
	<u>CACTUS TO BE REMOVED</u>	5
	<u>CACTUS TO BE SALVAGED</u>	75
	<u>CACTUS TO REMAIN IN PLACE - PROTECT IN PLACE</u>	52

Please color-code the Native Plant Inventory Plans and the Native Plant Inventory. It was little difficult for staff to keep track of the native review (use "red" for salvage and "blue" for non-salvage).

Please also provide 3 - 24x36 inch hard copies in color to staff prior to the resubmittal.

Staff will revisit the site with the resubmitted plans. Staff will expedite the review.

- ALL TREES TO BE PROTECT
- TREE WITHIN THE TREE PI
- TO PREVENT TREE ROOT SI
- 25 FEET OF A TREE TRUNK,
- TRENCHES SHALL BE HANE
- BRANCHING TREES, WHENI
- DEHYDRATION,
- TREE ROOTS SHALL NOT BI
- MADE TO AVOID SHREDDIN
- AND BUD OPENING, WHEN
- IMMEDIATELY TO PREVENT
- MULCH/SAND MIXTURE TO
- HORIZONTAL BORING RATH
- FENCING MATERIAL SHALL
- FENCING MATERIAL SHALL
- FENCING MATERIAL SHALL
- DURATION OF CONSTRUCT
- MAINTAIN IRRIGATION FOR
- UPON PROJECT COMPLETI
- CITY OF PHOENIX ARBORIS
- CENTRAL AVENUE,
- NO SIGNIFICANT PLANT MA

Jesús Murillo  
 Senior Planner  
 City of Scottsdale  
 Planning and Development Services  
 7447 E. Indian School Road, Ste. 105  
 Scottsdale, AZ 85251  
 Phone: 480-312-7849  
 Fax: 480-312-9037

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## Murillo, Jesus

---

**From:** Scott Ogden <[scott@jefuller.com](mailto:scott@jefuller.com)>  
**Sent:** Friday, January 07, 2022 6:43 AM  
**To:** Anderson, Scott L  
**Cc:** Murillo, Jesus; Nazar Nabaty ([Nazar.Nabaty@Maricopa.Gov](mailto:Nazar.Nabaty@Maricopa.Gov)); Couch, Ashley  
**Subject:** RE: Rawhide Wash FHMP - 7WM2020 2nd Letter Comments

**⚠ External Email: Please use caution if opening links or attachments!**

Thanks, Scott. We will take care of changing out the F&C. Appreciate the review.

Thanks,  
Scott

---

**From:** Anderson, Scott L <[scan@scottsdaleaz.gov](mailto:scan@scottsdaleaz.gov)>  
**Sent:** Thursday, January 6, 2022 5:58 PM  
**To:** Scott Ogden <[scott@jefuller.com](mailto:scott@jefuller.com)>  
**Subject:** RE: Rawhide Wash FHMP - 7WM2020 2nd Letter Comments

Scott,

I apologize for not sending these comments earlier. We sent people to check the existing manholes in the 100-year flood plain and only found one that did not have bolted down covers. Please replace the cover on the manhole indicated on the plan.

Other manhole had bolted down covers. We were not able to find the manhole on Happy Valley Road just west of Rawhide Wash.

Thanks for letting us look at your plans,  
Scott

---

**From:** Anderson, Scott L  
**Sent:** Tuesday, December 28, 2021 9:18 AM  
**To:** Scott Ogden <[scott@jefuller.com](mailto:scott@jefuller.com)>  
**Cc:** Nazar Nabaty ([Nazar.Nabaty@Maricopa.Gov](mailto:Nazar.Nabaty@Maricopa.Gov)) <[nazar.nabaty@maricopa.gov](mailto:nazar.nabaty@maricopa.gov)>  
**Subject:** RE: Rawhide Wash FHMP - 7WM2020 2nd Letter Comments

Scott,

Our comment is to use a water tight bolted frame and cover where appropriate, COS Std Detail No. 2420.

Thanks for letting us review.

Scott

---

**From:** Scott Ogden <[scott@jefuller.com](mailto:scott@jefuller.com)>  
**Sent:** Thursday, December 16, 2021 5:55 PM  
**To:** Anderson, Scott L <[scan@scottsdaleaz.gov](mailto:scan@scottsdaleaz.gov)>

Cc: Nazar Nabaty ([Nazar.Nabaty@Maricopa.Gov](mailto:Nazar.Nabaty@Maricopa.Gov)) <[nazar.nabaty@maricopa.gov](mailto:nazar.nabaty@maricopa.gov)>

Subject: RE: Rawhide Wash FHMP - 7WM2020 2nd Letter Comments

**⚠ External Email: Please use caution if opening links or attachments!**

Thank you sir!

Thanks,  
Scott

---

**From:** Anderson, Scott L <[scan@scottsdaleaz.gov](mailto:scan@scottsdaleaz.gov)>  
**Sent:** Thursday, December 16, 2021 4:47 PM  
**To:** Scott Ogden <[scott@jefuller.com](mailto:scott@jefuller.com)>  
**Subject:** RE: Rawhide Wash FHMP - 7WM2020 2nd Letter Comments

Thanks Scott. I want acknowledge that I received the plan sheets. I will review them next week as our work slows down approaching the holidays.

Scott

---

**From:** Scott Ogden <[scott@jefuller.com](mailto:scott@jefuller.com)>  
**Sent:** Friday, December 10, 2021 9:42 AM  
**To:** Anderson, Scott L <[scan@scottsdaleaz.gov](mailto:scan@scottsdaleaz.gov)>  
**Cc:** Nazar Nabaty (FCD) <[Nazar.Nabaty@Maricopa.Gov](mailto:Nazar.Nabaty@Maricopa.Gov)>; Couch, Ashley <[ACouch@ScottsdaleAz.Gov](mailto:ACouch@ScottsdaleAz.Gov)>; Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>  
**Subject:** RE: Rawhide Wash FHMP - 7WM2020 2nd Letter Comments

**⚠ External Email: Please use caution if opening links or attachments!**

Hello Scott,

Per you request below, I am attaching a file with only the pertinent sheets that relate to the locations where the Rawhide improvements interest or are near city sewer. Please give these a look and let me know your thoughts.

Thanks,  
Scott

---

**From:** Anderson, Scott L <[scan@scottsdaleaz.gov](mailto:scan@scottsdaleaz.gov)>  
**Sent:** Thursday, November 18, 2021 12:05 PM  
**To:** Scott Ogden <[scott@jefuller.com](mailto:scott@jefuller.com)>  
**Cc:** Nazar Nabaty (FCD) <[Nazar.Nabaty@Maricopa.Gov](mailto:Nazar.Nabaty@Maricopa.Gov)>; Couch, Ashley <[ACouch@ScottsdaleAz.Gov](mailto:ACouch@ScottsdaleAz.Gov)>; Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>  
**Subject:** RE: Rawhide Wash FHMP - 7WM2020 2nd Letter Comments

Scott,

I do not need a Water and Wastewater Deign Report. I would like to review the sheets that show the encased pipes before they are finalized.

Scott



---

**From:** Scott Ogden <[scott@jefuller.com](mailto:scott@jefuller.com)>  
**Sent:** Wednesday, November 17, 2021 2:25 PM  
**To:** Anderson, Scott L <[scan@scottsdaleaz.gov](mailto:scan@scottsdaleaz.gov)>  
**Cc:** Nazar Nabaty (FCD) <[Nazar.Nabaty@Maricopa.Gov](mailto:Nazar.Nabaty@Maricopa.Gov)>; Couch, Ashley <[ACouch@ScottsdaleAz.Gov](mailto:ACouch@ScottsdaleAz.Gov)>; Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>  
**Subject:** RE: Rawhide Wash FHMP - 7WM2020 2nd Letter Comments

**⚠ External Email: Please use caution if opening links or attachments!**

Thanks, Scott

As we discussed on the phone last we spoke, you noted that we did not need to prepare a Water and Wastewater Design Report. Is that still true?

Otherwise, we will be including plan and profile sheets along the existing sewer alignments at all locations where our facilities intersect a sewer line. Per your email, we will drape the gabions maintaining the 2.5 feet of cover and encase as needed. The P&P sheets and details will be included in the construction plan set.

Thanks,  
Scott

---

**From:** Anderson, Scott L <[scan@scottsdaleaz.gov](mailto:scan@scottsdaleaz.gov)>  
**Sent:** Wednesday, November 17, 2021 1:47 PM  
**To:** Scott Ogden <[scott@jefuller.com](mailto:scott@jefuller.com)>  
**Cc:** Nazar Nabaty (FCD) <[Nazar.Nabaty@Maricopa.Gov](mailto:Nazar.Nabaty@Maricopa.Gov)>; Couch, Ashley <[ACouch@ScottsdaleAz.Gov](mailto:ACouch@ScottsdaleAz.Gov)>; Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>  
**Subject:** RE: Rawhide Wash FHMP - 7WM2020 2nd Letter Comments

Scott,

Based on my notes, the question was whether we were ok with gabions draped over the PVC sewer pipes that cross Rawhide wash at Los Portones Drive and Pinnacle Peak Road. I was reminded by our sewer collections staff that this issue was discussed in April. The proposal at that time was that the pipes were to be located 2-1/2 feet below the gabions without disturbing the pipes. The question posed was whether we wanted concrete encasement to further protect the pipe.

At that time we requested concrete encasement because the gabions had the potential to damage the PVC pipes. That is still our request.

I was unable to find the 90% plans in our CDS folder for 1893-21-1. Please provide updated Water and Wastewater Design Reports to identify the water and wastewater pipes within the plans, and provide the profile where appropriate. Please show the encasement on those plan sheets.

Scott

---

**From:** Scott Ogden <[scott@jefuller.com](mailto:scott@jefuller.com)>  
**Sent:** Monday, November 15, 2021 10:59 AM  
**To:** Anderson, Scott L <[scan@scottsdaleaz.gov](mailto:scan@scottsdaleaz.gov)>  
**Cc:** Nazar Nabaty (FCD) <[Nazar.Nabaty@Maricopa.Gov](mailto:Nazar.Nabaty@Maricopa.Gov)>; Couch, Ashley <[ACouch@ScottsdaleAz.Gov](mailto:ACouch@ScottsdaleAz.Gov)>; Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>  
**Subject:** RE: Rawhide Wash FHMP - 7WM2020 2nd Letter Comments

**⚠ External Email: Please use caution if opening links or attachments!**

Hi Scott,  
Guess it is time for my weekly poke. Any further information to share with me?

Thanks,  
Scott

---

**From:** Scott Ogden  
**Sent:** Tuesday, November 9, 2021 12:32 PM  
**To:** [scan@scottsdaleaz.gov](mailto:scan@scottsdaleaz.gov)  
**Cc:** Nazar Nabaty (FCD) <[Nazar.Nabaty@Maricopa.Gov](mailto:Nazar.Nabaty@Maricopa.Gov)>; Ashley Couch ([ACouch@ScottsdaleAz.Gov](mailto:ACouch@ScottsdaleAz.Gov)) <[ACouch@ScottsdaleAz.Gov](mailto:ACouch@ScottsdaleAz.Gov)>; Murillo, Jesus <[jmurillo@scottsdaleaz.gov](mailto:jmurillo@scottsdaleaz.gov)>  
**Subject:** RE: Rawhide Wash FHMP - 7WM2020 2nd Letter Comments

Hi Scott,  
Just checking in to see if you have had a chance to connect with others in your group regarding the sewers near Pinnacle Peak Road? I would like to get our response to Jesus buttoned up so we can get things moving forward with DRB.



W. Scott Ogden | P.E., CFM | President/CEO  
Project Manager / Senior Engineer  
8400 S Kyrene Rd, Suite 201 | Tempe, AZ 85284  
Office: (480) 222-5717 | Mobile: (480) 299-3394  
[www.JEFuller.com](http://www.JEFuller.com)

Note: Engineering data, calculations, or opinion transmitted via e-mail are Preliminary and Not For Construction.

[EXTERNAL]  
[EXTERNAL]  
[EXTERNAL]  
[EXTERNAL]

## Murillo, Jesus

---

**From:** ed.toschik@gmail.com  
**Sent:** Monday, December 13, 2021 3:32 PM  
**To:** Richter, Jeremy; jj.levine@cox.net; Smith, David R; Kercher, Phillip; Gurka, Keith; Murillo, Jesus  
**Cc:** 'Kristin Bullock'; 'Shay Noonan'; 'Tom Bethune'; 'Aaron Brown'; 'Linda Parker'  
**Subject:** RE: La Vista at Pinnacle Peak - Miller Rd Bridge

**⚠ External Email: Please use caution if opening links or attachments!**

Hello Jeremy Richter. I am a board member at LaVista. It was brought up at the last meeting that we object to the street light. It is in our CC&R's that only low voltage lighting pointing downward is allowed. The reason is that we don't want the glow of the city, we want to see the stars and moon. Everyone who bought a home here was either in favor or well aware of this requirement. Please eliminate the light at Mariposa and Miller. Thanks. Ed Toschik

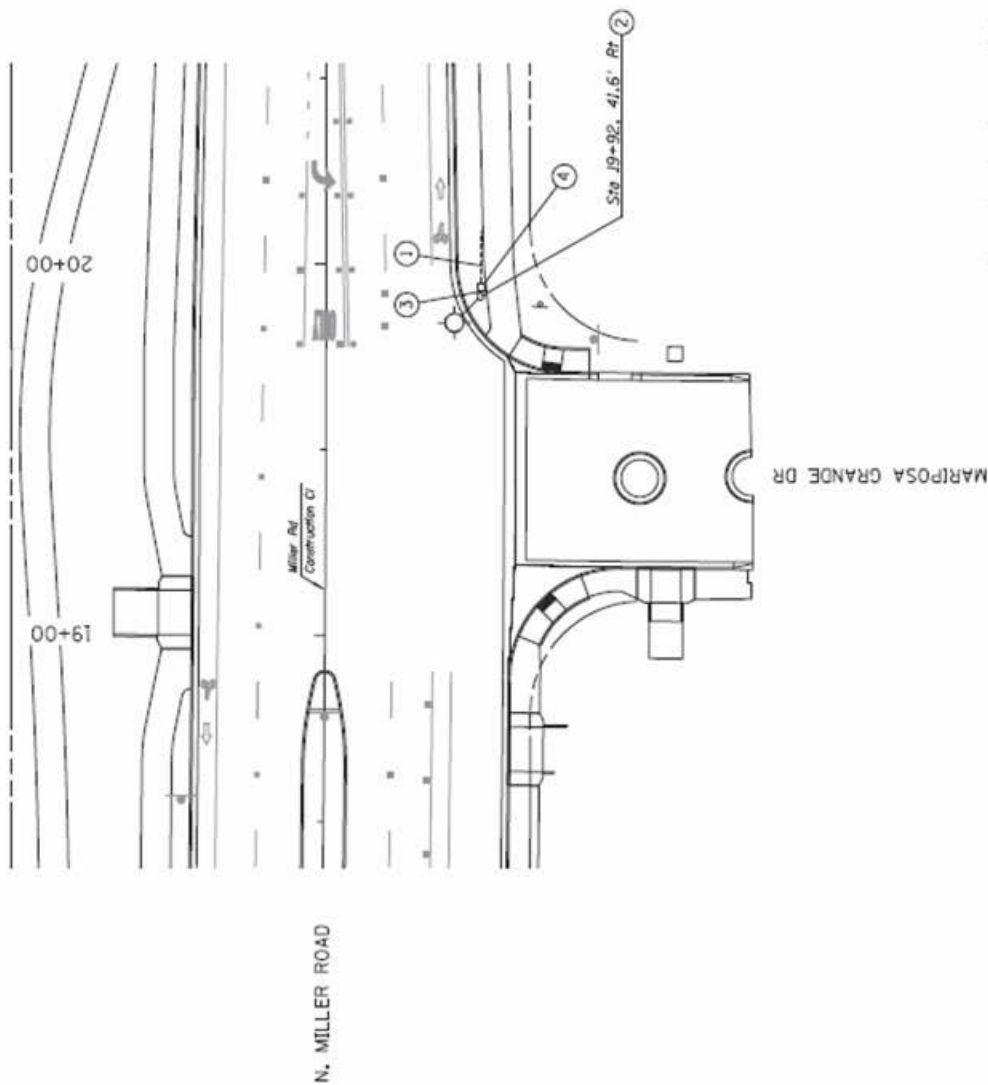
---

**From:** Richter, Jeremy <JRichter@Scottsdaleaz.gov>  
**Sent:** Monday, December 13, 2021 1:52 PM  
**To:** jj.levine@cox.net; Smith, David R <DRSmith@Scottsdaleaz.gov>; Kercher, Phillip <pker@scottsdaleaz.gov>; Gurka, Keith <KGurka@scottsdaleaz.gov>; Murillo, Jesus <JMurillo@ScottsdaleAz.Gov>  
**Cc:** 'Kristin Bullock' <kristin.bullock@associa.us>; 'Shay Noonan' <shay.noonan.az@gmail.com>; 'Ed Toschik' <ed.toschik@gmail.com>; 'Tom Bethune' <tbethune@earthlink.net>; 'Aaron Brown' <aaronb@lhmfinancial.com>; Linda Parker <Linda.Parker@associa.us>  
**Subject:** RE: La Vista at Pinnacle Peak - Miller Rd Bridge

Good afternoon Joseph,

Our engineering team delivered to the city 60% plans some time ago (5+ Months). Since then there have been some changes. Recently APS informed the city that they did not have any redundant or secondary feed to those electrical cabinets north of Mariposa Grande. This required us to redesign the retaining wall and APS service access point to accommodate leaving the cabinets in place. Once the team has completed the redesign of the retaining wall, and area grading/drainage work. They will create a landscape plan. Planting of trees between La Vista and Miller Rd will be included. I expect this design will be completed in early January and I will forward that landscape plan to you once I have it.

Below is our plan showing the new street light on the northeast corner of Miller Rd and Maricopa Grande Dr. The addition of the street light is for safety of pedestrians and vehicles at the intersection. Lighting intersections on arterial roads is consistent with the lighting theme on Miller Rd in this area north and south of the project. The street will be placed within city right of way and not on La Vista HOA property. Let me know if you have any additional questions.



Respectfully,  
**Jeremy Richter**  
 Project Manager  
 City of Scottsdale  
 Capital Project Management  
 7447 E. Indian School Road, Suite 205  
 Scottsdale, Arizona 85251  
 Phone: (480) 312-7869  
 Email: [jrichter@scottsdaleaz.gov](mailto:jrichter@scottsdaleaz.gov)  
 To send large files [click here](#)

---

**From:** [j.j.levine@cox.net](mailto:j.j.levine@cox.net) <[j.j.levine@cox.net](mailto:j.j.levine@cox.net)>  
**Sent:** Monday, December 13, 2021 10:57 AM  
**To:** Richter, Jeremy <[JRichter@Scottsdaleaz.gov](mailto:JRichter@Scottsdaleaz.gov)>; Smith, David R <[DRSmith@Scottsdaleaz.gov](mailto:DRSmith@Scottsdaleaz.gov)>; Kercher, Phillip <[pker@scottsdaleaz.gov](mailto:pker@scottsdaleaz.gov)>; Gurka, Keith <[KGurka@scottsdaleaz.gov](mailto:KGurka@scottsdaleaz.gov)>; Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>  
**Cc:** 'Kristin Bullock' <[kristin.bullock@associa.us](mailto:kristin.bullock@associa.us)>; 'Shay Noonan' <[shay.noonan.az@gmail.com](mailto:shay.noonan.az@gmail.com)>; 'Ed Toschik' <[ed.toschik@gmail.com](mailto:ed.toschik@gmail.com)>; 'Tom Bethune' <[tbethune@earthlink.net](mailto:tbethune@earthlink.net)>; 'Aaron Brown' <[aaronb@lhmfinancial.com](mailto:aaronb@lhmfinancial.com)>; Linda Parker <[Linda.Parker@associa.us](mailto:Linda.Parker@associa.us)>  
**Subject:** RE: La Vista at Pinnacle Peak - Miller Rd Bridge

**⚠ External Email: Please use caution if opening links or attachments!**

City of Scottsdale project and Planning staff,

After reviewing the 12/1/2021 draft of 46-DR-2021 I still have some questions.

On page 1

- Landscaping throughout the limits of the project
- Supplemental street lighting and way-finding signage
- Storm drain and erosion control improvements.
- Utility relocations

I have requested that trees be planted between the new walking paths and the La Vista neighborhood. Could you please forward the landscaping Plan to me.

When La Vista was presented with the plan a few months ago, the HOA board requested no streetlights on this path of road. I do not see any in the current draft, yet it states 'Supplemental street lighting and way-finding signage' above. Could I have more detail please.

I understand the storm drain and can see it on the plan, but do not see the utility relocation. It was explained to the HOA about the increased grading and raising the APS boxes north of Mariposa Grande (see attached email).

Bottom of page 2 ends mid-sentence "Both materials"

I did notice that you added the southbound left turn lane to enter La Vistas,

Thank you.

*Joseph J. Levine*

**Homeowner and Board Member @ La Vista**

7645 E. Mariposa Grande Dr.

Scottsdale AZ 85255

CELL (602) 568-0192

EMAIL [J.J.Levine@cox.net](mailto:J.J.Levine@cox.net)

[Joe at LinkedIn](#)

---

**From:** Richter, Jeremy <[JRichter@Scottsdaleaz.gov](mailto:JRichter@Scottsdaleaz.gov)>

**Sent:** Thursday, September 2, 2021 12:55 PM

**To:** [j.j.levine@cox.net](mailto:j.j.levine@cox.net)

**Cc:** 'Nannette Trolene' <[Nannette.Trolene@associa.us](mailto:Nannette.Trolene@associa.us)>; Smith, David R <[DRSmith@Scottsdaleaz.gov](mailto:DRSmith@Scottsdaleaz.gov)>; Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>; Kercher, Phillip <[pker@scottsdaleaz.gov](mailto:pker@scottsdaleaz.gov)>; Gurka, Keith <[KGurka@scottsdaleaz.gov](mailto:KGurka@scottsdaleaz.gov)>

**Subject:** RE: La Vista at Pinnacle Peak - Miller Rd Bridge

Good afternoon Joseph,

My apologies for the delayed response. Attached is 60% grading plan for the areas adjacent to La Vista. Hopefully this helps. Let me know if you need any additional info I can also do a zoom meeting to go over the drawing if any clarifications are needed.

Thanks,

**Jeremy Richter**

Project Manager



Capital Project Management

7447 E. Indian School Road, Suite 205  
Scottsdale, Arizona 85251  
Phone: (480) 312-7869  
Email: [jrichter@scottsdaleaz.gov](mailto:jrichter@scottsdaleaz.gov)  
To send large files [click here](#)

---

**From:** [j.j.levine@cox.net](mailto:j.j.levine@cox.net) <[j.j.levine@cox.net](mailto:j.j.levine@cox.net)>  
**Sent:** Monday, August 23, 2021 5:35 PM  
**To:** Richter, Jeremy <[JRichter@Scottsdaleaz.gov](mailto:JRichter@Scottsdaleaz.gov)>  
**Cc:** 'Nannette Trolene' <[Nannette.Trolene@associa.us](mailto:Nannette.Trolene@associa.us)>; Smith, David R <[DRSmith@Scottsdaleaz.gov](mailto:DRSmith@Scottsdaleaz.gov)>; Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>; Kercher, Phillip <[pker@scottsdaleaz.gov](mailto:pker@scottsdaleaz.gov)>; Gurka, Keith <[KGurka@scottsdaleaz.gov](mailto:KGurka@scottsdaleaz.gov)>  
**Subject:** RE: La Vista at Pinnacle Peak - Miller Rd Bridge  
**Importance:** High

**⚠ External Email: Please use caution if opening links or attachments!**

Jeremy,

The information you brought forth in the meeting was incredible. You spoke about many things that night that pertained basically to La Vista. While the website is wonderful your information and knowledge was more specific, numbers and La Vista wide, than anything the website has. Our HOA secretary was on one of the phone I kept following you around with, but she didn't catch anything you were saying and La Vista would like a synopsis of anything you could tell us, specific to La Vista.

*Joseph Levine*

La Vista HOA president

If you can measure it, you can manage it

---

**From:** Nannette Trolene <[Nannette.Trolene@associa.us](mailto:Nannette.Trolene@associa.us)>  
**Sent:** Monday, August 23, 2021 1:21 PM  
**To:** Joseph Levine ([j.j.levine@cox.net](mailto:j.j.levine@cox.net)) <[j.j.levine@cox.net](mailto:j.j.levine@cox.net)>  
**Cc:** Nannette Trolene <[Nannette.Trolene@associa.us](mailto:Nannette.Trolene@associa.us)>  
**Subject:** FW: La Vista at Pinnacle Peak - Miller Rd Bridge

Joe,

Please see response below from Jeremy Richter... The link is included for those wanting information.

---

**From:** Richter, Jeremy <>  
**Sent:** Monday, August 23, 2021 10:36 AM  
**To:** Nannette Trolene <[Nannette.Trolene@associa.us](mailto:Nannette.Trolene@associa.us)>  
**Subject:** RE: La Vista at Pinnacle Peak - Miller Rd Bridge

[EXTERNAL EMAIL] This email originated from outside of Associa.

Good morning Nannette,

Please refer the residents to our project website at the link below. There they will find graphics, information and FAQs on the project. Let me know if you need any additional info.

<https://www.scottsdaleaz.gov/construction/project-list/miller-road>

Thanks,  
Jeremy

---

**From:** Nannette Trolene <[Nannette.Trolene@associa.us](mailto:Nannette.Trolene@associa.us)>  
**Sent:** Monday, August 23, 2021 9:00 AM  
**To:** Richter, Jeremy <[JRichter@Scottsdaleaz.gov](mailto:JRichter@Scottsdaleaz.gov)>  
**Cc:** Nannette Trolene <[Nannette.Trolene@associa.us](mailto:Nannette.Trolene@associa.us)>  
**Subject:** La Vista at Pinnacle Peak - Miller Rd Bridge  
**Importance:** High

**⚠ External Email: Please use caution if opening links or attachments!**

Hi Jeremy,

I tried to call you and leave a message but your mailbox is full. Do you have any printed materials on the Miller Road bridge that we can post on the La Vista website – Residents that were not present at the meeting are anxious to learn about the project. My cell number is 602-694-4612. Thank you.

*Nannette Trolene, CMCA, AMS*

Community Manager  
An Associa® Member Company  
7500 N. Dobson Rd, Suite 150 Scottsdale, AZ 85256  
Main:480-892-5222  
Direct : 480-477-1824  
Email: [Nannette.trolene@Associa.us](mailto:Nannette.trolene@Associa.us)

Did you know you can check your account online? You have 24hr access to view compliance details, account balance and history, and payment options. Visit [www.associaarizona.com](http://www.associaarizona.com) for this information and more.



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## Murillo, Jesus

---

**From:** jj.levine@cox.net  
**Sent:** Monday, December 13, 2021 10:57 AM  
**To:** Richter, Jeremy; Smith, David R; Kercher, Phillip; Gurka, Keith; Murillo, Jesus  
**Cc:** 'Kristin Bullock'; 'Shay Noonan'; 'Ed Toschik'; 'Tom Bethune'; 'Aaron Brown'; Linda Parker  
**Subject:** RE: La Vista at Pinnacle Peak - Miller Rd Bridge  
**Attachments:** RE: La Vista at Pinnacle Peak - Miller Rd Bridge

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Scottsdale AZ 85255

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EMAIL [J.J.Levine@cox.net](mailto:J.J.Levine@cox.net)

[Joe at LinkedIn](#)

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**Sent:** Thursday, September 2, 2021 12:55 PM  
**To:** jj.levine@cox.net  
**Cc:** 'Nannette Trolene' <Nannette.Trolene@associa.us>; Smith, David R <DRSmith@Scottsdaleaz.gov>; Murillo, Jesus <JMurillo@ScottsdaleAz.Gov>; Kercher, Phillip <pker@scottsdaleaz.gov>; Gurka, Keith <KGurka@scottsdaleaz.gov>  
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Project Manager



Capital Project Management  
7447 E. Indian School Road, Suite 205  
Scottsdale, Arizona 85251  
Phone: (480) 312-7869  
Email: [jrichter@scottsdaleaz.gov](mailto:jrichter@scottsdaleaz.gov)  
To send large files [click here](#)

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**Cc:** 'Nannette Trolene' <[Nannette.Trolene@associa.us](mailto:Nannette.Trolene@associa.us)>; Smith, David R <[DRSmith@Scottsdaleaz.gov](mailto:DRSmith@Scottsdaleaz.gov)>; Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>; Kercher, Phillip <[pker@scottsdaleaz.gov](mailto:pker@scottsdaleaz.gov)>; Gurka, Keith <[KGurka@scottsdaleaz.gov](mailto:KGurka@scottsdaleaz.gov)>  
**Subject:** RE: La Vista at Pinnacle Peak - Miller Rd Bridge  
**Importance:** High

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*Joseph Levine*

**La Vista HOA president**

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**From:** Nannette Trolene <[Nannette.Trolene@associa.us](mailto:Nannette.Trolene@associa.us)>  
**Sent:** Monday, August 23, 2021 1:21 PM  
**To:** Joseph Levine ([j.j.levine@cox.net](mailto:j.j.levine@cox.net)) <[j.j.levine@cox.net](mailto:j.j.levine@cox.net)>  
**Cc:** Nannette Trolene <[Nannette.Trolene@associa.us](mailto:Nannette.Trolene@associa.us)>  
**Subject:** FW: La Vista at Pinnacle Peak - Miller Rd Bridge

Joe,

Please see response below from Jeremy Richter... The link is included for those wanting information.

---

**From:** Richter, Jeremy <>  
**Sent:** Monday, August 23, 2021 10:36 AM  
**To:** Nannette Trolene <[Nannette.Trolene@associa.us](mailto:Nannette.Trolene@associa.us)>  
**Subject:** RE: La Vista at Pinnacle Peak - Miller Rd Bridge

[EXTERNAL EMAIL] This email originated from outside of Associa.

Good morning Nannette,

Please refer the residents to our project website at the link below. There they will find graphics, information and FAQs on the project. Let me know if you need any additional info.

<https://www.scottsdaleaz.gov/construction/project-list/miller-road>

Thanks,  
Jeremy

---

**From:** Nannette Trolene <[Nannette.Trolene@associa.us](mailto:Nannette.Trolene@associa.us)>  
**Sent:** Monday, August 23, 2021 9:00 AM  
**To:** Richter, Jeremy <[JRichter@Scottsdaleaz.gov](mailto:JRichter@Scottsdaleaz.gov)>  
**Cc:** Nannette Trolene <[Nannette.Trolene@associa.us](mailto:Nannette.Trolene@associa.us)>  
**Subject:** La Vista at Pinnacle Peak - Miller Rd Bridge  
**Importance:** High

**⚠ External Email: Please use caution if opening links or attachments!**

Hi Jeremy,

I tried to call you and leave a message but your mailbox is full. Do you have any printed materials on the Miller Road bridge that we can post on the La Vista website – Residents that were not present at the meeting are anxious to learn about the project. My cell number is 602-694-4612. Thank you.

*Nannette Trolene, CMCA, AMS*

Community Manager

An Associa® Member Company

7500 N. Dobson Rd, Suite 150 Scottsdale, AZ 85256

Main:480-892-5222

Direct : 480-477-1824

Email: [Nannette.trolene@Associa.us](mailto:Nannette.trolene@Associa.us)

**Did you know you can check your account online? You have 24hr access to view compliance details, account balance and history, and payment options. Visit [www.associaarizona.com](http://www.associaarizona.com) for this information and more.**



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<http://search.google.com/local/writereview?placeid=ChIJdXWLNULKK4cRNPH3LrfCWxE>



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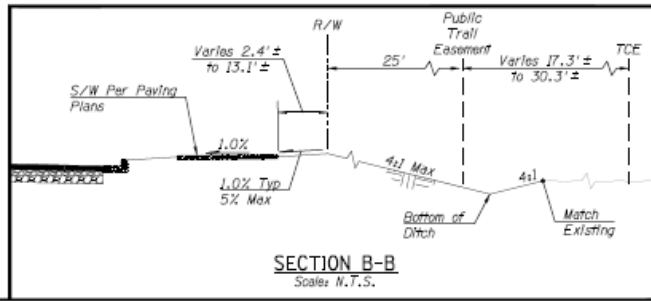
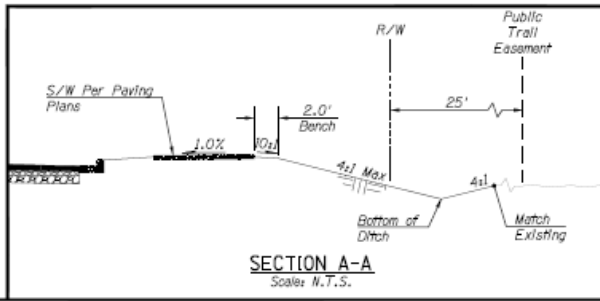
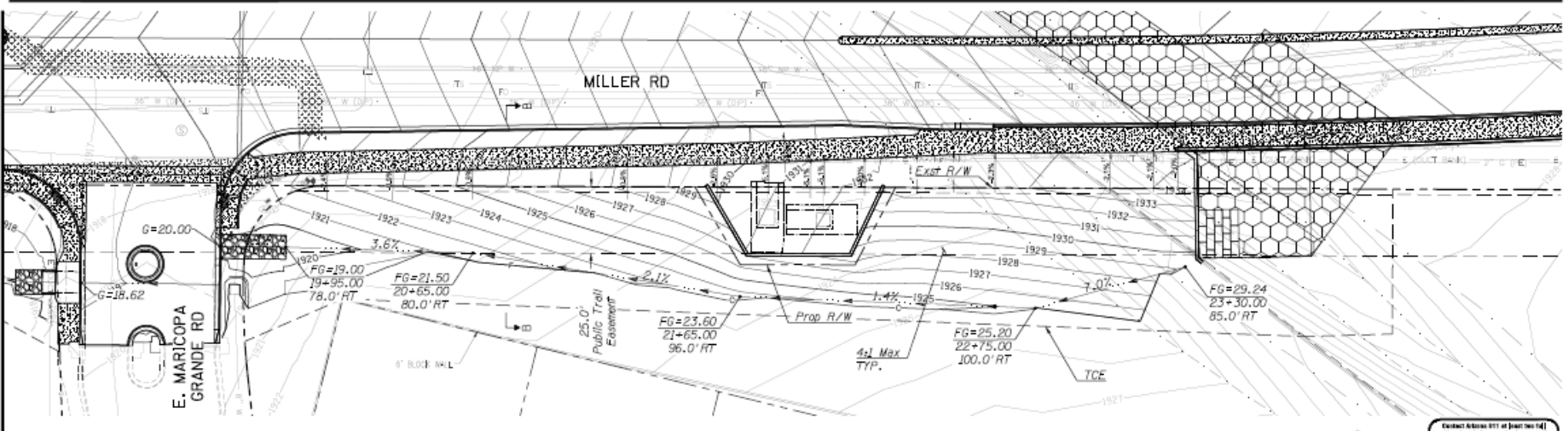
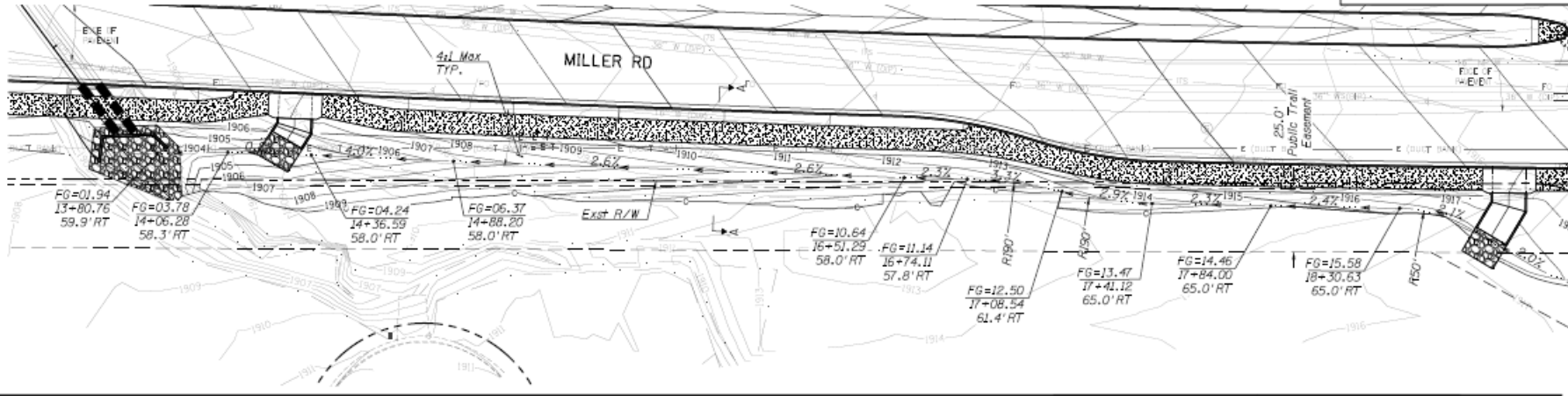
This communication does not reflect an intention by the sender or the sender's client or principal to conduct a transaction or make any agreement by electronic means. Nothing contained in this message or in any attachment shall satisfy the requirements for a writing, and nothing contained herein shall constitute a contract or electronic signature under the Electronic Signatures in Global and National Commerce Act, any version of the Uniform Electronic Transactions Act or any other statute governing electronic transactions.


PLT DATE 5/24/2021 2:15 PM

PROJECT FILE C:\2020027-02\ENR\DWG\CADD\PRODUCTION\2020027-02-1-117-H.DWG

MATCH LINE - SEE BELOW LEFT

MATCH LINE - SEE ABOVE RIGHT



DATE	REVISION	BY
5/24/2021		
<b>60%</b>		
FOR REVIEW PURPOSES, NOT TO BE USED FOR BIDDING OR CONSTRUCTION		
 <b>PUBLIC WORKS</b> CAPITAL PROJECT MANAGEMENT 7447 E. DUSTAN SCHOOL RD. SCOTTSDALE, ARIZONA 85258		
<b>DITCH GRADING PLAN</b>		
<b>HAYDEN RD / MILLER RD</b>		
<b>PINNACLE PEAK RD TO HAPPY VALLEY RD</b>		
SCALE	PROJECT	DATE
1" = 20'	117-H	05/24/2021
DRWN	CHKD	APP'D
AM	KS	2022-049-DOS
		26 of 93

XXX

## Murillo, Jesus

---

**From:** Jay Hicks <jay@digstudio.com>  
**Sent:** Tuesday, December 07, 2021 8:48 AM  
**To:** Murillo, Jesus  
**Cc:** Scott Ogden  
**Subject:** RE: Rawhide Wash Native Plant Review

**⚠ External Email: Please use caution if opening links or attachments!**

Good Morning Jesus,

Were you able to walk the site and review the native plant tagging? Any comments or recommendations on the plans?

Thanks,  
Jay  
602-363-1890

Jay Hicks  
Sr. Principal  
Dig Studio, Inc  
600 N. 4<sup>th</sup> Street, Blg D  
Phoenix, AZ 85004  
Mb. 602-363-1890  
Em. [jay@digstudio.com](mailto:jay@digstudio.com)

*We're back in the office! In response to the CDC and state guidance on public gathering, Dig Studio employees are vaccinated and working in the office, and we have resumed modified normal business practices. We look forward to collaborating and seeing you in person soon!*

---

**From:** Jay Hicks  
**Sent:** Monday, October 4, 2021 1:19 PM  
**To:** Murillo, Jesus <JMurillo@ScottsdaleAz.Gov>  
**Subject:** RE: Native Plant Review

I'll deliver the sets late afternoon today

Thanks,  
Jay  
602-363-1890

Jay Hicks  
Sr. Principal  
Dig Studio, Inc  
600 N. 4<sup>th</sup> Street, Blg D  
Phoenix, AZ 85004  
Mb. 602-363-1890  
Em. [jay@digstudio.com](mailto:jay@digstudio.com)

*We're back in the office! In response to the CDC and state guidance on public gathering, Dig Studio employees are vaccinated and working in the office, and we have resumed modified normal business practices. We look forward to collaborating and seeing you in person soon!*

---

**From:** Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>  
**Sent:** Monday, October 4, 2021 12:07 PM  
**To:** Jay Hicks <[jay@digstudio.com](mailto:jay@digstudio.com)>  
**Subject:** RE: Native Plant Review

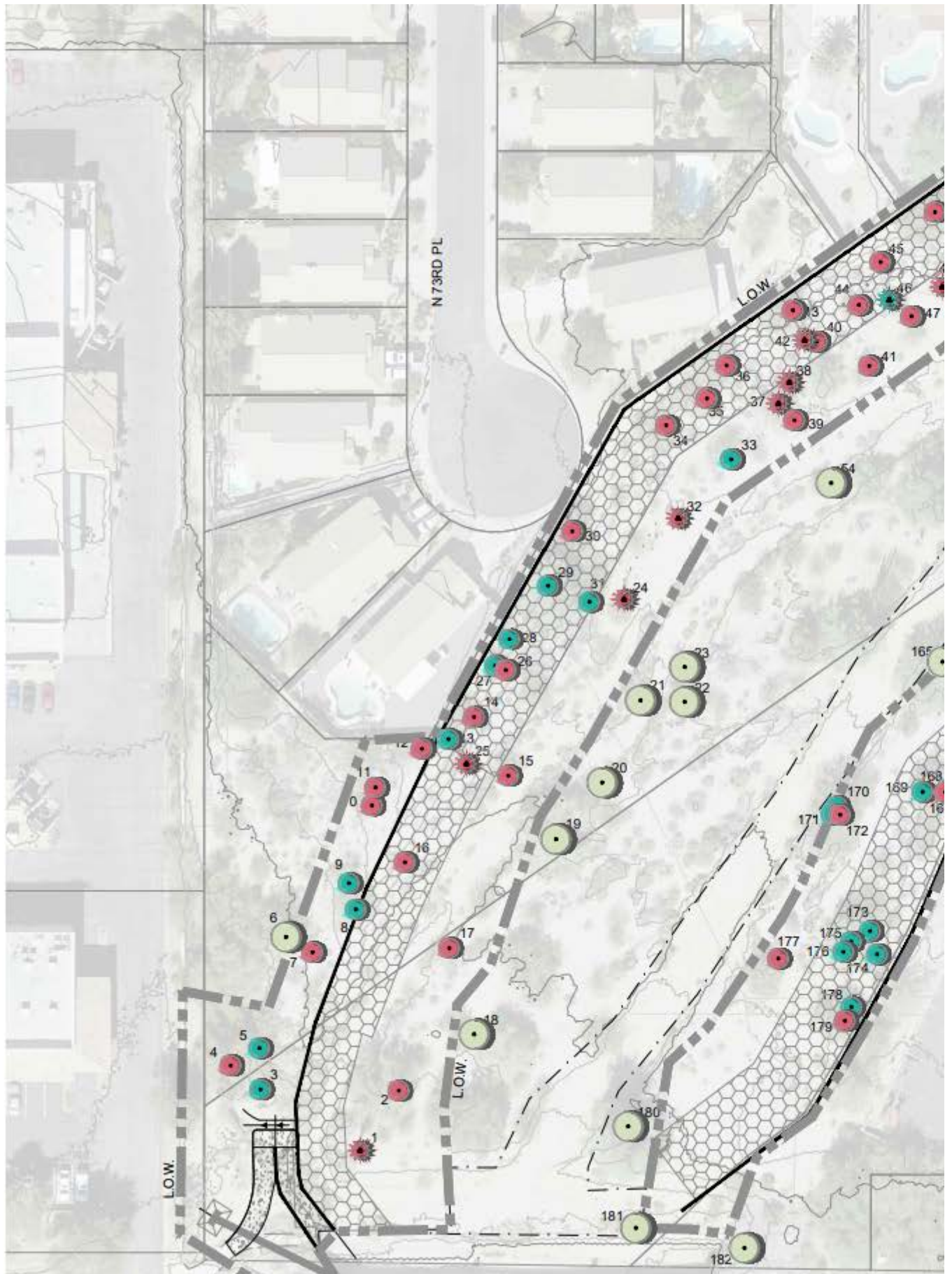
Yes - perfect

---

**From:** Jay Hicks <[jay@digstudio.com](mailto:jay@digstudio.com)>  
**Sent:** Monday, October 04, 2021 10:08 AM  
**To:** Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>  
**Subject:** RE: Native Plant Review

 **External Email: Please use caution if opening links or attachments!**

Is this what you are looking for?





Thanks,  
Jay  
602-363-1890

Jay Hicks  
Sr. Principal  
Dig Studio, Inc  
600 N. 4<sup>th</sup> Street, Blg D  
Phoenix, AZ 85004  
Mb. 602-363-1890  
Em. [jay@digstudio.com](mailto:jay@digstudio.com)

*We're back in the office! In response to the CDC and state guidance on public gathering, Dig Studio employees are vaccinated and working in the office, and we have resumed modified normal business practices. We look forward to collaborating and seeing you in person soon!*

---

**From:** Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>  
**Sent:** Monday, October 4, 2021 9:58 AM  
**To:** Jay Hicks <[jay@digstudio.com](mailto:jay@digstudio.com)>  
**Subject:** RE: Native Plant Review

Perfect – thank you...

---

**From:** Jay Hicks <[jay@digstudio.com](mailto:jay@digstudio.com)>  
**Sent:** Monday, October 04, 2021 7:08 AM  
**To:** Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>  
**Subject:** RE: Native Plant Review

**⚠ External Email: Please use caution if opening links or attachments!**

Sorry again – 24" x 36" color sheets

We'll get them updated and delivered.

Thanks,  
Jay  
602-363-1890

Jay Hicks  
Sr. Principal  
Dig Studio, Inc  
600 N. 4<sup>th</sup> Street, Blg D  
Phoenix, AZ 85004  
Mb. 602-363-1890  
Em. [jay@digstudio.com](mailto:jay@digstudio.com)

*We're back in the office! In response to the CDC and state guidance on public gathering, Dig Studio employees are vaccinated and working in the office, and we have resumed modified normal business practices. We look forward to collaborating and seeing you in person soon!*





---

**From:** Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>  
**Sent:** Thursday, September 30, 2021 6:35 PM  
**To:** Jay Hicks <[jay@digstudio.com](mailto:jay@digstudio.com)>  
**Subject:** Native Plant Review

Hello Jay,

I had set up a time to take my staff, and when the time came I noticed the plans were not color-coded. So please color-code the plans on the plan, and I will set up the time to out with staff. I do not need you to resubmit the plans to go out. Just please update the plans, and please drop off three copies of the plans at 24x36.

Thanks

	<u>TREE TO REMAIN IN PLACE - PROTECT IN PLACE</u>	341
	<u>CACTUS TO BE REMOVED</u>	5
	<u>CACTUS TO BE SALVAGED</u>	75
	<u>CACTUS TO REMAIN IN PLACE - PROTECT IN PLACE</u>	52

**Please color-code the Native Plant Inventory Plans and the Native Plant Inventory. It was little difficult for staff to keep track of the native review (use "red" for salvage and "blue" for non-salvage).**

**Please also provide 3 - 24x36 inch hard copies in color to staff prior to the resubmittal.**

**Staff will revisit the site with the resubmitted plans. Staff will expedite the review.**

- ALL TREES TO BE PROTECT
- TREE WITHIN THE TREE PI
- TO PREVENT TREE ROOT SI
- 25 FEET OF A TREE TRUNK,
- TRENCHES SHALL BE HANE
- BRANCHING TREES, WHENI
- DEHYDRATION,
- TREE ROOTS SHALL NOT BI
- MADE TO AVOID SHREDDIN
- AND BUD OPENING, WHEN
- IMMEDIATELY TO PREVENT
- MULCH/SAND MIXTURE TO
- HORIZONTAL BORING RATH
- FENCING MATERIAL SHALL
- FENCING MATERIAL SHALL
- FENCING MATERIAL SHALL
- DURATION OF CONSTRUCT
- MAINTAIN IRRIGATION FOR
- UPON PROJECT COMPLETI
- CITY OF PHOENIX ARBORIS
- CENTRAL AVENUE,
- NO SIGNIFICANT PLANT MA

Jesús Murillo  
 Senior Planner  
 City of Scottsdale  
 Planning and Development Services  
 7447 E. Indian School Road, Ste. 105  
 Scottsdale, AZ 85251  
 Phone: 480-312-7849  
 Fax: 480-312-9037

Get informed!



## Murillo, Jesus

---

**From:** Janet L. Bussing, CPM, CCIM, CAAM <janet@cpioha.com>  
**Sent:** Monday, September 27, 2021 2:04 PM  
**To:** Scott Ogden; Muiser, Maria  
**Cc:** Brock Barnhart (BBarnhart@gciaz.com); Barbara Frey; Couch, Ashley; Murillo, Jesus; Nazar Nabaty (FCD  
**Subject:** RE: HOA Presentation

**⚠ External Email: Please use caution if opening links or attachments!**

Thank you – I will forward to the community!

Janet

**Janet L. Bussing, CPM, CCIM, CAAM**  
*Community Manager*



**Cornerstone Properties, Inc.**  
P.O. Box 62073  
Phoenix, AZ 85082

Office: (602) 433-0331 X117  
Fax: (602) 244-9214  
E-Mail: [janet@cpioha.com](mailto:janet@cpioha.com)  
<http://www.cpioha.com>

---

**From:** Scott Ogden <scott@jefuller.com>  
**Sent:** Friday, September 24, 2021 4:36 PM  
**To:** Muiser, Maria <MMuiser@scottsdaleaz.gov>; Janet L. Bussing, CPM, CCIM, CAAM <janet@cpioha.com>  
**Cc:** Brock Barnhart (BBarnhart@gciaz.com) <BBarnhart@gciaz.com>; Barbara Frey <b.freydesign@outlook.com>; Ashley Couch (ACouch@ScottsdaleAz.Gov) <ACouch@ScottsdaleAz.Gov>; Murillo, Jesus <jmurillo@scottsdaleaz.gov>; Nazar Nabaty (FCD <Nazar.Nabaty@Maricopa.Gov>  
**Subject:** RE: HOA Presentation

Hi Maria and Janet,

Maria - thanks for reminding me. I knew I was forgetting something.

Janet – please feel free to share with the community.

Thanks,  
Scott

---

**From:** Muiser, Maria <[MMuiser@scottsdaleaz.gov](mailto:MMuiser@scottsdaleaz.gov)>  
**Sent:** Friday, September 24, 2021 3:13 PM  
**To:** Scott Ogden <[scott@jefuller.com](mailto:scott@jefuller.com)>  
**Subject:** HOA Presentation

Hi Scott,  
I just received an email from Mr. Romano. Could you share that recent presentation. He would like to go through it again.

Thanks, Maria

[EXTERNAL]



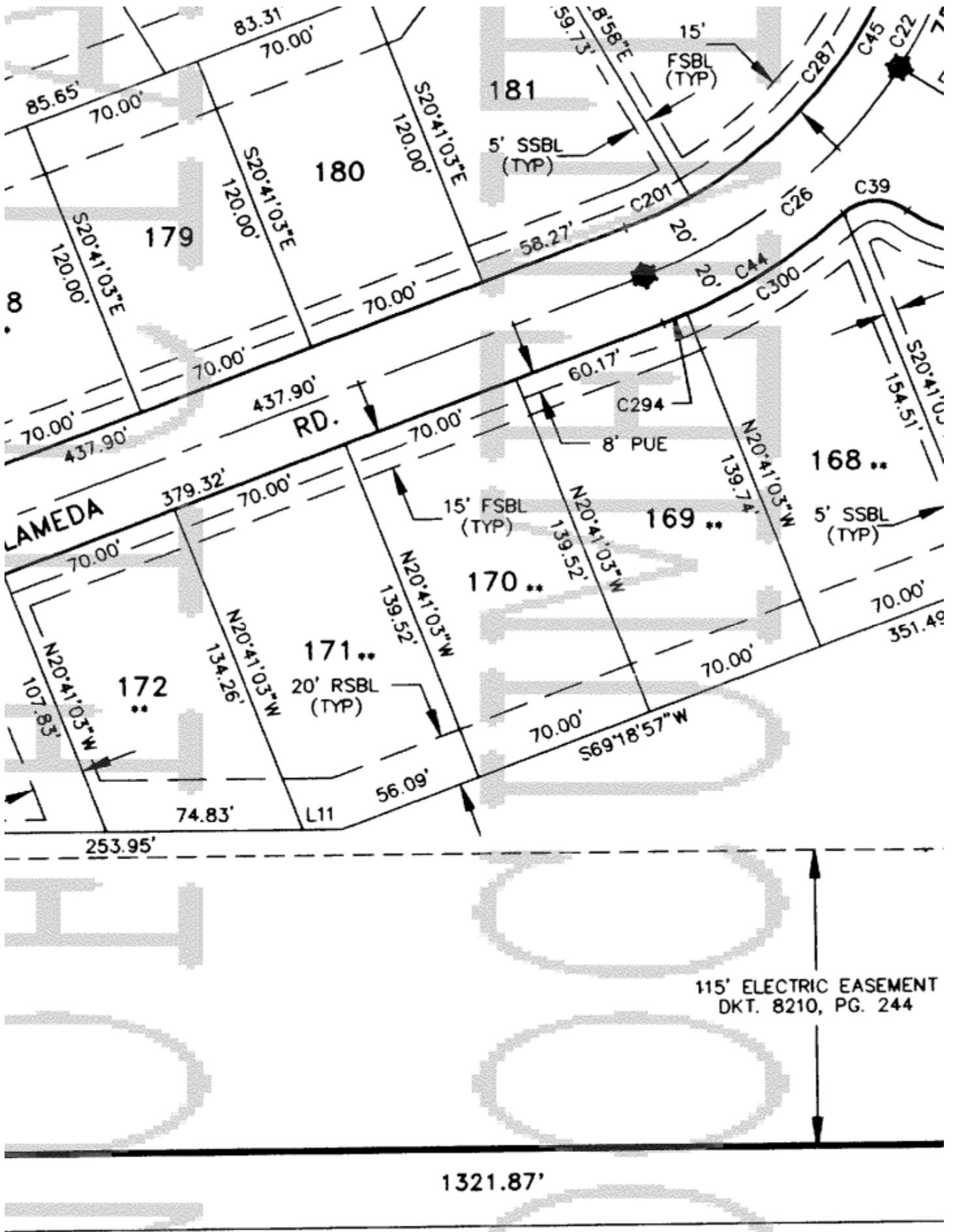
1) TO THE CITY OF SCOTTSDALE, FOR USE AS SUCH, ALL STREETS, SIGHT DISTANCE EASEMENTS, PUBLIC UTILITY, DRAINAGE AND SLOPE EASEMENTS; PUBLIC UTILITY EASEMENTS UPON, OVER AND ACROSS TRACT "B" AND TRACT "C"; NATURAL AREA OPEN SPACE (N.A.O.S.) EASEMENT UPON, OVER AND ACROSS TRACTS "A", "E" & "G" FOR THE PURPOSE OF PERMANENTLY PRESERVING SUCH LAND IN ITS NATURAL DESERT STATE. THE N.A.O.S. EASEMENT SHALL NOT BE USED FOR ANY PURPOSE INCONSISTENT WITH THE PRESERVATION OF SAID LAND IN ITS NATURAL STATE. GRADING, GRUBBING, EXCAVATING, OR CONSTRUCTION OF ANY STRUCTURE OR DEVELOPMENT OF ANY KIND SHALL BE PERMITTED ON OR WITHIN SAID EASEMENT, EXCEPT AS ALLOWED UNDER SCOTTSDALE ORDINANCES. MAINTENANCE OF SIGHT DISTANCE EASEMENTS AND PUBLIC UTILITY EASEMENTS UPON, OVER AND ACROSS LOTS AND/OR TRACTS SHALL BE THE SOLE RESPONSIBILITY OF THE LOT AND/OR TRACT OWNERS.

2) TO THE CITY OF SCOTTSDALE, FOR USE AS SUCH, PUBLIC UTILITY EASEMENTS UPON, OVER AND ACROSS TRACTS "B", "C" AND "J"; AND STORMWATER STORAGE AND/OR FLOOD CONTROL EASEMENTS UPON, OVER AND ACROSS TRACTS "A", "E" AND "G"; AND DRAINAGE EASEMENTS UPON, OVER AND ACROSS TRACTS "B" AND "C".

3) OWNER WARRANTS AND REPRESENTS TO THE CITY OF SCOTTSDALE TO BE THE OWNER OF THE PROPERTY COVERED HEREBY AND THAT ANY HOMEOWNERS ASSOCIATION, EASEMENT HOLDER OR OTHER PERSON OR ENTITY HAVING ANY INTEREST IN SAID PROPERTY HAS CONSENTED TO AND JOINED IN THIS PLAT, AS EVIDENCED BY INSTRUMENTS RECORDED WITH THE MARICOPA COUNTY RECORDER'S OFFICE.

4) TO THE PINNACLE PEAK RESERVE HOMEOWNERS ASSOCIATION, LANDSCAPE EASEMENT UPON, OVER AND ACROSS TRACTS "B", "C", "D", "F", "H", "I", "J", "K", "L", "M", AND "N" FOR THE PURPOSE OF MAINTAINING LANDSCAPING AND/OR CONSTRUCTION OF ENTRY FEATURES AND STRUCTURES. MAINTENANCE OF SUCH TRACTS IS THE SOLE RESPONSIBILITY OF THE PINNACLE PEAK RESERVE HOMEOWNERS ASSOCIATION.

5) MAINTENANCE OF EASEMENTS ACROSS ANY LOT IS THE RESPONSIBILITY OF THE INDIVIDUAL LOT OWNER.



115' ELECTRIC EASEMENT  
 DKT. 8210, PG. 244

1321.87'

**From:** loriscomputer <loriscomputer@centurylink.net>  
**Sent:** Friday, September 24, 2021 10:07 AM  
**To:** Murillo, Jesus <JMurillo@ScottsdaleAz.Gov>  
**Subject:** FW: Who Owns the wall separating our NAOS from Miller RD?

**⚠ External Email: Please use caution if opening links or attachments!**  
Here is the picture

Sent from my Verizon, Samsung Galaxy smartphone

----- Original message -----  
From: "Dan L." <[DL@centurylink.net](mailto:DL@centurylink.net)>  
Date: 9/24/21 7:03 AM (GMT-07:00)  
To: 'Lori Lundberg' <[Loriscomputer@centurylink.net](mailto:Loriscomputer@centurylink.net)>  
Subject: Who Owns the wall separating our NAOS from Miller RD?

**Dan L.**

—|—

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--!(OIIIIIIIO)! --

□-----○-----□



## Murillo, Jesus

---

**From:** loriscomputer <loriscomputer@centurylink.net>  
**Sent:** Friday, September 24, 2021 10:07 AM  
**To:** Murillo, Jesus  
**Subject:** FW: Who Owns the wall separating our NAOS from Miller RD?  
**Attachments:** Who Owns This Wall.pptx

**⚠ External Email: Please use caution if opening links or attachments!**

Here is the picture

Sent from my Verizon, Samsung Galaxy smartphone

----- Original message -----

From: "Dan L." <DL@centurylink.net>  
Date: 9/24/21 7:03 AM (GMT-07:00)  
To: 'Lori Lundberg' <Loriscomputer@centurylink.net>  
Subject: Who Owns the wall separating our NAOS from Miller RD?

**Dan L.**

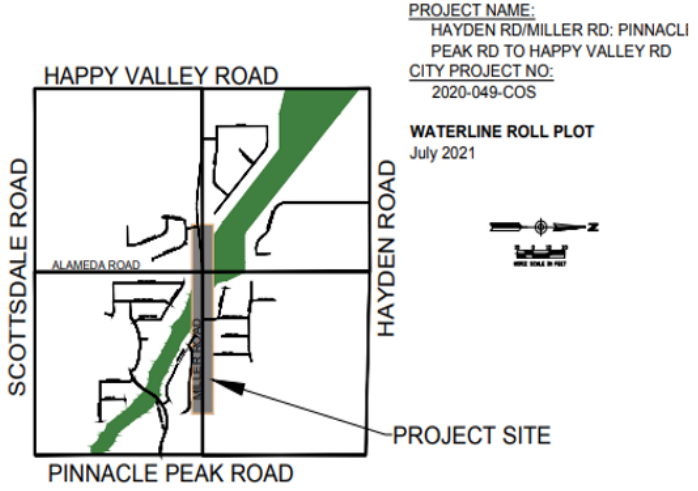
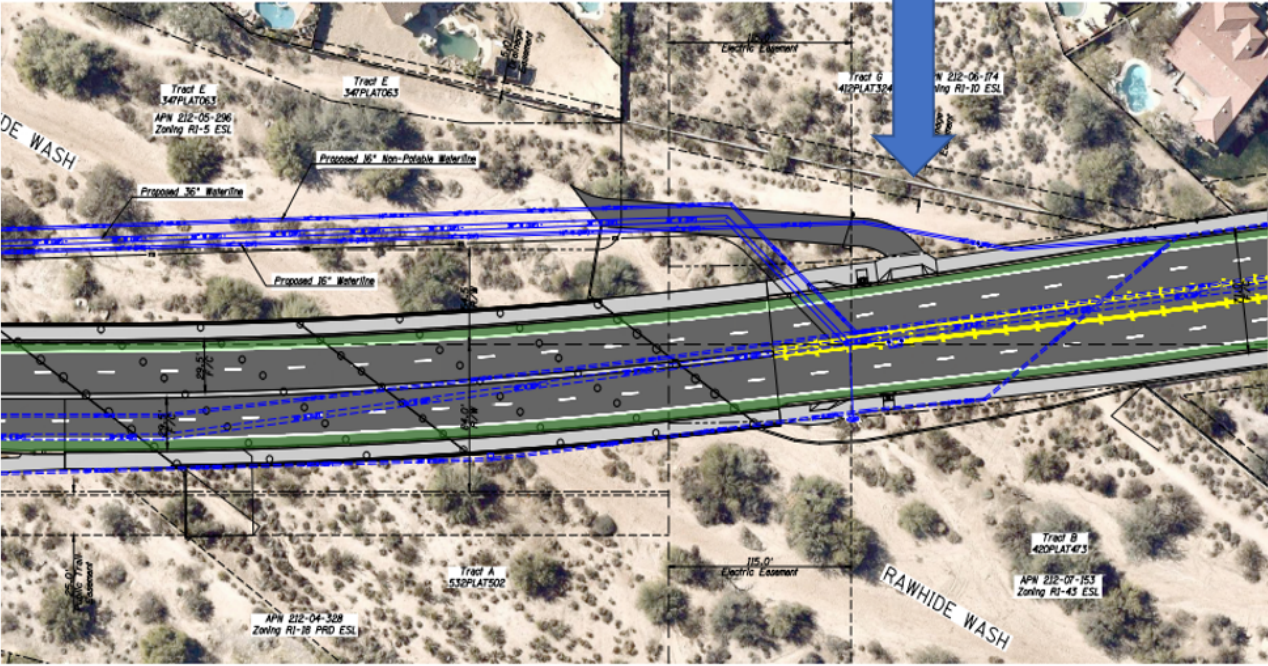
—|—

/\_\_\_\_\_\

--!(OIIIIIIIO)! --

□-----○-----□

Who Owns this  
3ft wall?



## Murillo, Jesus

---

**From:** Murillo, Jesus  
**Sent:** Friday, September 24, 2021 9:35 AM  
**To:** loriscomputer  
**Subject:** RE: retaining wall in Rawhide Wash

Hello Lori,

The wall picture did not come through. Would you please resend the picture.

Jesús

---

**From:** loriscomputer <loriscomputer@centurylink.net>  
**Sent:** Friday, September 24, 2021 8:44 AM  
**To:** Murillo, Jesus <JMurillo@ScottsdaleAz.Gov>  
**Subject:** RE: retaining wall in Rawhide Wash

**⚠ External Email: Please use caution if opening links or attachments!**

Thank you Mr. Marilla but those are not the wall I am asking about. Please see attached picture.

/data/user/0/com.microsoft.office.officehubhl/app\_EmailAttachments7d5c17d6-61e8-4a45-bf7e-f22a509b68d9/Who Owns This Wall.pptx

Thank you, Lori

Sent from my Verizon, Samsung Galaxy smartphone

----- Original message -----

From: "Murillo, Jesus" <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>  
Date: 9/23/21 4:11 PM (GMT-07:00)  
To: Lori Lundberg <[Loriscomputer@centurylink.net](mailto:Loriscomputer@centurylink.net)>  
Subject: RE: retaining wall in Rawhide Wash

Hello Lori,

Thank you for your patience. I wanted to be sure I confirmed the ownership/responsibility.

The walls that are located along the boundaries of the Rawhide wash for the Los Portones appear to be located on the property line, therefore, staff would default to the CC&Rs to truly understand who has responsibility of the maintenance and ownership of the walls. But it is clear that it is not the responsibility of the City. As you can see along the portion of Los Portones, a large portion of the wall seems to be located within the drainage tract, and not located on the individual

property owners parcel. I would say that this would be the responsibility of the Los Portones HOA (white line (tract line) versus green line (wall line)). You can see the language of the responsibility in the graphic form the final plat below.

Usually perimeter walls are owned by the HOA and the owner seeks authorization from the HOA to submit a permit to improve the wall.

**BASIS OF BEARING**

THE EAST LINE OF THE SOUTHWEST QUARTER (SW $\frac{1}{4}$ ) OF SECTION 11, TOWNSHIP 4 NORTH, RANGE 4 EAST, SAID EAST LINE ALSO BEING THE CENTERLINE OF MILLER ROAD. BEARING S 00° 00' 09" W AS SHOWN ON LOS PORTONES MAP OF DEDICATION, BOOK 287, PAGE 26 M.C.R.

TRACTS A AND L AND TRACTS C THROUGH J INCLUSIVE ARE TO BE MAINTAINED BY THE LOS PORTONES PARCEL 4 HOMEOWNERS ASSOCIATION.

THOSE AREAS OF DESIGNATED COMMON AREA SHALL NOT BE ACCEPTED FOR MAINTENANCE OR OWNERSHIP BY THE CITY WITHOUT EXPRESSED ACTION OF THE CITY COUNCIL. BEFORE ANY IMPROVEMENT IS ACCEPTED, IT SHALL MEET CITY STANDARDS. FAILURE TO MAINTAIN THE DESIGNATED COMMON AREAS COULD RESULT IN A CIVIL ACTION BROUGHT BY THE CITY FOR COSTS INCURRED BY THE CITY FOR SAID MAINTENANCE.

As for the Pinnacle Preserve East subdivision, the responsibility of the wall depends on the location of the walls. Please see the excerpt from the final plat below for wall responsibilities:

3) TO THE PINNACLE PEAK RESERVE HOMEOWNERS ASSOCIATION, LANDSCAPE EASEMENTS UPON, OVER AND ACROSS TRACTS "C" THRU "I", INCLUSIVE FOR THE PURPOSE OF MAINTAINING LANDSCAPING AND/OR CONSTRUCTION OF ENTRY FEATURE STRUCTURES. MAINTENANCE OF SUCH TRACTS IS THE SOLE RESPONSIBILITY OF THE PINNACLE PEAK RESERVE HOMEOWNERS ASSOCIATION.

4) MAINTENANCE OF THE FLOODWALL WITHIN LOTS 24 THRU 41 AND TRACTS "A"&"B", IS THE RESPONSIBILITY OF THE CITY OF SCOTTSDALE, IN ACCORDANCE WITH FEMA REQUIREMENTS.

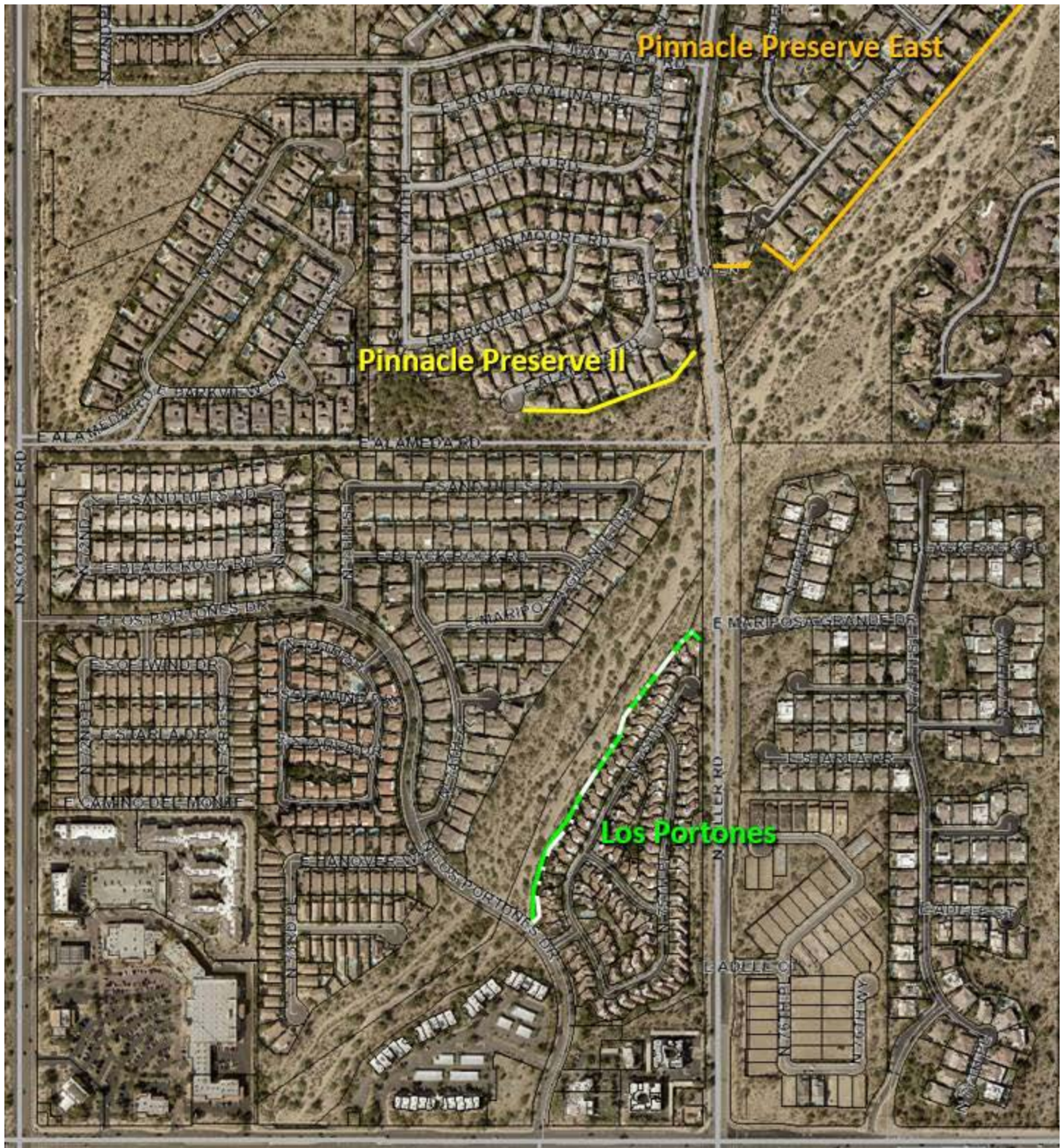
5) MAINTENANCE OF TRACTS "A" & "B" SHALL BE THE RESPONSIBILITY OF PINNACLE PEAK RESERVE HOMEOWNERS ASSOCIATION.

6) MAINTENANCE OF EASEMENTS ACROSS ANY LOT IS THE RESPONSIBILITY OF THE INDIVIDUAL LOT OWNER.

7) OWNER WARRANTS AND REPRESENTS TO THE CITY OF SCOTTSDALE TO BE THE SOLE OWNER OF THE PROPERTY COVERED HEREBY AND THAT ANY HOMEOWNERS ASSOCIATION LENDER, EASEMENT HOLDER OR OTHER PERSON OR ENTITY HAVING ANY INTEREST IN SAID PROPERTY HAS CONSENTED TO AND JOINED IN THIS PLAT, AS EVIDENCED BY INSTRUMENTS RECORDED WITH THE MARICOPA COUNTY RECORDER'S OFFICE.

For the Pinnacle Preserve II, it appears as though the City has authorization to do work in those areas, but not necessarily the responsibility of the City.

2) TO THE CITY OF SCOTTSDALE, FOR USE AS SUCH, PUBLIC UTILITY EASEMENTS UPON, OVER AND ACROSS TRACTS "B", "C" AND "J"; AND STORMWATER STORAGE AND/OR FLOOD CONTROL EASEMENTS UPON, OVER AND ACROSS TRACTS "A", "E" AND "G"; AND DRAINAGE EASEMENTS UPON, OVER AND ACROSS TRACTS "B" AND "C".



**From:** Lori Lundberg <[Loriscomputer@centurylink.net](mailto:Loriscomputer@centurylink.net)>  
**Sent:** Sunday, September 12, 2021 10:31 AM  
**To:** Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>  
**Subject:** retaining wall in Rawhide Wash

 External Email: Please use caution if opening links or attachments!

Hi Mr. Murillo,

I would like to know the “owner” of the retaining walls that run the length of Pinnacle Peak Reserve and Los Portones NOAS lands in the Rawhide Wash.

Thank you!

Lori Lundberg

## Murillo, Jesus

---

**From:** "VOICE/+4806202960"@vm1wa103.ci.scottsdale.az.us  
**Sent:** Friday, September 24, 2021 8:48 AM  
**To:** Murillo, Jesus  
**Subject:** Voice mail: 91 sec.  
**Attachments:** 4338938\_VOICE\_210924-084828.wav

**Follow Up Flag:** Follow up  
**Flag Status:** Completed



## Murillo, Jesus

---

**From:** loriscomputer <loriscomputer@centurylink.net>  
**Sent:** Friday, September 24, 2021 8:44 AM  
**To:** Murillo, Jesus  
**Subject:** RE: retaining wall in Rawhide Wash

**⚠ External Email: Please use caution if opening links or attachments!**

Thank you Mr. Marilla but those are not the wall I am asking about. Please see attached picture.

/data/user/0/com.microsoft.office.officehubhl/app\_EmailAttachments7d5c17d6-61e8-4a45-bf7e-f22a509b68d9/Who Owns This Wall.pptx

Thank you, Lori

Sent from my Verizon, Samsung Galaxy smartphone

----- Original message -----

**From:** "Murillo, Jesus" <JMurillo@ScottsdaleAz.Gov>  
**Date:** 9/23/21 4:11 PM (GMT-07:00)  
**To:** Lori Lundberg <Loriscomputer@centurylink.net>  
**Subject:** RE: retaining wall in Rawhide Wash

Hello Lori,

Thank you for your patience. I wanted to be sure I confirmed the ownership/responsibility.

The walls that are located along the boundaries of the Rawhide wash for the Los Portones appear to be located on the property line, therefore, staff would default to the CC&Rs to truly understand who has responsibility of the maintenance and ownership of the walls. But it is clear that it is not the responsibility of the City. As you can see along the portion of Los Portones, a large portion of the wall seems to be located within the drainage tract, and not located on the individual property owners parcel. I would say that this would be the responsibility of the Los Portones HOA (white line (tract line) versus green line (wall line)). You can see the language of the responsibility in the graphic form the final plat below.

Usually perimeter walls are owned by the HOA and the owner seeks authorization from the HOA to submit a permit to improve the wall.

BASIS OF BEARING

THE EAST LINE OF THE SOUTHWEST QUARTER (SW¼) OF SECTION 11, TOWNSHIP 4 NORTH, RANGE 4 EAST, SAID EAST LINE ALSO BEING THE CENTERLINE OF MILLER ROAD. BEARING S 00° 00' 09" W AS SHOWN ON LOS PORTONES MAP OF DEDICATION, BOOK 287, PAGE 26 M.C.R.

TRACTS A AND L AND TRACTS C THROUGH J INCLUSIVE ARE TO BE MAINTAINED BY THE LOS PORTONES PARCEL 4 HOMEOWNERS ASSOCIATION.

THOSE AREAS OF DESIGNATED COMMON AREA SHALL NOT BE ACCEPTED FOR MAINTENANCE OR OWNERSHIP BY THE CITY WITHOUT EXPRESSED ACTION OF THE CITY COUNCIL. BEFORE ANY IMPROVEMENT IS ACCEPTED, IT SHALL MEET CITY STANDARDS. FAILURE TO MAINTAIN THE DESIGNATED COMMON AREAS COULD RESULT IN A CIVIL ACTION BROUGHT BY THE CITY FOR COSTS INCURRED BY THE CITY FOR SAID MAINTENANCE.

As for the Pinnacle Preserve East subdivision, the responsibility of the wall depends on the location of the walls. Please see the excerpt from the final plat below for wall responsibilities:

3) TO THE PINNACLE PEAK RESERVE HOMEOWNERS ASSOCIATION, LANDSCAPE EASEMENTS UPON, OVER AND ACROSS TRACTS "C" THRU "I", INCLUSIVE FOR THE PURPOSE OF MAINTAINING LANDSCAPING AND/OR CONSTRUCTION OF ENTRY FEATURE STRUCTURES. MAINTENANCE OF SUCH TRACTS IS THE SOLE RESPONSIBILITY OF THE PINNACLE PEAK RESERVE HOMEOWNERS ASSOCIATION.

4) MAINTENANCE OF THE FLOODWALL WITHIN LOTS 24 THRU 41 AND TRACTS "A"&"B", IS THE RESPONSIBILITY OF THE CITY OF SCOTTSDALE, IN ACCORDANCE WITH FEMA REQUIREMENTS.

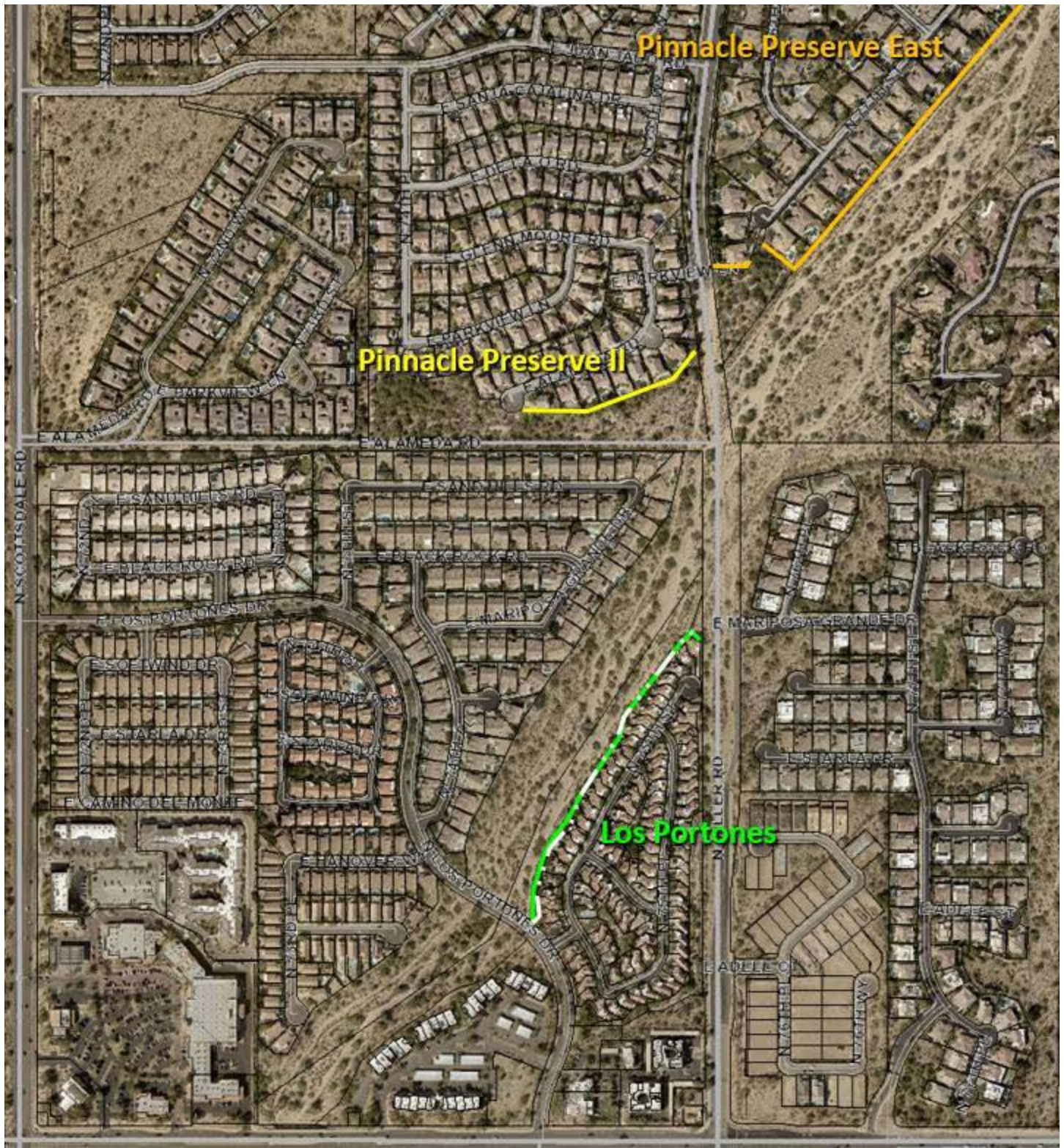
5) MAINTENANCE OF TRACTS "A" & "B" SHALL BE THE RESPONSIBILITY OF PINNACLE PEAK RESERVE HOMEOWNERS ASSOCIATION.

6) MAINTENANCE OF EASEMENTS ACROSS ANY LOT IS THE RESPONSIBILITY OF THE INDIVIDUAL LOT OWNER.

7) OWNER WARRANTS AND REPRESENTS TO THE CITY OF SCOTTSDALE TO BE THE SOLE OWNER OF THE PROPERTY COVERED HEREBY AND THAT ANY HOMEOWNERS ASSOCIATION LENDER, EASEMENT HOLDER OR OTHER PERSON OR ENTITY HAVING ANY INTEREST IN SAID PROPERTY HAS CONSENTED TO AND JOINED IN THIS PLAT, AS EVIDENCED BY INSTRUMENTS RECORDED WITH THE MARICOPA COUNTY RECORDER'S OFFICE.

For the Pinnacle Preserve II, it appears as though the City has authorization to do work in those areas, but not necessarily the responsibility of the City.

2) TO THE CITY OF SCOTTSDALE, FOR USE AS SUCH, PUBLIC UTILITY EASEMENTS UPON, OVER AND ACROSS TRACTS "B", "C" AND "J"; AND STORMWATER STORAGE AND/OR FLOOD CONTROL EASEMENTS UPON, OVER AND ACROSS TRACTS "A", "E" AND "G"; AND DRAINAGE EASEMENTS UPON, OVER AND ACROSS TRACTS "B" AND "C".



**From:** Lori Lundberg <Loriscomputer@centurylink.net>  
**Sent:** Sunday, September 12, 2021 10:31 AM  
**To:** Murillo, Jesus <JMurillo@ScottsdaleAz.Gov>  
**Subject:** retaining wall in Rawhide Wash

 External Email: Please use caution if opening links or attachments!

Hi Mr. Murillo,

I would like to know the “owner” of the retaining walls that run the length of Pinnacle Peak Reserve and Los Portones NOAS lands in the Rawhide Wash.

Thank you!

Lori Lundberg

## Murillo, Jesus

---

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**Sent:** Thursday, September 23, 2021 4:11 PM  
**To:** Lori Lundberg  
**Subject:** RE: retaining wall in Rawhide Wash

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Usually perimeter walls are owned by the HOA and the owner seeks authorization from the HOA to submit a permit to improve the wall.

### BASIS OF BEARING

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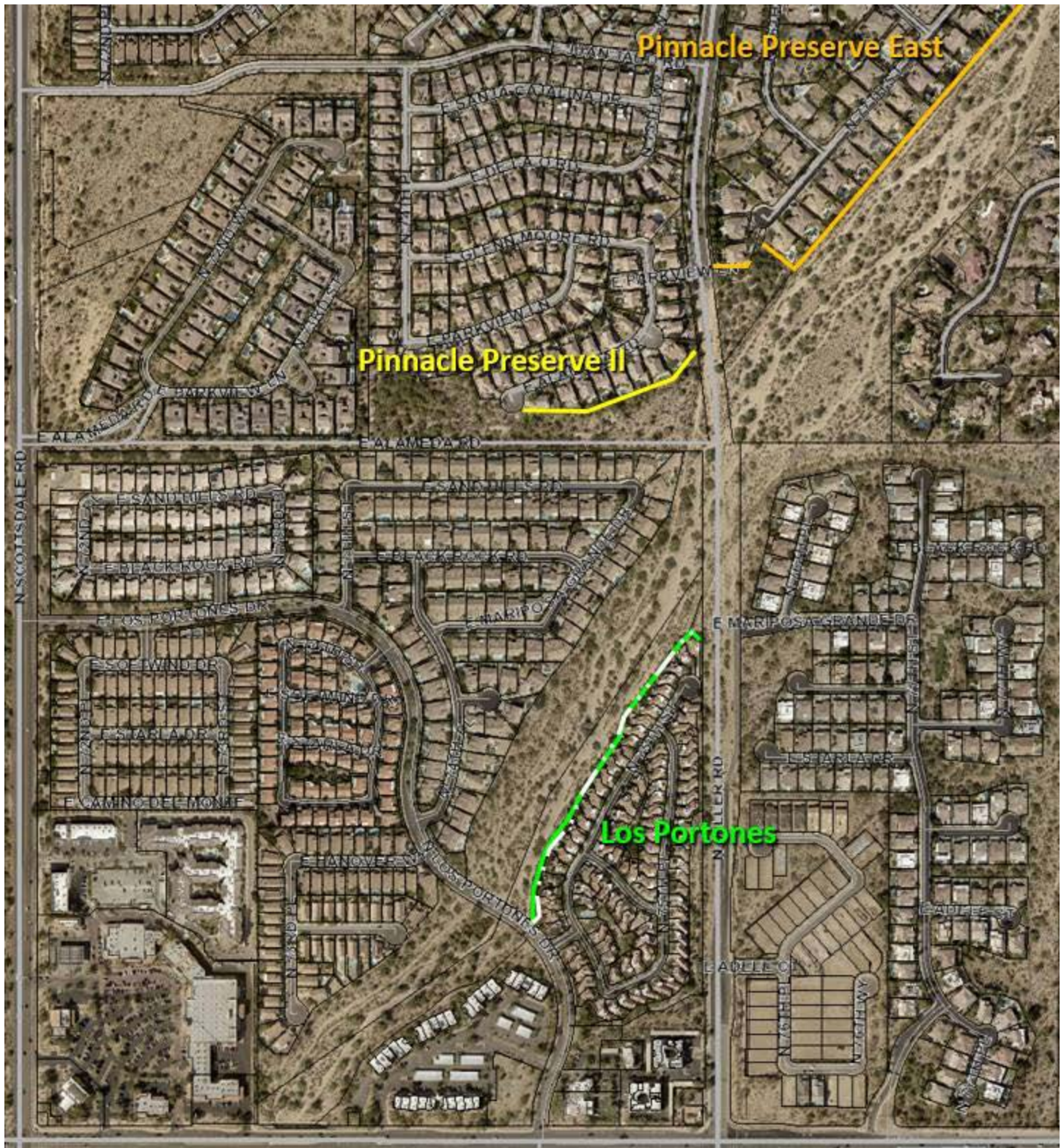
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6) MAINTENANCE OF EASEMENTS ACROSS ANY LOT IS THE RESPONSIBILITY OF THE INDIVIDUAL LOT OWNER.

7) OWNER WARRANTS AND REPRESENTS TO THE CITY OF SCOTTSDALE TO BE THE SOLE OWNER OF THE PROPERTY COVERED HEREBY AND THAT ANY HOMEOWNERS ASSOCIATION LENDER, EASEMENT HOLDER OR OTHER PERSON OR ENTITY HAVING ANY INTEREST IN SAID PROPERTY HAS CONSENTED TO AND JOINED IN THIS PLAT, AS EVIDENCED BY INSTRUMENTS RECORDED WITH THE MARICOPA COUNTY RECORDER'S OFFICE.

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**From:** Lori Lundberg <Loriscomputer@centurylink.net>  
**Sent:** Sunday, September 12, 2021 10:31 AM  
**To:** Murillo, Jesus <JMurillo@ScottsdaleAz.Gov>  
**Subject:** retaining wall in Rawhide Wash

**⚠ External Email: Please use caution if opening links or attachments!**

Hi Mr. Murillo,



I would like to know the “owner” of the retaining walls that run the length of Pinnacle Peak Reserve and Los Portones NOAS lands in the Rawhide Wash.

Thank you!  
Lori Lundberg

## Murillo, Jesus

---

**From:** Lori Lundberg <Loriscomputer@centurylink.net>  
**Sent:** Sunday, September 12, 2021 10:31 AM  
**To:** Murillo, Jesus  
**Subject:** retaining wall in Rawhide Wash

**⚠ External Email: Please use caution if opening links or attachments!**

Hi Mr. Murillo,

I would like to know the “owner” of the retaining walls that run the length of Pinnacle Peak Reserve and Los Portones NOAS lands in the Rawhide Wash.

Thank you!  
Lori Lundberg

## Murillo, Jesus

---

**From:** Dan L. <DL@centurylink.net>  
**Sent:** Saturday, September 11, 2021 12:28 PM  
**To:** Murillo, Jesus  
**Subject:** RE: plans for the NAOS

**⚠ External Email: Please use caution if opening links or attachments!**

Jesus'

Please send me the Final Plat Pinnacle Reserve II drawing as an attachment. I cannot view and read it in the body of the email.

Dan Lundberg

---

**From:** loriscomputer <loriscomputer@centurylink.net>  
**Sent:** Saturday, August 14, 2021 9:41 AM  
**To:** dl <dl@centurylink.net>  
**Subject:** FW: plans for the NAOS

Sent from my Verizon, Samsung Galaxy smartphone

----- Original message -----

**From:** "Richter, Jeremy" <[JRichter@Scottsdaleaz.gov](mailto:JRichter@Scottsdaleaz.gov)>  
**Date:** 8/13/21 11:40 AM (GMT-07:00)  
**To:** 'Lori Lundberg' <[Loriscomputer@centurylink.net](mailto:Loriscomputer@centurylink.net)>  
**Cc:** "Melnychenko, Mark" <[MMelnychenko@Scottsdaleaz.gov](mailto:MMelnychenko@Scottsdaleaz.gov)>, "Caputi, Tammy" <[TCaputi@Scottsdaleaz.gov](mailto:TCaputi@Scottsdaleaz.gov)>, "Whitehead, Solange" <[SWhitehead@Scottsdaleaz.gov](mailto:SWhitehead@Scottsdaleaz.gov)>, "Lipinski, Dave" <[DLipinski@Scottsdaleaz.gov](mailto:DLipinski@Scottsdaleaz.gov)>, "Worth, Daniel" <[DaWorth@scottsdaleaz.gov](mailto:DaWorth@scottsdaleaz.gov)>  
**Subject:** FW: plans for the NAOS

Good afternoon Lori,

I reached out to our planning department to assist with your question about the pipeline installation in NAOS. Please see response below. I have also attached a graphic showing the location of the waterlines.

Respectfully,

**Jeremy Richter**

Project Manager



Capital Project Management

7447 E. Indian School Road, Suite 205

Scottsdale, Arizona 85251

Phone: (480) 312-7869

Email: [jrichter@scottsdaleaz.gov](mailto:jrichter@scottsdaleaz.gov)

To send large files [click here](#)

---

**From:** Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>

**Sent:** Monday, August 09, 2021 1:41 PM

**To:** Richter, Jeremy <[JRichter@Scottsdaleaz.gov](mailto:JRichter@Scottsdaleaz.gov)>

**Cc:** Melnychenko, Mark <[MMelnynchenko@Scottsdaleaz.gov](mailto:MMelnynchenko@Scottsdaleaz.gov)>; Caputi, Tammy <[TCaputi@Scottsdaleaz.gov](mailto:TCaputi@Scottsdaleaz.gov)>; Whitehead, Solange <[SWhitehead@Scottsdaleaz.gov](mailto:SWhitehead@Scottsdaleaz.gov)>; Lipinski, Dave <[DLipinski@Scottsdaleaz.gov](mailto:DLipinski@Scottsdaleaz.gov)>; Worth, Daniel <[DaWorth@scottsdaleaz.gov](mailto:DaWorth@scottsdaleaz.gov)>

**Subject:** RE: plans for the NAOS

Hello Jeremy,

Below, I have provided the final plat information, ordinance requirements, and Design Standard and Policies Manual sections that allow for public utility easements (PUE) to be located over Natural Area Open Space easements (NAOS). This practice is common in most final plat recorded within the ESL portion of the City. This was more common in past developments (prior to 2010 or so). The practice is reduced as much as possible, but sometimes the requirements for public utility locations create a situation where the utility and the PUE must be located within/at the edge of NAOS. In these instances the ordinance requires these areas to be revegetated back to a natural state. The ordinance allows the practice as long as the revegetation area does not exceed more than 30 percent of the overall NAOS requirement.

Please feel free to contact me with any further questions or comments.



2. *Revegetated areas.* Revegetated areas shall qualify as NAOS, but shall not constitute more than that contained in Section 6.1060.B.3. to increase the maximum percentage of revegetated NAOS above
  - a. Planting programs for revegetated areas may include transplanted and seeded methods of application (see 6.1091.A.1.k.)
  - b. Planting programs shall be consistent with the slope aspect of the surrounding natural vegetation and natural desert.
  - c. All materials, design and construction techniques for revegetation shall be subject to City approval.
  - d. Incorporate boulders and salvaged surface material to match and blend with surrounding desert.
  - e. Provide a temporary watering program.
  - f. In those cases where previously scarred or cleared areas are to be restored, the plant species shall be native to the vicinity.
  - g. The design and installation of revegetation shall help to minimize the downstream transport of

## **DESIGN STANDARDS AND POLICIES MANUAL SECTION 2-2.101 – 2-2.106**

## WATER DISTRIBUTION LINES

### A. **Location**

To minimize their impact in ESL areas, locate all public water distribution lines within private and public street rights-of-way. Location of water system lines in other areas will require approval from the Water Resources Department. Water lines that must be located outside of public rights-of-way must be located within either a waterline easement or within a tract, where applicable.

Place water lines within the paved street section rights-of-way and locate water meters adjacent to driveways to reduce the impact to sensitive ESL area landforms.

### B. **Easements**

The minimum width of easements within tracts is 20 feet. Place the entire easement on one side of a property line.

Any vertical barrier that crosses an easement must be constructed of wood, wire, or removable type of fencing. Revegetation or landscape improvements that are within the easement must not restrict access to the utility that is located within the easement. Refer to Chapters 3 and 6 of this manual.

### C. **Crossings of Storm Water Drainage Ways**

Water lines should not cross storm water drainage ways unless the crossing is associated with a roadway or driveway. If a crossing is required, then locate the water line as near to perpendicular to the flow path of the storm water drainage way as possible.

### D. **Water Storage Facilities**

Locate water storage facilities, such as water tanks and reservoirs, underground and/or in such a way that it will reduce the impact to the surrounding environment.

## SEWER DISTRIBUTION LINES

### A. **Location**

To minimize their impact in ESL areas, locate all public sewer collection lines, including public sewer force mains, within private and public street rights-of-way. Wastewater lines that must be located outside of public rights-of-way must be located within either a sewer line easement or within a tract. Sewer lines can cross the centerline, and be located within the paved street section, but should not cross the curb line. Locate manholes to keep manhole covers out of the tire paths on the roadway.

### B. **Easements**

The minimum width of easements is 20 feet. Place the entire easement on one side of a property line.

Any vertical barrier that crosses an easement must be constructed of wood, wire, or removable type fencing. Revegetation or landscape improvements that are within the easement must not restrict access to the utility that is located within the easement.

### C. **Drainage Ways**

Do not locate wastewater lines within any storm water drainage way that may be inundated by a 100-year storm flow, unless specifically approved by Planning and Development Department Director and Water Resources Department Director, or their respective designees. Exceptions will be based upon specific design analyses that demonstrate that there will be no mixing of wastewater and stormwater flows, and that no other viable solution is available. If a wastewater line must be located alongside a storm water drainage way, then do not clear existing natural riparian vegetation during construction of the wastewater line.

Do not cross storm water drainage ways with wastewater lines unless there is no other reasonable alternative alignment. Where possible, place such crossings in association with the location of roadways or driveways, and/or perpendicular to the flow path of the storm water drainage way.



## ON-SITE WASTEWATER TREATMENT

2-2.

In ESL areas where connection to a public sanitary sewer (SS) collector is not available, an individual sewage disposal system may be approved. On-site wastewater disposal systems are subject to authorization by the Water Resources Department prior to approval from the Maricopa County Department of Environmental Services.

Locate such facilities per Maricopa County requirements. Any areas that have been cleared for such facilities must be revegetated to a native desert landscape.

## MISCELLANEOUS UTILITIES

2-2.

### A. Location

Locate utility lines within private streets and public rights-of-way to minimize the impact on ESL areas. The paved street section is reserved for water and sewer lines, enabling other utilities to be placed within the balance of the rights-of-way. Utility locations in the ESL areas will be restricted due to grading limitations.

If circumstances dictate that utility lines will need to be placed outside of public/private rights-of-way, then establish a PUE or tract.

Construction of underground utilities may adversely impact adjacent lands.

Therefore, revegetation of all disturbed areas will be required after installation, or any subsequent maintenance activities.

Avoid locating utility lines in storm water drainage ways and channels. If such locations are necessary, then the construction plans shall specify how to protect the facility from storm water runoff flows.

### B. Design of Utility Cabinets

Any utility cabinets that are located within ESL areas shall be painted Frazee Paint 'Enduring Bronze (SW 7055) or shall be constructed of self-weathering steel. Any land surrounding a utility cabinet that has been disturbed by the installation of the cabinets and related utilities, shall be restored to a natural desert condition with native plant materials.

Utility cabinets shall be screened in one of the following ways:

1. Placed in vaults below the ground level;
2. Enclosed within a self-weathering steel enclosure fence that incorporates a three-dimensional design;
3. Enclosed within a wall that incorporates native stonework, rammed earth, or exposed aggregate and colored concrete;
4. Berms landscaped with native desert plants and shaped to blend into the natural terrain; or
5. Dense landscaping with desert trees and large shrubs.

### C. Easements

**From:** Richter, Jeremy <[JRichter@Scottsdaleaz.gov](mailto:JRichter@Scottsdaleaz.gov)>

**Sent:** Monday, August 09, 2021 9:19 AM

**To:** Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>

**Cc:** Melnychenko, Mark <[MMelnynchenko@Scottsdaleaz.gov](mailto:MMelnynchenko@Scottsdaleaz.gov)>; Caputi, Tammy <[TCaputi@Scottsdaleaz.gov](mailto:TCaputi@Scottsdaleaz.gov)>; Whitehead, Solange <[SWhitehead@Scottsdaleaz.gov](mailto:SWhitehead@Scottsdaleaz.gov)>; Lipinski, Dave <[DLipinski@Scottsdaleaz.gov](mailto:DLipinski@Scottsdaleaz.gov)>; Worth, Daniel

<DaWorth@scottsdaleaz.gov>

**Subject:** FW: plans for the NAOS

Good morning Jesus,

Per our phone conversation can you assist with a response for Lori's question below about NAOS as it relates to our pipeline construction. I can provide the exhibits/plans she is requesting.

Thanks,

Jeremy

---

**From:** Lori Lundberg <[Loriscomputer@centurylink.net](mailto:Loriscomputer@centurylink.net)>

**Sent:** Sunday, August 08, 2021 9:08 PM

**To:** Richter, Jeremy <[JRichter@Scottsdaleaz.gov](mailto:JRichter@Scottsdaleaz.gov)>; Melnychenko, Mark <[MMelnychenko@Scottsdaleaz.gov](mailto:MMelnychenko@Scottsdaleaz.gov)>

**Cc:** Caputi, Tammy <[TCaputi@Scottsdaleaz.gov](mailto:TCaputi@Scottsdaleaz.gov)>; Whitehead, Solange <[SWhitehead@Scottsdaleaz.gov](mailto:SWhitehead@Scottsdaleaz.gov)>

**Subject:** plans for the NAOS

 **External Email: Please use caution if opening links or attachments!**

Mr. Richter and Mr. Melnychenko,

Please send me the plans for the NAOS behind my house in Pinnacle Peak Reserve. I want to see exactly where the plans are for the pipes.

Why was this not on the project website from the beginning? Why was this not mentioned in any of the email exchanges we had on that pipe purchase?

Also, please explain why our neighborhood is not receiving roundabouts and \$60,000 for noise abatement like those residences at the project widening Happy Valley at Pima and Alma School. We clearly meet all the same perimeters. I have requested a new noise study and you both have not responded to my last 2 emails.

I find it ridiculous that you are improving Happy Valley at that location and not where you plan to dump 7,500 cars/trucks/ etc. at the end of Miller Road. You are spending millions to move traffic .6 miles up the road from Pinnacle Peak to an unimproved Happy Valley Road. You are creating a tight funnel of traffic specifically through my neighborhood with absolutely no improvements or accommodations. And again, why now? When there is no development north on Happy Valley is the city spending \$14M.

I do not feel that this project has been presented with any level of transparency and that our neighborhood is being treated fairly. You are not being a “good neighbor” like you repeatedly stated in that zoom meeting. I await your response.

Lori Lundberg

## Murillo, Jesus

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**From:** Couch, Ashley  
**Sent:** Wednesday, September 08, 2021 4:37 PM  
**To:** Nancy Powers  
**Cc:** Lenore Simmons; Murillo, Jesus; Nazar Nabaty - FCDX; Mayor David D. Ortega; Janik, Betty; Tom Durham; Littlefield, Kathy; Solange Whitehead; Scott Ogden; Brock Barnhart; Jay Hicks (jay@digstudio.com); Stockwell, Brent; Grant, Randy; Clack, Michael; Anderson, Richard  
**Subject:** RE: Rawhide Wash Flood Hazard Mitigation Project (7-WM-20220)

Thank you for your input. The Rawhide Wash Flood Hazard Mitigation project team is working on a response to your e-mail below. We will reply to your e-mail as soon as it is finished.

Best regards,

C. Ashley Couch, P.E., CFM  
Drainage and Flood Control Program Manager  
Floodplain Administrator  
City of Scottsdale, Arizona  
480-312-4317  
[acouch@scottsdaleaz.gov](mailto:acouch@scottsdaleaz.gov)  
Stormwater Management Department  
7447 E Indian School Road, Suite 125  
Scottsdale, AZ 85251

---

**From:** Nancy Powers <nancepowers@yahoo.com>  
**Sent:** Thursday, September 2, 2021 2:04 PM  
**To:** Murillo, Jesus <JMurillo@ScottsdaleAz.Gov>; Couch, Ashley <ACouch@ScottsdaleAz.Gov>; Nazar Nabaty - FCDX <nazarnabaty@mail.maricopa.gov>; Mayor David D. Ortega <DOrtega@Scottsdaleaz.gov>; Janik, Betty <BJanik@Scottsdaleaz.gov>; Tom Durham <durhamforthecitizens@gmail.com>; Littlefield, Kathy <KLittlefield@Scottsdaleaz.gov>; Solange Whitehead <solange@mlsw.com>  
**Cc:** Lenore Simmons <lenore05@comcast.net>  
**Subject:** Fw: Rawhide Wash Flood Hazard Mitigation Project (7-WM-20220)

**⚠ External Email: Please use caution if opening links or attachments!**

RE: RAWHIDE WASH PROJECT

First let me say I hope that you and your families are all well.

I received the attached email addressed to Lenore Simmons who is my neighbor. I realize that this project is in it's final stages but I feel it necessary to send my final comments about this project. I would also like to inform those of you who do not live in North Scottsdale of how the wash has performed through this Monsoon 2021. Even on the days of the heaviest rain the wash did not cause any issues and, in fact, dried up within hours with not even a puddle remaining. (I have photos) The rain gauges never showed the numbers anywhere near those needed for 100 year flood which is the reason we were given that it needed to be remediated. The First Street Foundation disagreed with the Flood District's predictions and a meeting took place about why there was a difference of interpretation of the numbers. The First Street Foundation requested a continuance of discussions which never took place. Our rain gauges never showed the numbers of a 100 year flood and I was told they are not accurate, but it seems they are still being used on your rainfall charts so is that an inaccurate

number. Another question is the Flo-2 computer model that you use was established in 1986 and I wonder when it was last updated.

Finally, and most importantly, I, and many others, believe this project is happening to benefit development in Phoenix of the Paradise Ridge community and H.R. Horton developer. (which was verified by Ashley Couch that they will benefit) I know I have been told numerous times that this is to benefit the people who have to pay flood insurance but you will never convince me or others of that when the Rawhide Wash has never been a problem. It seems to me there are many other flood issues in both Phoenix and Scottsdale that are better served with remediation. The Rawhide Wash is a beautiful wash filled with vegetation and wildlife that will be destroyed for no reason.

I am not printing the entire memo here but just some of the highlights of how Phoenix and Paradise Ridge will be the ones benefitting from this project.

DATE: August 3, 2018 TO: Doug Frost – Phoenix Planning and Development Adam Miller – Phoenix Planning and Development FROM: W. Scott Ogden, P.E., CFM RE: Desert View Planning Area – Rawhide Wash Improvement Projections Project No. 8591000000; Contract No. 144007

The following memo has been prepared by JE Fuller Hydrology and Geomorphology, Inc. (JE Fuller) to provide a very preliminary analysis of costs and benefits associated with the construction of potential Rawhide Wash improvements in the northeastern portion of the City of Phoenix, that could be used for an initial review of the need/justification for a drainage impact fee or alternative funding/financing vehicle in affected areas of the Desert View Village Planning Area. The ultimate Rawhide Wash improvements are represented herein as two distinct phases of construction. Phase 1 will be the implementation of the Rawhide Wash Flood Hazard Mitigation Project (Rawhide FHMP) as currently being proposed and conceptualized by the Flood Control District of Maricopa County in partnership with the City of Scottsdale and City of Phoenix. Phase 2 will extend the Rawhide FHMP improvements from the downstream end of Phase 1 at Scottsdale Road, through the **Paradise Ridge** master planning area to the pool area of the USBR Reach 11 Dike No. 2 (USBR Dike). Each of these segments and the referenced planning areas are shown on Figure 1.

The total currently undeveloped area within the City of Phoenix that would benefit from construction of the Phase 1 and 2 Rawhide Wash improvements is approximately 2,670 acres of land with proposed land uses of single-family and multi-family residential, high and medium density commercial and resort-golf course. (which is Paradise Ridge)

I am not expecting any answers as it seems this will happen regardless but I fear that this remediation plan is going to make a perfectly functioning wash into a dangerous one with the drainage solutions I have seen that will force the water into a channel whereas now nature seems to be taking care of it quite well

Nancy Powers  
23684 N 75th Street.  
85255

----- Forwarded Message -----

**From:** LENORE SIMMONS <[lenore05@comcast.net](mailto:lenore05@comcast.net)>

**To:** Nancy Powers <[nancepowers@yahoo.com](mailto:nancepowers@yahoo.com)>

**Sent:** Thursday, September 2, 2021, 12:19:53 PM MST

**Subject:** Fwd: Rawhide Wash Flood Hazard Mitigation Project (7-WM-20220)

----- Original Message -----

From: "Murillo, Jesus" <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>

To: "Murillo, Jesus" <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>

Date: 09/01/2021 5:18 PM

Subject: Rawhide Wash Flood Hazard Mitigation Project (7-WM-20220)

Hello Everyone,

I Hope this email finds you all doing well. You are receiving this email because you have expressed interest in the above-mentioned project (**Rawhide Wash - 7-WM-2020**).

I wanted to first point out that this update is in regards to the Rawhide Wash flood hazard mitigation portion of the project, and **does not include the proposed improvements along N. Miller Road (bridge project)**. That particular portion of the Rawhide project has not been officially submitted for review as of yet. I will keep everyone posted when it is submitted for review.

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Please feel free to contact me with any further questions or comments.

Sincerely,

Jesús Murillo

Senior Planner

City of Scottsdale

Planning and Development Services

7447 E. Indian School Road, Ste. 105

Scottsdale, AZ 85251

Phone: 480-312-7849

Fax: 480-312-9037

Get informed!



## Murillo, Jesus

---

**From:** Richter, Jeremy  
**Sent:** Tuesday, September 07, 2021 1:34 PM  
**To:** jj.levine@cox.net; Smith, David R  
**Cc:** 'Nannette Trolene'; Smith, David R; Murillo, Jesus; Kercher, Phillip; Gurka, Keith  
**Subject:** RE: La Vista at Pinnacle Peak - Miller Rd Bridge  
**Attachments:** Miller Rd Draft Noise Report\_7.15.21.pdf

Good afternoon Joseph,

Attached is the draft noise report for Miller Rd. This draft report is based on our current design and can change if we have design changes. The sounds modeling was completed using the design speed of 40 MPH but the speed limit in this segment will be posted at 35 MPH.

David, Can you assist with the questions below about the posted speed changes on Miller Rd south of Pinnacle Peak?

Thanks,

---

**From:** jj.levine@cox.net <jj.levine@cox.net>  
**Sent:** Saturday, September 04, 2021 10:49 AM  
**To:** Richter, Jeremy <JRichter@Scottsdaleaz.gov>  
**Cc:** 'Nannette Trolene' <Nannette.Trolene@associa.us>; Smith, David R <DRSmith@Scottsdaleaz.gov>; Murillo, Jesus <JMurillo@ScottsdaleAz.Gov>; Kercher, Phillip <pker@scottsdaleaz.gov>; Gurka, Keith <KGurka@scottsdaleaz.gov>  
**Subject:** RE: La Vista at Pinnacle Peak - Miller Rd Bridge

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Was it performed prior to the speed limit being reduced to 40 MPH south of Pinnacle peak road?

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Thanks,

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Project Manager



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7447 E. Indian School Road, Suite 205  
Scottsdale, Arizona 85251  
Phone: (480) 312-7869  
Email: [jrichter@scottsdaleaz.gov](mailto:jrichter@scottsdaleaz.gov)  
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<https://www.scottsdaleaz.gov/construction/project-list/miller-road>

Thanks,  
Jeremy

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*Nannette Trolene, CMCA, AMS*

Community Manager

An Associa® Member Company

7500 N. Dobson Rd, Suite 150 Scottsdale, AZ 85256

Main:480-892-5222

Direct : 480-477-1824

Email: [Nannette.trolene@Associa.us](mailto:Nannette.trolene@Associa.us)

Did you know you can check your account online? You have 24hr access to view compliance details, account balance and history, and payment options. Visit [www.associaarizona.com](http://www.associaarizona.com) for this information and more.



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## Murillo, Jesus

---

**From:** Murillo, Jesus  
**Sent:** Tuesday, September 07, 2021 9:31 AM  
**To:** Md  
**Subject:** RE: Rawhide Wash Flood Hazard Mitigation Project (7-WM-20220)

Hello Margie,

The DRB meeting have not occurred yet, I will keep you posted.

Sincerely,

Jesús

---

**From:** Md <savagrey@gmail.com>  
**Sent:** Wednesday, September 01, 2021 6:54 PM  
**To:** Murillo, Jesus <JMurillo@ScottsdaleAz.Gov>  
**Subject:** Re: Rawhide Wash Flood Hazard Mitigation Project (7-WM-20220)

**⚠ External Email: Please use caution if opening links or attachments!**

Hi

Thank you for the update. I couldn't make the meeting but would like to know if it was recorded so I could view?

Thank you!

Margie D

"Saving one greyhound will not change the world, but for one dog the world will change. Change a world....adopt a greyhound, they're greyt!"

On Sep 1, 2021, at 3:19 PM, Murillo, Jesus <[JMurillo@scottsdaleaz.gov](mailto:JMurillo@scottsdaleaz.gov)> wrote:

Hello Everyone,

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Please feel free to contact me with any further questions or comments.

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Planning and Development Services  
7447 E. Indian School Road, Ste. 105  
Scottsdale, AZ 85251  
Phone: 480-312-7849  
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[<image001.png>](#)

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## Murillo, Jesus

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## Murillo, Jesus

---

**From:** Nancy Powers <nancepowers@yahoo.com>  
**Sent:** Thursday, September 02, 2021 2:04 PM  
**To:** Murillo, Jesus; Couch, Ashley; Nazar Nabaty - FCDX; Mayor David D. Ortega; Janik, Betty; Tom Durham; Littlefield, Kathy; Solange Whitehead  
**Cc:** Lenore Simmons  
**Subject:** Fw: Rawhide Wash Flood Hazard Mitigation Project (7-WM-20220)

**⚠ External Email: Please use caution if opening links or attachments!**

RE: RAWHIDE WASH PROJECT

First let me say I hope that you and your families are all well.

I received the attached email addressed to Lenore Simmons who is my neighbor. I realize that this project is in it's final stages but I feel it necessary to send my final comments about this project. I would also like to inform those of you who do not live in North Scottsdale of how the wash has performed through this Monsoon 2021. Even on the days of the heaviest rain the wash did not cause any issues and, in fact, dried up within hours with not even a puddle remaining. (I have photos) The rain gauges never showed the numbers anywhere near those needed for 100 year flood which is the reason we were given that it needed to be remediated. The First Street Foundation disagreed with the Flood District's predictions and a meeting took place about why there was a difference of interpretation of the numbers. The First Street Foundation requested a continuance of discussions which never took place. Our rain gauges never showed the numbers of a 100 year flood and I was told they are not accurate, but it seems they are still being used on your rainfall charts so is that an inaccurate number. Another question is the Flo-2 computer model that you use was established in 1986 and I wonder when it was last updated.

Finally, and most importantly, I, and many others, believe this project is happening to benefit development in Phoenix of the Paradise Ridge community and H.R. Horton developer. (which was verified by Ashley Couch that they will benefit) I know I have been told numerous times that this is to benefit the people who have to pay flood insurance but you will never convince me or others of that when the Rawhide Wash has never been a problem. It seems to me there are many other flood issues in both Phoenix and Scottsdale that are better served with remediation. The Rawhide Wash is a beautiful wash filled with vegetation and wildlife that will be destroyed for no reason.

I am not printing the entire memo here but just some of the highlights of how Phoenix and Paradise Ridge will be the ones benefitting from this project.

DATE: August 3, 2018 TO: Doug Frost – Phoenix Planning and Development Adam Miller – Phoenix Planning and Development FROM: W. Scott Ogden, P.E., CFM RE: Desert View Planning Area – Rawhide Wash Improvement Projections Project No. 8591000000; Contract No. 144007

The following memo has been prepared by JE Fuller Hydrology and Geomorphology, Inc. (JE Fuller) to provide a very preliminary analysis of costs and benefits associated with the construction of potential Rawhide Wash improvements in the northeastern portion of the City of Phoenix, that could be used for an initial review of the need/justification for a drainage impact fee or alternative funding/financing vehicle in affected areas of the Desert View Village Planning Area. The ultimate Rawhide Wash improvements are represented herein as two distinct phases of construction. Phase 1 will be the implementation of the Rawhide Wash Flood Hazard

Mitigation Project (Rawhide FHMP) as currently being proposed and conceptualized by the Flood Control District of Maricopa County in partnership with the City of Scottsdale and City of Phoenix. Phase 2 will extend the Rawhide FHMP improvements from the downstream end of Phase 1 at Scottsdale Road, through the **Paradise Ridge** master planning area to the pool area of the USBR Reach 11 Dike No. 2 (USBR Dike). Each of these segments and the referenced planning areas are shown on Figure 1.

The total currently undeveloped area within the City of Phoenix that would benefit from construction of the Phase 1 and 2 Rawhide Wash improvements is approximately 2,670 acres of land with proposed land uses of single-family and multi-family residential, high and medium density commercial and resort-golf course. (which is Paradise Ridge)

I am not expecting any answers as it seems this will happen regardless but I fear that this remediation plan is going to make a perfectly functioning wash into a dangerous one with the drainage solutions I have seen that will force the water into a channel whereas now nature seems to be taking care of it quite well

Nancy Powers  
23684 N 75th Street.  
85255

----- Forwarded Message -----

**From:** LENORE SIMMONS <lenore05@comcast.net>  
**To:** Nancy Powers <nancepowers@yahoo.com>  
**Sent:** Thursday, September 2, 2021, 12:19:53 PM MST  
**Subject:** Fwd: Rawhide Wash Flood Hazard Mitigation Project (7-WM-20220)

----- Original Message -----

From: "Murillo, Jesus" <JMurillo@ScottsdaleAz.Gov>  
To: "Murillo, Jesus" <JMurillo@ScottsdaleAz.Gov>  
Date: 09/01/2021 5:18 PM  
Subject: Rawhide Wash Flood Hazard Mitigation Project (7-WM-20220)

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Senior Planner

City of Scottsdale

Planning and Development Services

7447 E. Indian School Road, Ste. 105

Scottsdale, AZ 85251

Phone: 480-312-7849

Fax: 480-312-9037

Get informed!



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**Attachments:** COS-Miller Road-Plans-La Vista HOA-Grading Exhibit.pdf

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---

**From:** Nannette Trolene <[Nannette.Trolene@associa.us](mailto:Nannette.Trolene@associa.us)>  
**Sent:** Monday, August 23, 2021 1:21 PM  
**To:** Joseph Levine ([j.j.levine@cox.net](mailto:j.j.levine@cox.net)) <[j.j.levine@cox.net](mailto:j.j.levine@cox.net)>  
**Cc:** Nannette Trolene <[Nannette.Trolene@associa.us](mailto:Nannette.Trolene@associa.us)>  
**Subject:** FW: La Vista at Pinnacle Peak - Miller Rd Bridge

Joe,

Please see response below from Jeremy Richter... The link is included for those wanting information.

---

**From:** Richter, Jeremy <>  
**Sent:** Monday, August 23, 2021 10:36 AM  
**To:** Nannette Trolene <[Nannette.Trolene@associa.us](mailto:Nannette.Trolene@associa.us)>  
**Subject:** RE: La Vista at Pinnacle Peak - Miller Rd Bridge

[EXTERNAL EMAIL] This email originated from outside of Associa.

Good morning Nannette,

Please refer the residents to our project website at the link below. There they will find graphics, information and FAQs on the project. Let me know if you need any additional info.

<https://www.scottsdaleaz.gov/construction/project-list/miller-road>

Thanks,  
Jeremy

---

**From:** Nannette Trolene <[Nannette.Trolene@associa.us](mailto:Nannette.Trolene@associa.us)>  
**Sent:** Monday, August 23, 2021 9:00 AM  
**To:** Richter, Jeremy <[JRichter@Scottsdaleaz.gov](mailto:JRichter@Scottsdaleaz.gov)>  
**Cc:** Nannette Trolene <[Nannette.Trolene@associa.us](mailto:Nannette.Trolene@associa.us)>  
**Subject:** La Vista at Pinnacle Peak - Miller Rd Bridge  
**Importance:** High

 **External Email: Please use caution if opening links or attachments!**

Hi Jeremy,

I tried to call you and leave a message but your mailbox is full. Do you have any printed materials on the Miller Road bridge that we can post on the La Vista website – Residents that were not present at the meeting are anxious to learn about the project. My cell number is 602-694-4612. Thank you.

***Nannette Trolene, CMCA, AMS***

Community Manager

An Associa® Member Company

7500 N. Dobson Rd, Suite 150 Scottsdale, AZ 85256

Main:480-892-5222

Direct : 480-477-1824

Email: [Nannette.trolene@Associa.us](mailto:Nannette.trolene@Associa.us)

**Did you know you can check your account online? You have 24hr access to view compliance details, account balance and history, and payment options. Visit [www.associaarizona.com](http://www.associaarizona.com) for this information and more.**



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<http://search.google.com/local/writereview?placeid=ChIJdXWLNULKK4cRNPH3LrfCWxE>



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This communication does not reflect an intention by the sender or the sender's client or principal to conduct a transaction or make any agreement by electronic means. Nothing contained in this message or in any attachment shall satisfy the requirements for a writing, and nothing contained herein shall constitute a contract or electronic signature

under the Electronic Signatures in Global and National Commerce Act, any version of the Uniform Electronic Transactions Act or any other statute governing electronic transactions.



## Murillo, Jesus

---

**From:** Md <savagrey@gmail.com>  
**Sent:** Wednesday, September 01, 2021 6:54 PM  
**To:** Murillo, Jesus  
**Subject:** Re: Rawhide Wash Flood Hazard Mitigation Project (7-WM-20220)

**⚠ External Email: Please use caution if opening links or attachments!**

Hi

Thank you for the update. I couldn't make the meeting but would like to know if it was recorded so I could view?

Thank you!

Margie D

"Saving one greyhound will not change the world, but for one dog the world will change. Change a world....adopt a greyhound, they're greyt!"

On Sep 1, 2021, at 3:19 PM, Murillo, Jesus <JMurillo@scottsdaleaz.gov> wrote:

Hello Everyone,

I Hope this email finds you all doing well. You are receiving this email because you have expressed interest in the above-mentioned project (**Rawhide Wash - 7-WM-2020**).

I wanted to first point out that this update is in regards to the Rawhide Wash flood hazard mitigation portion of the project, and **does not include the proposed improvements along N. Miller Road (bridge project)**. That particular portion of the Rawhide project has not been officially submitted for review as of yet. I will keep everyone posted when it is submitted for review.

The materials for the Rawhide Flood Control project were resubmitted, and are currently under review. The resubmittal still need to receive reviews from a couple of the City's departments. Having said this, it appears as though the project may be slated to be scheduled to be heard by the Development Review Board. The resubmittal was complete and appears to have addressed the majority of staff's concerns. Again, there are still a couple departments that will confirm or deny this outcome. I thought it best to give an update at this point, rather than later.

Please feel free to contact me with any further questions or comments.

Sincerely,

Jesús Murillo

Senior Planner  
City of Scottsdale  
Planning and Development Services  
7447 E. Indian School Road, Ste. 105  
Scottsdale, AZ 85251  
Phone: 480-312-7849  
Fax: 480-312-9037

Get informed!

<image001.png>

<image002.png>

<image003.png>

## Murillo, Jesus

---

**From:** Joe Keyser <joeowenk@icloud.com>  
**Sent:** Wednesday, September 01, 2021 4:22 PM  
**To:** Murillo, Jesus  
**Subject:** Re: Rawhide Wash Flood Hazard Mitigation Project (7-WM-20220)

**⚠ External Email: Please use caution if opening links or attachments!**

Hi Jesus,

Thanks for the update.

I see stickers on almost all of the plants & cactuses when I jog through the wash. I don't think that that all needs to be torn up, and would be tragic if they do that and kill all the wildlife.

I would think the bridge over the wash on pinnacle peak is a potential problem in a "100 yr flood" and could get plugged up there. That is probably where the focus should be, that and less multi-family development & fewer skyscrapers. I know you aren't the city council, but someone is clearly greasing them with a lot of \$'s...

Thanks again,

Joe

Sent from my iPhone

On Sep 1, 2021, at 4:06 PM, Murillo, Jesus <JMurillo@scottsdaleaz.gov> wrote:

Hello Joe,

The project has been refined, and took all precautions to make sure the minimum amount of disturbance was taken,

Sincerely,

Jesús

---

**From:** Joe Keyser <joeowenk@icloud.com>  
**Sent:** Wednesday, September 01, 2021 3:25 PM  
**To:** Murillo, Jesus <JMurillo@ScottsdaleAz.Gov>  
**Subject:** Re: Rawhide Wash Flood Hazard Mitigation Project (7-WM-20220)

**⚠ External Email: Please use caution if opening links or attachments!**

Thank you for the update. Please don't go tear up the wash as previously planned. Would be a sad day.  
Thanks again,

Joe

Sent from my iPhone

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Fax: 480-312-9037

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<[image001.png](#)>

<[image002.png](#)>

<[image003.png](#)>

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**To:** Murillo, Jesus <JMurillo@ScottsdaleAz.Gov>  
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## Murillo, Jesus

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<image002.png>

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**Subject:** Rawhide Wash Flood Hazard Mitigation Project (7-WM-20220)

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## Murillo, Jesus

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**To:** Murillo, Jesus  
**Subject:** Rawhide Wash Flood Hazard Mitigation Project (7-WM-20220)

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Scottsdale, AZ 85251  
Phone: 480-312-7849  
Fax: 480-312-9037

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## Murillo, Jesus

---

**From:** Murillo, Jesus  
**Sent:** Friday, August 27, 2021 5:45 PM  
**To:** dl  
**Subject:** RE: N. Miller Road Improvements (Rawhide Wash)

Hello Dan,

The Pre-Application number is 350-PA-2021, but this project will be provided a case number with once it is submitted. The case has not be formally submitted as of yet.

Sincerely,

Jesús

---

**From:** dl <dl@centurylink.net>  
**Sent:** Thursday, August 26, 2021 7:24 PM  
**To:** Murillo, Jesus <JMurillo@ScottsdaleAz.Gov>  
**Subject:** RE: N. Miller Road Improvements (Rawhide Wash)

**⚠ External Email: Please use caution if opening links or attachments!**

What is the project number for Miller Rd.?

Thx...

Sent from my Verizon, Samsung Galaxy smartphone

----- Original message -----

From: "Murillo, Jesus" <JMurillo@ScottsdaleAz.Gov>  
Date: 8/26/21 7:08 PM (GMT-07:00)  
To: "Dan L." <DL@centurylink.net>  
Cc: 'Lori Lundberg' <Loriscomputer@centurylink.net>  
Subject: RE: N. Miller Road Improvements (Rawhide Wash)

Hello Dan,

The project number for the Rawhide was project is 7-WM-2020. There is no General Plan amendment associated with this project.

I do want to point out that the "Rawhide" drainage project is different than the "Miller Road" Rawhide project. The "Miller Road" project has not officially been submitted as of yet.

I hope this helps. Please feel free to contact me with any further questions or comments.

Sincerely,

Jesús

---

**From:** Dan L. <[DL@centurylink.net](mailto:DL@centurylink.net)>  
**Sent:** Monday, August 23, 2021 4:47 PM  
**To:** Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>  
**Cc:** 'Lori Lundberg' <[Loriscomputer@centurylink.net](mailto:Loriscomputer@centurylink.net)>  
**Subject:** RE: N. Miller Road Improvements (Rawhide Wash)

 **External Email: Please use caution if opening links or attachments!**

Jesus,

What is the General Plan number for this project?

BR,

Dan

---

**From:** Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>  
**Sent:** Tuesday, April 27, 2021 6:41 PM  
**To:** Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>  
**Subject:** N. Miller Road Improvements (Rawhide Wash)

Hello Everyone,

I hope this email finds you doing well. If you are receiving this email, it is because you have expressed interest in the City's Rawhide Wash and/or N. Miller Road projects. In particular, you have expressed interest directly to me.

This particular email is in relationship to the N. Miller Road improvements. The project is currently in the design phase. As the project progresses, there will be opportunities for public involvement. The project will undergo a few design phases and will be evaluated by the Transportation Commission and Design Review Board prior to construction contracts being awarded by the City Council.

Staff has uploaded to the internet a presentation and project materials. Please follow the link below, and feel free to provide me with any further questions or comments. I hope the webpage will provide more detailed information for this project.

There will also be the ability to submit a comment card through this same webpage.

<https://www.scottsdaleaz.gov/construction/project-list/miller-road>

Sincerely,

Jesús Murillo

Senior Planner

City of Scottsdale

Planning and Development Services

7447 E. Indian School Road, Ste. 105

Scottsdale, AZ 85251

Phone: 480-312-7849

Fax: 480-312-9037

Get informed!



## Murillo, Jesus

---

**From:** dl <dl@centurylink.net>  
**Sent:** Thursday, August 26, 2021 7:24 PM  
**To:** Murillo, Jesus  
**Subject:** RE: N. Miller Road Improvements (Rawhide Wash)

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----- Original message -----

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Cc: 'Lori Lundberg' <Loriscomputer@centurylink.net>  
Subject: RE: N. Miller Road Improvements (Rawhide Wash)

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I do want to point out that the "Rawhide" drainage project is different than the "Miller Road" Rawhide project. The "Miller Road" project has not officially been submitted as of yet.

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Sincerely,

Jesús

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**Sent:** Monday, August 23, 2021 4:47 PM  
**To:** Murillo, Jesus <JMurillo@ScottsdaleAz.Gov>  
**Cc:** 'Lori Lundberg' <Loriscomputer@centurylink.net>  
**Subject:** RE: N. Miller Road Improvements (Rawhide Wash)

 **External Email: Please use caution if opening links or attachments!**

Jesus,

What is the General Plan number for this project?

BR,

Dan

---

**From:** Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>  
**Sent:** Tuesday, April 27, 2021 6:41 PM  
**To:** Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>  
**Subject:** N. Miller Road Improvements (Rawhide Wash)

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Phone: 480-312-7849

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## Murillo, Jesus

---

**From:** Murillo, Jesus  
**Sent:** Thursday, August 26, 2021 7:09 PM  
**To:** Dan L.  
**Cc:** 'Lori Lundberg'  
**Subject:** RE: N. Miller Road Improvements (Rawhide Wash)

Hello Dan,

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I hope this helps. Please feel free to contact me with any further questions or comments.

Sincerely,

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**From:** Dan L. <DL@centurylink.net>  
**Sent:** Monday, August 23, 2021 4:47 PM  
**To:** Murillo, Jesus <JMurillo@ScottsdaleAz.Gov>  
**Cc:** 'Lori Lundberg' <Loriscomputer@centurylink.net>  
**Subject:** RE: N. Miller Road Improvements (Rawhide Wash)

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**From:** Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>  
**Sent:** Tuesday, April 27, 2021 6:41 PM  
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**Subject:** N. Miller Road Improvements (Rawhide Wash)

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**To:** Murillo, Jesus  
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**Subject:** RE: N. Miller Road Improvements (Rawhide Wash)

**⚠ External Email: Please use caution if opening links or attachments!**

Jesus,

What is the General Plan number for this project?

BR,  
Dan

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**Subject:** N. Miller Road Improvements (Rawhide Wash)

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Phone: 480-312-7849  
Fax: 480-312-9037

Get informed!



## Murillo, Jesus

---

**From:** Fredric White <fgwiv05@gmail.com>  
**Sent:** Saturday, August 07, 2021 3:32 PM  
**To:** Murillo, Jesus  
**Subject:** Rawhide Wash Project

**⚠ External Email: Please use caution if opening links or attachments!**

Good afternoon,

I am not sure if you would be able to assist or if you could put me in touch with Jeremy Richter. We recently had a meeting with him and he mentioned one of the positives coming out of the rawhide wash project would be that portions of the community would no longer need to pay for flood insurance on their homes.

I was hoping to get a map of what areas this would impact?? We have corresponded on the topic before and I am trying to find out as I am the HOA president of the Pinnacle Reserve community where the road will be built through.

Thank you,

Fredric White

## Murillo, Jesus

---

**From:** jj.levine@cox.net  
**Sent:** Tuesday, July 20, 2021 7:15 PM  
**To:** Smith, David R  
**Cc:** Kercher, Phillip; Murillo, Jesus; Nannette.Trolene@associa.us; shay.noonan.az@gmail.com; 'Ed Toschik'; 'Tom Bethune'; 'Aaron Brown'  
**Subject:** RE: Turn lanes on Pinnacle Peak Road  
**Attachments:** IMG\_0189.JPG; IMG\_0190.JPG; IMG\_0192.JPG

**⚠ External Email: Please use caution if opening links or attachments!**

Thank you, David!

Well done. I just hope that in the very near future we can have a little longer turn lane for turning north onto 76<sup>th</sup> street. 1 request, a no left turn sign facing west bound traffic for turning into that shopping center.

I really do appreciate what you have done.

Thank you,  
Joe Levine

---

**From:** Smith, David R <DRSmith@Scottsdaleaz.gov>  
**Sent:** Tuesday, July 20, 2021 4:30 PM  
**To:** jj.levine@cox.net  
**Cc:** Kercher, Phillip <pker@scottsdaleaz.gov>; Murillo, Jesus <JMurillo@ScottsdaleAz.Gov>  
**Subject:** RE: Turn lanes on Pinnacle Peak Road

Mr. Levine:

See attached photos of work our operations crew recently completed to assist with some of the concerns you voiced earlier this year (far below). Also, I've provided a brief update below in blue.

Note, too, we will continue to work with enforcement on the speeding concerns and will also be re-evaluating traffic control in the surrounding area as part of the City project to span Rawhide Wash along the Miller Road alignment from Pinnacle Peak north to Happy Valley Road.

Feel free to forward to anyone you think may have an interest in this information.

Thanks again for bringing these matters to our attention.

David R. Smith, PE, P.T.O.E. | [Senior Traffic Engineer](#)  
[City of Scottsdale](#) | 7447 E. Indian School Rd., Ste. 205 | Scottsdale, Arizona 85251  
Main line: (480) 312-7613 | E-mail: [DRSmith@scottsdaleaz.gov](mailto:DRSmith@scottsdaleaz.gov)



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**From:** Smith, David R  
**Sent:** Monday, May 3, 2021 8:22 AM

To: [j.j.levine@cox.net](mailto:j.j.levine@cox.net)

Cc: 'Nannette Trolene' <[Nannette.Trolene@associa.us](mailto:Nannette.Trolene@associa.us)>; [shay.noonan.az@gmail.com](mailto:shay.noonan.az@gmail.com); 'Ed Toschik' <[Ed.toschik@gmail.com](mailto:Ed.toschik@gmail.com)>; 'Tom Bethune' <[tbethune@earthlink.net](mailto:tbethune@earthlink.net)>; 'Aaron Brown' <[aaronb@lhmfinancial.com](mailto:aaronb@lhmfinancial.com)>; Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>; Kercher, Phillip <[pker@scottsdaleaz.gov](mailto:pker@scottsdaleaz.gov)>; Gurka, Keith <[KGurka@scottsdaleaz.gov](mailto:KGurka@scottsdaleaz.gov)>

**Subject:** RE: Turn lanes on Pinnacle Peak Road

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Forward to today – we are in the process of determining the most effective mitigation to discourage the southbound left turn into the westernmost driveway access to Sunset at Pinnacle Peak retail complex. This behavior was observed and is not desirable, particularly during the busiest times of day. Access can be made to all areas of the retail center via the easternmost driveway (across from N 77<sup>th</sup> Street), and many vehicles were observed to utilize it as the preferred access regardless of their observed destination in the complex. **See attached photos. We will continue to monitor to gauge effectiveness.**

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**Subject:** RE: Turn lanes on Pinnacle Peak Road  
**Importance:** High

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David,

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This is a problem now!

Please reply.

In the pursuit of finding a new *NORMAL* in 2021,

*Joseph J. Levine*

La Vista HOA Preident

EMAIL [JJ.Levine@cox.net](mailto:JJ.Levine@cox.net)

[Joe at LinkedIN](#)

I CAN HANDLE ANYTHING LIFE THROWS AT ME.

I may not always handle it well, but I will handle it!!

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**Sent:** Thursday, March 4, 2021 9:11 AM  
**To:** [j.j.levine@cox.net](mailto:j.j.levine@cox.net)  
**Cc:** 'Nannette Trolene' <[Nannette.Trolene@associa.us](mailto:Nannette.Trolene@associa.us)>; Kercher, Phillip <[pkcr@scottsdaleaz.gov](mailto:pkcr@scottsdaleaz.gov)>  
**Subject:** RE: Turn lanes on Pinnacle Peak Road

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I was able to observe some of the driver behavior described in the January 24<sup>th</sup> email below during the 3:30-4:30 timeframe. I did not see these behaviors very occur often during my observation period; however there are some measures I will discuss with our team to evaluate the need for potential mitigation.

Thank you for your feedback.

David

David R. Smith, PE, P.T.O.E. | [Senior Traffic Engineer](#)

[City of Scottsdale](#) | 7447 E. Indian School Rd., Ste. 205 | Scottsdale, Arizona 85251

Main line: (480) 312-7613 | E-mail: [DRSmith@scottsdaleaz.gov](mailto:DRSmith@scottsdaleaz.gov)



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**From:** [j.j.levine@cox.net](mailto:j.j.levine@cox.net) <[j.j.levine@cox.net](mailto:j.j.levine@cox.net)>  
**Sent:** Wednesday, March 3, 2021 4:51 PM  
**To:** Smith, David R <[DRSmith@Scottsdaleaz.gov](mailto:DRSmith@Scottsdaleaz.gov)>  
**Cc:** 'Nannette Trolene' <[Nannette.Trolene@associa.us](mailto:Nannette.Trolene@associa.us)>  
**Subject:** RE: Turn lanes on Pinnacle Peak Road

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David,

Was that you I saw hitting your brakes pretty hard to turn into my development today? You barely made it through the light at Miller Rd. I was behind you.

Now you see how short that turn lane is.

What is your assessment?

*Joseph Levine*

**I CAN HANDLE ANYTHING LIFE THROWS AT ME.**

**I may not always handle it well, but I will handle it!!**

---

**From:** Smith, David R <[DRSmith@Scottsdaleaz.gov](mailto:DRSmith@Scottsdaleaz.gov)>  
**Sent:** Tuesday, February 9, 2021 7:23 AM  
**To:** [j.j.levine@cox.net](mailto:j.j.levine@cox.net)  
**Cc:** Kercher, Phillip <[pker@scottsdaleaz.gov](mailto:pker@scottsdaleaz.gov)>; 'Aaron Brown' <[aaronb@cnnmortgage.com](mailto:aaronb@cnnmortgage.com)>; 'Shay Noonan' <[shay.noonan.az@gmail.com](mailto:shay.noonan.az@gmail.com)>; 'Ed Toschik' <[ed.toschik@naihorizon.com](mailto:ed.toschik@naihorizon.com)>; 'Tom Bethune' <[tbethune@earthlink.net](mailto:tbethune@earthlink.net)>; Worth, Daniel <[DaWorth@scottsdaleaz.gov](mailto:DaWorth@scottsdaleaz.gov)>; 'Nannette Trolene' <[Nannette.Trolene@associa.us](mailto:Nannette.Trolene@associa.us)>; Melnychenko, Mark <[MMelnychenko@Scottsdaleaz.gov](mailto:MMelnychenko@Scottsdaleaz.gov)>  
**Subject:** RE: Turn lanes on Pinnacle Peak Road

Mr. Levine:

Thank you for your feedback.

I will do additional observations during the time frame mentioned (3:30-4:00p) in the upcoming weeks and follow-up on what I observe.

Thanks again,  
David

David R. Smith, PE, P.T.O.E. | **Senior Traffic Engineer**  
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Main line: (480) 312-7613 | E-mail: [DRSmith@scottsdaleaz.gov](mailto:DRSmith@scottsdaleaz.gov)



---

**From:** [j.j.levine@cox.net](mailto:j.j.levine@cox.net) <[j.j.levine@cox.net](mailto:j.j.levine@cox.net)>  
**Sent:** Saturday, February 6, 2021 2:38 PM  
**To:** Smith, David R <[DRSmith@Scottsdaleaz.gov](mailto:DRSmith@Scottsdaleaz.gov)>

Cc: Kercher, Phillip <[pker@scottsdaleaz.gov](mailto:pker@scottsdaleaz.gov)>; 'Aaron Brown' <[aaronb@cnnmortgage.com](mailto:aaronb@cnnmortgage.com)>; 'Shay Noonan' <[shay.noonan.az@gmail.com](mailto:shay.noonan.az@gmail.com)>; 'Ed Toschik' <[ed.toschik@naihORIZON.com](mailto:ed.toschik@naihORIZON.com)>; 'Tom Bethune' <[tbethune@earthlink.net](mailto:tbethune@earthlink.net)>; Worth, Daniel <[DaWorth@scottsdaleaz.gov](mailto:DaWorth@scottsdaleaz.gov)>; 'Nannette Trolene' <[Nannette.Trolene@associa.us](mailto:Nannette.Trolene@associa.us)>; Melnychenko, Mark <[MMelnychenko@Scottsdaleaz.gov](mailto:MMelnychenko@Scottsdaleaz.gov)>

**Subject:** RE: Turn lanes on Pinnacle Peak Road

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David,

Thank you for that quick response and the observational report.

Here is my suggestions for your next observation.

Prior to observing please drive this scenario; From Scottsdale Road at the speed limit, pull into the left turn lane to come north into our community. You will notice that if you need to stop for oncoming traffic, you will need to provide an excessive amount of braking to come to a stop. That is if you don't turn into that lane prematurely, prior of the yellow line.

While you are observing watch the people coming from the direction of Pima road and how start to pull into the turn lane prematurely, prior of the yellow line, to turn south on Miller Road.

In this situation the east bound turn lane for La Vista is considerably too short and possibly a median may be required to separate the two directions of traffic.

I personally have been in both those situation multiple time on my way home from work, generally around 3:30 to 4:30 pm.

In the pursuit of finding a new *NORMAL* in 2021,

*Joseph J. Levine*

La Vista HOA Preident

ARC Committee Chair

EMAIL [J.J.Levine@cox.net](mailto:J.J.Levine@cox.net)

[Joe at LinkedIn](#)

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---

**From:** Smith, David R <[DRSmith@Scottsdaleaz.gov](mailto:DRSmith@Scottsdaleaz.gov)>

**Sent:** Monday, February 1, 2021 10:23 AM

**To:** [j.j.levine@cox.net](mailto:j.j.levine@cox.net)

**Cc:** Kercher, Phillip <[pker@scottsdaleaz.gov](mailto:pker@scottsdaleaz.gov)>

**Subject:** RE: Turn lanes on Pinnacle Peak Road

Hello, Mr. Levine.

My name is David Smith and I am the City's Traffic Engineer that was asked to take a closer look at your concerns below at Pinnacle Peak at/near the intersection with 77<sup>th</sup> Street.

I had the opportunity to do some observations last week and also to pull our collision history at/near the subject location. I was out on site for approximately one hour around noon. I chose this time because the Soul Café seemed to be the retail establishment that would draw most traffic on the north side of the Sunset at Pinnacle Peak Center. The south side of the Center appears to have more retail shops that would tend to attract more vehicles, but it seems logical those patrons would utilize Miller Road accesses.

Understanding that I was only on-site for a short period of time, I did not observe the behavior you describe below. Since you are most familiar with the issues you raise, can you suggest a time that may be more appropriate than

mid-day peak, such as morning (7-9a) or afternoon (4-6p) that may reproduce some of the activity you are describing below?

In terms of collision history – working with our PD database, I did not find any collisions at 77<sup>th</sup> Street and Pinnacle Peak for 2019 and 2020. There were three (3) collisions – one (1) per year – between 2016-2018. That said, I understand your concerns are since the realignment of 77<sup>th</sup> Street and moving forward.

There are potential mitigation measures that can be considered but it would also help to witness these behaviors to get the best understanding what, if anything, needs to be considered. Your assistance with that effort, presuming my observation was not during the typical times you are witnessing these driver behaviors, is appreciated.

My contact information is also listed below should you wish to speak further in person.

David R. Smith, PE, P.T.O.E. | [Senior Traffic Engineer](#)  
[City of Scottsdale](#) | 7447 E. Indian School Rd., Ste. 205 | Scottsdale, Arizona 85251  
Main line: (480) 312-7613 | E-mail: [DRSmith@scottsdaleaz.gov](mailto:DRSmith@scottsdaleaz.gov)



---

**From:** Kercher, Phillip  
**Sent:** Sunday, January 24, 2021 8:27 PM  
**To:** 'j.j.levine@cox.net' <[j.j.levine@cox.net](mailto:j.j.levine@cox.net)>  
**Cc:** Melnychenko, Mark <[MMelnynchenko@Scottsdaleaz.gov](mailto:MMelnynchenko@Scottsdaleaz.gov)>; Worth, Daniel <[DaWorth@scottsdaleaz.gov](mailto:DaWorth@scottsdaleaz.gov)>  
**Subject:** RE: Turn lanes on Pinnacle Peak Road

Mr. Levine:

Thanks for bringing these concerns to our attention. We will do some observations on Pinnacle Peak Road to determine if the street realignment and new pavement marking are causing the driver confusion that you have described.

Phillip H. Kercher, PE, P.T.O.E.  
TRAFFIC ENGINEERING MANAGER  
CITY OF SCOTTSDALE  
480-312-7645

---

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**Subject:** Turn lanes on Pinnacle Peak Road  
**Importance:** High

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Good Morning Transportation and Streets people,

Recently Pinnacle Peak and 77<sup>th</sup> street has been realigned with the shopping center to the south. This was a great move, but it is causing considerable issues with turning north into the La Vista property. I walk this area a lot and I also have had most of these experiences...

Issues on Pinnacle Peak Road concerning the east bound left turn lane

1. The turn lane headed east to turn north is shorter than it used to be. This causes people to slow down considerably on Pinnacle prior to veering into that short turn lane. I have seen multiple times when people are nearly rear ended there.
2. Also with that turn lane. People headed west are used to turning into the second (closer to Miller road) entrance and trying to get into the turn lane where drivers would be going north into La Vista resulting in near head-on collisions.

Issues on Pinnacle Peak Road concerning the west bound right turn lane

1. This right turn lane is also very short and come up without any warning on drivers who know it's there. Like there is no warning that it's there. ALSO, people who have been using these two lanes at Miller road (and are also speeding) start to veer into that lane even if the car ahead of them has their right turn blinker on.

I hope that there are solutions for these issues in the near future. Call me if you have any questions - Joe (602) 568-0192. Looking forward to hear a response.

In the pursuit of finding a new *NORMAL* in 2021,

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La Vista HOA President

ARC Committee Chair

EMAIL [JJ.Levine@cox.net](mailto:JJ.Levine@cox.net)

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## Murillo, Jesus

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**To:** j.j.levine@cox.net  
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Note, too, we will continue to work with enforcement on the speeding concerns and will also be re-evaluating traffic control in the surrounding area as part of the City project to span Rawhide Wash along the Miller Road alignment from Pinnacle Peak north to Happy Valley Road.

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David

David R. Smith, PE, P.T.O.E. | [Senior Traffic Engineer](#)

[City of Scottsdale](#) | 7447 E. Indian School Rd., Ste. 205 | Scottsdale, Arizona 85251

Main line: (480) 312-7613 | E-mail: [DRSmith@scottsdaleaz.gov](mailto:DRSmith@scottsdaleaz.gov)



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**From:** [j.j.levine@cox.net](mailto:j.j.levine@cox.net) <[j.j.levine@cox.net](mailto:j.j.levine@cox.net)>

**Sent:** Wednesday, March 3, 2021 4:51 PM

**To:** Smith, David R <[DRSmith@Scottsdaleaz.gov](mailto:DRSmith@Scottsdaleaz.gov)>

**Cc:** 'Nannette Trolene' <[Nannette.Trolene@associa.us](mailto:Nannette.Trolene@associa.us)>

**Subject:** RE: Turn lanes on Pinnacle Peak Road

**⚠ External Email: Please use caution if opening links or attachments!**

David,

Was that you I saw hitting your brakes pretty hard to turn into my development today? You barely made it through the light at Miller Rd. I was behind you.

Now you see how short that turn lane is.

What is your assessment?

Joseph Levine

I CAN HANDLE ANYTHING LIFE THROWS AT ME.

I may not always handle it well, but I will handle it!!

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**From:** Smith, David R <[DRSmith@Scottsdaleaz.gov](mailto:DRSmith@Scottsdaleaz.gov)>

**Sent:** Tuesday, February 9, 2021 7:23 AM

**To:** [j.j.levine@cox.net](mailto:j.j.levine@cox.net)

**Cc:** Kercher, Phillip <[pker@scottsdaleaz.gov](mailto:pker@scottsdaleaz.gov)>; 'Aaron Brown' <[aaronb@cnnmortgage.com](mailto:aaronb@cnnmortgage.com)>; 'Shay Noonan' <[shay.noonan.az@gmail.com](mailto:shay.noonan.az@gmail.com)>; 'Ed Toschik' <[ed.toschik@naihorizon.com](mailto:ed.toschik@naihorizon.com)>; 'Tom Bethune' <[tbethune@earthlink.net](mailto:tbethune@earthlink.net)>; Worth, Daniel <[DaWorth@scottsdaleaz.gov](mailto:DaWorth@scottsdaleaz.gov)>; 'Nannette Trolene' <[Nannette.Trolene@associa.us](mailto:Nannette.Trolene@associa.us)>; Melnychenko, Mark <[MMelnychenko@Scottsdaleaz.gov](mailto:MMelnychenko@Scottsdaleaz.gov)>

**Subject:** RE: Turn lanes on Pinnacle Peak Road

Mr. Levine:

Thank you for your feedback.

I will do additional observations during the time frame mentioned (3:30-4:00p) in the upcoming weeks and follow-up on what I observe.

Thanks again,  
David

David R. Smith, PE, P.T.O.E. | **Senior Traffic Engineer**  
**City of Scottsdale** | 7447 E. Indian School Rd., Ste. 205 | Scottsdale, Arizona 85251  
Main line: (480) 312-7613 | E-mail: [DRSmith@scottsdaleaz.gov](mailto:DRSmith@scottsdaleaz.gov)



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**From:** [j.j.levine@cox.net](mailto:j.j.levine@cox.net) <[j.j.levine@cox.net](mailto:j.j.levine@cox.net)>

**Sent:** Saturday, February 6, 2021 2:38 PM

**To:** Smith, David R <[DRSmith@Scottsdaleaz.gov](mailto:DRSmith@Scottsdaleaz.gov)>

**Cc:** Kercher, Phillip <[pker@scottsdaleaz.gov](mailto:pker@scottsdaleaz.gov)>; 'Aaron Brown' <[aaronb@cnnmortgage.com](mailto:aaronb@cnnmortgage.com)>; 'Shay Noonan' <[shay.noonan.az@gmail.com](mailto:shay.noonan.az@gmail.com)>; 'Ed Toschik' <[ed.toschik@naihorizon.com](mailto:ed.toschik@naihorizon.com)>; 'Tom Bethune' <[tbethune@earthlink.net](mailto:tbethune@earthlink.net)>; Worth, Daniel <[DaWorth@scottsdaleaz.gov](mailto:DaWorth@scottsdaleaz.gov)>; 'Nannette Trolene' <[Nannette.Trolene@associa.us](mailto:Nannette.Trolene@associa.us)>; Melnychenko, Mark <[MMelnychenko@Scottsdaleaz.gov](mailto:MMelnychenko@Scottsdaleaz.gov)>

**Subject:** RE: Turn lanes on Pinnacle Peak Road

**⚠ External Email: Please use caution if opening links or attachments!**

David,

Thank you for that quick response and the observational report.

Here is my suggestions for your next observation.

Prior to observing please drive this scenario; From Scottsdale Road at the speed limit, pull into the left turn lane to come north into our community. You will notice that if you need to stop for oncoming traffic, you will need to provide an excessive amount of braking to come to a stop. That is if you don't turn into that lane prematurely, prior of the yellow line.

While you are observing watch the people coming from the direction of Pima road and how start to pull into the turn lane prematurely, prior of the yellow line, to turn south on Miller Road.

In this situation the east bound turn lane for La Vista is considerably too short and possibly a median may be required to separate the two directions of traffic.

I personally have been in both those situation multiple time on my way home from work, generally around 3:30 to 4:30 pm.

In the pursuit of finding a new *NORMAL* in 2021,

**Joseph J. Levine**

La Vista HOA Preident

ARC Committee Chair

EMAIL [J.J.Levine@cox.net](mailto:J.J.Levine@cox.net)

[Joe at LinkedIN](#)

I CAN HANDLE ANYTHING LIFE THROWS AT ME.

I may not always handle it well, but I will handle it!!

---

**From:** Smith, David R <[DRSmith@Scottsdaleaz.gov](mailto:DRSmith@Scottsdaleaz.gov)>

**Sent:** Monday, February 1, 2021 10:23 AM

**To:** [j.j.levine@cox.net](mailto:j.j.levine@cox.net)

**Cc:** Kercher, Phillip <[pker@scottsdaleaz.gov](mailto:pker@scottsdaleaz.gov)>

**Subject:** RE: Turn lanes on Pinnacle Peak Road

Hello, Mr. Levine.

My name is David Smith and I am the City's Traffic Engineer that was asked to take a closer look at your concerns below at Pinnacle Peak at/near the intersection with 77<sup>th</sup> Street.

I had the opportunity to do some observations last week and also to pull our collision history at/near the subject location. I was out on site for approximately one hour around noon. I chose this time because the Soul Café seemed to be the retail establishment that would draw most traffic on the north side of the Sunset at Pinnacle Peak Center. The south side of the Center appears to have more retail shops that would tend to attract more vehicles, but it seems logical those patrons would utilize Miller Road accesses.

Understanding that I was only on-site for a short period of time, I did not observe the behavior you describe below. Since you are most familiar with the issues you raise, can you suggest a time that may be more appropriate than mid-day peak, such as morning (7-9a) or afternoon (4-6p) that may reproduce some of the activity you are describing below?

In terms of collision history – working with our PD database, I did not find any collisions at 77<sup>th</sup> Street and Pinnacle Peak for 2019 and 2020. There were three (3) collisions – one (1) per year – between 2016-2018. That said, I understand your concerns are since the realignment of 77<sup>th</sup> Street and moving forward.

There are potential mitigation measures that can be considered but it would also help to witness these behaviors to get the best understanding what, if anything, needs to be considered. Your assistance with that effort, presuming my observation was not during the typical times you are witnessing these driver behaviors, is appreciated.

My contact information is also listed below should you wish to speak further in person.

David R. Smith, PE, P.T.O.E. | **Senior Traffic Engineer**

**City of Scottsdale** | 7447 E. Indian School Rd., Ste. 205 | Scottsdale, Arizona 85251

Main line: (480) 312-7613 | E-mail: [DRSmith@scottsdaleaz.gov](mailto:DRSmith@scottsdaleaz.gov)



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**From:** Kercher, Phillip  
**Sent:** Sunday, January 24, 2021 8:27 PM  
**To:** 'j.j.levine@cox.net' <[j.j.levine@cox.net](mailto:j.j.levine@cox.net)>  
**Cc:** Melnychenko, Mark <[MMelnychenko@Scottsdaleaz.gov](mailto:MMelnychenko@Scottsdaleaz.gov)>; Worth, Daniel <[DaWorth@scottsdaleaz.gov](mailto:DaWorth@scottsdaleaz.gov)>  
**Subject:** RE: Turn lanes on Pinnacle Peak Road

Mr. Levine:

Thanks for bringing these concerns to our attention. We will do some observations on Pinnacle Peak Road to determine if the street realignment and new pavement marking are causing the driver confusion that you have described.

Phillip H. Kercher, PE, P.T.O.E.  
TRAFFIC ENGINEERING MANAGER  
CITY OF SCOTTSDALE  
480-312-7645

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**From:** [j.j.levine@cox.net](mailto:j.j.levine@cox.net) <[j.j.levine@cox.net](mailto:j.j.levine@cox.net)>  
**Sent:** Sunday, January 24, 2021 2:41 PM  
**To:** Kercher, Phillip <[pker@scottsdaleaz.gov](mailto:pker@scottsdaleaz.gov)>; Melnychenko, Mark <[MMelnychenko@Scottsdaleaz.gov](mailto:MMelnychenko@Scottsdaleaz.gov)>; Worth, Daniel <[DaWorth@scottsdaleaz.gov](mailto:DaWorth@scottsdaleaz.gov)>  
**Subject:** Turn lanes on Pinnacle Peak Road  
**Importance:** High

**⚠ External Email: Please use caution if opening links or attachments!**

Good Morning Transportation and Streets people,

Recently Pinnacle Peak and 77<sup>th</sup> street has been realigned with the shopping center to the south. This was a great move, but it is causing considerable issues with turning north into the La Vista property. I walk this area a lot and I also have had most of these experiences...

Issues on Pinnacle Peak Road concerning the east bound left turn lane

1. The turn lane headed east to turn north is shorter than it used to be. This causes people to slow down considerably on Pinnacle prior to veering into that short turn lane. I have seen multiple times when people are nearly rear ended there.
2. Also with that turn lane. People headed west are used to turning into the second (closer to Miller road) entrance and trying to get into the turn lane where drivers would be going north into La Vista resulting in near head-on collisions.

Issues on Pinnacle Peak Road concerning the west bound right turn lane

1. This right turn lane is also very short and come up without any warning on drivers who know it's there. Like there is no warning that it's there. ALSO, people who have been using these two lanes at Miller road (and are also speeding) start to veer into that lane even if the car ahead of them has their right turn blinker on.

I hope that there are solutions for these issues in the near future. Call me if you have any questions - Joe (602) 568-0192.

Looking forward to hear a response.

In the pursuit of finding a new *NORMAL* in 2021,

***Joseph J. Levine***

La Vista HOA Preident

ARC Committee Chair

EMAIL [J.J.Levine@cox.net](mailto:J.J.Levine@cox.net)

[Joe at LinkedIn](#)

I CAN HANDLE ANYTHING LIFE THROWS AT ME.

I may not always handle it well, but I will handle it!!



## Murillo, Jesus

---

**From:** Murillo, Jesus  
**Sent:** Sunday, July 18, 2021 10:03 AM  
**To:** shay.noonan.az@gmail.com  
**Subject:** RE: Sidewalk - Pinnacle Peak Road

Hello Shay,

Thank you – I also hope all is well with you. The “Rawhide Wash” project is being done in two phases – 1) the Rawhide Wash drainage mitigation, and 2) the Miller Road bridge project. Currently, the wash mitigation project is close to being resubmitted, and probably going to be scheduled for a DRB hearing date after the next review. The Miller Road bridge project has not been submitted as a case as of yet. I will be providing your comments to the project manager (I, being the project coordinator).

I believe there currently is a sidewalk proposed to complete the connection between the existing sidewalks, to the north and south of the proposed project area (connecting between Pinnacle Peak and Happy Valley). We can possibly also set up a meeting to show you what is being proposed so far (file too large to send and very preliminary).

I will keep you updated on the case’s progression.

Sincerely,

Jesús

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**From:** shay.noonan.az@gmail.com <shay.noonan.az@gmail.com>  
**Sent:** Friday, July 16, 2021 10:34 PM  
**To:** Murillo, Jesus <JMurillo@ScottsdaleAz.Gov>  
**Subject:** Sidewalk - Pinnacle Peak Road

**⚠ External Email: Please use caution if opening links or attachments!**

Hi Jesus, I hope this email finds you well! I wanted to reach out on behalf of several residents along the Pinnacle Peak corridor who have expressed a need for a sidewalk along Pinnacle Peak between Miller and Pima. The past 5 years have brought an influx of families to the area and there is no safe way to bike or walk with a stroller in this stretch of road that doesn’t involve a dirt path or desert landscaping. Ideally, the sidewalk would allow residents to easily bike to the park near Pinnacle Peak Prep or connect to the existing sidewalks that begin at Miller and Pima.

Would you be able to give me some guidance on how we could get the attention of the planning board? Do we need signatures or to attend a council meeting?

Thanks!

## Murillo, Jesus

---

**From:** shay.noonan.az@gmail.com  
**Sent:** Friday, July 16, 2021 10:34 PM  
**To:** Murillo, Jesus  
**Subject:** Sidewalk - Pinnacle Peak Road

**⚠ External Email: Please use caution if opening links or attachments!**

Hi Jesus, I hope this email finds you well! I wanted to reach out on behalf of several residents along the Pinnacle Peak corridor who have expressed a need for a sidewalk along Pinnacle Peak between Miller and Pima. The past 5 years have brought an influx of families to the area and there is no safe way to bike or walk with a stroller in this stretch of road that doesn't involve a dirt path or desert landscaping. Ideally, the sidewalk would allow residents to easily bike to the park near Pinnacle Peak Prep or connect to the existing sidewalks that begin at Miller and Pima.

Would you be able to give me some guidance on how we could get the attention of the planning board? Do we need signatures or to attend a council meeting?

Thanks!





## Murillo, Jesus

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**From:** White, Fredric x81327 <Fredric.White@broadridge.com>  
**Sent:** Wednesday, July 07, 2021 11:33 AM  
**To:** Melnychenko, Mark; City Council; Thompson, Jim; Richter, Jeremy; Transportation Commission; Murillo, Jesus  
**Cc:** White, Fredric x81327; Roberto DiVito; Scott Smith  
**Subject:** Rawhide Wash Flood Project  
**Attachments:** Rawhide Wash update of communication with Transportation Committee and City Council

**⚠ External Email: Please use caution if opening links or attachments!**

Good morning Scottsdale City Council,

I am the HOA President for the Pinnacle Peak Reserve Community that will be negatively impacted by this new road extension through Rawhide Wash.

I think we are nearing a council vote on the Rawhide Wash Flood Project and we as a community feel like our needs are not being addressed through the public outreach phase of this project. Many of us took time to attend the last Transportation Committee meeting and continue to hear that our needs will be addressed during the public outreach portion of this process, but we are leery that we are being given lip service.

I am sure that I will have additional questions as the project moves forward, but do have a few that I'd like answered to the best of your abilities:

- Please provide me with a mapping of what roads can be gated within our community, Pinnacle Reserve. Most homeowners in favor of this road extension think we can gate Juan Tabo at Scottsdale Road and Miller Road.
- If gating Juan Tabo is not an option, please provide me with an explanation of why the Los Portones community directly south of Pinnacle Reserve could close off their drive thru access, but we could not do it in our community at Juan Tabo??
- Please provide a list of city approved cul de sac fencing and if the City of Scottsdale would be able to pay to help keep our children safe? There are two cul de sacs with no barrier backing directly up to Juan Tabo. I understand there needs to be an opening for water to flow through. There is a lot of fear in our neighborhood that the traffic on Juan Tabo will grow exponentially.
- We would like some sort of speed humps/barriers/cross walks implemented on Juan Tabo at a minimum.
- How much is the city willing to chip in towards replacing the view fences of residents backing up to the Rawhide Wash with block wall fences?? Certainly the city does not think bushes will block the sound of a motorcycle or a sports car??

I'm also attaching an example of some correspondence received from another home owner in the neighborhood, he makes A LOT of valid points.

Fredric White

This message and any attachments are intended only for the use of the addressee and may contain information that is privileged and confidential. If the reader of the message is not the intended recipient or an authorized representative of the intended recipient, you are hereby notified that any dissemination of this communication is strictly prohibited. If you have received this communication in error, please notify us immediately by e-mail and delete the message and any attachments from your system.



Fredric,

**Dan Lundberg here ...FYI...Below is our most recent communication with the council and response from the transportation committee from our prior email. As you will see Mark Melnychenko is downplaying the noise and amount of traffic to sell this to the city council and most likely minimize costs. My wife and I believe if the members of PPR can present enough doubt about the project and show that we require noise abatement, roundabout(s), replace view fences with solid brick walls, etc. that increase the cost of the project the council may delay or cancel the project. Also, you will note the sewer and water lines run underneath and straight down Miller Rd and all the way down Hayden Rd to the water treatment plant at Hayden and the 101. Several years ago the city dug up the east side of Miller Rd. about 15-20 ft deep and installed these new lines, now they need to be moved from directly underneath where the bridge will be built. When the sewer lines were first buried many years ago, for weeks they used extremely noisy large portable diesel powered fans 24 / 7 placed along Miller Rd to ventilate the new pipe. Moving the water and sewer lines will have a large cost and potentially disrupt the service to PPR.**

**If we lobby for noise abatement walls, a roundabout at Miller and Juan Tabo, replace view fences with block walls, and whatever else we require to maintain a safe peaceful community, it may cast enough doubt to table the project. Trees and bushes will not be enough to block the noise, but Melnychnko thinks it's enough. Also...they now plan on using Jersey barriers on the bridge, these are ugly pieces of 3 ft tall concrete sections almost always used as temporary barriers during freeway and road construction, and it sounds like these are going to be permanent on the bridge. I don't see these in any of the architects renditions and drawings that all look a lot nicer than what the final bridge actually be.**

**Melnychenko is saying the noise from traffic in this area does not justify noise abatement and the loudest anticipated noise is 60db, which is incorrect. As you are aware there is elevated traffic noise especially weekends, nights and when the weather is cooler there are numerous packs of Harleys (110db accelerating... more than a car horn, 70db-90db cruising and 50-60db idling) going to and from the bars in Cave Creek, and a lot of joy riders driving their muscle cars, exotics, café racer bikes, Harleys and other various performance vehicles that have db ratings that range from 90db to 140 db (Lamborghini Murcielago 140DB at high RPM). These are all common in this area and will no doubt be blaring through PPR. I believe this firmly justifies noise abatement. Nor do I believe there was any kind of "noise study" done, if so where and when was it done?**

**Melnychenko said "Existing volumes are not anticipated to warrant a traffic signal or roundabout at Juan Tabo Road". We more concerned about future traffic volumes, not existing traffic volumes. The cities and counties traffic predictions ranging from 17500 cars per day to 35000 cars per day (why the huge change every time they have a meeting the projected traffic number changes), this most definitely warrants a roundabout at Juan Tabo. Attached are pics of roundabouts in N. Scottsdale that I found at 60<sup>th</sup> St and Dove Valley, Hayden and Northsight, Princess Blvd and Princess Dr. and there is also a round about at Chauncey Lane just east of Scottsdale Rd. From what I gather, Melnychenko wants to keep the costs down to sell the project and get it approved, and he feels that our community isn't worthy of a roundabout to calm traffic and prevent people from racing through PPR, it would also reduce the number of cars that don't bother to stop at Juan Tabo entering Miller Rd, which happens all day, every day. If these other roads and intersections and communities deserve roundabouts, we do also and we are not to be denied something this critical to keep pedestrians safe and slow traffic down from racing though.**

**FYI...I am going to get a quote for replacing the view fence with block and send that to you so the HOA can request concessions and accommodations. Below is our and Melnychekos email thread...**



## Murillo, Jesus

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**From:** Murillo, Jesus  
**Sent:** Friday, June 25, 2021 8:36 PM  
**To:** Mark Murawski  
**Subject:** RE: Rawhide Wash Wall Questions -- COS 284-PA-2019 CASE No. 7-WM-2020

Thank you for the follow-up Mark. I am also awaiting the 90 percent drawings, and I will update you if there is information in those drawings that made provide more clarity or information.

Sincerely,

Jesús

---

**From:** Mark Murawski <[mark.murawski@usa.net](mailto:mark.murawski@usa.net)>  
**Sent:** Tuesday, June 22, 2021 3:50 PM  
**To:** Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>  
**Subject:** RE: Rawhide Wash Wall Questions -- COS 284-PA-2019 CASE No. 7-WM-2020

**⚠ External Email: Please use caution if opening links or attachments!**

Mr. Murillo,

I think my neighbor, Ron Fenkel, has the answers I was looking for as he has been working more closely with your team.

Best regards,  
Mark

---

**From:** Mark Murawski <[mark.murawski@usa.net](mailto:mark.murawski@usa.net)>  
**Sent:** Monday, June 21, 2021 5:10 PM  
**To:** [jmurillo@scottsdaleaz.gov](mailto:jmurillo@scottsdaleaz.gov)  
**Subject:** Rawhide Wash Wall Questions -- COS 284-PA-2019 CASE No. 7-WM-2020

Hello Mr. Murillo,

I have a couple of questions about the new wall that's about to be built behind my house. First, let me tell you that your project team that was onsite several months ago was terrific to work with and very sensitive to our questions.

I live on 25404 North Bronco Trail in Lot 70. The house directly south of mine, Lot 71 is where the "little" wall was constructed some time ago as a reference. Here are my questions:

1. There is an entrance to the wash located about 50 feet north of Lot 69 The Kotter's. I understand the entrance to the wash near my driveway will be cut off by the wall; however, we were told the entrance above Lot 69 would remain open by stopping the wall there and starting a new one a little behind it so we could "walk around" and gain entry to the wash (or something to that affect). It looks like there will be no entrance there by the looks of the drawings your team left on the signs in the wash (which was a good idea). Can you verify where the nearest entry to the wash will be from my house?
2. There are some very old Ironwood, Palo Verde, and Mesquite Trees right behind my wall that block the view of the wash, the sun in the evenings, and house many quail and other birds. The project folks that were here a few months ago did not want to take those trees down and said they would try their best to keep them. If I am

reading the "red" stakes correctly, then it looks like a significant portion of those trees will be affected in some way as it looks like the idea is to connect the new wall with the shorter wall behind Lot 71. I REALLY want to save those trees and would like to talk to someone about the actual line the wall will follow. I DO NOT wish to come home and have all these trees cut down. I am hoping you can help and we can find a win-win solution.

Thanks for listening and sorry for the long-winded email.

Best regards,  
Mark Murawski  
602-469-9770

## Murillo, Jesus

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**From:** Mark Murawski <mark.murawski@usa.net>  
**Sent:** Tuesday, June 22, 2021 3:50 PM  
**To:** Murillo, Jesus  
**Subject:** RE: Rawhide Wash Wall Questions -- COS 284-PA-2019 CASE No. 7-WM-2020

**⚠ External Email: Please use caution if opening links or attachments!**

Mr. Murillo,

I think my neighbor, Ron Fenkel, has the answers I was looking for as he has been working more closely with your team.

Best regards,  
Mark

---

**From:** Mark Murawski <mark.murawski@usa.net>  
**Sent:** Monday, June 21, 2021 5:10 PM  
**To:** jmurillo@scottsdaleaz.gov  
**Subject:** Rawhide Wash Wall Questions -- COS 284-PA-2019 CASE No. 7-WM-2020

Hello Mr. Murillo,

I have a couple of questions about the new wall that's about to be built behind my house. First, let me tell you that your project team that was onsite several months ago was terrific to work with and very sensitive to our questions.

I live on 25404 North Bronco Trail in Lot 70. The house directly south of mine, Lot 71 is where the "little" wall was constructed some time ago as a reference. Here are my questions:

1. There is an entrance to the wash located about 50 feet north of Lot 69 The Kotter's. I understand the entrance to the wash near my driveway will be cut off by the wall; however, we were told the entrance above Lot 69 would remain open by stopping the wall there and starting a new one a little behind it so we could "walk around" and gain entry to the wash (or something to that affect). It looks like there will be no entrance there by the looks of the drawings your team left on the signs in the wash (which was a good idea). Can you verify where the nearest entry to the wash will be from my house?
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Thanks for listening and sorry for the long-winded email.

Best regards,  
Mark Murawski  
602-469-9770

## Murillo, Jesus

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**From:** Lori Lundberg <Loriscomputer@centurylink.net>  
**Sent:** Sunday, June 20, 2021 12:18 PM  
**To:** Richter, Jeremy; City Council; Transportation Commission  
**Cc:** Meinhart, David; Worth, Daniel; Lipinski, Dave; Melnychenko, Mark; Walsh, Erin; Murillo, Jesus  
**Subject:** RE: Miller Road Extension opposition - videos attached

**⚠ External Email: Please use caution if opening links or attachments!**

Thank you for your response and clarification, Mr. Richter.

At what point are my and my neighbors concerns going to be addressed? It makes more sense to me that the Miller Road extension coincide with the developer's improvements to Happy Valley and not before. Has this possibility ever been discussed?

I am very concerned about cars detouring throughout our neighborhood and speeding once this extension takes place. We are the only neighborhood on this extension with narrow set backs and is not gated, etc. We are at the narrowest end of a funnel of traffic that you are creating. I understand the master plan and desire for this extension, and if done properly, it will be a nice addition but it feels like our neighborhood will be sacrificed for the sake of all others.

Thank you,  
Lori Lundberg

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**From:** Richter, Jeremy <JRichter@Scottsdaleaz.gov>  
**Sent:** Thursday, June 17, 2021 8:14 AM  
**To:** Lori Lundberg <Loriscomputer@centurylink.net>; City Council <CityCouncil@scottsdaleaz.gov>; Transportation Commission <TransportationCommission@scottsdaleaz.gov>  
**Cc:** Meinhart, David <DMeinhart@Scottsdaleaz.gov>; Worth, Daniel <DaWorth@scottsdaleaz.gov>; Lipinski, Dave <DLipinski@Scottsdaleaz.gov>; Melnychenko, Mark <MMelnychenko@Scottsdaleaz.gov>; Walsh, Erin <ewalsh@scottsdaleaz.gov>; Murillo, Jesus <JMurillo@ScottsdaleAz.Gov>  
**Subject:** Re: Miller Road Extension opposition - videos attached

Good morning Lori,

My apologies as there may be some confusion here. The project team has not closed the public outreach process and our roadway design is still ongoing. The project team will continue to work with residents to address concerns. In May, on resident feedback and traffic engineering evaluation, our Traffic Engineering group requested improvements to the intersection of Miller Rd and Happy Valley Rd be added to this project and our design team has begun work on design for those improvements. The intent of the pre-construction services contract on July 1st, 2021 is to bring a contractor on board to the project team in an advisory capacity to assist the design team with constructability reviews, cost estimating, bidding, and project scheduling. No

construction will occur with this contract and approval of this contract will not closeout the public outreach or design process.

As part of our roadway and bridge design we have identified underground utilities that are in conflict with the foundation structure of the new bridge. These utilities will need to be relocated before any bridge construction can begin. One of the utilities to be relocated is the City of Scottsdale's potable and non-potable waterlines. These waterlines have seasonal/demand restrictions on when our Water Department will allow shutdown of the water lines for relocation construction. The Water department has informed us that the next allowable shutdown for these waterlines is November/December 2021. On July 2nd, 2021 the contract for procurement of the water pipeline materials will go to City Council for approval as these pipelines have long lead time until they can be manufactured and delivered to the site (100-120 days). No construction will occur with this contract. This is material procurement only.

Upon approval of the pre-construction services contract on July 1, 2021 the contractor will begin the process of cost estimating and preparing contract proposal for the construction waterline relocations. This contract for construction of the waterlines will go to City Council on Aug. 24th or 30th, 2021. Pending approval of this construction contract, construction of the waterline relocations is scheduled to begin in November 2021. The roadway/bridge design portion will still be ongoing until early 2022 with construction of the bridge/roadway portion scheduled to begin on March 2022.

I am out of the office today, returning Monday, but wanted to reply with an update and clarifications. I will check with our Transportation department on your question about the traffic Volumes quoted in the meetings but I believe the numbers you are talking about are the "Volume projected at roadway opening in 2022", "Volume projected in 2040" and the "ultimate roadway volume capacity" I will do some research and send a follow up email upon my return Monday.

Respectfully,

Jeremy Richter  
Project Manager  
City Of Scottsdale  
480-312-7869

---

**From:** Lori Lundberg <[Loriscomputer@centurylink.net](mailto:Loriscomputer@centurylink.net)>  
**Sent:** Wednesday, June 16, 2021 7:32 PM  
**To:** City Council <[CityCouncil@scottsdaleaz.gov](mailto:CityCouncil@scottsdaleaz.gov)>; Transportation Commission <[TransportationCommission@scottsdaleaz.gov](mailto:TransportationCommission@scottsdaleaz.gov)>; Richter, Jeremy <[JRichter@Scottsdaleaz.gov](mailto:JRichter@Scottsdaleaz.gov)>  
**Subject:** FW: Miller Road Extension opposition - videos attached

**⚠ External Email: Please use caution if opening links or attachments!**

Dear Mayor Ortega, City Council Members and Transportation Commission Members and Mr. Richter:

I am concerned to learn that the Miller Road: Pinnacle Peak Road to Happy Valley Road project pre-construction services contract will go to City Council for approval on July 1st. That agenda is not listed yet and nor has there been any updates to the Miller Road Extension website. That website timeline states that community outreach and public hearing is through Spring and Summer 2021. Submitting the contract for approval in the middle of summer is cutting the community outreach short and is unfair. The Transportation Commission meets tomorrow, June 17<sup>th</sup> and their

extremely brief agenda does not specifically address the Miller Road Extension either so had we not asked directly, we would not know this important fact.

Also, at the last City Council meeting, several of my neighbors voiced concerns and the City Council instructed the Transportation Commission to do further research on those items discussed such as speed circles, improvements to Happy Valley, noise and view of the bridge from neighbors yards with view fences, etc. The City Council agenda for 6/22 does not list anything about the Miller Road project so when is the Council going to hear from the Transportation Commission on their research and address further community outreach? I do not feel that neighbors concerns have been addressed at all and I know that mine certainly have not. I sent the below email and only heard back from a few City Council members (which I appreciate) but nothing from any one on the Transportation Commission.

As a person directly being effected by this project, I am feeling like information is not forthcoming and that this project is being rushed for some reason. If the project timeline is through Summer 2021, I would expect that no contracts would be moving forward until at least the end of August and that the project website is updated accordingly to give neighbors a chance to get involved during the entire community and public outreach timeframe.

Monsoon season has begun and having lived on the Rawhide Wash (I am one of the houses with a view fence onto the wash) for over 20 years, I can tell you that Happy Valley will be problem if we get a lot of rain (see attachment and videos – link in below email). Signing any contract on the extension on July 1<sup>st</sup> would be extremely premature given that several community members, including myself have spoke out about the inability of Happy Valley to handle increased traffic.

I would like to request that the timeline be honored as posted and that the City Council hear from neighbors during that entire time and our concerns be researched and addressed. I don't even know if a design for the bridge has been decided on and I will have to look at it. I would like some response to this correspondence to stay informed on this project and stay involved.

Thank you!

Lori Lundberg

---

**From:** Smetana, Rachel <[RSmetana@scottsdaleaz.gov](mailto:RSmetana@scottsdaleaz.gov)>

**Sent:** Friday, May 28, 2021 5:51 PM

**To:** Lori Lundberg <[Loriscomputer@centurylink.net](mailto:Loriscomputer@centurylink.net)>; City Council <[CityCouncil@scottsdaleaz.gov](mailto:CityCouncil@scottsdaleaz.gov)>

**Cc:** Melnychenko, Mark <[MMelnychenko@Scottsdaleaz.gov](mailto:MMelnychenko@Scottsdaleaz.gov)>

**Subject:** RE: Miller Road Extension opposition - videos attached

Dear Ms. Lundberg,

Thank you for sharing your concerns about the Miller Rd Extension and these videos with Mayor Ortega and City Council.

Best regards,

**Rachel Smetana**

Mayor's Chief of Staff

City of Scottsdale

480-312-7806

[rsmetana@scottsdaleaz.gov](mailto:rsmetana@scottsdaleaz.gov)



---

**From:** Lori Lundberg <[Loriscomputer@centurylink.net](mailto:Loriscomputer@centurylink.net)>  
**Sent:** Wednesday, May 26, 2021 6:50 AM  
**To:** City Council <[CityCouncil@scottsdaleaz.gov](mailto:CityCouncil@scottsdaleaz.gov)>; Transportation Commission <[TransportationCommission@scottsdaleaz.gov](mailto:TransportationCommission@scottsdaleaz.gov)>  
**Subject:** Miller Road Extension opposition - videos attached

**⚠ External Email: Please use caution if opening links or attachments!**

Dear City Council Members and Transportation Commission Members:

I built my home in 1997 in Pinnacle Peak Reserve and am opposed to the Miller Road extension from Pinnacle Peak to Happy Valley because of traffic, noise, crime, and short narrow setbacks from the road that will make it unsafe to walk in our ungated neighborhood. I might not be able to stop progress, but I want you to understand my perspective because I live here and know everything about this area.

I attached a series of short videos that show views of different parts of Miller Road from where it will connect at Park View Lane, at Juan Tabo and at Happy Valley

Road. <https://www.dropbox.com/sh/bidyttlr9rrls5r/AADePS49ygTO2AbCgRoIHx6Ga?dl=0>

I believe that Happy Valley is not prepared at all for the anticipated traffic. I would like to point out that since the announcement of this project, the projected amount of traffic has gone from 35,000 cars a day to 22,000 cars per day to 17,000 cars a day, the amount mentioned at the last council meeting. I find it interesting that as the project gets closer to being approved, the number of cars per day is decreasing, probably in an effort to get it passed. Traffic is going to be funneled onto roads that are not prepared. When drivers find out that Happy Valley can not handle the traffic, they will choose to take Juan Tabo which is the main road into Pinnacle Peak Reserve. This will create even more problems because there is not a traffic light at Juan Tabo and Scottsdale and accidents happen every month. When those accidents happen and Scottsdale gets closed, our neighborhood is a major thoroughfare, and I foresee this being a common occurrence once the Miller Road extension is complete. Happy Valley also floods when it rains and parts of the Rawhide Wash run into the road, and water creates deep crevasses on both sides of Happy Valley. The Transportation Committee is not addressing this. They mentioned at the recent meeting that the developer who purchases the land north of Happy Valley will be in charge of improving it, but there is no time line on that. In the meantime, drivers will be dumped onto a 2 lane road that is not able to handle it.

The videos are to give you an idea of what this area looks like, not just what a study shows or what a surveyor report. If this extension occurs, speed circles are a must at Park View and Juan Tabo. The Transportation Committee mentioned that drivers will not speed because it is not quite a "straight shot" from Miller Road to Happy Valley Road. The videos will show that it not true. Again, living here for over 20 years, I can tell you that drivers exiting Park View Lane and Juan Tabo onto Miller regularly speed north to Happy Valley, reaching close to 45-50 mph in that short distance. The Transportation Committee also mentioned that the amount of traffic does not warrant speed circles, yet other parts of the city have speed circles in neighborhoods that do not receive the projected amount that Pinnacle Peak Reserve will.

I enjoy my neighborhood. We regularly walk our dogs and ride our bikes. Once Miller Road gets extended, there will not be a safe place to walk or ride on Miller. Newer neighborhoods have much wider setbacks, we only have 9 total feet. If traffic begins to use Juan Tabo as a way to avoid the congestion at Happy Valley, then our neighborhood will have no relief from the traffic, noise and crime. This will be a big change for Pinnacle Peak Reserve and it will affect how we live.

I also have a home with a view fence with views of the Rawhide Wash/mountains. I am concerned about the height of the bridge and cars being visible over the retaining walls that already border the wash. I understand that the walls will have some improvement but if cars can be seen over those walls, then they will be heard. We can already clearly hear traffic from Pinnacle Peak. I believe there needs to more done to mitigate noise with this project.

I urge you to watch my videos and understand from a person living in the area that will be most impacted by the Miller Road extension. There is much more to consider if this is to work.

Thank you,

Lori Lundberg

## Murillo, Jesus

---

**From:** Elaine Monaco <monaco3334@comcast.net>  
**Sent:** Thursday, June 17, 2021 11:32 AM  
**To:** Murillo, Jesus  
**Subject:** Re: 24741 N. 77th Street - Rawhide Wash Project Analysis

**⚠ External Email: Please use caution if opening links or attachments!**

Thank you Jesus. So kind of you to have this prepared for us.

This has been a horrible shock to me, as the primary reason we bought this house was for the view, and this was in no way disclosed.

As our home sits on ground that is at a lower elevation than the ground at the wall, this will wipe out half of our view of the mountains. We will see only the peaks...

Is there anything we can do?

Kindest Regards  
Elaine Monaco

PS. When do you expect this project too be completed?

Sent from my iPad

On Jun 16, 2021, at 2:56 PM, Murillo, Jesus <JMurillo@scottsdaleaz.gov> wrote:

Hello Elaine,

I hope this email finds you doing well. You may remember, we spoke a few months ago on the rawhide wash project and your concerns about wall heights. I provided your information to our engineers, and they were able to create graphic that depicts the existing wall (gray area measured in orange), and the proposed wall (brick shaded area measured in yellow). Form what I understand, the engineers removed all the blocks that were not necessary for the design to meet code. The additional wrought-iron fence is to meet pool requirements.

Please feel free to contact me with any further questions or comments.

<image006.jpg>

Jesús Murillo  
Senior Planner  
City of Scottsdale  
Planning and Development Services  
7447 E. Indian School Road, Ste. 105  
Scottsdale, AZ 85251  
Phone: 480-312-7849  
Fax: 480-312-9037

Get informed!

<image002.png>

<image003.png>

<image004.png>

## Murillo, Jesus

---

**From:** Murillo, Jesus  
**Sent:** Wednesday, June 16, 2021 2:56 PM  
**To:** monaco3334@comcast.net  
**Subject:** 24741 N. 77th Street - Rawhide Wash Project Analysis

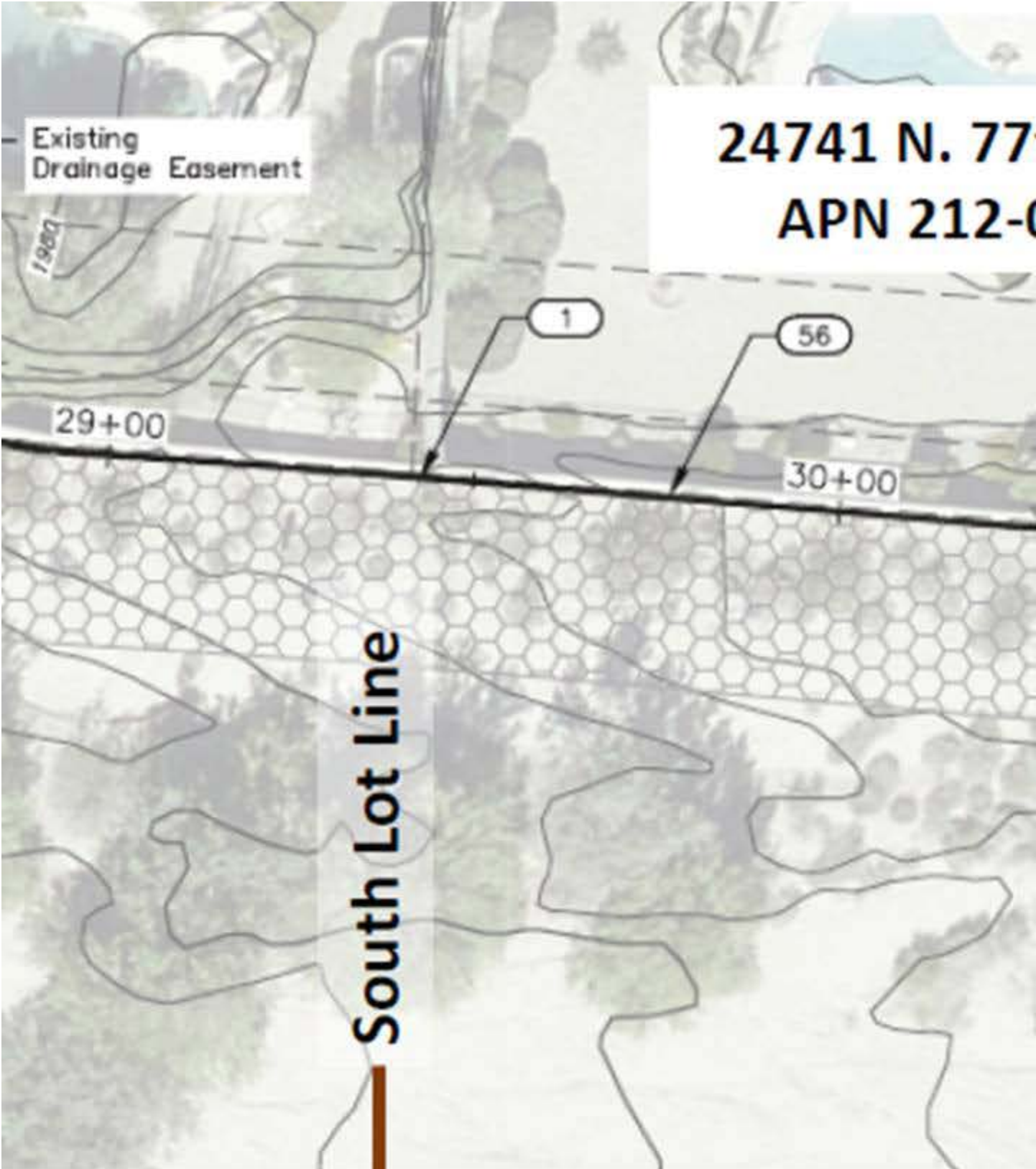
Hello Elaine,

I hope this email finds you doing well. You may remember, we spoke a few months ago on the rawhide wash project and your concerns about wall heights. I provided your information to our engineers, and they were able to create graphic that depicts the existing wall (gray area measured in orange), and the proposed wall (brick shaded area measured in yellow). From what I understand, the engineers removed all the blocks that were not necessary for the design to meet code. The additional wrought-iron fence is to meet pool requirements.

Please feel free to contact me with any further questions or comments.

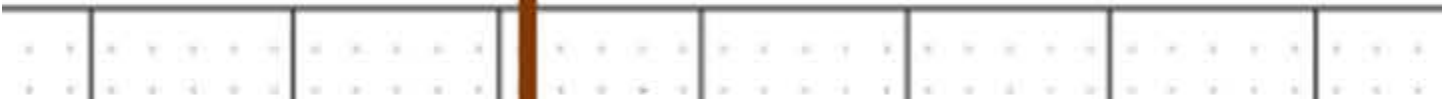
**24741 N. 77**  
**APN 212-0**

Existing  
Drainage Easement



**South Lot Line**

EXISTING WALL F - PLAN



Jesús Murillo  
Senior Planner  
City of Scottsdale  
Planning and Development Services  
7447 E. Indian School Road, Ste. 105  
Scottsdale, AZ 85251  
Phone: 480-312-7849  
Fax: 480-312-9037

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## Murillo, Jesus

---

**From:** "VOICE/+4809077612"@vm1wa103.ci.scottsdale.az.us  
**Sent:** Friday, May 28, 2021 12:00 PM  
**To:** Murillo, Jesus  
**Subject:** Voice mail: 63 sec.  
**Attachments:** 4162334\_VOICE\_210528-115936.wav

**Follow Up Flag:** Follow up  
**Flag Status:** Completed



## Murillo, Jesus

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**From:** "VOICE/+4809077612"@vm1wa103.ci.scottsdale.az.us  
**Sent:** Friday, May 28, 2021 11:50 AM  
**To:** Murillo, Jesus  
**Subject:** Voice mail: 55 sec.  
**Attachments:** 4162304\_VOICE\_210528-115028.wav

**Follow Up Flag:** Follow up  
**Flag Status:** Completed

## Murillo, Jesus

---

**From:** barbarafreydesign@cox.net  
**Sent:** Thursday, May 27, 2021 3:40 PM  
**To:** 'Scott Ogden'; 'LOREEN LEITZEN'; 'Brock Barnhart'; Murillo, Jesus; Couch, Ashley; 'Nazar Nabaty (FCD)'; Richter, Jeremy  
**Cc:** 'Cara Barnes'; 'Mary Brockman'; 'Lenore Simmons'; jmorris58@att.net; 'Janet L. Bussing, CPM, CCIM, CAAM'  
**Subject:** RE: Rawhide wash questions/access road  
**Importance:** High

**⚠ External Email: Please use caution if opening links or attachments!**

Scott, Loreen, Brock, project team members, and residents,

Thank you, Scott, for your response and explanation on Loreen's questions. I am in contact with Brock on the presentation and Q&A session and will forward some optional locations soon. I'll be coordinating with our property manager, Janet Bussing, as she is very in the loop on nearby spaces that would accommodate a mildly larger to larger group of interested homeowners. I feel it would be well attended and as I mentioned to Brock, since it has been so long with the pandemic lock down; some anxiety and many questions are coming up that are important to address.

I appreciate your willingness to make this happen for us. I'll email Brock with updates on potential locations as soon as I have anything to share.

Regards to all for a safe, fun, and relaxing long holiday weekend. b

*Barbara Frey*  
The logo for Barbara Frey Design features the name 'freedydesign' in a stylized, lowercase, purple font. A green leaf-like shape is integrated into the letter 'y', and a green leaf-like shape is also integrated into the letter 'i'.  
*barbarafreydesign@cox.net*  
*Cell: 602.316.4585*

---

**From:** Scott Ogden <scott@jefuller.com>  
**Sent:** Wednesday, May 26, 2021 5:59 PM  
**To:** LOREEN LEITZEN <lalzen@msn.com>; Brock Barnhart <BBarnhart@gciaz.com>; Murillo, Jesus <JMurillo@ScottsdaleAz.Gov>; Couch, Ashley <ACouch@ScottsdaleAz.Gov>; Nazar Nabaty (FCD) <Nazar.Nabaty@Maricopa.Gov>; jrichter@scottsdaleaz.gov  
**Cc:** Cara Barnes <Cara@Amcorprop.com>; Mary Brockman <mbrockman9@cox.net>; Lenore Simmons <Lenore05@comcast.net>; jmorris58@att.net; barbarafreydesign@cox.net  
**Subject:** RE: Rawhide wash questions/access road

Hi Loreen – thanks for reaching out. Some replies and currently estimated timeframes for you are as follows:

1. The project timeline currently has us working towards a 99% submittal that is targeting the early September 2021 timeframe to start construction. We are also making our FEMA Conditional Letter of Map Revision submittal soon and that initial review will take 90 calendar days. Pending a favorable first review from FEMA, the contractor may begin working on the plant salvage around that late September – early October timeframe. The full construction may not begin until the end of 2021 or early 2022. In the meantime, residents may see some activity at Los Portones Drive in the way of utility relocations and in particular, moving the APS electrical cabinet that is located near the southwest corner of

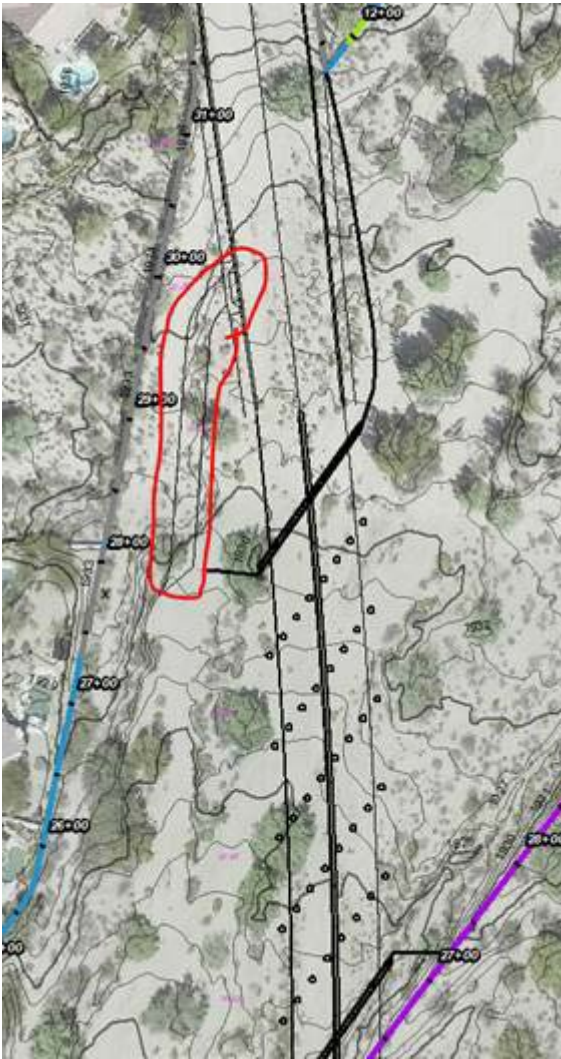
the Los Portones Townhomes subdivision. That may happen in late summer depending on the APS's schedule (which is unknown at the moment).

2. The improvements for the reach between Pinnacle Peak Road and Miller Road will be in the first phase. In general, the project will be constructed from downstream to upstream. Los Portones Drive and the Los Portones Townhomes are in the first phase which will likely see the heaviest construction between December 2021 and April 2022. We don't have any finer resolution on timing at the moment, but will in the October 2021 timeframe.

3. No further discussions on watering for the project have been had as we are still working out the salvage needs and timing. Once we get those components nailed down, we can focus on sourcing the water and will definitely discuss with the HOAs as appropriate before making any final decisions.

4. The planned maintenance road access at the Miller Road Bridge will end at the downstream end of the bridge and no formal roads will continue beyond that point. The project will include the 10-foot areas adjacent to the walls that will have limited vegetation and no trees, but nothing in the way of a formal road. A snip of the access road limits is shown in the snips below. This maintenance access road is necessary for Scottsdale's Street Operations Department personnel and equipment to be able to physically enter the wash area to do periodic maintenance, as may be necessary from time-to-time.





5. The wall raises and erosion control details for the reach along Los Portones Townhomes is unchanged from what was presented in the workmaps that were included with the virtual public meeting materials. That document can be downloaded using the following link if you don't already have it:

<https://jefuller.sharefile.com/d-s7a7eb734b8784535ad321b96de0c98e7>

Hope these help to provide some answers. We are currently coordinating with Barbara Frey to schedule an in-person presentation and Q&A session. Probably will take several weeks to get it coordinated, but we are looking into it now.

As always, feel free to reach out.



W. Scott Ogden | P.E., CFM | President/CEO  
Project Manager / Senior Engineer  
8400 S Kyrene Rd, Suite 201 | Tempe, AZ 85284  
Office: (480) 222-5717 | Mobile: (480) 299-3394  
[www.JEFuller.com](http://www.JEFuller.com)

Note: Engineering data, calculations, or opinion transmitted via e-mail are Preliminary and Not For Construction.

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**From:** LOREEN LEITZEN <[lalzen@msn.com](mailto:lalzen@msn.com)>

**Sent:** Sunday, May 23, 2021 3:20 PM

**To:** Brock Barnhart <[BBarnhart@gciaz.com](mailto:BBarnhart@gciaz.com)>; Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>; Couch, Ashley

<[ACouch@ScottsdaleAz.Gov](mailto:ACouch@ScottsdaleAz.Gov)>; Scott Ogden <[scott@jefuller.com](mailto:scott@jefuller.com)>; Nazar Nabaty (FCD) <[Nazar.Nabaty@Maricopa.Gov](mailto:Nazar.Nabaty@Maricopa.Gov)>; [jrichter@scottsdaleaz.gov](mailto:jrichter@scottsdaleaz.gov)

Cc: Cara Barnes <[Cara@Amcorprop.com](mailto:Cara@Amcorprop.com)>; Mary Brockman <[mbrockman9@cox.net](mailto:mbrockman9@cox.net)>; Lenore Simmons <[Lenore05@comcast.net](mailto:Lenore05@comcast.net)>; [jmorris58@att.net](mailto:jmorris58@att.net)

**Subject:** Rawhide wash questions/access road

Hello all.

I hope all is well with everyone.

I have some questions that I would like to have answered for our community.

First, I want to find out the timeline for the project as it stands right now. I would like to know the timeline plan for what areas of the wash will be under construction so we can get an idea when all the construction will begin in Los Portones. I also would like to know the construction plan timeline for the street construction on Los Portones Drive.

I had sent an email about the status of the salvage plant watering for the Rawhide wash project. I have asked if the associations have been involved with the decision about the watering and, if indeed, any decisions have been made about the watering. I was told that the plan was not finalized yet and a decision had not been finalized. I know we discussed this at the last in-person meeting with the small group and I voiced a concern that the associations should not have to pay for any watering for this project and that the associations involved be a part of the discussion. Has this occurred?

When I watched the information about the bridge construction above the wash ,I noticed that there is a maintenance access road in the plan. I was recently told that the road would go behind the houses in the Rawhide Wash to Los Portones Drive. I am so hoping that is incorrect information as we have never seen that information in any presentation about the Rawhide Wash Flood Mitigation Plan. Please send detailed information regarding the access road, including all specifics.

I also want to confirm that there have not been anymore changes regarding wall height raises or any other changes and that the information that was sent still stands.

Thanks for the information.

Loreen Leitzen/ Los Portones Townhomes

Sent from [Mail](#) for Windows 10

[EXTERNAL]

## Murillo, Jesus

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**From:** "VOICE/+5037050645"@vm1wa103.ci.scottsdale.az.us  
**Sent:** Tuesday, May 25, 2021 10:08 AM  
**To:** Murillo, Jesus  
**Subject:** Voice mail: 69 sec.  
**Attachments:** 4156078\_VOICE\_210525-100817.wav

**Follow Up Flag:** Follow up  
**Flag Status:** Completed

## Murillo, Jesus

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**From:** LOREEN LEITZEN <lalzen@msn.com>  
**Sent:** Sunday, May 23, 2021 3:20 PM  
**To:** Brock Barnhart; Murillo, Jesus; Couch, Ashley; Scott Ogden; Nazar Nabaty (FCD); Richter, Jeremy  
**Cc:** Cara Barnes; Mary Brockman; Lenore Simmons; jmorris58@att.net  
**Subject:** Rawhide wash questions/access road

**⚠ External Email: Please use caution if opening links or attachments!**

Hello all.

I hope all is well with everyone.

I have some questions that I would like to have answered for our community.

First, I want to find out the timeline for the project as it stands right now. I would like to know the timeline plan for what areas of the wash will be under construction so we can get an idea when all the construction will begin in Los Portones. I also would like to know the construction plan timeline for the street construction on Los Portones Drive.

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I also want to confirm that there have not been anymore changes regarding wall height raises or any other changes and that the information that was sent still stands.

Thanks for the information.

Loreen Leitzen/ Los Portones Townhomes

Sent from [Mail](#) for Windows 10



## Murillo, Jesus

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**From:** Murillo, Jesus  
**Sent:** Thursday, April 29, 2021 9:03 AM  
**To:** Stephanie Clark  
**Cc:** Matt Clark  
**Subject:** RE: N. Miller Road Improvements (Rawhide Wash)

Hello Stephanie,

I will be sure that your concerns are provided to the project manager and his staff. I believe that the link below contains a video that addresses the noise component. I say this, because the project has not been officially submitted to receive a case number, therefore I have not received an official noise study. But staff mentions in the video that they have completed a noise mitigation report.

Landscaping, as noise control, will be reviewed in the case submittal, but, I will be sure that the project manager receives your concerns now.

I will also keep you posted when the project is officially submitted. Those plans will be required to be at 75 percent completion. The current plans are at 30 percent.

Sincerely,

Jesús

---

**From:** Stephanie Clark <stephanieandersonclark@gmail.com>  
**Sent:** Tuesday, April 27, 2021 9:16 PM  
**To:** Murillo, Jesus <JMurillo@ScottsdaleAz.Gov>  
**Cc:** Matt Clark <mclark@mserp.com>  
**Subject:** Re: N. Miller Road Improvements (Rawhide Wash)

 **External Email: Please use caution if opening links or attachments!**

Hi Jesus,

Thank you for keeping us in the loop.

We just bought our house and we love that there is no road noise behind our home. I think our biggest concern is that road noise is going to interrupt our enjoyment of the property. Another concern is traffic in and out of the neighborhood as we have small children. There is no barrier from our backyard to the proposed road. I don't see any trees planned for noise control. What other measures are in place to reduce road noise in our backyard?

I know this is just the beginning, but these are our initial concerns.

Thank you again for including us in this process.

Address: 24337 N 75th Way, Scottsdale 85255

Stephanie A. Clark, MBA  
C: 480.586.8800  
e: [stephanieandersonclark@gmail.com](mailto:stephanieandersonclark@gmail.com)

On Tue, Apr 27, 2021 at 6:40 PM Murillo, Jesus <[JMurillo@scottsdaleaz.gov](mailto:JMurillo@scottsdaleaz.gov)> wrote:

Hello Everyone,

I hope this email finds you doing well. If you are receiving this email, it is because you have expressed interest in the City's Rawhide Wash and/or N. Miller Road projects. In particular, you have expressed interest directly to me.

This particular email is in relationship to the N. Miller Road improvements. The project is currently in the design phase. As the project progresses, there will be opportunities for public involvement. The project will undergo a few design phases and will be evaluated by the Transportation Commission and Design Review Board prior to construction contracts being awarded by the City Council.

Staff has uploaded to the internet a presentation and project materials. Please follow the link below, and feel free to provide me with any further questions or comments. I hope the webpage will provide more detailed information for this project.

There will also be the ability to submit a comment card through this same webpage.

<https://www.scottsdaleaz.gov/construction/project-list/miller-road>

Sincerely,

Jesús Murillo

Senior Planner

City of Scottsdale

Planning and Development Services

7447 E. Indian School Road, Ste. 105

Scottsdale, AZ 85251

Phone: 480-312-7849

Fax: 480-312-9037

Get informed!



## Murillo, Jesus

---

**From:** John Dooley/Pinnacle Productions <pinnacle1@cox.net>  
**Sent:** Wednesday, April 28, 2021 5:05 PM  
**To:** Murillo, Jesus  
**Subject:** RE: N. Miller Road Improvements (Rawhide Wash)

**⚠ External Email: Please use caution if opening links or attachments!**

Thanks Jesus. But the video I just watched said a noise assessment was performed and that they decided nothing was needed. We've been in this house for over 17 years and we can hear people talking in their backyard across the wash, so I think the cars are going to be quite a bit louder. Thanks for keeping me posted as to what you learn about the noise. Thanks, John

John Dooley  
7517 E. Mariposa Grande Dr.  
Scottsdale, AZ. 85255  
C.602-538-5429

---

**From:** Murillo, Jesus <JMurillo@ScottsdaleAz.Gov>  
**Sent:** Wednesday, April 28, 2021 2:55 PM  
**To:** pinnacle1 <pinnacle1@cox.net>  
**Subject:** RE: N. Miller Road Improvements (Rawhide Wash)

Hello John,

The noise abatement portion of the analysis is still under analysis. The design of r the bridge will help identify what will be needed. Since the design has not been decided, the noise study is also in the analysis phase. I know that staff has discussed using both walls and landscaping to minimize the noise impacts of the wall.

How much staff can reduce the visual and noise impacts of the bridge will be based on the location of the property and the grade near a particular portion of the bridge.

I will keep you posted as the design gets more refined.

Sincerely,

Jesús

---

**From:** pinnacle1 <[pinnacle1@cox.net](mailto:pinnacle1@cox.net)>  
**Sent:** Wednesday, April 28, 2021 11:47 AM  
**To:** Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>  
**Subject:** RE: N. Miller Road Improvements (Rawhide Wash)

**⚠ External Email: Please use caution if opening links or attachments!**

Thanks for the information Jesus. Is there any plans for a sound abatement on each side so we don't hear or see the cars and their headlights at night? Are they planning on putting trees and bushes on the side of the bridge so we don't see it? Thanks

John Dooley  
C. 602-538-5429

----- Original message -----

From: "Murillo, Jesus" <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>  
Date: 4/27/21 6:41 PM (GMT-07:00)  
To: "Murillo, Jesus" <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>  
Subject: N. Miller Road Improvements (Rawhide Wash)

Hello Everyone,

I hope this email finds you doing well. If you are receiving this email, it is because you have expressed interest in the City's Rawhide Wash and/or N. Miller Road projects. In particular, you have expressed interest directly to me.

This particular email is in relationship to the N. Miller Road improvements. The project is currently in the design phase. As the project progresses, there will be opportunities for public involvement. The project will undergo a few design phases and will be evaluated by the Transportation Commission and Design Review Board prior to construction contracts being awarded by the City Council.

Staff has uploaded to the internet a presentation and project materials. Please follow the link below, and feel free to provide me with any further questions or comments. I hope the webpage will provide more detailed information for this project.

There will also be the ability to submit a comment card through this same webpage.

<https://www.scottsdaleaz.gov/construction/project-list/miller-road>

Sincerely,

Jesús Murillo  
Senior Planner

City of Scottsdale

Planning and Development Services

7447 E. Indian School Road, Ste. 105

Scottsdale, AZ 85251

Phone: 480-312-7849

Fax: 480-312-9037

Get informed!



## Murillo, Jesus

---

**From:** Murillo, Jesus  
**Sent:** Wednesday, April 28, 2021 2:55 PM  
**To:** pinnacle1  
**Subject:** RE: N. Miller Road Improvements (Rawhide Wash)

Hello John,

The noise abatement portion of the analysis is still under analysis. The design of r the bridge will help identify what will be needed. Since the design has not been decided, the noise study is also in the analysis phase. I know that staff has discussed using both walls and landscaping to minimize the noise impacts of the wall.

How much staff can reduce the visual and noise impacts of the bridge will be based on the location of the property and the grade near a particular portion of the bridge.

I will keep you posted as the design gets more refined.

Sincerely,

Jesús

---

**From:** pinnacle1 <pinnacle1@cox.net>  
**Sent:** Wednesday, April 28, 2021 11:47 AM  
**To:** Murillo, Jesus <JMurillo@ScottsdaleAz.Gov>  
**Subject:** RE: N. Miller Road Improvements (Rawhide Wash)

**⚠ External Email: Please use caution if opening links or attachments!**

Thanks for the information Jesus. Is there any plans for a sound abatement on each side so we don't hear or see the cars and their headlights at night? Are they planning on putting trees and bushes on the side of the bridge so we don't see it?  
Thanks

John Dooley  
C. 602-538-5429

----- Original message -----

From: "Murillo, Jesus" <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>  
Date: 4/27/21 6:41 PM (GMT-07:00)  
To: "Murillo, Jesus" <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>  
Subject: N. Miller Road Improvements (Rawhide Wash)

Hello Everyone,

I hope this email finds you doing well. If you are receiving this email, it is because you have expressed interest in the City's Rawhide Wash and/or N. Miller Road projects. In particular, you have expressed interest directly to me.

This particular email is in relationship to the N. Miller Road improvements. The project is currently in the design phase. As the project progresses, there will be opportunities for public involvement. The project will undergo a few design phases and will be evaluated by the Transportation Commission and Design Review Board prior to construction contracts being awarded by the City Council.

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Sincerely,

Jesús Murillo

Senior Planner

City of Scottsdale

Planning and Development Services

7447 E. Indian School Road, Ste. 105

Scottsdale, AZ 85251

Phone: 480-312-7849

Fax: 480-312-9037

Get informed!





## Murillo, Jesus

---

**From:** pinnacle1 <pinnacle1@cox.net>  
**Sent:** Wednesday, April 28, 2021 11:47 AM  
**To:** Murillo, Jesus  
**Subject:** RE: N. Miller Road Improvements (Rawhide Wash)

**⚠ External Email: Please use caution if opening links or attachments!**

Thanks for the information Jesus. Is there any plans for a sound abatement on each side so we don't hear or see the cars and their headlights at night? Are they planning on putting trees and bushes on the side of the bridge so we don't see it?  
Thanks

John Dooley  
C. 602-538-5429

----- Original message -----

From: "Murillo, Jesus" <JMurillo@ScottsdaleAz.Gov>  
Date: 4/27/21 6:41 PM (GMT-07:00)  
To: "Murillo, Jesus" <JMurillo@ScottsdaleAz.Gov>  
Subject: N. Miller Road Improvements (Rawhide Wash)

Hello Everyone,

I hope this email finds you doing well. If you are receiving this email, it is because you have expressed interest in the City's Rawhide Wash and/or N. Miller Road projects. In particular, you have expressed interest directly to me.

This particular email is in relationship to the N. Miller Road improvements. The project is currently in the design phase. As the project progresses, there will be opportunities for public involvement. The project will undergo a few design phases and will be evaluated by the Transportation Commission and Design Review Board prior to construction contracts being awarded by the City Council.

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There will also be the ability to submit a comment card through this same webpage.

<https://www.scottsdaleaz.gov/construction/project-list/miller-road>

Sincerely,

Jesús Murillo

Senior Planner

City of Scottsdale

Planning and Development Services

7447 E. Indian School Road, Ste. 105

Scottsdale, AZ 85251

Phone: 480-312-7849

Fax: 480-312-9037

Get informed!



## Murillo, Jesus

---

**From:** Ron Finkel <finkel.ron@gmail.com>  
**Sent:** Wednesday, April 28, 2021 10:42 AM  
**To:** Murillo, Jesus  
**Subject:** Re: N. Miller Road Improvements (Rawhide Wash)

**⚠ External Email: Please use caution if opening links or attachments!**

Jesus,

Thanks for the email and information.  
I have been aware of the work going on and watched the video.

A question quite a few people are having, and it is not mentioned in the links:  
1. When the update of Miller Road Improvements are completed, will a traffic light be installed at the intersection of Happy Valley Road and Miller?

Can you please clarify this for the neighborhood communities?

Regards,

**Ronald Finkel**

On Tue, Apr 27, 2021 at 6:40 PM Murillo, Jesus <[JMurillo@scottsdaleaz.gov](mailto:JMurillo@scottsdaleaz.gov)> wrote:

Hello Everyone,

I hope this email finds you doing well. If you are receiving this email, it is because you have expressed interest in the City's Rawhide Wash and/or N. Miller Road projects. In particular, you have expressed interest directly to me.

This particular email is in relationship to the N. Miller Road improvements. The project is currently in the design phase. As the project progresses, there will be opportunities for public involvement. The project will undergo a few design phases and will be evaluated by the Transportation Commission and Design Review Board prior to construction contracts being awarded by the City Council.

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Sincerely,

Jesús Murillo

Senior Planner

City of Scottsdale

Planning and Development Services

7447 E. Indian School Road, Ste. 105

Scottsdale, AZ 85251

Phone: 480-312-7849

Fax: 480-312-9037

Get informed!



## Murillo, Jesus

---

**From:** Andy Sweis <andysweis@hotmail.com>  
**Sent:** Tuesday, April 27, 2021 9:54 PM  
**To:** Murillo, Jesus  
**Subject:** Re: Pinnacle Peak Reserve Sharing Wash Meeting Notice

**⚠ External Email: Please use caution if opening links or attachments!**

Ok thanks Jesus.

On Apr 27, 2021, at 5:39 PM, Murillo, Jesus <JMurillo@scottsdaleaz.gov> wrote:

Hello Andy,

I will be sending you an email shortly, where I include you on a larger email message. You should receive that email shortly.

I also wanted you give an update. Our Stormwater Manager will be contacting you soon about how your flood insurance will be affected by this project.

Sincerely,

Jesús

---

**From:** Andy Sweis <andysweis@hotmail.com>  
**Sent:** Monday, February 22, 2021 8:08 PM  
**To:** Murillo, Jesus <JMurillo@ScottsdaleAz.Gov>  
**Subject:** Re: Pinnacle Peak Reserve Sharing Wash Meeting Notice

**⚠ External Email: Please use caution if opening links or attachments!**

Address is 24340 N 74th Place. Thanks!

On Feb 22, 2021, at 6:33 PM, Murillo, Jesus <[JMurillo@scottsdaleaz.gov](mailto:JMurillo@scottsdaleaz.gov)> wrote:

Hello Andy,

Forgive me, I placed your email in the project folder and lost track of the communication. From my understanding, the removal of the mandatory flood insurance for many of the properties is one of pros of the project. Please provide me with an address and I can be more specific with my response.

Thank you for reaching out,

Jesús

---

**From:** Andy Sweis <[andysweis@hotmail.com](mailto:andysweis@hotmail.com)>  
**Sent:** Wednesday, January 27, 2021 5:13 PM  
**To:** Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>  
**Subject:** Re: Pinnacle Peak Reserve Sharing Wash Meeting Notice

**⚠ External Email: Please use caution if opening links or attachments!**

Hi Jesus. When is this project expected to be complete? Will it help remove the mandatory flood insurance in the area?

Thanks.

Andy

On Jan 27, 2021, at 5:06 PM, Pinnacle Peak Reserve HOA <[messenger@pdsaz.com](mailto:messenger@pdsaz.com)> wrote:





# Rawhide Wash Flood Hazard Mitigation Virtual Public Meeting Notice

The Flood Control District of Maricopa County (FCDMC), the City of Scottsdale, and the City of Phoenix invite you to participate in our virtual public meeting for the Rawhide Wash Flood Hazard Mitigation – Final Design Project.

This online presentation will provide the same information typically available at an in-person public meeting while respecting social distancing recommendations and the personal safety of the community during the COVID-19 pandemic.

## Virtual Public Meeting Presentation

Monday, Jan. 18 through Friday, Jan. 29, 2021:

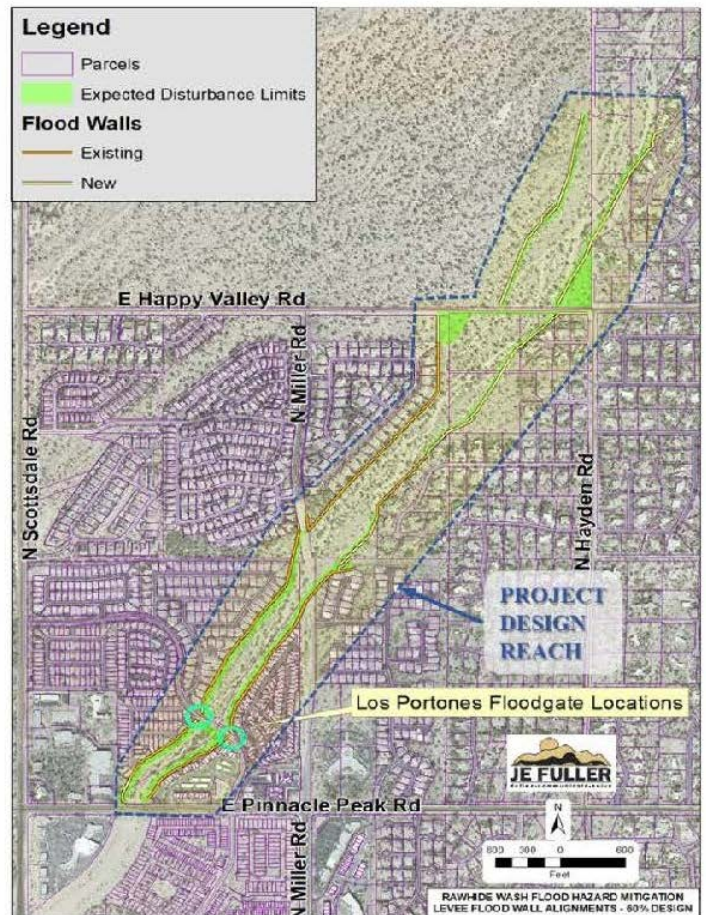
- **VISIT** [www.maricopa.gov/rawhidewash](http://www.maricopa.gov/rawhidewash) to access all information
- **WATCH** our prerecorded presentation
- **PROVIDE FEEDBACK** by clicking on the digital comment form link on the project website
- **CONTACT** project coordinator to provide further comments/questions

*Comment period will close on Friday, Jan. 29, 2021*

## Project Overview

The project team will provide a project update and an overview of the pre-90% completion design plans.

Implementation of the Rawhide Wash Project will include some disturbances of the native desert within the project corridor area, modification of existing floodwalls, and constructing of new floodwalls to provide 100-year flood protection to approximately 850 buildings within the Rawhide Wash Floodplain. Presentation materials will include sample graphics and examples of construction



City of Scottsdale Case No. 7-WM-2020

### Project Contact

Jesus Murillo – Senior Planner

480-312-7849

[jmurillo@scottsdaleAZ.gov](mailto:jmurillo@scottsdaleAZ.gov)

If you require reasonable accommodations for this meeting, please contact our Project Hotline at **623-825-3444** at least 72 hours in advance of the close of the public meeting.



---

This email is intended for the residents of Pinnacle Peak Reserve only. Please direct queries on this email to [messenger@pdsaz.com](mailto:messenger@pdsaz.com). You may modify your subscriptions to these email broadcasts by changing your preferences on the Membership/Web tab in your online [member profile](#).

**Pinnacle Peak Reserve. 17235 N 75th Ave Building H100 Glendale, AZ 85308, Tel: (623) 877-1396**

## Murillo, Jesus

---

**From:** Stephanie Clark <stephanieandersonclark@gmail.com>  
**Sent:** Tuesday, April 27, 2021 9:16 PM  
**To:** Murillo, Jesus  
**Cc:** Matt Clark  
**Subject:** Re: N. Miller Road Improvements (Rawhide Wash)

**⚠ External Email: Please use caution if opening links or attachments!**

Hi Jesus,

Thank you for keeping us in the loop.

We just bought our house and we love that there is no road noise behind our home. I think our biggest concern is that road noise is going to interrupt our enjoyment of the property. Another concern is traffic in and out of the neighborhood as we have small children. There is no barrier from our backyard to the proposed road. I don't see any trees planned for noise control. What other measures are in place to reduce road noise in our backyard?

I know this is just the beginning, but these are our initial concerns.

Thank you again for including us in this process.

Address: 24337 N 75th Way, Scottsdale 85255

Stephanie A. Clark, MBA

C: 480.586.8800

e: [stephanieandersonclark@gmail.com](mailto:stephanieandersonclark@gmail.com)

On Tue, Apr 27, 2021 at 6:40 PM Murillo, Jesus <[JMurillo@scottsdaleaz.gov](mailto:JMurillo@scottsdaleaz.gov)> wrote:

Hello Everyone,

I hope this email finds you doing well. If you are receiving this email, it is because you have expressed interest in the City's Rawhide Wash and/or N. Miller Road projects. In particular, you have expressed interest directly to me.

This particular email is in relationship to the N. Miller Road improvements. The project is currently in the design phase. As the project progresses, there will be opportunities for public involvement. The project will undergo a few design phases and will be evaluated by the Transportation Commission and Design Review Board prior to construction contracts being awarded by the City Council.

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There will also be the ability to submit a comment card through this same webpage.

<https://www.scottsdaleaz.gov/construction/project-list/miller-road>

Sincerely,

Jesús Murillo

Senior Planner

City of Scottsdale

Planning and Development Services

7447 E. Indian School Road, Ste. 105

Scottsdale, AZ 85251

Phone: 480-312-7849

Fax: 480-312-9037

Get informed!



## Murillo, Jesus

---

**From:** Joe Keyser <joeowenk@icloud.com>  
**Sent:** Tuesday, April 27, 2021 7:17 PM  
**To:** Murillo, Jesus  
**Subject:** Re: N. Miller Road Improvements (Rawhide Wash)

**⚠ External Email: Please use caution if opening links or attachments!**

Hello Jesus,

Thanks for the note. I sent my anti-bridge comments into the link earlier today. Curious if there are any links to the wildlife dept to discuss the family of coyotes that lives directly where the bridge is planned?

Thanks again,

Joe

Sent from my iPhone

On Apr 27, 2021, at 6:41 PM, Murillo, Jesus <JMurillo@scottsdaleaz.gov> wrote:

Hello Everyone,

I hope this email finds you doing well. If you are receiving this email, it is because you have expressed interest in the City's Rawhide Wash and/or N. Miller Road projects. In particular, you have expressed interest directly to me.

This particular email is in relationship to the N. Miller Road improvements. The project is currently in the design phase. As the project progresses, there will be opportunities for public involvement. The project will undergo a few design phases and will be evaluated by the Transportation Commission and Design Review Board prior to construction contracts being awarded by the City Council.

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<https://www.scottsdaleaz.gov/construction/project-list/miller-road>

Sincerely,

Jesús Murillo  
Senior Planner  
City of Scottsdale  
Planning and Development Services  
7447 E. Indian School Road, Ste. 105  
Scottsdale, AZ 85251

Phone: 480-312-7849

Fax: 480-312-9037

Get informed!

<image001.png>

<image002.png>

<image003.png>

## Murillo, Jesus

---

**From:** Murillo, Jesus  
**Sent:** Tuesday, April 27, 2021 6:41 PM  
**To:** Murillo, Jesus  
**Subject:** N. Miller Road Improvements (Rawhide Wash)

Hello Everyone,

I hope this email finds you doing well. If you are receiving this email, it is because you have expressed interest in the City's Rawhide Wash and/or N. Miller Road projects. In particular, you have expressed interest directly to me.

This particular email is in relationship to the N. Miller Road improvements. The project is currently in the design phase. As the project progresses, there will be opportunities for public involvement. The project will undergo a few design phases and will be evaluated by the Transportation Commission and Design Review Board prior to construction contracts being awarded by the City Council.

Staff has uploaded to the internet a presentation and project materials. Please follow the link below, and feel free to provide me with any further questions or comments. I hope the webpage will provide more detailed information for this project.

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<https://www.scottsdaleaz.gov/construction/project-list/miller-road>

Sincerely,

Jesús Murillo  
Senior Planner  
City of Scottsdale  
Planning and Development Services  
7447 E. Indian School Road, Ste. 105  
Scottsdale, AZ 85251  
Phone: 480-312-7849  
Fax: 480-312-9037

Get informed!



## Murillo, Jesus

---

**From:** Murillo, Jesus  
**Sent:** Tuesday, April 27, 2021 6:41 PM  
**To:** Murillo, Jesus  
**Subject:** N. Miller Road Improvements (Rawhide Wash)

Hello Everyone,

I hope this email finds you doing well. If you are receiving this email, it is because you have expressed interest in the City's Rawhide Wash and/or N. Miller Road projects. In particular, you have expressed interest directly to me.

This particular email is in relationship to the N. Miller Road improvements. The project is currently in the design phase. As the project progresses, there will be opportunities for public involvement. The project will undergo a few design phases and will be evaluated by the Transportation Commission and Design Review Board prior to construction contracts being awarded by the City Council.

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Jesús Murillo  
Senior Planner  
City of Scottsdale  
Planning and Development Services  
7447 E. Indian School Road, Ste. 105  
Scottsdale, AZ 85251  
Phone: 480-312-7849  
Fax: 480-312-9037

Get informed!



## Murillo, Jesus

---

**From:** Murillo, Jesus  
**Sent:** Tuesday, April 27, 2021 5:40 PM  
**To:** Andy Sweis  
**Subject:** RE: Pinnacle Peak Reserve Sharing Wash Meeting Notice

Hello Andy,

I will be sending you an email shortly, where I include you on a larger email message. You should receive that email shortly.

I also wanted you give an update. Our Stormwater Manager will be contacting you soon about how your flood insurance will be affected by this project.

Sincerely,

Jesús

---

**From:** Andy Sweis <[andysweis@hotmail.com](mailto:andysweis@hotmail.com)>  
**Sent:** Monday, February 22, 2021 8:08 PM  
**To:** Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>  
**Subject:** Re: Pinnacle Peak Reserve Sharing Wash Meeting Notice

**⚠ External Email: Please use caution if opening links or attachments!**

Address is 24340 N 74th Place. Thanks!

On Feb 22, 2021, at 6:33 PM, Murillo, Jesus <[JMurillo@scottsdaleaz.gov](mailto:JMurillo@scottsdaleaz.gov)> wrote:

Hello Andy,

Forgive me, I placed your email in the project folder and lost track of the communication. From my understanding, the removal of the mandatory flood insurance for many of the properties is one of pros of the project. Please provide me with an address and I can be more specific with my response.

Thank you for reaching out,

Jesús

---

**From:** Andy Sweis <[andysweis@hotmail.com](mailto:andysweis@hotmail.com)>  
**Sent:** Wednesday, January 27, 2021 5:13 PM  
**To:** Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>  
**Subject:** Re: Pinnacle Peak Reserve Sharing Wash Meeting Notice

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Hi Jesus. When is this project expected to be complete? Will it help remove the mandatory flood insurance in the area?

Thanks.  
Andy



On Jan 27, 2021, at 5:06 PM, Pinnacle Peak Reserve HOA <[messenger@pdsaz.com](mailto:messenger@pdsaz.com)> wrote:





# Rawhide Wash Flood Hazard Mitigation Virtual Public Meeting Notice

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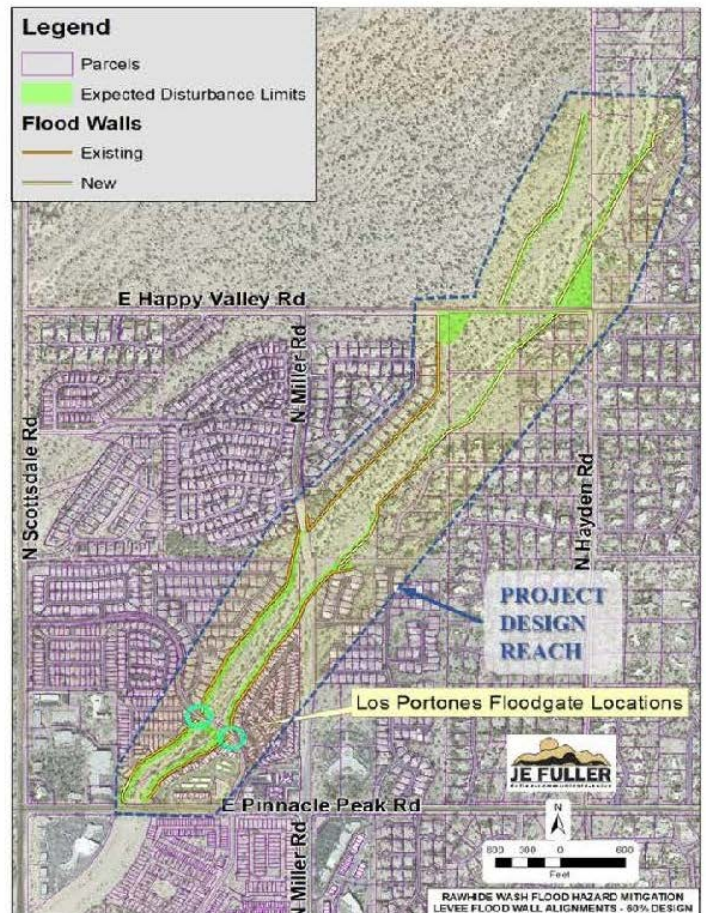
- **VISIT** [www.maricopa.gov/rawhidewash](http://www.maricopa.gov/rawhidewash) to access all information
- **WATCH** our prerecorded presentation
- **PROVIDE FEEDBACK** by clicking on the digital comment form link on the project website
- **CONTACT** project coordinator to provide further comments/questions

*Comment period will close on Friday, Jan. 29, 2021*

## Project Overview

The project team will provide a project update and an overview of the pre-90% completion design plans.

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City of Scottsdale Case No. 7-WM-2020

### Project Contact

Jesus Murillo – Senior Planner

480-312-7849

[jmurillo@scottsdaleAZ.gov](mailto:jmurillo@scottsdaleAZ.gov)

If you require reasonable accommodations for this meeting, please contact our Project Hotline at **623-825-3444** at least 72 hours in advance of the close of the public meeting.

---

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**Pinnacle Peak Reserve. 17235 N 75th Ave Building H100 Glendale, AZ 85308, Tel: (623) 877-1396**

## Murillo, Jesus

---

**From:** tbethune@earthlink.net  
**Sent:** Tuesday, April 27, 2021 5:22 PM  
**To:** Murillo, Jesus  
**Subject:** Re: RE: The New bridge on Miller Rd. - LaVista at Pinnacle Peak Board Meetings 4.27.21

**⚠ External Email: Please use caution if opening links or attachments!**

I apologize for this automatic reply to your email.

To control spam, I now allow incoming messages only from senders I have approved beforehand.

If you would like to be added to my list of approved senders, please fill out the short request form (see link below). Once I approve you, I will receive your original message in my inbox. You do not need to resend your message. I apologize for this one-time inconvenience.

Click the link below to fill out the request:

<https://webmail.pas.earthlink.net/wam/addme?a=tbethune@earthlink.net&id=11eb-a7b7-d000ae48-b034-00144ffa0e1d>

## Murillo, Jesus

---

**From:** Nannette Trolene <Nannette.Trolene@associa.us>  
**Sent:** Tuesday, April 27, 2021 5:22 PM  
**To:** Murillo, Jesus  
**Subject:** Automatic reply: The New bridge on Miller Rd. - LaVista at Pinnacle Peak Board Meetings 4.27.21

**⚠ External Email: Please use caution if opening links or attachments!**

Good Day,

Thank you for your email - I am out of the office until Wednesday, April 28th. If you have an after hours Maintenance Emergency, please contact 480-592-5222.

Sincerely,

Nannette Trolene, Community Manager  
Associa Arizona

## Murillo, Jesus

---

**From:** Murillo, Jesus  
**Sent:** Tuesday, April 27, 2021 5:22 PM  
**To:** j.j.levine@cox.net; 'Ed Toschik'; 'Thomas Bethune'; shay.noonan.az@gmail.com; 'Aaron Brown'  
**Cc:** 'Nannette Trolene'  
**Subject:** RE: The New bridge on Miller Rd. - LaVista at Pinnacle Peak Board Meetings 4.27.21

Hello Joe,

Thank you - I will prepare for the comments to come. You had seen the 30-percent information before. I was running through some emails, and found that particular email in another folder, and needed to respond.

CIP staff were suppose to provide me the link once it was ready, but I see you were notified before I was. In any event, here is the link again:

<https://www.scottsdaleaz.gov/construction/project-list/miller-road>

I will be forwarding the link to all the parties that have expressed interest I the past.

Sincerely,

Jesús

---

**From:** j.j.levine@cox.net <j.j.levine@cox.net>  
**Sent:** Tuesday, April 27, 2021 4:41 PM  
**To:** 'Ed Toschik' <ed.toschik@gmail.com>; 'Thomas Bethune' <tbethune@earthlink.net>; shay.noonan.az@gmail.com; 'Aaron Brown' <aaronb@lhmfinancial.com>  
**Cc:** 'Nannette Trolene' <Nannette.Trolene@associa.us>; Murillo, Jesus <JMurillo@ScottsdaleAz.Gov>  
**Subject:** The New bridge on Miller Rd. - LaVista at Pinnacle Peak Board Meetings 4.27.21

**⚠ External Email: Please use caution if opening links or attachments!**

<https://www.scottsdaleaz.gov/construction/project-list/miller-road>

Here is the link to the Scottsdale Miller road construction project. Please go there and state your mind.

Our contact for this is

Jesus Murillo E-mail: [jmurillo@scottsdaleAZ.gov](mailto:jmurillo@scottsdaleAZ.gov)

Senior Planner

City of Scottsdale Planning and Development Services

### **Received an email from one of our homeowners**

Hello Steven,

Thank you for your patience. Staff has complete the 30-percent plans for the proposed N. Miller Road bridge you have inquired in your email below. I think that the 30-percent design will help staff better answer questions the residents may have.

In Graphic A, I have overlayed the plans adjacent to the La Vista Community so you can see how the road will be laid out in relationship to the existing site. The graphic shows the entire bridge in that same drawing.

I know that staff is working on noise studies, and those will take a bit longer to compile than at this 30-percent design. You can see the landscaping that is included in the design. Staff is also working to understand the traffic counts for the road project.

The reason for the timing of this bridge project, is so that the design of the bridge and the wash mitigation can be consistent, and not require additional resources to retro fit the bridge later.

I also wanted to mention that there will be a more formal on-line presentation/introduction to the project. I will provide this link when ready.

Please feel free to contact me with any further questions or comments.

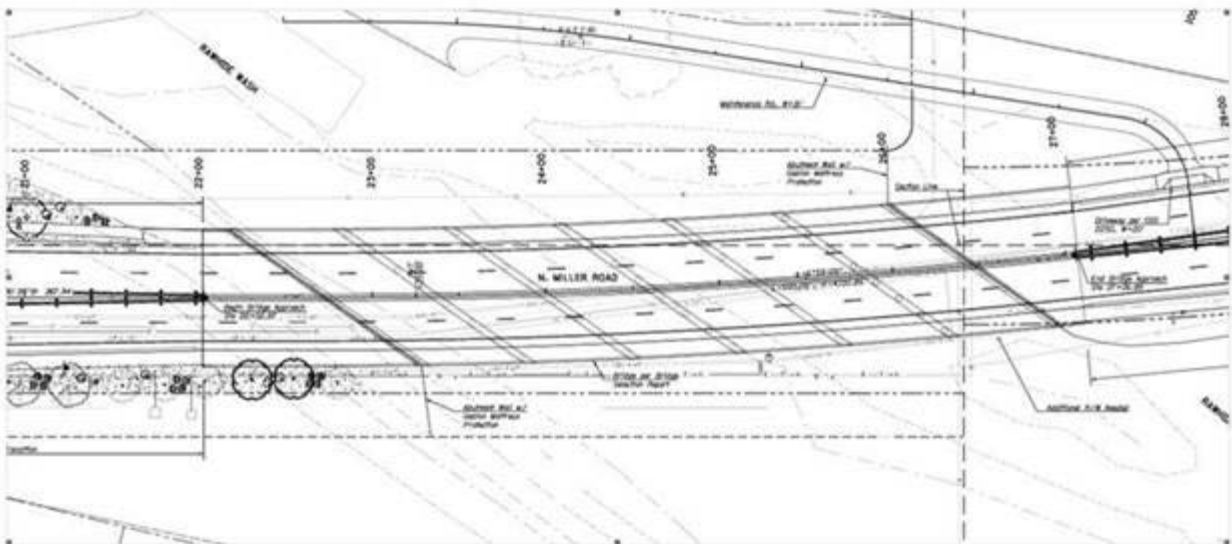
Sincerely,

Jesús

GRAPHIC A



GRAPHIC B



Joseph Levine

It's amazing what obstacles the human mind can overcome, if given the proper tools.  
*Unfortunately, the world is nuts and all I've got a rubber mallet.*

---

**From:** Nannette Trolene <[Nannette.Trolene@associa.us](mailto:Nannette.Trolene@associa.us)>

**Sent:** Friday, April 23, 2021 4:19 PM

**To:** Joseph Levine ([j.j.levine@cox.net](mailto:j.j.levine@cox.net)) <[j.j.levine@cox.net](mailto:j.j.levine@cox.net)>; Ed Toschik ([ed.toschik@gmail.com](mailto:ed.toschik@gmail.com)) <[ed.toschik@gmail.com](mailto:ed.toschik@gmail.com)>; Thomas Bethune ([tbethune@earthlink.net](mailto:tbethune@earthlink.net)) <[tbethune@earthlink.net](mailto:tbethune@earthlink.net)>; [shay.noonan.az@gmail.com](mailto:shay.noonan.az@gmail.com); 'Aaron Brown' <[aaronb@lhmfinancial.com](mailto:aaronb@lhmfinancial.com)>

**Cc:** Nannette Trolene <[Nannette.Trolene@associa.us](mailto:Nannette.Trolene@associa.us)>

**Subject:** LaVista at Pinnacle Peak Board Meetings 4.27.21

Good Afternoon,

Please see the attached board packets.. Let me know if you have any questions..

Have a Great Weekend!

*Nannette Trolene, CMCA, AMS*

Community Manager

An Associa® Member Company

7500 N. Dobson Rd, Suite 150 Scottsdale, AZ 85256

Main:480-892-5222

Direct : 480-477-1824

Email: [Nannette.trolene@Associa.us](mailto:Nannette.trolene@Associa.us)

Did you know you can check your account online? You have 24hr access to view compliance details, account balance and history, and payment options. Visit [www.associaarizona.com](http://www.associaarizona.com) for this information and more.



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## Murillo, Jesus

---

**From:** jj.levine@cox.net  
**Sent:** Tuesday, April 27, 2021 4:41 PM  
**To:** 'Ed Toschik'; 'Thomas Bethune'; shay.noonan.az@gmail.com; 'Aaron Brown'  
**Cc:** 'Nannette Trolene'; Murillo, Jesus  
**Subject:** The New bridge on Miller Rd. - LaVista at Pinnacle Peak Board Meetings 4.27.21

**⚠ External Email: Please use caution if opening links or attachments!**

<https://www.scottsdaleaz.gov/construction/project-list/miller-road>

Here is the link to the Scottsdale Miller road construction project. Please go there and state your mind.

Our contact for this is

Jesus Murillo E-mail: [jmurillo@scottsdaleAZ.gov](mailto:jmurillo@scottsdaleAZ.gov)  
Senior Planner  
City of Scottsdale Planning and Development Services

### *Received an email from one of our homeowners*

Hello Steven,

Thank you for your patience. Staff has complete the 30-percent plans for the proposed N. Miller Road bridge you have inquired in your email below. I think that the 30-percent design will help staff better answer questions the residents may have.

In Graphic A, I have overlayed the plans adjacent to the La Vista Community so you can see how the road will be laid out in relationship to the existing site. The graphic shows the entire bridge in that same drawing.

I know that staff is working on noise studies, and those will take a bit longer to compile than at this 30-percent design. You can see the landscaping that is included in the design. Staff is also working to understand the traffic counts for the road project.

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Sincerely,

Jesús



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Community Manager

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Main:480-892-5222

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***Please use this link to let me know if I gave you 5 star customer service. Your feedback is important.***

<http://search.google.com/local/writereview?placeid=ChIJdXWLNULKK4cRNPH3LrfCWxE>



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This communication does not reflect an intention by the sender or the sender's client or principal to conduct a transaction or make any agreement by electronic means. Nothing contained in this message or in any attachment shall satisfy the requirements for a writing, and nothing contained herein shall constitute a contract or electronic signature under the Electronic Signatures in Global and National Commerce Act, any version of the Uniform Electronic Transactions Act or any other statute governing electronic transactions.

## Murillo, Jesus

---

**From:** s.sussholz@gmail.com  
**Sent:** Monday, April 26, 2021 2:00 PM  
**To:** Murillo, Jesus; Joseph Levine  
**Subject:** Re: Miller Road Extension

**⚠ External Email: Please use caution if opening links or attachments!**

Thank you for the drawing and overlay showing the road extension and bridge. The only problem I am having is the printing is not very clear and it is hard to read. Can we get a clearer print? Also what is going to be the elevation of the bridge as it passes the homes on N. 76th place? Are we going to see the bridge from our back yards?

On Monday, April 26, 2021, 11:31:54 AM MST, Murillo, Jesus <jmurillo@scottsdaleaz.gov> wrote:

Hello Steven,

Thank you for your patience. Staff has complete the 30-percent plans for the proposed N. Miller Road bridge you have inquired in your email below. I think that the 30-percent design will help staff better answer questions the residents may have.

In Graphic A, I have overlaid the plans adjacent to the La Vista Community so you can see how the road will be laid out in relationship to the existing site. The graphic shows the entire bridge in that same drawing.

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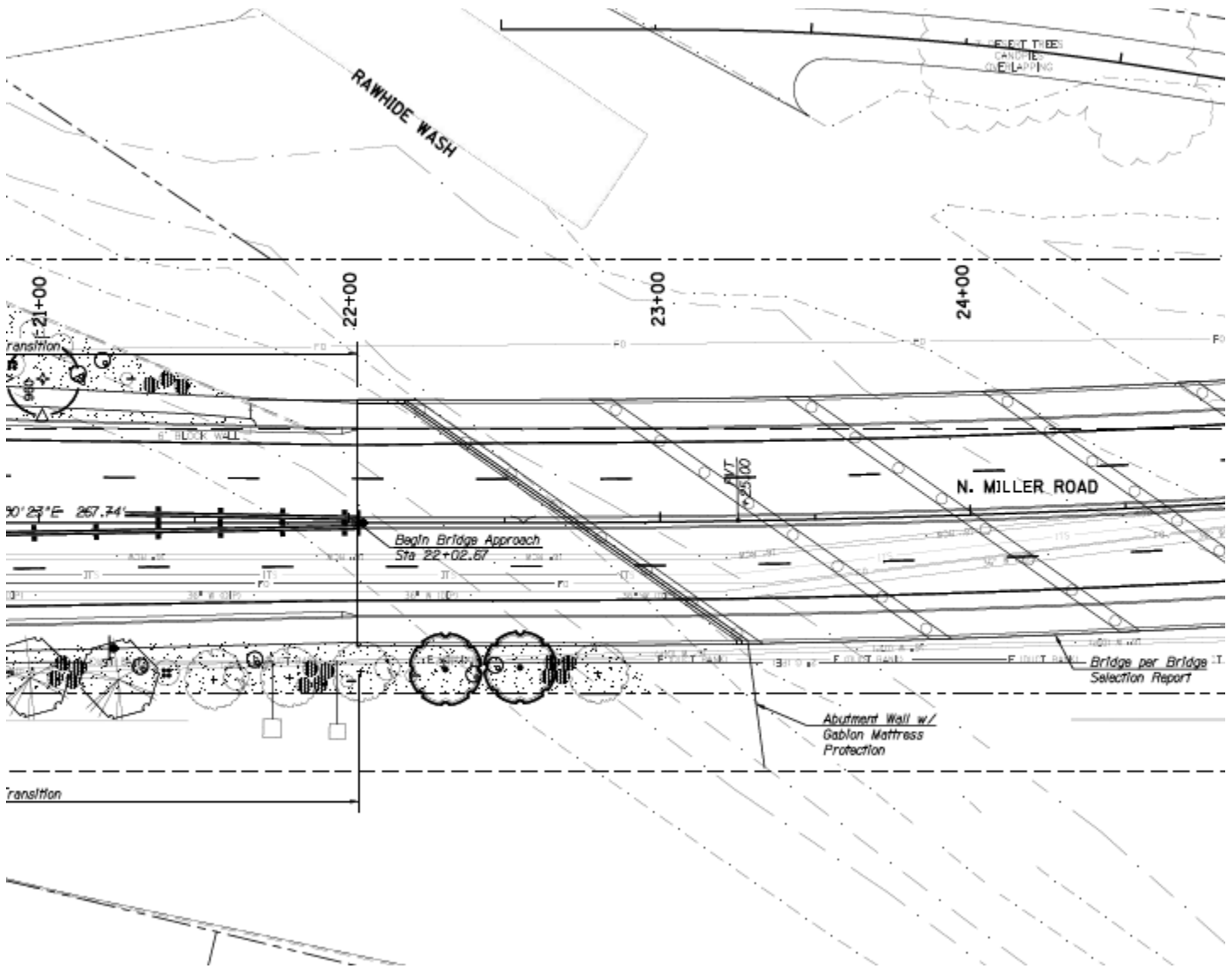
Jesús

## **GRAPHIC A**



**GRAPHIC B**





**From:** s.sussholz@gmail.com <s.sussholz@gmail.com>  
**Sent:** Saturday, March 20, 2021 3:03 PM  
**To:** Murillo, Jesus <JMurillo@ScottsdaleAz.Gov>; Joseph Levine <j.j.levine@cox.net>  
**Subject:** Miller Road Extension

**⚠ External Email: Please use caution if opening links or attachments!**

Jesus: My name is Steven Sussholz and I live at 24084 N. 76th Place. The extension of Miller Road will run right behind my home impacting my peace and quite and yet no one has reached out to me, and I presume none the people living on my street, explaining in detail what is being proposed and the impact on our homes.

It would be nice for the City to send us or present us with drawings, sketches and elevations of the proposed work indicating at a minimum the following:

1. The exact location of the proposed road and how it related to the LaVista west property line.
2. The location of the proposed bridge and whether it and the traffic will be visible from our homes.
3. Information on the noise levels that we will experience at out property line and what if any work will be done to abate the noise.
4. Will any landscaping (trees) be done to help mitigate the view of new road/bridge?
5. What are the anticipated traffic counts on the extended road?
6. Will this road and bridge construction project have any impact on the Rawhide storm water mitigation project.?

Also has any meeting been arranged with all the impacted residential property owners to discuss the proposed work ? It would be nice if this could be arranged.

Your assistance in obtaining this information would be appreciated.

## Murillo, Jesus

---

**From:** Murillo, Jesus  
**Sent:** Monday, April 26, 2021 11:32 AM  
**To:** s.sussholz@gmail.com  
**Subject:** RE: Miller Road Extension

Hello Steven,

Thank you for your patience. Staff has complete the 30-percent plans for the proposed N. Miller Road bridge you have inquired in your email below. I think that the 30-percent design will help staff better answer questions the residents may have.

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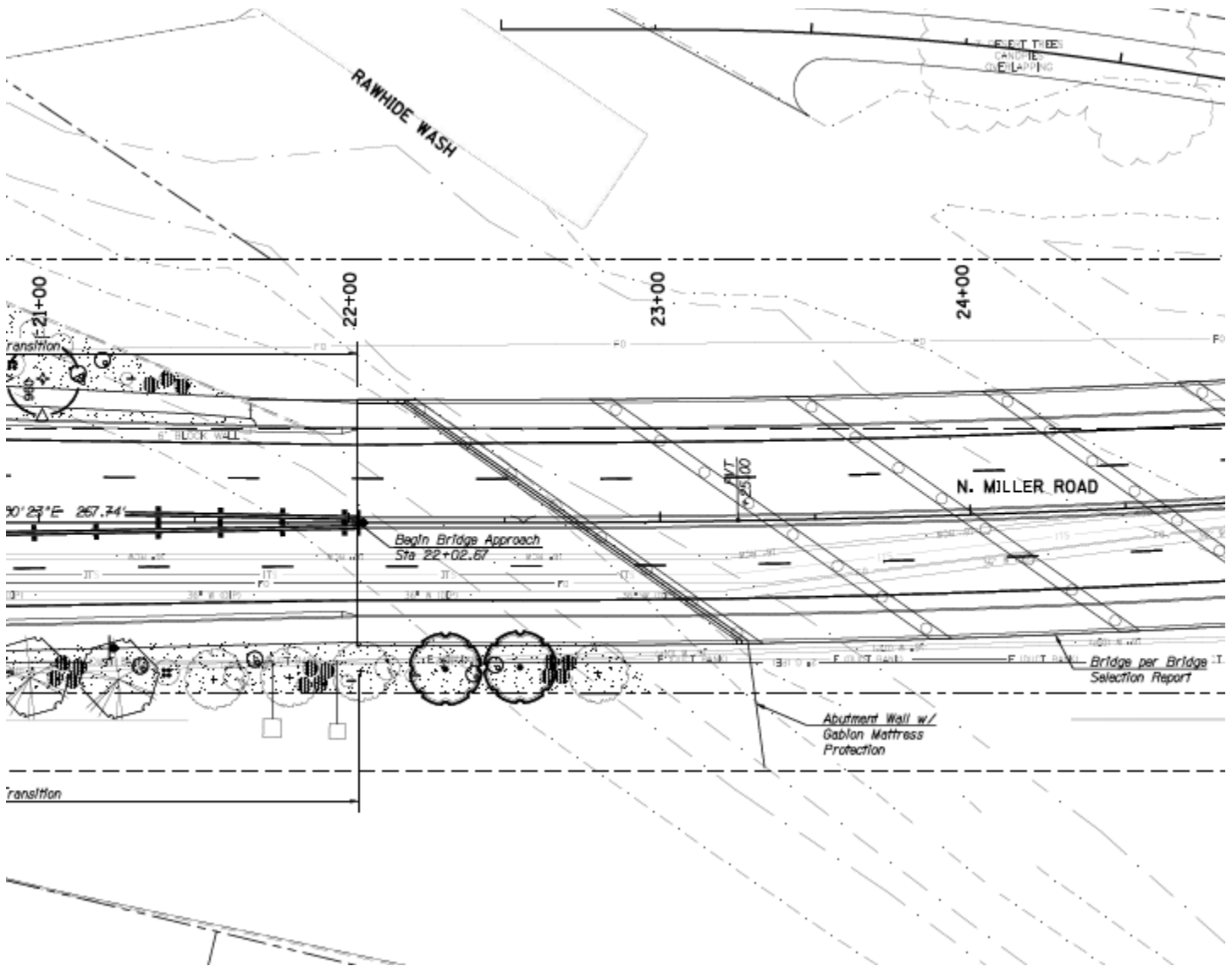
Sincerely,

Jesús

**GRAPHIC A**



**GRAPHIC B**



**From:** s.sussholz@gmail.com <s.sussholz@gmail.com>  
**Sent:** Saturday, March 20, 2021 3:03 PM  
**To:** Murillo, Jesus <JMurillo@ScottsdaleAz.Gov>; Joseph Levine <j.j.levine@cox.net>  
**Subject:** Miller Road Extension

**⚠ External Email: Please use caution if opening links or attachments!**

Jesus: My name is Steven Sussholz and I live at 24084 N. 76th Place. The extension of Miller Road will run right behind my home impacting my peace and quite and yet no one has reached out to me, and I presume none the people living on my street, explaining in detail what is being proposed and the impact on our homes.

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Also has any meeting been arranged with all the impacted residential property owners to discuss the proposed work ? It would be nice if this could be arranged.

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## Murillo, Jesus

---

**From:** Murillo, Jesus  
**Sent:** Wednesday, April 21, 2021 9:59 AM  
**To:** Nicole Forbes  
**Cc:** Andrea Smith; stephanieandersonclark@gmail.com  
**Subject:** RE: Rawhide wash meeting

Hello Nicole,

I am hoping that we can schedule a time to come and visit your property and discuss your concerns. Please provide me with some dates and time that would work for you (also including Stephanie and Andrea).

Sincerely,

Jesús

On Mar 17, 2021, at 7:26 PM, Murillo, Jesus <[JMurillo@scottsdaleaz.gov](mailto:JMurillo@scottsdaleaz.gov)> wrote:

Hello Nicole,

Forgive the late response, it has been a very busy time for staff.

I spoke with Mr. Richter, and he agreed to visit your property. I will also be including some engineers in this site visit look to see the engineers calendar. Is there a better day in the week, or time, that work for you.

Sincerely,

Jesús

---

**From:** Nicole Forbes <[Forbes365@outlook.com](mailto:Forbes365@outlook.com)>  
**Sent:** Friday, March 05, 2021 6:58 AM  
**To:** Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>  
**Cc:** Andrea Smith <[scottandandrea@cox.net](mailto:scottandandrea@cox.net)>; [stephanieandersonclark@gmail.com](mailto:stephanieandersonclark@gmail.com)  
**Subject:** Re: Rawhide wash meeting

**⚠ External Email: Please use caution if opening links or attachments!**

Good morning Jesus, thank you for reaching out and providing us with these further details. I appreciate your time and understanding when I say there is much more detail to discuss.

As requested when we spoke I would like to have an in person walk of the project. Being that this highly impacts my property enjoyment and value I do appreciate everyone's time however it is necessary for my family and my surrounding neighbors.

Please know in the interim, I would like to respectfully request that all trucks be **removed** from the wash area. I understand there may be activity during the day however overnight parking just outside our backyard should not be permitted.

<image001.jpg>

Thank you again for your attention to the details requested within this email. Being that it is Friday, please kindly ensure that the crew working in the wash understands to move their vehicles **prior** to the weekend.

Have a wonderful day and thank you.

Warmest regards,  
~Nicole  
Nicole Forbes  
Cell: (480) 980-1407  
[Forbes365@outlook.com](mailto:Forbes365@outlook.com)

On Feb 22, 2021, at 7:21 PM, Murillo, Jesus <[JMurillo@scottsdaleaz.gov](mailto:JMurillo@scottsdaleaz.gov)> wrote:

Hello Nicole,

Please allow me to introduce myself. I am the project coordinator for this project as it goes through the DRB process. Please give me a time that I may call you, and we can get more specific with the information I am providing in this email.

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Having said all of that, here is a very draft image of the bridge design up to this point.

Again, please let me know of a good day and time to contact you.

<image004.jpg>

Sincerely,

Jesús



⚠ External Email: Please use caution if opening links or attachments!

Good morning Jesus,

I hope you're doing well and having a great week thus far.

I reside at 7561 East Alameda Rd. and back to the rawhide wash. Unfortunately we were committed during the zoom meeting this past Friday and I would like to see if you could contact me for further information. If there's anything that you can send me via email that would be fantastic but I would like to connect with you via phone as well to get a full understanding of the scope of the project. This will greatly affect our property value and view depending on what the project entails.

Thank you so very much for your time. I look forward to speaking with you further. Have a great morning!

Warmest regards,  
~Nicole  
Nicole Forbes  
Cell: (480) 980-1407  
[Forbes365@outlook.com](mailto:Forbes365@outlook.com)

## Murillo, Jesus

---

**From:** s.sussholz@gmail.com  
**Sent:** Saturday, March 20, 2021 3:03 PM  
**To:** Murillo, Jesus; Joseph Levine  
**Subject:** Miller Road Extension

**⚠ External Email: Please use caution if opening links or attachments!**

Jesus: My name is Steven Sussholz and I live at 24084 N. 76th Place. The extension of Miller Road will run right behind my home impacting my peace and quite and yet no one has reached out to me, and I presume none the people living on my street, explaining in detail what is being proposed and the impact on our homes.

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Your assistance in obtaining this information would be appreciated.

## Murillo, Jesus

---

**From:** Md <savagrey@gmail.com>  
**Sent:** Thursday, March 18, 2021 7:48 AM  
**To:** Murillo, Jesus  
**Subject:** Rawhide Wash Project

**⚠ External Email: Please use caution if opening links or attachments!**

Hello

The other question I would like added is the noise volume this is going to create. I am working from home indefinitely and concerned about the level of noise. I am already hearing the drilling for the past few weeks.

Thank you!

Margie D

"Saving one greyhound will not change the world, but for one dog the world will change. Change a world....adopt a greyhound, they're greyt!"

## Murillo, Jesus

---

**From:** Stephanie Clark <stephanieandersonclark@gmail.com>  
**Sent:** Wednesday, March 17, 2021 7:49 PM  
**To:** Murillo, Jesus  
**Cc:** Nicole Forbes; Andrea Smith  
**Subject:** Re: Rawhide wash meeting

**⚠ External Email: Please use caution if opening links or attachments!**

Hi Jesus,

I would like to be included on that site visit as well.

This was the view from my bedroom this morning.



My address is: 24337 N 75th Way, 85255.

I'm available most days, all day.

Thank you,

Stephanie

On Mar 17, 2021, at 7:26 PM, Murillo, Jesus <JMurillo@scottsdaleaz.gov> wrote:

Hello Nicole,

Forgive the late response, it has been a very busy time for staff.

I spoke with Mr. Richter, and he agreed to visit your property. I will also be including some engineers in this site visit look to see the engineers calendar. Is there a better day in the week, or time, that work for you.

Sincerely,

Jesús

---

**From:** Nicole Forbes <Forbes365@outlook.com>  
**Sent:** Friday, March 05, 2021 6:58 AM  
**To:** Murillo, Jesus <JMurillo@ScottsdaleAz.Gov>  
**Cc:** Andrea Smith <scottandandrea@cox.net>; stephanieandersonclark@gmail.com  
**Subject:** Re: Rawhide wash meeting

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Good morning Jesus, thank you for reaching out and providing us with these further details. I appreciate your time and understanding when I say there is much more detail to discuss.

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## Murillo, Jesus

---

**From:** Nicole Forbes <Forbes365@outlook.com>  
**Sent:** Friday, March 05, 2021 6:58 AM  
**To:** Murillo, Jesus  
**Cc:** Andrea Smith; stephanieandersonclark@gmail.com  
**Subject:** Re: Rawhide wash meeting

**⚠ External Email: Please use caution if opening links or attachments!**

Good morning Jesus, thank you for reaching out and providing us with these further details. I appreciate your time and understanding when I say there is much more detail to discuss.

As requested when we spoke I would like to have an in person walk of the project. Being that this highly impacts my property enjoyment and value I do appreciate everyone's time however it is necessary for my family and my surrounding neighbors.

Please know in the interim, I would like to respectfully request that all trucks be **removed** from the wash area. I understand there may be activity during the day however overnight parking just outside our backyard should not be permitted.





Thank you again for your attention to the details requested within this email. Being that it is Friday, please kindly ensure that the crew working in the wash understands to move their vehicles **prior** to the weekend.

Have a wonderful day and thank you.

Warmest regards,  
~Nicole  
Nicole Forbes  
Cell: (480) 980-1407  
Forbes365@outlook.com

On Feb 22, 2021, at 7:21 PM, Murillo, Jesus <JMurillo@scottsdaleaz.gov> wrote:

Hello Nicole,

Please allow me to introduce myself. I am the project coordinator for this project as it goes through the DRB process. Please give me a time that I may call you, and we can get more specific with the information I am providing in this email.

The project is currently in the younger stages of the design (30 percent design) and the public process. Staff planning to have 60 percent design completed by April. This analysis will allow staff to better be able to answer public inquiries. The project is currently looking to button down the dates of the public outreach process. There will be open houses and more information to come. This will be a good time to start proving additional comments. Staff will also be including all of your correspondence in any and all final reports. The residents will have the opportunity to provide their opinion during this period and the other stages of the process. The project will require approval by the Development Review Board, and the public will be allowed to also provide their comments during that hearing. Projects approved through the Development Review Board process may be appealed to the City Council.

Having said all of that, here is a very draft image of the bridge design up to this point.

Again, please let me know of a good day and time to contact you.

<image004.jpg>

Sincerely,

Jesús

 External Email: Please use caution if opening links or attachments!

Good morning Jesus,

I hope you're doing well and having a great week thus far.



I reside at 7561 East Alameda Rd. and back to the rawhide wash. Unfortunately we were committed during the zoom meeting this past Friday and I would like to see if you could contact me for further information. If there's anything that you can send me via email that would be fantastic but I would like to connect with you via phone as well to get a full understanding of the scope of the project. This will greatly affect our property value and view depending on what the project entails.

Thank you so very much for your time. I look forward to speaking with you further. Have a great morning!

Warmest regards,

~Nicole

Nicole Forbes

Cell: (480) 980-1407

[Forbes365@outlook.com](mailto:Forbes365@outlook.com)

## Murillo, Jesus

---

**From:** Richter, Jeremy  
**Sent:** Tuesday, March 02, 2021 2:52 PM  
**To:** Joe Keyser  
**Cc:** Meinhart, David; Murillo, Jesus; Walsh, Erin  
**Subject:** RE: Miller bridge

Good afternoon Joe,

As you have noted, the crew out in the field you saw is doing soils investigation to help inform the design of the bridge. No construction is taking place at this time, only design work.

My apologies, I do not want you to think the project team has ignored resident comments. The planning level decision to install the bridge has already taken place as part of the Transportation Master Plan process but will additionally undertake a public outreach process to discuss aesthetics of the bridge and overall project area. Our public outreach process kicked off last week with an email blast to the various HOAs in the area and well as the publication of our project website. (<https://www.scottsdaleaz.gov/construction/project-list/miller-road>) The project team currently working on putting together a virtual public outreach meeting and presentation on the project elements. This virtual public meeting will occur in early April. Sorry if we appear slow to get this outreach process started as we are very early in the design process. In general, we try to wait until design reaches a phase where we have adequate graphics to present to the public. This help inform discussions/public comment on project aesthetics like sound walls and landscape package.

Miller Road: Happy Valley to Pinnacle Peak project will go to the City of Scottsdale Development Review Board (DRB) for approval sometime late this summer. Please use the link below to check upcoming DRB agendas for the specific date. DRB is another opportunity for public comment.

<https://www.scottsdaleaz.gov/boards/development-review-board>

The construction contract to construct the Miller Road project will also go to City of Scottsdale City Council for approval following an approval by DRB. The city council meeting where the construction contract is on the agenda would also be another opportunity for public comment. Please use link below to view the City Council Agendas.

<https://www.scottsdaleaz.gov/council/meeting-information/agendas-minutes>

When the project is presented to the Design Review Board and city council the project will submit a log of all public comments received as part of the report to DRB. This report will be available to public review.

Respectfully,

**Jeremy Richter**  
Project Manager



Capital Project Management  
7447 E. Indian School Road, Suite 205  
Scottsdale, Arizona 85251  
Phone: (480) 312-7869  
Email: [jrichter@scottsdaleaz.gov](mailto:jrichter@scottsdaleaz.gov)

---

**From:** Joe Keyser <joeowenk@icloud.com>

**Sent:** Monday, March 01, 2021 3:54 PM

**To:** Richter, Jeremy <JRichter@Scottsdaleaz.gov>

**Cc:** Meinhart, David <DMeinhart@Scottsdaleaz.gov>; Murillo, Jesus <JMurillo@ScottsdaleAz.Gov>; Walsh, Erin <ewalsh@scottsdaleaz.gov>

**Subject:** Re: Miller bridge

**⚠ External Email: Please use caution if opening links or attachments!**

Hello,

I contacted you approximately one month ago in response to the Miller bridge public comment request. As I run in the wash daily, I can see that my comments, and those of my neighbors, are being disregarded without any consideration.

There was a crew today doing soil testing, and we know that for building/testing to be commencing at this point it is clear that there was never any intent to consider our comments. A project like this would require more than a month to initiate, so why did you solicit comments other than to check a box?

We request to know what was done with public comments and hearings as it relates to the Miller bridge / your destruction of the rawhide wash. Please provide a summary of public comments, a record of your response to them, and the detailed response from the city as to the commenters concerns.

In the meantime, please keep your motorized vehicles out of the wash since we don't plan to just roll over on this.

Sincerely,

Joe Keyser  
602-430-1391

Sent from my iPhone

On Jan 29, 2021, at 12:50 PM, Joe Keyser <[joeowenk@icloud.com](mailto:joeowenk@icloud.com)> wrote:

Jeremy,

Thank you for your reply. I sincerely fear the day that we see trucks and bulldozers pulling into the wash, and am sure many of my neighbors share this thought. I'm sure you can build a beautiful design, but it really isn't a good place for it. So, I appreciate you passing along my thoughts and comments.

Have a great day.

Joe

Sent from my iPhone

On Jan 29, 2021, at 12:40 PM, Richter, Jeremy <[JRichter@scottsdaleaz.gov](mailto:JRichter@scottsdaleaz.gov)> wrote:

Good afternoon Mr. Keyser,

My apologies, as The City's Capital Project Manager my expertise in the project are more on the design, construction and aesthetics of the bridge. I will have to refer you to

Dave Meinhardt for our Transportation Department (he is cc on this email) for comments of the planning aspects or need for this project.

Dave, Can you please provide some insight on Mr. Keyser's questions below? Thanks,

Respectfully,

**Jeremy Richter**

Project Manager

<image001.png>

Capital Project Management  
7447 E. Indian School Road, Suite 205  
Scottsdale, Arizona 85251  
Phone: (480) 312-7869  
Email: [jrichter@scottsdaleaz.gov](mailto:jrichter@scottsdaleaz.gov)  
To send large files [click here](#)

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**From:** Joe Keyser <[joeowenk@icloud.com](mailto:joeowenk@icloud.com)>  
**Sent:** Thursday, January 28, 2021 9:01 PM  
**To:** Richter, Jeremy <[JRichter@Scottsdaleaz.gov](mailto:JRichter@Scottsdaleaz.gov)>  
**Subject:** Miller bridge

**⚠ External Email: Please use caution if opening links or attachments!**

Hello Jeremy,

I just watched your presentation on the flood mitigation, and need to voice a strong opinion on this matter. I hope you can take these comments to the right audience, and thanks in advance.

We do not need a bridge over the wash at Miller Rd! What we need is less development, not more. I jog up and down the wash from los Portones to Jomax and back almost daily, and have for 17 years. There are many animals and plants in there, and it is the last raw desert nearby. It would be an absolute tragedy to see the city tear up the wash, and turn it into a construction project. Please keep your motor vehicles out of the wash as the signs indicate.

The road on los portones floods over, and that could be fixed. The overpass on pinnacle peak near scottsdale road is a potential backup, and could be looked at. Otherwise I'd rather keep the flood insurance than to see our beautiful wash destroyed.

The bridge on Miller is a completely separate issue and is not needed or wanted. Perhaps the city could instead update its 20 year old general plan? What about open space? That apparently has no value to the city. Just look at the tragedy going up at 101 & Hayden, that is destroying the character of Scottsdale and the native ecosystem. Disturbing the wash as planned would only add to this unwanted change, and the correct answer is that the infrastructure is maxed out and for the city council to stop taking money from developers. The new housing developments at the previous site of Rawhide were also unneeded and have caused more traffic than the area can handle, particularly during the snowbird season.

Sincerely and best regards,

Joe Keyser  
602-430-1391

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## Murillo, Jesus

---

**From:** Joe Keyser <joeowenk@icloud.com>  
**Sent:** Monday, March 01, 2021 3:54 PM  
**To:** Richter, Jeremy  
**Cc:** Meinhart, David; Murillo, Jesus; Walsh, Erin  
**Subject:** Re: Miller bridge

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<image001.png>

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Rawhide were also unneeded and have caused more traffic than the area can handle, particularly during the snowbird season.

Sincerely and best regards,

Joe Keyser  
602-430-1391

Sent from my iPhone



## Murillo, Jesus

---

**From:** Md <savagrey@gmail.com>  
**Sent:** Tuesday, February 23, 2021 7:18 PM  
**To:** Murillo, Jesus  
**Subject:** Re: Case 7-WM-2020 rawhide wash project

**⚠ External Email: Please use caution if opening links or attachments!**

Thank you for the update. I will look for further information as it becomes available.

Margie D

"Saving one greyhound will not change the world, but for one dog the world will change. Change a world....adopt a greyhound, they're greyt!"

On Feb 23, 2021, at 6:58 PM, Murillo, Jesus <JMurillo@scottsdaleaz.gov> wrote:

Hello Margie,

Please allow me to introduce myself. As you have probably guessed, I am the project coordinator for this project as it goes through the DRB process.

The project is currently in the younger stages of the design (30 percent design) and the public process. Staff planning to have 60 percent design completed by April. This analysis will allow staff to better be able to answer public inquiries. The project is currently looking to button down the dates of the public outreach process. There will be open houses and more information to come. This will be a good time to start proving additional comments. Staff will also be including all of your correspondence in any and all final reports. The residents will have the opportunity to provide their opinion during this period and the other stages of the process. The project will require approval by the Development Review Board, and the public will be allowed to also provide their comments during that hearing.

The project is getting close to being able to provide heights of the bridge. There are some outstanding reports (noise attenuation analysis and engineering) that could change elements of the design, and therefore affect the height.

I don't know if there will be lighting proposed with the bridge. I will consult with the design team for specifics.

The main design of the bridge will be concrete, but may have other materials on the rails.

Having said all of that, here is a very draft image of the bridge design up to this point. It identifies four lanes, and two sidewalks (one on each side). I think there are bike lanes, but need to confirm on the next phase of the design.

I will keep you updated.

Please feel free to contact me with any further questions or comments.

<image004.jpg>

Sincerely,

Jesús

**From:** Md <savagrey@gmail.com>  
**Sent:** Sunday, February 21, 2021 12:59 PM  
**To:** Murillo, Jesus <JMurillo@ScottsdaleAz.Gov>  
**Subject:** Case 7-WM-2020 rawhide wash project

**⚠ External Email: Please use caution if opening links or attachments!**

Hello

Thank you for the details on this project. Following this project closely as it impacts my neighborhood.

Questions about the bridge:

- what is the height of this bridge
- is it 4 lanes with bike paths as well?
- will it be lit at night?
- how long is it?
- is it cement or what material?

Thank you!

Margie D

"Saving one greyhound will not change the world, but for one dog the world will change. Change a world....adopt a greyhound, they're greyt!"

## Murillo, Jesus

---

**From:** Murillo, Jesus  
**Sent:** Tuesday, February 23, 2021 6:59 PM  
**To:** savagrey@gmail.com  
**Subject:** Case 7-WM-2020 rawhide wash project

Hello Margie,

Please allow me to introduce myself. As you have probably guessed, I am the project coordinator for this project as it goes through the DRB process.

The project is currently in the younger stages of the design (30 percent design) and the public process. Staff planning to have 60 percent design completed by April. This analysis will allow staff to better be able to answer public inquiries. The project is currently looking to button down the dates of the public outreach process. There will be open houses and more information to come. This will be a good time to start proving additional comments. Staff will also be including all of your correspondence in any and all final reports. The residents will have the opportunity to provide their opinion during this period and the other stages of the process. The project will require approval by the Development Review Board, and the public will be allowed to also provide their comments during that hearing.

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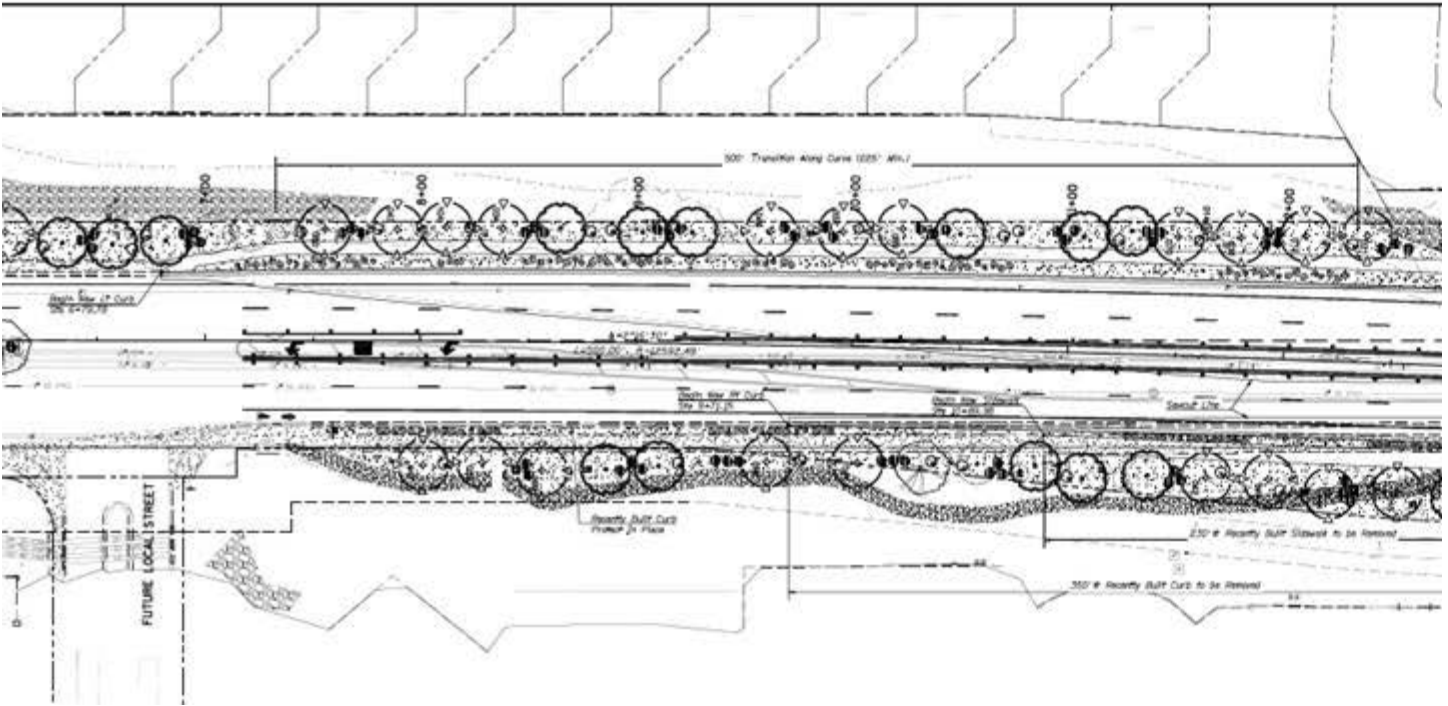
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**Sent:** Sunday, February 21, 2021 12:59 PM  
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**Subject:** Case 7-WM-2020 rawhide wash project

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Hello

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- is it 4 lanes with bike paths as well?
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Thank you!

Margie D

"Saving one greyhound will not change the world, but for one dog the world will change. Change a world....adopt a greyhound, they're greyt!"

## Murillo, Jesus

---

**From:** pj enyart <pjenyart@gmail.com>  
**Sent:** Monday, February 22, 2021 9:50 PM  
**To:** Murillo, Jesus  
**Subject:** Re: Rawhide Wash

**⚠ External Email: Please use caution if opening links or attachments!**

Thank you

Paula Enyart

On Feb 22, 2021, at 6:40 PM, Murillo, Jesus <JMurillo@scottsdaleaz.gov> wrote:

Hello Ms. Enyart,

I did want to thank you for your comments, and wanted you to know that they will be included in any communications forwarded to the Development Review Board.

I will keep you updated on any public hearing dates that you may consider providing any additional comments.

Sincerely,

Jesús

---

**From:** Enyart Paula J. <pjenyart@gmail.com>  
**Sent:** Friday, January 29, 2021 3:36 PM  
**To:** Murillo, Jesus <JMurillo@ScottsdaleAz.Gov>  
**Subject:** Rawhide Wash

**⚠ External Email: Please use caution if opening links or attachments!**

I think it is perfectly clear that the residents in the Los Portones area do not want this disruption to our wash. But money talks, and it will happen because Phoenix needs the Flood Hazard in place for their projects to go forward. Forget what is best for community and native desert. It will happen against all wishes of public.

## Murillo, Jesus

---

**From:** Andy Sweis <andysweis@hotmail.com>  
**Sent:** Monday, February 22, 2021 8:08 PM  
**To:** Murillo, Jesus  
**Subject:** Re: Pinnacle Peak Reserve Sharing Wash Meeting Notice

**⚠ External Email: Please use caution if opening links or attachments!**

Address is 24340 N 74th Place. Thanks!

On Feb 22, 2021, at 6:33 PM, Murillo, Jesus <JMurillo@scottsdaleaz.gov> wrote:

Hello Andy,

Forgive me, I placed your email in the project folder and lost track of the communication. From my understanding, the removal of the mandatory flood insurance for many of the properties is one of pros of the project. Please provide me with an address and I can be more specific with my response.

Thank you for reaching out,

Jesús

---

**From:** Andy Sweis <andysweis@hotmail.com>  
**Sent:** Wednesday, January 27, 2021 5:13 PM  
**To:** Murillo, Jesus <JMurillo@ScottsdaleAz.Gov>  
**Subject:** Re: Pinnacle Peak Reserve Sharing Wash Meeting Notice

**⚠ External Email: Please use caution if opening links or attachments!**

Hi Jesus. When is this project expected to be complete? Will it help remove the mandatory flood insurance in the area?

Thanks.  
Andy

On Jan 27, 2021, at 5:06 PM, Pinnacle Peak Reserve HOA <[messenger@pdsaz.com](mailto:messenger@pdsaz.com)> wrote:





# Rawhide Wash Flood Hazard Mitigation Virtual Public Meeting Notice

The Flood Control District of Maricopa County (FCDMC), the City of Scottsdale, and the City of Phoenix invite you to participate in our virtual public meeting for the Rawhide Wash Flood Hazard Mitigation – Final Design Project.

This online presentation will provide the same information typically available at an in-person public meeting while respecting social distancing recommendations and the personal safety of the community during the COVID-19 pandemic.

## Virtual Public Meeting Presentation

Monday, Jan. 18 through Friday, Jan. 29, 2021:

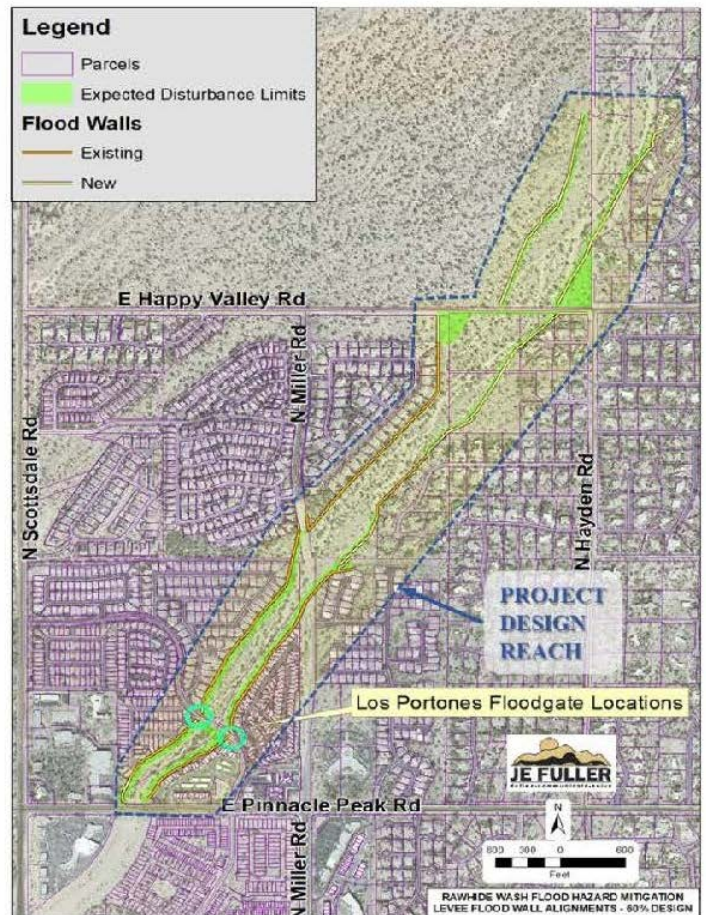
- **VISIT** [www.maricopa.gov/rawhidewash](http://www.maricopa.gov/rawhidewash) to access all information
- **WATCH** our prerecorded presentation
- **PROVIDE FEEDBACK** by clicking on the digital comment form link on the project website
- **CONTACT** project coordinator to provide further comments/questions

*Comment period will close on Friday, Jan. 29, 2021*

## Project Overview

The project team will provide a project update and an overview of the pre-90% completion design plans.

Implementation of the Rawhide Wash Project will include some disturbances of the native desert within the project corridor area, modification of existing floodwalls, and constructing of new floodwalls to provide 100-year flood protection to approximately 850 buildings within the Rawhide Wash Floodplain. Presentation materials will include sample graphics and examples of construction



City of Scottsdale Case No. 7-WM-2020

### Project Contact

Jesus Murillo – Senior Planner

☎ 480-312-7849

✉ [jmurillo@scottsdaleAZ.gov](mailto:jmurillo@scottsdaleAZ.gov)

If you require reasonable accommodations for this meeting, please contact our Project Hotline at **623-825-3444** at least 72 hours in advance of the close of the public meeting.



---

This email is intended for the residents of Pinnacle Peak Reserve only. Please direct queries on this email to [messenger@pdsaz.com](mailto:messenger@pdsaz.com). You may modify your subscriptions to these email broadcasts by changing your preferences on the Membership/Web tab in your online [member profile](#).

**Pinnacle Peak Reserve. 17235 N 75th Ave Building H100 Glendale, AZ 85308, Tel: (623) 877-1396**

## Murillo, Jesus

---

**From:** Murillo, Jesus  
**Sent:** Monday, February 22, 2021 7:21 PM  
**To:** Forbes365@outlook.com  
**Subject:** RE: Rawhide wash meeting

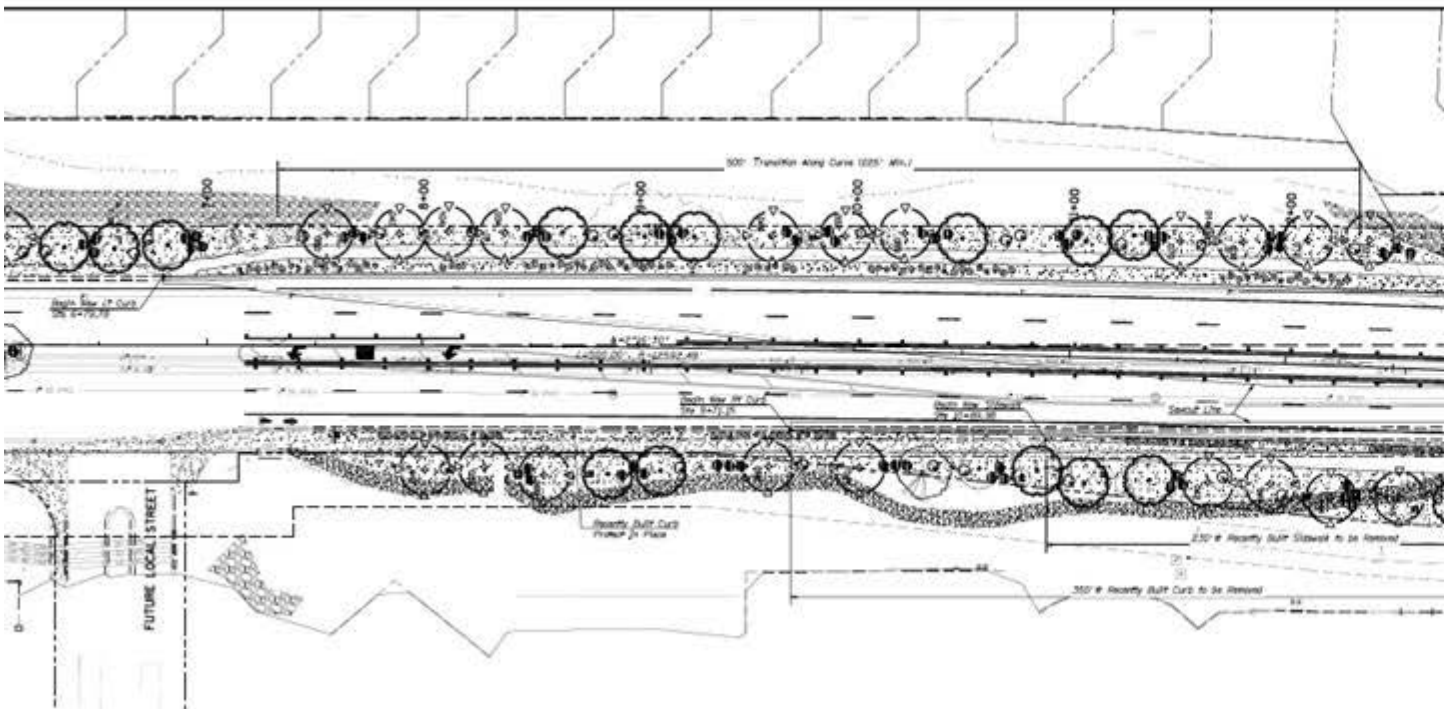
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Having said all of that, here is a very draft image of the bridge design up to this point.

Again, please let me know of a good day and time to contact you.



Sincerely,

Jesús

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Good morning Jesus,

I hope you're doing well and having a great week thus far.

I reside at 7561 East Alameda Rd. and back to the rawhide wash. Unfortunately we were committed during the zoom meeting this past Friday and I would like to see if you could contact me for further information. If there's anything that you can send me via email that would be fantastic but I would like to connect with you via phone as well to get a full understanding of the scope of the project. This will greatly affect our property value and view depending on what the project entails.

Thank you so very much for your time. I look forward to speaking with you further. Have a great morning!

Warmest regards,

~Nicole

Nicole Forbes

Cell: (480) 980-1407

[Forbes365@outlook.com](mailto:Forbes365@outlook.com)

## Murillo, Jesus

---

**From:** Murillo, Jesus  
**Sent:** Monday, February 22, 2021 7:00 PM  
**To:** Socorro@cox.net  
**Subject:** RE: Bridge over Rawhide Wash

Hello Socorro,

Thank you for your comments. I placed your email in the wrong folder, but glad I found it again.

Please allow me to introduce myself. I am the project coordinator for this project as it goes through the DRB process.

The project is currently in the younger stages of the design (30 percent design) and the public process. Staff planning to have 60 percent design completed by April. This analysis will allow staff to better be able to answer public inquiries. The project is currently looking to button down the dates of the public outreach process. There will be open houses and more information to come. This will be a good time to start proving additional comments. Staff will also be including all of your correspondence in any and all final reports. The residents will have the opportunity to provide their opinion during this period and the other stages of the process. The project will require approval by the Development Review Board, and the public will be allowed to also provide their comments during that hearing. Projects approved through the Development Review Board process may be appealed to the City Council.

I do not know of any petitions at this time.

Please let me know if there is a good time for me to call and discuss the project further.

Sincerely,

Jesús

---

**From:** Socorro Rudolph <Socorro@cox.net>  
**Sent:** Thursday, January 28, 2021 3:33 PM  
**To:** Murillo, Jesus <JMurillo@ScottsdaleAz.Gov>  
**Subject:** Bridge over Rawhide Wash

**⚠ External Email: Please use caution if opening links or attachments!**

Dear Jesus,

It is my understanding you are part of the committee working on establishing a plan to build a bridge over the Rawhide Wash that will extend Hayden/Miller Road from Pinnacle Peak to Parkview Lane. This will significantly increase traffic into our neighborhood, increase noise pollution, air pollution, and possibly crime.

How many signatures would we need on a petition to thwart this bridge/road connection from being built?

Do you know if there is already a petition in place?

I appreciate you understanding our concerns and desire to keep our neighborhood quiet, clean, and safe.

After all, this is one of the reasons we pay a premium in property taxes.

Your response is appreciate.

All the best,  
**Socorro Rudolph**

*"Work hard at living in peace with others" 1 Peter 3:10-11*

## Murillo, Jesus

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**From:** Murillo, Jesus  
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**To:** Enyart Paula J.  
**Subject:** RE: Rawhide Wash

Hello Ms. Enyart,

I did want to thank you for your comments, and wanted you to know that they will be included in any communications forwarded to the Development Review Board.

I will keep you updated on any public hearing dates that you may consider providing any additional comments.

Sincerely,

Jesús

---

**From:** Enyart Paula J. <pjenyart@gmail.com>  
**Sent:** Friday, January 29, 2021 3:36 PM  
**To:** Murillo, Jesus <JMurillo@ScottsdaleAz.Gov>  
**Subject:** Rawhide Wash

**⚠ External Email: Please use caution if opening links or attachments!**

I think it is perfectly clear that the residents in the Los Portones area do not want this disruption to our wash. But money talks, and it will happen because Phoenix needs the Flood Hazard in place for their projects to go forward. Forget what is best for community and native desert. It will happen against all wishes of public.

## Murillo, Jesus

---

**From:** Murillo, Jesus  
**Sent:** Monday, February 22, 2021 6:34 PM  
**To:** Andy Sweis  
**Subject:** RE: Pinnacle Peak Reserve Sharing Wash Meeting Notice

Hello Andy,

Forgive me, I placed your email in the project folder and lost track of the communication. From my understanding, the removal of the mandatory flood insurance for many of the properties is one of pros of the project. Please provide me with an address and I can be more specific with my response.

Thank you for reaching out,

Jesús

---

**From:** Andy Sweis <andysweis@hotmail.com>  
**Sent:** Wednesday, January 27, 2021 5:13 PM  
**To:** Murillo, Jesus <JMurillo@ScottsdaleAz.Gov>  
**Subject:** Re: Pinnacle Peak Reserve Sharing Wash Meeting Notice

**⚠ External Email: Please use caution if opening links or attachments!**

Hi Jesus. When is this project expected to be complete? Will it help remove the mandatory flood insurance in the area?

Thanks.  
Andy

On Jan 27, 2021, at 5:06 PM, Pinnacle Peak Reserve HOA <[messenger@pdsaz.com](mailto:messenger@pdsaz.com)> wrote:





# Rawhide Wash Flood Hazard Mitigation Virtual Public Meeting Notice

The Flood Control District of Maricopa County (FCDMC), the City of Scottsdale, and the City of Phoenix invite you to participate in our virtual public meeting for the Rawhide Wash Flood Hazard Mitigation – Final Design Project.

This online presentation will provide the same information typically available at an in-person public meeting while respecting social distancing recommendations and the personal safety of the community during the COVID-19 pandemic.

## Virtual Public Meeting Presentation

Monday, Jan. 18 through Friday, Jan. 29, 2021:

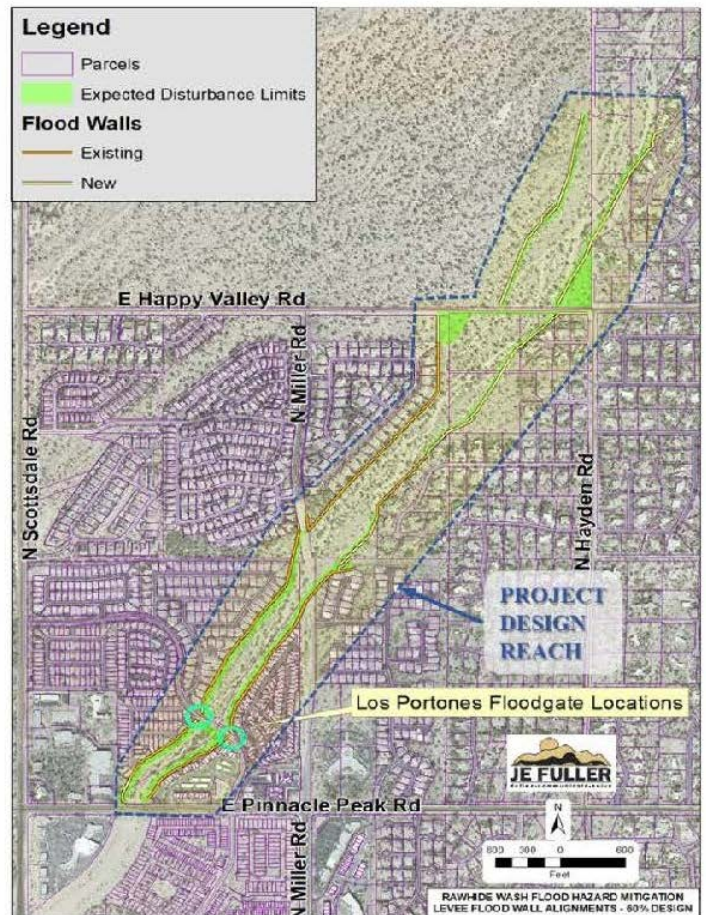
- **VISIT** [www.maricopa.gov/rawhidewash](http://www.maricopa.gov/rawhidewash) to access all information
- **WATCH** our prerecorded presentation
- **PROVIDE FEEDBACK** by clicking on the digital comment form link on the project website
- **CONTACT** project coordinator to provide further comments/questions

*Comment period will close on Friday, Jan. 29, 2021*

### Project Overview

The project team will provide a project update and an overview of the pre-90% completion design plans.

Implementation of the Rawhide Wash Project will include some disturbances of the native desert within the project corridor area, modification of existing floodwalls, and constructing of new floodwalls to provide 100-year flood protection to approximately 850 buildings within the Rawhide Wash Floodplain. Presentation materials will include sample graphics and examples of construction



City of Scottsdale Case No. 7-WM-2020

### Project Contact

Jesus Murillo – Senior Planner

480-312-7849

[jmurillo@scottsdaleAZ.gov](mailto:jmurillo@scottsdaleAZ.gov)

If you require reasonable accommodations for this meeting, please contact our Project Hotline at **623-825-3444** at least 72 hours in advance of the close of the public meeting.



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This email is intended for the residents of Pinnacle Peak Reserve only. Please direct queries on this email to [messenger@pdsaz.com](mailto:messenger@pdsaz.com). You may modify your subscriptions to these email broadcasts by changing your preferences on the Membership/Web tab in your online [member profile](#).

**Pinnacle Peak Reserve. 17235 N 75th Ave Building H100 Glendale, AZ 85308, Tel: (623) 877-1396**

## Murillo, Jesus

---

**From:** Md <savagrey@gmail.com>  
**Sent:** Sunday, February 21, 2021 12:59 PM  
**To:** Murillo, Jesus  
**Subject:** Case 7-WM-2020 rawhide wash project

**⚠ External Email: Please use caution if opening links or attachments!**

Hello

Thank you for the details on this project. Following this project closely as it impacts my neighborhood. Questions about the bridge:

- what is the height of this bridge
- is it 4 lanes with bike paths as well?
- will it be lit at night?
- how long is it?
- is it cement or what material?

Thank you!

Margie D

"Saving one greyhound will not change the world, but for one dog the world will change. Change a world....adopt a greyhound, they're greyt!"

## Murillo, Jesus

---

**From:** Murillo, Jesus  
**Sent:** Saturday, February 13, 2021 5:33 PM  
**To:** Fredric White  
**Cc:** Richter, Jeremy; Meinhart, David  
**Subject:** RE: Rawhide Wash Flood Project

Hello Mr. White,

I have responded to each of your inquiries below. Please feel free to contact me with any further questions or comments.

Sincerely,

Jesús

---

**From:** Fredric White <fgwiv05@gmail.com>  
**Sent:** Tuesday, February 09, 2021 1:00 PM  
**To:** Meinhart, David <DMeinhart@Scottsdaleaz.gov>; Murillo, Jesus <JMurillo@ScottsdaleAz.Gov>; City Council <CityCouncil@scottsdaleaz.gov>  
**Subject:** Re: Rawhide Wash Flood Project

**⚠ External Email: Please use caution if opening links or attachments!**

Good afternoon all,

Thank you for your various responses. I would prefer not to leave the future of my currently peaceful neighborhood to chance based on the likelihood of future projections.

What are next steps to protesting this project?? Is there an appeal process?? A vote by city council in the future?? A petition of some sort if I collect signatures??

The project is in the younger stages of the design (30 percent design) and the public process. Staff planning to have 60 percent design completed by April. This analysis will allow staff to better be able to answer public inquiries. The project is currently looking to button down the dates of the public outreach process. There will be open houses and more information to come. Staff will also be including all of your correspondence in any and all final reports. The residents will have the opportunity to provide their opinion during this period and the other stages of the process. The project will require approval by the Development Review Board, and the public will be allowed to also provide their comments during that hearing. Projects approved through the Development Review Board process may be appealed to the City Council.

I also would like to know what consideration was given to widening Scottsdale or Hayden Roads and why those are less attractive options in the eyes of the city planners??

Yes, there are current projects underway to widen other north/south bound streets. The City is currently designing the widening of N. Pima Road, from 4 to 6 lanes, between E. Pinnacle Peak and E. Happy Valley. The design is about 90% complete and should be ready for construction later this year. There are also plans to widen N. Scottsdale Road, from 4 to 6 lanes, between E. Pinnacle Peak Road and E. Happy Valley Road. That project is several years out as we wait for commitments from the City of Phoenix side to help pay for the widening. That will likely be timed to future development on the Phoenix side of the road

What are the costs of just reinforcing the flood barriers in the wash vs installation of a major road??

Staff is working to understand these numbers better. Staff will need to get to a 60 percent design to better understand these costs.

It is concerning that when people have had so much taken away in the last year, and home now more than ever is where most of us spend the majority of our time, that our government would then unnecessarily spend tax payer dollars to further diminish our quality of life by building roads in peoples back yards and further dividing the community, in this case by literally dividing us from our friends and neighbors via major roads.

Staff will be sure that your comments are provided in the Development Review Board report. You will also have the opportunity to provide you comments if/when the time of the hearing.

Along Juan Tabo we have mail boxes, school bus stops, and generally there are always dog walkers (mostly elderly people) and children on bicycles, it is where we congregate as a community. I would assume all of those activities would be more dangerous with increased traffic and hurried drivers now using Juan Tabo as a cut through in their ways to work/school, Etc. There are also two cul de sacs that open directly to Juan Tabo with no barrier to stop children from running out into the road, currently not a major issue due to lack of traffic. Perhaps some speed humps on Juan Tabo??

The traffic analysis that is underway will give staff a better understanding of your concerns. Staff will keep these comments on our minds as the analysis is reviewed. All these elements will be taken into account as the project moves forward. I will personally keep you posted on any public outreach and open house meetings. These meetings will probably be of a virtual nature due to the current state of the world.

Chances are, since Juan Tabo is a quarter-mile from E. Happy Valley Road, the intersections at N. Scottsdale Road and E. Miller Road would not be planned for future traffic signals, which would limit the likelihood of cut through traffic. Traffic counts could be taken before and after the N. Miller Road connection is in place to assess changes in usage on E. Juan Tabo.

Will there be a stop light at Happy Valley and Miller?? What about a round about or something similar on Juan tabo and Miller?? Turning south on Scottsdale Road from Juan Tabo is already very dangerous so most people take Miller to Happy Valley and then use the light at Happy Valley and Scottsdale Road.

Current analysis has not identified a round-about. Again, staff will have a better understanding of the traffic calming measures that may be required with the 60 percent design reports and analysis.

Again, please feel free to contact me with any further questions or comments.

Thank you again,

Fredric White

On Mon, Feb 8, 2021 at 10:02 AM Murillo, Jesus <[JMurillo@scottsdaleaz.gov](mailto:JMurillo@scottsdaleaz.gov)> wrote:

Hello Mr. White,

Councilwoman Little field asked me to research and provide you this a response to your inquiry. Please allow me to respond to the following question:

**“Also, do you have projections on the increased traffic flow through Juan Tabo between Scottsdale Road and Miller? “**

**Staff Response:** The regional traffic model is not fine-tuned enough to forecast travel on a neighborhood collector such as Juan Tabo. Since E. Juan Tabo Road is only one-quarter-mile from E. Happy Valley Road, the intersections at N. Scottsdale Road and Miller Road would not be planned for future traffic signals, which would limit the likelihood of cut through traffic. Traffic counts could be taken before and after the N. Miller Road connection is in place to assess changes in usage on E. Juan Tabo Road.

If more information about the traffic counts for the project area become available, I will be sure to provide them to you.

Sincerely,

Jesús Murillo

Senior Planner

City of Scottsdale

Planning and Development Services

[7447 E. Indian School Road, Ste. 105](#)

[Scottsdale, AZ 85251](#)

Phone: 480-312-7849

Fax: 480-312-9037

Get informed!





## Murillo, Jesus

---

**From:** Littlefield, Kathy  
**Sent:** Wednesday, February 10, 2021 2:38 PM  
**To:** Fredric White; Meinhart, David; Murillo, Jesus  
**Cc:** Grant, Randy; Murphy, Bill; Thompson, James  
**Subject:** Re: Rawhide Wash Flood Project

Dear Mr. White:

Thank you for your email.

The completion of Miller Rd. has been on the City's Transportation Master Plan for many, many years. The City did not build it before because the need to have it to handle traffic was not there. Now, however, because of the current and anticipated increases in the number of vehicles using our North-South roadways, the City's transportation analysts believe the road is required. At least, that is my understanding.

However, citizens have several rights and opportunities to contest the project. This project must go through numerous reviews, studies and discussions. I am including several members of our staff in this reply so you can learn what those options are and when they may be anticipated. Also, they will be able to answer your questions posed in your email.

Citizens who object to the project can always sign a petition opposing its construction and deliver it to the Commissions and Councilmembers before the project comes before us. If you wish to do that, I suggest you call the City Clerk's office to discuss the legal requirements. I do not believe there will be any Open Houses available for the project, but I am not sure on that. If there will be some, you should attend. However, I believe it will go before both the Transportation Commission and the Planning Commission. Concerned citizens would be given a chance to speak at those meetings. It may also go before the Development Review Board which, if it does, would give you the same opportunity for speaking. Perhaps staff can correct me if I'm wrong on that. Hopefully, they can also offer additional advice. If the road is still determined to be needed, I would suggest you work with members of the city staff to find ways to mitigate the issues with which you are concerned.

Hopefully this will help,

Councilwoman Kathy Littlefield

---

**From:** Fredric White <fgwiv05@gmail.com>  
**Sent:** Tuesday, February 9, 2021 1:00 PM  
**To:** Meinhart, David <DMeinhart@Scottsdaleaz.gov>; Murillo, Jesus <JMurillo@ScottsdaleAz.Gov>; City Council <CityCouncil@scottsdaleaz.gov>  
**Subject:** Re: Rawhide Wash Flood Project

**⚠ External Email: Please use caution if opening links or attachments!**

Good afternoon all,

Thank you for your various responses. I would prefer not to leave the future of my currently peaceful neighborhood to chance based on the likelihood of future projections.

What are next steps to protesting this project?? Is there an appeal process?? A vote by city council in the future?? A petition of some sort if I collect signatures??

I also would like to know what consideration was given to widening Scottsdale or Hayden Roads and why those are less attractive options in the eyes of the city planners??

What are the costs of just reinforcing the flood barriers in the wash vs installation of a major road??

It is concerning that when people have had so much taken away in the last year, and home now more than ever is where most of us spend the majority of our time, that our government would then unnecessarily spend tax payer dollars to further diminish our quality of life by building roads in peoples back yards and further dividing the community, in this case by literally dividing us from our friends and neighbors via major roads.

Along Juan Tabo we have mail boxes, school bus stops, and generally there are always dog walkers (mostly elderly people) and children on bicycles, it is where we congregate as a community. I would assume all of those activities would be more dangerous with increased traffic and hurried drivers now using Juan Tabo as a cut through in their ways to work/school, Etc. There are also two cul de sacs that open directly to Juan Tabo with no barrier to stop children from running out into the road, currently not a major issue due to lack of traffic. Perhaps some speed humps on Juan Tabo??

Will there be a stop light at Happy Valley and Miller?? What about a round about or something similar on Juan tabo and Miller?? Turning south on Scottsdale Road from Juan Tabo is already very dangerous so most people take Miller to Happy Valley and then use the light at Happy Valley and Scottsdale Road.

Thank you again,

Fredric White

On Mon, Feb 8, 2021 at 10:02 AM Murillo, Jesus <[JMurillo@scottsdaleaz.gov](mailto:JMurillo@scottsdaleaz.gov)> wrote:

Hello Mr. White,

Councilwoman Little field asked me to research and provide you this a response to your inquiry. Please allow me to respond to the following question:

**“Also, do you have projections on the increased traffic flow through Juan Tabo between Scottsdale Road and Miller? “**

**Staff Response:** The regional traffic model is not fine-tuned enough to forecast travel on a neighborhood collector such as Juan Tabo. Since E. Juan Tabo Road is only one-quarter-mile from E. Happy Valley Road, the intersections at N. Scottsdale Road and Miller Road would not be planned for future traffic signals, which would limit the likelihood of cut through traffic. Traffic counts could be taken before and after the N. Miller Road connection is in place to assess changes in usage on E. Juan Tabo Road.

If more information about the traffic counts for the project area become available, I will be sure to provide them to you.

Sincerely,

Jesús Murillo  
Senior Planner  
City of Scottsdale  
Planning and Development Services  
[7447 E. Indian School Road, Ste. 105](https://www.scottsdaleaz.gov/7447/E-Indian-School-Road-Ste-105)  
[Scottsdale, AZ 85251](https://www.scottsdaleaz.gov/85251)  
Phone: 480-312-7849  
Fax: 480-312-9037



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## Murillo, Jesus

---

**From:** Fredric White <fgwiv05@gmail.com>  
**Sent:** Tuesday, February 09, 2021 1:00 PM  
**To:** Meinhart, David; Murillo, Jesus; City Council  
**Subject:** Re: Rawhide Wash Flood Project

**⚠ External Email: Please use caution if opening links or attachments!**

Good afternoon all,

Thank you for your various responses. I would prefer not to leave the future of my currently peaceful neighborhood to chance based on the likelihood of future projections.

What are next steps to protesting this project?? Is there an appeal process?? A vote by city council in the future?? A petition of some sort if I collect signatures??

I also would like to know what consideration was given to widening Scottsdale or Hayden Roads and why those are less attractive options in the eyes of the city planners??

What are the costs of just reinforcing the flood barriers in the wash vs installation of a major road??

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Will there be a stop light at Happy Valley and Miller?? What about a round about or something similar on Juan tabo and Miller?? Turning south on Scottsdale Road from Juan Tabo is already very dangerous so most people take Miller to Happy Valley and then use the light at Happy Valley and Scottsdale Road.

Thank you again,

Fredric White

On Mon, Feb 8, 2021 at 10:02 AM Murillo, Jesus <[JMurillo@scottsdaleaz.gov](mailto:JMurillo@scottsdaleaz.gov)> wrote:

Hello Mr. White,

Councilwoman Little field asked me to research and provide you this a response to your inquiry. Please allow me to respond to the following question:

**“Also, do you have projections on the increased traffic flow through Juan Tabo between Scottsdale Road and Miller? “**

**Staff Response:** The regional traffic model is not fine-tuned enough to forecast travel on a neighborhood collector such as Juan Tabo. Since E. Juan Tabo Road is only one-quarter-mile from E. Happy Valley Road, the intersections at N. Scottsdale Road and Miller Road would not be planned for future traffic signals, which would limit the likelihood of cut through traffic. Traffic counts could be taken before and after the N. Miller Road connection is in place to assess changes in usage on E. Juan Tabo Road.

If more information about the traffic counts for the project area become available, I will be sure to provide them to you.

Sincerely,

Jesús Murillo

Senior Planner

City of Scottsdale

Planning and Development Services

[7447 E. Indian School Road, Ste. 105](#)

[Scottsdale, AZ 85251](#)

Phone: 480-312-7849

Fax: 480-312-9037

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## Murillo, Jesus

---

**From:** Murillo, Jesus  
**Sent:** Monday, February 08, 2021 10:03 AM  
**To:** fgwiv05@gmail.com  
**Subject:** Re: Rawhide Wash Flood Project

Hello Mr. White,

Councilwoman Little field asked me to research and provide you this a response to your inquiry. Please allow me to respond to the following question:

**“Also, do you have projections on the increased traffic flow through Juan Tabo between Scottsdale Road and Miller? “**

**Staff Response:** The regional traffic model is not fine-tuned enough to forecast travel on a neighborhood collector such as Juan Tabo. Since E. Juan Tabo Road is only one-quarter-mile from E. Happy Valley Road, the intersections at N. Scottsdale Road and. Miller Road would not be planned for future traffic signals, which would limit the likelihood of cut through traffic. Traffic counts could be taken before and after the N. Miller Road connection is in place to assess changes in usage on E. Juan Tabo Road.

If more information about the traffic counts for the project area become available, I will be sure to provide them to you.

Sincerely,

Jesús Murillo  
Senior Planner  
City of Scottsdale  
Planning and Development Services  
7447 E. Indian School Road, Ste. 105  
Scottsdale, AZ 85251  
Phone: 480-312-7849  
Fax: 480-312-9037

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## Murillo, Jesus

---

**From:** Murillo, Jesus  
**Sent:** Saturday, February 06, 2021 3:33 PM  
**To:** Littlefield, Kathy  
**Subject:** RE: Rawhide Wash Flood Project - I am sending a copy of our staff report to citizens for this project. Thank you for your email.

Hello Councilwoman Littlefield,

Thank you for your patience. The engineering and transportation staff have provided some additional information in regards to the resident's inquiry. The information has not been completed to a percentage that allows staff to answer the questions completely, but we wanted to provide a response that you may give Mr. White. I think some other staff members have already reached out to Mr. White, but I wanted to be sure I provided you with a response.

Please let me know if you would like me to send him the response directly. Please see this paragraph below for staff's response to Mr. White's inquiry.

The regional traffic model is not fine-tuned enough to forecast travel on a neighborhood collector such as Juan Tabo. Since E. Juan Tabo Road is only one-quarter-mile from E. Happy Valley Road, the intersections at N. Scottsdale Road and Miller Road would not be planned for future traffic signals, which would limit the likelihood of cut through traffic. Traffic counts could be taken before and after the N. Miller Road connection is in place to assess changes in usage on E. Juan Tabo Road.

Sincerely,

Jesús

---

**From:** Murillo, Jesus  
**Sent:** Wednesday, February 03, 2021 7:15 PM  
**To:** Littlefield, Kathy <KLittlefield@Scottsdaleaz.gov>  
**Subject:** RE: Rawhide Wash Flood Project - I am sending a copy of our staff report to citizens for this project. Thank you for your email.

Hello Councilwoman Littlefield,

I just want to give you an update. I am waiting for a couple pieces of information from the traffic engineers (thought I could find it on my own), and should have a response soon.

Sincerely,

Jesús

---

**From:** Littlefield, Kathy <KLittlefield@Scottsdaleaz.gov>  
**Sent:** Monday, February 01, 2021 10:01 AM  
**To:** Murillo, Jesus <JMurillo@ScottsdaleAz.Gov>  
**Subject:** Re: Rawhide Wash Flood Project - I am sending a copy of our staff report to citizens for this project. Thank you for your email.

Good morning, Jesus! Please send a copy of the staff report to me also.

Thanks,

Councilwoman Kathy Littlefield

---

**From:** Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>

**Sent:** Monday, February 1, 2021 9:41 AM

**To:** Littlefield, Kathy <[KLittlefield@Scottsdaleaz.gov](mailto:KLittlefield@Scottsdaleaz.gov)>; Fredric White <[fgwiv05@gmail.com](mailto:fgwiv05@gmail.com)>

**Cc:** Grant, Randy <[RGrant@Scottsdaleaz.gov](mailto:RGrant@Scottsdaleaz.gov)>; Stockwell, Brent <[BStockwell@scottsdaleaz.gov](mailto:BStockwell@scottsdaleaz.gov)>; Thompson, James <[JThompson@Scottsdaleaz.gov](mailto:JThompson@Scottsdaleaz.gov)>

**Subject:** RE: Rawhide Wash Flood Project - I am sending a copy of our staff report to citizens for this project. Thank you for your email.

Thank You Councilwoman Littlefield,

Staff is working on the response, and will have an answer soon.

Sincerely,

Jesús

---

**From:** Littlefield, Kathy <[KLittlefield@Scottsdaleaz.gov](mailto:KLittlefield@Scottsdaleaz.gov)>

**Sent:** Sunday, January 31, 2021 10:25 PM

**To:** Fredric White <[fgwiv05@gmail.com](mailto:fgwiv05@gmail.com)>

**Cc:** Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>; Grant, Randy <[RGrant@Scottsdaleaz.gov](mailto:RGrant@Scottsdaleaz.gov)>; Stockwell, Brent <[BStockwell@scottsdaleaz.gov](mailto:BStockwell@scottsdaleaz.gov)>; Thompson, James <[JThompson@Scottsdaleaz.gov](mailto:JThompson@Scottsdaleaz.gov)>

**Subject:** Re: Rawhide Wash Flood Project - I am sending a copy of our staff report to citizens for this project. Thank you for your email.

I do not have the answer to your question regarding anticipated traffic. Therefore, I am forwarding your email to Mr. Jesus Murillo so he can answer you directly.

Councilwoman Kathy Littlefield

---

**From:** Fredric White <[fgwiv05@gmail.com](mailto:fgwiv05@gmail.com)>

**Sent:** Friday, January 29, 2021 11:05 PM

**To:** Littlefield, Kathy <[KLittlefield@Scottsdaleaz.gov](mailto:KLittlefield@Scottsdaleaz.gov)>; City Council <[CityCouncil@scottsdaleaz.gov](mailto:CityCouncil@scottsdaleaz.gov)>; Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>

**Subject:** Re: Rawhide Wash Flood Project - I am sending a copy of our staff report to citizens for this project. Thank you for your email.

**⚠ External Email: Please use caution if opening links or attachments!**

Thank you for taking time to write out a personalized response. What are the considerations with regard to expanding the existing 1 lane Hayden Road between Pinnacle Peak and Happy Valley, or the optimal solution of widening Scottsdale Road to 3 lanes in each direction? That seems like a less invasive plan to the current property owner's, especially in Los Portones who will be the most impacted property owners.

Also, do you have projections on the increased traffic flow through Juan Tabo between Scottsdale Road and Miller?

On Fri, Jan 29, 2021 at 9:07 PM Littlefield, Kathy <[KLittlefield@scottsdaleaz.gov](mailto:KLittlefield@scottsdaleaz.gov)> wrote:

Thank you for your detailed inquiry regarding the future Miller Road extension and bridge. Here is some background information compiled by staff to hopefully address your concerns. City plans for connecting Miller Road between Pinnacle Peak and Happy Valley have been in place since at least 1991, when the roadway was included in the Circulation Element of the 1991 General Plan. The roadway was mapped to extend as far north as Dynamite Boulevard. The planned alignment moves northeasterly from the intersection of Miller Road/Happy Valley Road until it matches up with the Hayden Road (80<sup>th</sup> Street) alignment at Jomax Road. The planned extension of Miller Road north of Pinnacle Peak Road was also included in the City Council-adopted 2008 Transportation Master Plan and the Council-adopted 2016 Transportation Master Plan. These long-time plans for Miller Road are the reason that the developer of the Pinnacle Reserve subdivision constructed a four-lane roadway from Parkview Lane to Happy Valley Road in 1997. These same plans are the reason that the new Paseo at Pinnacle Peak subdivision has recently widened Miller Road to four lanes between Pinnacle Peak Road and Adele Court. In addition to the Council-approved planning documents discussed above, signage near the south and north banks of the Miller Road/Rawhide Wash intersection indicating the future connection of Miller Road between Pinnacle Peak and Happy Valley Roads has been in place for over 3 years (photos provided below).

During the development of the FY 20/21 Capital Improvement Plan, Council approved funding to initiate work on the connection of Miller Road across the Rawhide Wash. The funding package includes a 70 percent contribution from the Maricopa Association of Governments (MAG) through their Arterial Life Cycle Program which focuses on regionally significant roadway corridors. Completing this connection across the Rawhide Wash will create a new option for north/south travel beyond Scottsdale and Pima Roads and provide a direct connection to the Hayden Road/Loop 101 interchange.

While the 4-lane roadway segment between Pinnacle Peak and Happy Valley will have a physical capacity of 30,000-35,000 vehicles per day (vpd), the 2040 travel demand forecast from MAG for this one mile segment ranges from 22,000 vpd near Pinnacle Peak to 17,500 vpd near Happy Valley. Roadways with only one travel lane each direction are normally considered for widening when volumes approach/exceed 16,000 vpd. The volumes projected for Miller Road between Pinnacle Peak and Happy Valley exceed typical two-lane road capacity and are comparable to what the City counted on Hayden Road through the Grayhawk area in 2018.

The design for Miller Road is in the initial stages. Based on the consultant's schedule, public outreach will begin in February/March 2021. Design is scheduled to be completed by March 2022. Construction would begin in mid-2022 and be completed by late 2022/early 2023. As the project moves forward, City Council will also be involved in approvals for continued funding and construction of the project.





Councilwoman Kathy Littlefield

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**From:** Fredric White <[fgwiv05@gmail.com](mailto:fgwiv05@gmail.com)>  
**Sent:** Friday, January 29, 2021 11:44 AM  
**To:** City Council <[CityCouncil@scottsdaleaz.gov](mailto:CityCouncil@scottsdaleaz.gov)>  
**Subject:** Rawhide Wash Flood Project

**⚠ External Email: Please use caution if opening links or attachments!**

Good morning,

I am writing as president of the HOA for Pinnacle Reserve to formally object to the continuation of the Rawhide Flood Project that would extend Miller Road between Pinnacle Peak and Happy Valley Roads. To say this would be detrimental to our neighborhood is an understatement. We have great foot and bike traffic throughout the neighborhood that would not be possible if Miller Road were to become a major thoroughfare. Perhaps worse is Juan Tabo would become a shortcut sending speeding vehicles east and west through the neighborhood in addition to the north and south traffic on Miller. This does not even take into account the personal violation of the residents backing

up to a beautiful natural wash who will now be staring at a busy road with a projected 35,000 cars per day running up against their property lines.

Please consider the impact to the current residents and find a better way to ease traffic needs that is not so disrespectful to current property owners.

Sincerely,

Fredric White  
480-375-5176

## Murillo, Jesus

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**From:** Murillo, Jesus  
**Sent:** Wednesday, February 03, 2021 7:27 PM  
**To:** LOREEN LEITZEN  
**Cc:** Mary Brockman; Lenore Simmons; jmorris58@att.net; Cara Barnes  
**Subject:** RE: Salvaged plants/irrigation

Hello Ms. Leitzen,

I hope this email finds you doing well. We are not quite in the final stages of the review as of yet. The project has been submitted for a courtesy review through of final plans department, and has received a review through the Development Review process. The applicant will be required to resubmit the application once again. As a part of other required information, the applicant will be required to provide a response to your question in the next review.

I will forward their response as the project is resubmitted.

Please feel free to contact me with any further questions or comments.

Sincerely,

Jesús

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**From:** LOREEN LEITZEN <lalzen@msn.com>  
**Sent:** Friday, January 29, 2021 12:21 AM  
**To:** Murillo, Jesus <JMurillo@ScottsdaleAz.Gov>  
**Cc:** Mary Brockman <mbrockman9@cox.net>; Lenore Simmons <Lenore05@comcast.net>; jmorris58@att.net; Cara Barnes <Cara@Amcorprop.com>  
**Subject:** Salvaged plants/irrigation

 **External Email: Please use caution if opening links or attachments!**

Hello Jesus.

I left some comments on the survey about this question but wanted to address it with our management company and board. Our community is not the Los Portones Master Community.

In October when I met with the small committee it was discussed that the salvaged plants from the wash were in need of irrigation when replanted. I asked who will be paying for the irrigation and asked that all of the the associations involved be in the loop with this discussion/decision. I know that you are in the final stages for the project. I was wondering if this topic has been discussed with the associations impacted by your project.

Thanks for the time and I hope you are doing well and staying healthy.

Loreen Leitzen/ Los Portones

Sent from [Mail](#) for Windows 10

## Murillo, Jesus

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**From:** Murillo, Jesus  
**Sent:** Wednesday, February 03, 2021 7:15 PM  
**To:** Littlefield, Kathy  
**Subject:** RE: Rawhide Wash Flood Project - I am sending a copy of our staff report to citizens for this project. Thank you for your email.

Hello Councilwoman Littlefield,

I just want to give you an update. I am waiting for a couple pieces of information from the traffic engineers (thought I could find it on my own), and should have a response soon.

Sincerely,

Jesús

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**From:** Littlefield, Kathy <KLittlefield@Scottsdaleaz.gov>  
**Sent:** Monday, February 01, 2021 10:01 AM  
**To:** Murillo, Jesus <JMurillo@ScottsdaleAz.Gov>  
**Subject:** Re: Rawhide Wash Flood Project - I am sending a copy of our staff report to citizens for this project. Thank you for your email.

Good morning, Jesus! Please send a copy of the staff report to me also.

Thanks,

Councilwoman Kathy Littlefield

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**From:** Murillo, Jesus <JMurillo@ScottsdaleAz.Gov>  
**Sent:** Monday, February 1, 2021 9:41 AM  
**To:** Littlefield, Kathy <KLittlefield@Scottsdaleaz.gov>; Fredric White <fgwiv05@gmail.com>  
**Cc:** Grant, Randy <RGrant@Scottsdaleaz.gov>; Stockwell, Brent <BStockwell@scottsdaleaz.gov>; Thompson, James <JThompson@Scottsdaleaz.gov>  
**Subject:** RE: Rawhide Wash Flood Project - I am sending a copy of our staff report to citizens for this project. Thank you for your email.

Thank You Councilwoman Littlefield,

Staff is working on the response, and will have an answer soon.

Sincerely,

Jesús

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**From:** Littlefield, Kathy <KLittlefield@Scottsdaleaz.gov>  
**Sent:** Sunday, January 31, 2021 10:25 PM  
**To:** Fredric White <fgwiv05@gmail.com>  
**Cc:** Murillo, Jesus <JMurillo@ScottsdaleAz.Gov>; Grant, Randy <RGrant@Scottsdaleaz.gov>; Stockwell, Brent <BStockwell@scottsdaleaz.gov>; Thompson, James <JThompson@Scottsdaleaz.gov>

**Subject:** Re: Rawhide Wash Flood Project - I am sending a copy of our staff report to citizens for this project. Thank you for your email.

I do not have the answer to your question regarding anticipated traffic. Therefore, I am forwarding your email to Mr. Jesus Murillo so he can answer you directly.

Councilwoman Kathy Littlefield

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**From:** Fredric White <[fgwiv05@gmail.com](mailto:fgwiv05@gmail.com)>

**Sent:** Friday, January 29, 2021 11:05 PM

**To:** Littlefield, Kathy <[KLittlefield@Scottsdaleaz.gov](mailto:KLittlefield@Scottsdaleaz.gov)>; City Council <[CityCouncil@scottsdaleaz.gov](mailto:CityCouncil@scottsdaleaz.gov)>; Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>

**Subject:** Re: Rawhide Wash Flood Project - I am sending a copy of our staff report to citizens for this project. Thank you for your email.

**⚠ External Email: Please use caution if opening links or attachments!**

Thank you for taking time to write out a personalized response. What are the considerations with regard to expanding the existing 1 lane Hayden Road between Pinnacle Peak and Happy Valley, or the optimal solution of widening Scottsdale Road to 3 lanes in each direction? That seems like a less invasive plan to the current property owner's, especially in Los Portones who will be the most impacted property owners.

Also, do you have projections on the increased traffic flow through Juan Tabo between Scottsdale Road and Miller?

On Fri, Jan 29, 2021 at 9:07 PM Littlefield, Kathy <[KLittlefield@scottsdaleaz.gov](mailto:KLittlefield@scottsdaleaz.gov)> wrote:

Thank you for your detailed inquiry regarding the future Miller Road extension and bridge. Here is some background information compiled by staff to hopefully address your concerns. City plans for connecting Miller Road between Pinnacle Peak and Happy Valley have been in place since at least 1991, when the roadway was included in the Circulation Element of the 1991 General Plan. The roadway was mapped to extend as far north as Dynamite Boulevard. The planned alignment moves northeasterly from the intersection of Miller Road/Happy Valley Road until it matches up with the Hayden Road (80<sup>th</sup> Street) alignment at Jomax Road. The planned extension of Miller Road north of Pinnacle Peak Road was also included in the City Council-adopted 2008 Transportation Master Plan and the Council-adopted 2016 Transportation Master Plan. These long-time plans for Miller Road are the reason that the developer of the Pinnacle Reserve subdivision constructed a four-lane roadway from Parkview Lane to Happy Valley Road in 1997. These same plans are the reason that the new Paseo at Pinnacle Peak subdivision has recently widened Miller Road to four lanes between Pinnacle Peak Road and Adele Court. In addition to the Council-approved planning documents discussed above, signage near the south and north banks of the Miller Road/Rawhide Wash intersection indicating the future connection of Miller Road between Pinnacle Peak and Happy Valley Roads has been in place for over 3 years (photos provided below).

During the development of the FY 20/21 Capital Improvement Plan, Council approved funding to initiate work on the connection of Miller Road across the Rawhide Wash. The funding package includes a 70 percent contribution from the Maricopa Association of Governments (MAG) through their Arterial Life Cycle Program which focuses on regionally significant roadway corridors. Completing this connection across the Rawhide Wash will create a new option for north/south travel beyond Scottsdale and Pima Roads and provide a direct connection to the Hayden Road/Loop 101 interchange.

While the 4-lane roadway segment between Pinnacle Peak and Happy Valley will have a physical capacity of 30,000-35,000 vehicles per day (vpd), the 2040 travel demand forecast from MAG for this one mile segment ranges from 22,000 vpd near Pinnacle Peak to 17,500 vpd near Happy Valley. Roadways with only one travel lane each direction are

normally considered for widening when volumes approach/exceed 16,000 vpd. The volumes projected for Miller Road between Pinnacle Peak and Happy Valley exceed typical two-lane road capacity and are comparable to what the City counted on Hayden Road through the Grayhawk area in 2018.

The design for Miller Road is in the initial stages. Based on the consultant's schedule, public outreach will begin in February/March 2021. Design is scheduled to be completed by March 2022. Construction would begin in mid-2022 and be completed by late 2022/early 2023. As the project moves forward, City Council will also be involved in approvals for continued funding and construction of the project.



Councilwoman Kathy Littlefield

**From:** Fredric White <[fgwiv05@gmail.com](mailto:fgwiv05@gmail.com)>  
**Sent:** Friday, January 29, 2021 11:44 AM  
**To:** City Council <[CityCouncil@scottsdaleaz.gov](mailto:CityCouncil@scottsdaleaz.gov)>  
**Subject:** Rawhide Wash Flood Project

**⚠ External Email: Please use caution if opening links or attachments!**

Good morning,

I am writing as president of the HOA for Pinnacle Reserve to formally object to the continuation of the Rawhide Flood Project that would extend Miller Road between Pinnacle Peak and Happy Valley Roads. To say this would be detrimental to our neighborhood is an understatement. We have great foot and bike traffic throughout the neighborhood that would not be possible if Miller Road were to become a major thoroughfare. Perhaps worse is Juan Tabo would become a shortcut sending speeding vehicles east and west through the neighborhood in addition to the north and south traffic on Miller. This does not even take into account the personal violation of the residents backing up to a beautiful natural wash who will now be staring at a busy road with a projected 35,000 cars per day running up against their property lines.

Please consider the impact to the current residents and find a better way to ease traffic needs that is not so disrespectful to current property owners.

Sincerely,

Fredric White  
480-375-5176





I am concerned that I received an email from someone in 'Traffic Engineering' that says the Miller Road bridge, between Pinnacle Peak and Happy Valley, may be starting as early as 2022. I would like to see the plans that the City of Scottsdale may be proposing for Miller road. I cannot find anything on the development site for the City. I know that you would be a major player in that venue and was hoping you could point me in the right direction.

What sidewalk configuration is planned, Will a wall be erected, Medians, plantings, other stuff.....

In the pursuit of finding a new *NORMAL* in 2021,

*Joseph 'Just Joe' Levine*

La Vista HOA Preident

ARC Committee Chair

EMAIL [J.J.Levine@cox.net](mailto:J.J.Levine@cox.net)

[Joe at LinkedIn](#)

I CAN HANDLE ANYTHING LIFE THROWS AT ME.

I may not always handle it well, but I will handle it!!

## Murillo, Jesus

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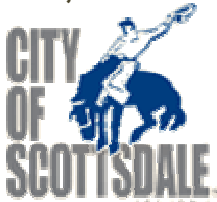
**From:** Richter, Jeremy  
**Sent:** Wednesday, February 03, 2021 1:49 PM  
**To:** Christina Dooley  
**Cc:** John Dooley; Meinhart, David; Melnychenko, Mark; Murillo, Jesus  
**Subject:** RE: Miller Road Bridge Project  
**Attachments:** Miller Road-Pinnacle Peak Rd to Happy Valley Rd-Profile Zoom in at South Bridge.pdf

Good afternoon Christina & John,

After I wrote you the other day I spent some additional time reviewing the graphic I sent you as well as the latest roadway profile sent over by the engineer. I asked the engineer to produce a zoom-in of the south end of the bridge and roadway south of the bridge. Please see attached exhibit. My apologies, I was incorrect in saying 20 feet of height. In the attached exhibit you can see the profile view (Side elevation view) of the new roadway vs. the existing ground shown as the dashed line. From this exhibit you can see that the new road way will only be at maximum 6' higher than the top of the existing floodwall you can see today. This height is a function of the need to pass storm water under the bridge and a need for the roadway clear the top of the new FEMA certified levee flood containment system being constructed by the Maricopa County Flood Control District Rawhide Wash Flood Mitigation project. Once clearing the top of the new levee system the road quickly descends to meet existing roadway elevations around the area of E Mariposa Grande Dr. I hope that helps to clarify. My apologies again for the confusion and the technical nature of the data. If you would like any further explanations or information please do not hesitate to give me a call and I can review the exhibit with you over the phone.

Respectfully,

**Jeremy Richter**  
Project Manager



Capital Project Management  
7447 E. Indian School Road, Suite 205  
Scottsdale, Arizona 85251  
Phone: (480) 312-7869  
Email: [jrichter@scottsdaleaz.gov](mailto:jrichter@scottsdaleaz.gov)  
To send large files [click here](#)

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**From:** Richter, Jeremy  
**Sent:** Monday, February 01, 2021 3:39 PM  
**To:** Christina Dooley <mamalongsrapper@gmail.com>; Murillo, Jesus <JMurillo@ScottsdaleAz.Gov>  
**Cc:** John Dooley <pinnacle1@cox.net>; Meinhart, David <DMeinhart@Scottsdaleaz.gov>  
**Subject:** RE: Miller Road Bridge Project

Good afternoon Christina & John,

My apologies for the delayed response. Attached is an exhibit for The Miller road bridge exhibit showing approximate bridge elevations vs existing grade elevations. From this exhibit you can see at the north end of the bridge ties into the existing pavement at about 1940'. The bridge needs an average of 8-10' clearance under the bridge to allow storm water to pass. At the south end of the bridge the terrain is naturally lower (approx. 1920' elevation). In order to contain the storm water flows of the Rawhide wash from breaking out and flowing south on south on Miller Rd, causing potential damage to homes, during large storm events, a levee is required to contain the wash (this is being constructed at part of the Rawhide Wash Improvements). The south abutment of the new Miller road bridge will need be placed over top of this new flood levee and then roadway will taper from this high point down to existing grade on Miller road some distance south of the bridge (Approx. 400-500') south of the bridge. In short at the north end of the Bridge the roadway will be pretty close to existing grade and at the south end will be max at around 20' above existing grade tapering down to existing as soon as feasible. The design team is making every effort to minimize the height of the bridge. The project also includes noise study. Additionally, The City will be conducting public meetings to allow the public to provide input on aesthetics of the bridge, sound mitigation efforts and landscaping to help minimize the adverse impacts to residents. I hope this answers your questions. I apologize if the exhibit is a bit technical in nature. If you have any further questions or need any explanations please to not hesitate to give me a call.

Thanks,

**Jeremy Richter**  
Project Manager



Capital Project Management  
7447 E. Indian School Road, Suite 205  
Scottsdale, Arizona 85251  
Phone: (480) 312-7869  
Email: [jrichter@scottsdaleaz.gov](mailto:jrichter@scottsdaleaz.gov)  
To send large files [click here](#)

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**From:** Christina Dooley <[mamalongsnapper@gmail.com](mailto:mamalongsnapper@gmail.com)>  
**Sent:** Sunday, January 24, 2021 8:24 PM  
**To:** Richter, Jeremy <[JRichter@Scottsdaleaz.gov](mailto:JRichter@Scottsdaleaz.gov)>; Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>  
**Cc:** Christina Dooley <[Mamalongsnapper@gmail.com](mailto:Mamalongsnapper@gmail.com)>; John Dooley <[pinnacle1@cox.net](mailto:pinnacle1@cox.net)>  
**Subject:** Miller Road Bridge Project

**⚠ External Email: Please use caution if opening links or attachments!**

Good day, Jeremy and Jesus:

We are residents in the Talara home development and just watched the virtual public meeting on the Rawhide Wash Project. Our immediate concerns are in regard to the height of the Miller Road bridge and the efforts to keep the future traffic noise at a minimum.

Please inform us of these issues so that we have a better understanding of those ramifications.

Thank you kindly,  
Christina and John Dooley

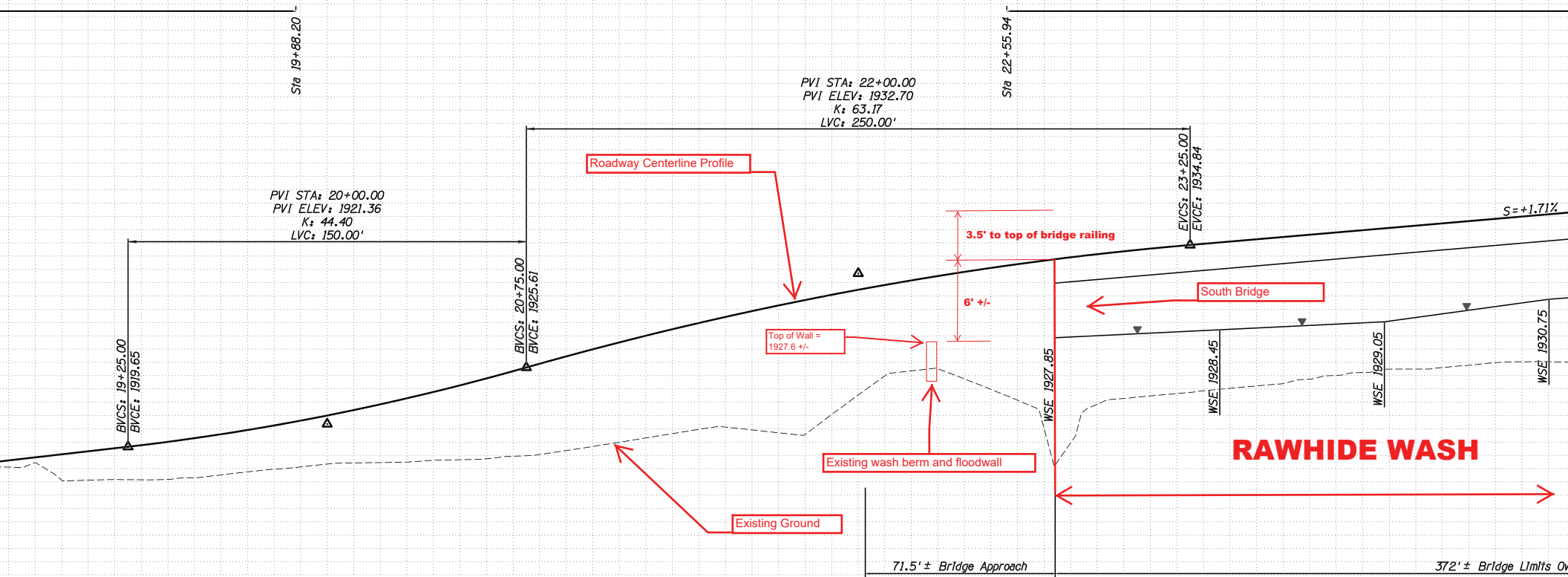
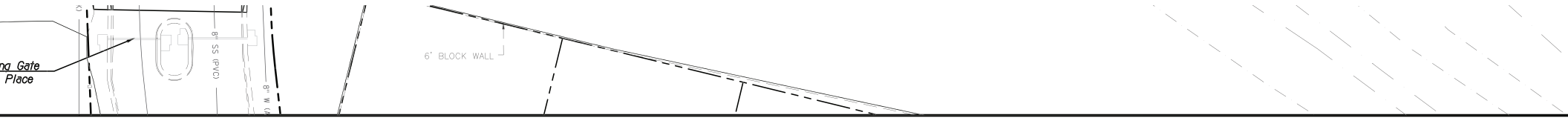


Existing  
berm &  
floodwall

approx 6'  
above  
existing  
floodwall  
elevation

North end  
of bridge

Google



**MILLER ROAD: HAPPY VALLEY RD TO PINNACLE PEAK RD.  
ROADWAY PROFILE NEAR SOUTH BRIDGE ABUTMENT @ RAWHIDE WASH CROSSING**

## Murillo, Jesus

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**From:** "VOICE/+4809801407"@vmaxpr01.ci.scottsdale.az.us  
**Sent:** Wednesday, February 03, 2021 12:00 PM  
**To:** Murillo, Jesus  
**Subject:** Voice mail: 23 sec.  
**Attachments:** 425303b7aa9.1a60\_0.wav

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

## Murillo, Jesus

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**From:** Nicole Forbes <Forbes365@outlook.com>  
**Sent:** Wednesday, February 03, 2021 6:43 AM  
**To:** Murillo, Jesus  
**Subject:** Rawhide wash meeting

⚠ External Email: Please use caution if opening links or attachments!

Good morning Jesus,

I hope you're doing well and having a great week thus far.

I reside at 7561 East Alameda Rd. and back to the rawhide wash. Unfortunately we were committed during the zoom meeting this past Friday and I would like to see if you could contact me for further information. If there's anything that you can send me via email that would be fantastic but I would like to connect with you via phone as well to get a full understanding of the scope of the project. This will greatly affect our property value and view depending on what the project entails.

Thank you so very much for your time. I look forward to speaking with you further. Have a great morning!

Warmest regards,  
~Nicole  
Nicole Forbes  
Cell: (480) 980-1407  
Forbes365@outlook.com

## Murillo, Jesus

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**From:** Kuester, Kelli  
**Sent:** Tuesday, February 02, 2021 1:26 PM  
**To:** Dan L.  
**Cc:** City Council; Murillo, Jesus  
**Subject:** RE: Request to terminate project to build bridge and extend Miller Road - Rawhide Wash  
**Attachments:** Rawhide Wash pictures.pdf

**Follow Up Flag:** Follow up  
**Flag Status:** Completed

Good afternoon Mr. and Mrs. Lundberg,

Please allow me to acknowledge receipt of and thank you for your email and input on behalf of Mayor Ortega and the City Councilmembers.

**Kelli Kuester**  
Management Assistant to Mayor and Council  
3939 N. Drinkwater Blvd., Scottsdale, AZ 85251  
[kkuester@scottsdaleaz.gov](mailto:kkuester@scottsdaleaz.gov)  
(480) 312-7977

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**From:** Dan L. <DL@centurylink.net>  
**Sent:** Monday, February 1, 2021 10:12 AM  
**To:** City Council <CityCouncil@scottsdaleaz.gov>  
**Cc:** City Council <CityCouncil@scottsdaleaz.gov>; Loriscomputer@centurylink.net  
**Subject:** Request to terminate project to build bridge and extend Miller Road - Rawhide Wash

**⚠ External Email: Please use caution if opening links or attachments!**

To the members of the Scottsdale City Council

On behalf of my family and numerous homeowners in Pinnacle Peak Reserve I am writing to you to express the concerns we have and object to the construction of a bridge over Rawhide Wash and the extension of Miller Rd. to Pinnacle Peak and request this project be canceled indefinitely.

There are numerous factors to take into consideration and in response to the email sent for me from Mark Melnychenko, in the email thread noted below.

I am the original homeowner in my home in Pinnacle Peak Reserve where Miller Rd runs directly through the center of our little community. I own the 5<sup>th</sup> house built in all of Pinnacle Reserve, back in 1997, we moved into our home in 1998 and have lived in this home for 23-yrs, and I have lived in Scottsdale for almost 57-yrs now. We moved here to get away from the traffic and noise of what was the new 101 at that time. Within the first 2-3 years that we moved into our home in Pinnacle Peak Reserve, we were made aware that the city had a similar plan to build a bridge over



Rawhide Wash and extend Miller Rd. to Pinnacle Peak. My wife and I, and several homeowners of our community attended the city council meetings and I had the opportunity to speak and I presented our objections about the bridge and Miller Rd. extension to the City Council. After the meeting we were told by one of the council members that the project was indefinitely canceled and the bridge will never be built. Now here it is again, yet this time there was no public notice about the project. Since the Blue Sign was put up at the barricade at Park View Lane and Miller Rd, that Mr. Melnychenko included pictures of in his email seen below, we called the number on the sign numerous times over the years and were told the same thing each time, "there is no money for the project and it is not in the plan". With the Pandemic, rioting and turmoil our country and families have been going through over the past year, we didn't even think to call the number on the sign since we have called dozens of times and got the same answer every time. The homeowners of Pinnacle Peak Reserve are very upset that the city planners only form of notifying the homeowners in Pinnacle Peak Reserve, was to send a 1-page electronic document to our HOA, with the image of an overhead photo of Rawhide Wash with yellow lines drawn showing wall improvements along Rawhide wash south of our community of Pinnacle Peak Reserve, to help protect against 100-year flooding. The arial image on the 1-page document titled "Rawhide Wash Flood Hazard Mitigation" does not say anything about a Bridge being built over Rawhide Wash, nor does it say anything about Miller Rd. being extended, nothing whatsoever. The picture does not show anything at all about a bridge or road extension, nothing at all. There is an incomplete link to [www.maricopa.bov/Rawhidewash](http://www.maricopa.bov/Rawhidewash) that leaves the homeowner to parse through a web site none of us have ever seen, and attempt to find one of several recorded virtual meetings that need to be downloaded and watched on a lap top, then somewhere within one of the videos there is mention of the bridge and road extension, and that is the only place where anyone may learn about the additional 35,000 cars per day that will travel through Pinnacle Peak Reserve on Miller Rd., the entire 1/3 mile length of our peaceful little community. This is not transparent disclosure and notice about building a bridge and extending Miller Rd. or the impact of traffic in our community and it was entirely represented as a 100-year Flood hazard protection project. I personally find this to be very deceptive as thought to disguise what the project is really about, building a bridge and extending Miller Rd without drawing an uproar from our community. Elderly homeowners would not even consider trying to attempt to find, download and watch such a video, many of us are not comfortable from a IT security perspective having to download a meeting video onto our laptops, other homeowner may not have a lap top or PC or know how to navigate such a maze to find the correct presentation, I myself and my wife thought the flood protection is a good thing and felt no need to watch a video about it, until I learned that is where the only mention of the Bridge, Road extension and 35,000 cars of traffic through the center of Pinnacle Peak Reserve is mentioned. We are outraged to be quite honest with you, not only about the project, but about the planners attempt to conceal this without transparent disclosure to the stakeholders, the homeowners in Pinnacle Peak Reserve.

It is further worth noting that we have had the 100-year flood already and we are still here just fine. Proof that a 100-yr flood has occurred can be noted by the numerous poorly rooted 200-year old Saguaro cactuses still standing in Rawhide Wash, and all along the sides of Rawhide Wash, that can easily be seen in Rawhide Wash between Happy Valley Rd and Pinnacle Peak Rd., in fact all the way north to Dynamite and further! If 200 year old poorly rooted cactuses are still standing they have survived two 100-year floods! There is some soil erosion on the sides of Rawhide Wash in this area, but taller walls will do nothing to mitigate that. Please see the attachment with numerous pictures of Saguaro cactuses in the same Rawhide wash area impacted by this proposed project.

You will also notice that there is no plans to protect the back of the homes on the east side of Pinnacle Peak Reserve, that back directly up to Rawhide Wash. Soil erosion has brought the edges of the wash to the very back walls of several homes in Pinnacle Peak Reserve East,

Financially it makes no sense to spend Millions and Millions of dollars to build the bridge over Rawhide Wash just to extend Miller Rd. another 1/3 of a mile to connect with Miller Rd. at Parkview Lane, where it has been barricaded for the past 23-yrs. End to end, the new Miller Rd. extension is only about 1/3 of a mile to where it will connect at Parkview lane, where it is now barricaded. With the city funds being what they are considering the devastating effects the pandemic has had on Scottsdale's revenue from lack of tourism, entertainment, dining, hospitality, unemployment, retail shopping and other related revenue generating entities that are suffering greatly due to the pandemic, the huge expenditure on a road and bridge that will only go about 1/3 of a mile does not make any good sense, not to mention that it will a devastating impact and ruin the quality of homeownership in Pinnacle Peak Reserve.

Miller Rd. Terminates at the north end at Happy Valley, Happy Valley runs east to Hayden Rd. and Pima Rd., and West to Scottsdale Rd. Happy Valley Road is a 2-lane road and completely inadequate to handle any more traffic, in fact, Happy Valley is inadequate to even handle the amount of traffic that travels on it daily now. The north end of Miller Rd terminates at Happy Valley at a stop sign, turn left or right onto a 2-LANE ROAD in both directions. Happy Valley Rd is not adequate to handle the current volume of traffic nor all of the traffic that will be dumped onto it if Miller Rd is extended to Pinnacle Peak Rd. Happy Valley Rd. between Miller Rd and Hayden Rd. is very narrow and the shoulders of the road non-existent in many places, the shoulder is constantly eroded and under-mined by rain run-off. Alongside Happy Valley Rd are huge long and wide erosion holes and ruts directly underneath, and at the edge of the pavement, sandy dirt at best that easily washes away and needs to be graded every time we have a significant rain storm. The Bridge should be built where Rawhide Wash crosses Happy Valley Rd. east of Miller Rd., west of Hayden Rd.. Why is this section of road overlooked and neglected?

Build a bridge over Rawhide Wash where it crosses Happy Valley Rd. Frequently when it rains Happy Valley Rd floods where Rawhide Wash crosses it. Happy Valley Rd. is often closed and barricaded with signs due to flash floods where Rawhide Wash crosses Happy Valley Rd. This area of road has always been a great concern as the only thing separating head-on traffic is a yellow line and is the same between Miller and Scottsdale Rd, 2-lanes of head-oncoming traffic in both directions! In the event you are forced off of the edge of this little two lane road, there is little or no road shoulder, you are either immediately in the trees and bushes on the North side of the road, or you will rip the bottom off of our car in the ruts and holes from erosion on the south side of Happy Valley Rd. The traffic is already very heavy on Happy Valley road and it is inadequate to support the traffic that is on it every day now, nor an additional 17,500 to 35,000 cars per day as noted by Mr. Melnychenko. There is also a sign prohibiting Box Truck traffic on this section of Happy Valley Road, that no-one driving a box trucks ever pays any attention to. This roadway is inadequate, it was the oldest dirt road in Scottsdale, and merely paved over about 20 years ago to become the road it is now.

Mr. Melnychenko elaborates about in his email as having recently built a 4-lane road in the new community just north of Pinnacle Peak and just south of Pinnacle Peak Reserve. The 4-lanes in our neighborhood have helped us to avoid accidents dozens of times at the cross roads of Miller and Juan Tabo and Miller and Whispering Wind. When driving on Miller Rd we stay in the lane farthest away from the upcoming cross street as cars more often than not do not stop at the stop sign and we need the added space to avoid collisions with stop sign runners, usually people that exited Scottsdale, onto Juan Tabo and are racing through PPR to get to Happy Valley Rd. The residents of the community to the south of us also will enjoy the safety the second lane will provide to them in the same situation as it occurs frequently in our community. However, there is a significant difference between the two communities, Miller Rd. Runs directly through the center of Pinnacle Peak Reserve with little or no setbacks from Miller Rd. The set back from Miller Rd. to the back of our homes property lines is 9ft. 4ft of sidewalk and 5ft. of landscaping, this is not enough of a buffer or setback to accommodate the estimated amount of future traffic Miller Rd. extension will bring through the center of Pinnacle Peak Reserve. Miller Rd Runs completely off to the west side of the new community to the south that Mr. Melnychenko referred to in his email, and with much greater set back and buffer from the road. In the second year we lived in Pinnacle Reserve a car traveling south on Miller smashed through the back yard wall of the home on the south west corner of Miller and Park View Lane, a teenager driving her parents Jeep Grand Cherokee SUV sank to the bottom of the new homeowners swimming pool, luckily the driver was able to get out through the rear-hatch without drowning. If the Bridge and Miller Rd extension goes through, I expect we will see a lot more of these kind of accidents in our community. There was also a drunk driver that hit the mail boxes on Juan Tabo and Miller, and smashed in to the back wall behind a home there.

The bridge and extension of Miller Rd. will create an enormous encumbrance on the homeowners of Pinnacle Reserve ability to enjoy our homes and property. The homeowners homes that back directly up to Miller Rd. will have the most impact as will all other homes, especially in close proximity like my home being very close to Miller Rd. Our home has a view fence at the rear of our property line, as do many homes along our street that are in close proximity and plane view of Miller Rd. To this day we have never had one single car drive on Miller Rd. south of Parkview Lane where it is barricaded, behind our homes. We will no longer be able to enjoy privacy in our backyards, headlights will shine into our homes. For the past 23-yrs we have never had a single car drive behind our homes at the south end of Miller Rd. For 23-years, almost half of my life, we have developed sleep patterns based upon silence, with zero cars driving behind our homes. With 35,000 cars driving on Miller Rd. day and night, how do we adjust to be able to sleep with so much traffic and noise after having a relatively silent community with no traffic at all at the south end of PPR, and very little traffic along Miller between Park View Lane and Happy Valley? There is no adjusting after 23-years. As you know sleep is imperative to good health, living a long healthy life and a productive life. When you sleep, your brain cleanses itself, and your body heals and repairs itself. According to the Mayo Clinic, sleep deprivation leads to numerous health problems, and is directly linked to causing high Blood Pressure, Dementia, Alzheimer's, Parkinson's, Diabetes, strokes, heart failure, heart attacks, irregular heart-beat, and numerous other ways that deteriorate your mind, body and life. The noise from all the significant increase in traffic will impact many of our homeowners in our community in this way. Not to be taken lightly.

35,000 cars racing through our community will have a huge impact on noise, privacy, crime, accidents and other unforeseen scenarios too numerous to foretell. For the past 23-yrs, my family and I, many of our neighbors have enjoyed the ability to go for walks along Miller Rd. relatively undisturbed, by little or no traffic, without the fear of being struck by cars or run down on the sidewalks along the side of Miller Rd. The gutter is the only separating the sidewalk from the roadway, not adequate with this volume of traffic. We have inadequate property line set-back and buffers from the roadway, we will be subject to being hit by cars when crossing the street, and cars jumping the sidewalks and running down pedestrians and their dogs, strollers, children and the elderly. Note the child on the bicycle behind the barricade in Mr. Melnychnko's picture, it will no longer be safe or even enjoyable to walk along Miller Rd. or ride your bicycle as we have for the past 23-years, with 35,000 cars per day racing though the center of our community.

Crime will also escalate. Our community already has problems with people driving into our neighborhoods late at night, with individuals walking into driveways checking car doors, some burglaries have occurred, I personally witnessed two police car chases that wound up in Pinnacle Reserve with perpetrators getting out of the cars and running on foot somewhere into our neighborhood, stolen cars, one was armed with a pistol that then never found, helicopters flying overhead round and round. Just

yesterday 3 guys came to my house, one hid behind the pillar outside my entryway, the guy at the door was trying to trick me into opening my door. I called the non-emergency SPD number, after 30 minutes the police didn't come, after 40 minutes my son called, the police still never showed. I was told they need to "prioritize" and "no crime has been committed". Having Ring security cameras I have seen numerous times people walking our street at 2 and 3 AM. Numerous times I have seen posts from other homeowners in PPR with Ring cameras, videos of what appear to be thieves stopping their cars in front of their homes, getting out of the car walking up to the front door and trying to open it to see if they can get in the house. Yesterday I believe the guys that came to my house are looking to possibly force their way into some one's home, including mine, my ring camera recorded them commenting about that fact that I have a lock on my gate! I have no doubt that crime will increase in our neighborhood exponentially with the amount of increase in traffic. It appears to the police are either too busy or not adequately staffed to respond to our calls. That leaves us in a very compromised situation.

Pinnacle Peak Reserve is a peaceful quiet community. Building a bridge over Rawhide wash and extending Miller Rd will ruin our quiet little community that we have been able to enjoy for the past 23-years..

Please terminate the plans for the bridge over Rawhide Wash and the extension of Miller Rd. It is a waste of much needed tax payers money, the Road extension will have many devastating effects on the community of Pinnacle Peak Reserve, and only extend the Rd to Happy Valley, a road that unsafe, ill maintained, and inadequate to handle the amount of traffic on it every day now.

It is worth noting that Happy Valley Road, Dynamite Rd., Jomax Rd and many other east/west bound streets north of Pinnacle Peak are all 2-lane roads meeting the same description with minimal or no road shoulder, erosion at the edge of the road, trees and bushes immediately off the side of the road, 2-lane head on traffic only separated by a yellow line, pedestrians are frequently hit and run down on these roadways, just in the past 2-3 weeks I am aware of two people on foot that have been hit by cars, and one bicyclist that was hit, all were in this area north of Scottsdale Rd. These East and West bound roads are all over run with more traffic than they were designed to handle, over 55-years ago. I remember as a young boy my Father and I would come out here with his Jeep and drive on these roads, that were all dirt at the time. The width didn't change much, they were graded, paved over and they are all 2-lanes of head oncoming traffic. Perhaps the focus of the transportation planners attention and city's funds should be on increasing the width of the east/west bound roadways making them more safe for pedestrians and motorists. This would be a much better expenditure of capital road project money then to build an unnecessary bridge and short road extension that will only lead to reduced home values, more accidents, fatalities and problems.

Attachments include pictures of Happy Valley Rd. shoulder ruts and holes, road shoulder erosion, trees immediately off the edge Happy Valley Rd. the area where Rawhide Wash crosses Happy Valley Rd, 200-yr. old cactuses growing in Rawhide Wash, and erosion at the back of Pinnacle Peak Reserve east.

Thank you for your consideration,

**Dan and Lori Lundberg**

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**From:** Melnychenko, Mark <[MMelnychenko@Scottsdaleaz.gov](mailto:MMelnychenko@Scottsdaleaz.gov)>

**Sent:** Friday, January 29, 2021 12:58 PM

**To:** [DL@centurylink.net](mailto:DL@centurylink.net)

**Cc:** City Council <[CityCouncil@scottsdaleaz.gov](mailto:CityCouncil@scottsdaleaz.gov)>; Thompson, James <[JThompson@Scottsdaleaz.gov](mailto:JThompson@Scottsdaleaz.gov)>; Murphy, Bill <[bmurphy@Scottsdaleaz.Gov](mailto:bmurphy@Scottsdaleaz.Gov)>; Worth, Daniel <[DaWorth@scottsdaleaz.gov](mailto:DaWorth@scottsdaleaz.gov)>; Kuester, Kelli <[KKuester@Scottsdaleaz.gov](mailto:KKuester@Scottsdaleaz.gov)>; [Loriscomputer@centurylink.net](mailto:Loriscomputer@centurylink.net)

**Subject:** RE: Miller Road extension and development of natural desert area North of Happy Valley

Good afternoon Mr. Lundberg,

Thank you for your detailed inquiry regarding the future Miller Road extension and bridge. Here is some background information compiled by staff to hopefully address your concerns. City plans for connecting Miller Road between Pinnacle Peak and Happy Valley have been in place since at least 1991, when the roadway was included in the Circulation Element of the 1991 General Plan. The roadway was mapped to extend as far north as Dynamite Boulevard. The planned alignment moves northeasterly from the intersection of Miller Road/Happy Valley Road until it matches up with the Hayden Road (80<sup>th</sup> Street) alignment at Jomax Road. The planned extension of Miller Road north of Pinnacle Peak Road was also included in the City Council-adopted 2008 Transportation Master Plan and the Council-adopted 2016 Transportation Master Plan. These long-time plans for Miller Road are the reason that the developer of the Pinnacle Reserve subdivision constructed a four-lane roadway from Parkview Lane to Happy Valley Road in 1997. These same plans are the reason that the new Paseo at Pinnacle Peak subdivision has recently widened Miller Road to four lanes between Pinnacle Peak Road and Adele Court. In addition to the Council-approved planning documents discussed above, signage near the south and north banks of the Miller Road/Rawhide Wash intersection indicating the future connection of Miller Road between Pinnacle Peak and Happy Valley Roads has been in place for over 3 years (photos provided below).

During the development of the FY 20/21 Capital Improvement Plan, Council approved funding to initiate work on the connection of Miller Road across the Rawhide Wash. The funding package includes a 70 percent contribution from the Maricopa Association of Governments (MAG) through their Arterial Life Cycle Program which focuses on regionally significant roadway corridors. Completing this connection across the Rawhide Wash will create a new option for north/south travel beyond Scottsdale and Pima Roads and provide a direct connection to the Hayden Road/Loop 101 interchange.

While the 4-lane roadway segment between Pinnacle Peak and Happy Valley will have a physical capacity of 30,000-35,000 vehicles per day (vpd), the 2040 travel demand forecast from MAG for this one mile segment ranges from 22,000 vpd near Pinnacle Peak to 17,500 vpd near Happy Valley. Roadways with only one travel lane each direction are normally considered for widening when volumes approach/exceed 16,000 vpd. The volumes projected for Miller Road between Pinnacle Peak and Happy Valley exceed typical two-lane road capacity and are comparable to what the City counted on Hayden Road through the Grayhawk area in 2018.

The design for Miller Road is in the initial stages. Based on the consultant's schedule, public outreach will begin in February/March 2021. Design is scheduled to be completed by March 2022. Construction would begin in mid-2022 and be completed by late 2022/early 2023. As the project moves forward, City Council will also be involved in approvals for continued funding and construction of the project.



Please contact me with any further questions.

Sincerely,

Mark Melnychenko  
Transportation and Streets Director  
City of Scottsdale  
(480) 312-7651  
[mmelnychenko@scottsdaleaz.gov](mailto:mmelnychenko@scottsdaleaz.gov)



NEED BRIDGE ON  
HAPPY VALLEY



NO ADEQUATE ROAD SHOULDER





200-yr Old Saguaros  
poorly rooted in sandy  
soil that have survived  
100-yr. floods. We've already  
had the 100-yr flood, and were all still here just fine!



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**From:** Dan L. <s>

**Sent:** Wednesday, January 27, 2021 3:59 PM

**To:** Littlefield, Kathy <[KLittlefield@Scottsdaleaz.gov](mailto:KLittlefield@Scottsdaleaz.gov)>; Durham, Thomas <[TDurham@Scottsdaleaz.gov](mailto:TDurham@Scottsdaleaz.gov)>; Janik, Betty <[BJanik@Scottsdaleaz.gov](mailto:BJanik@Scottsdaleaz.gov)>

**Subject:** FW: Miller Road extension and development of natural desert area North of Happy Valley

**⚠ External Email: Please use caution if opening links or attachments!**

Sorry, subject title should read Miller Road extension and development of natural desert area North of Happy Valley....

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**From:** Dan L. <[DL@centurylink.net](mailto:DL@centurylink.net)>

**Sent:** Wednesday, January 27, 2021 1:13 PM

**To:** 'KLittlefield@Scottsdaleaz.gov' <[KLittlefield@Scottsdaleaz.gov](mailto:KLittlefield@Scottsdaleaz.gov)>; 'TDurham@Scottsdaleaz.gov' <[TDurham@Scottsdaleaz.gov](mailto:TDurham@Scottsdaleaz.gov)>; 'BJanik@Scottsdaleaz.gov' <[BJanik@Scottsdaleaz.gov](mailto:BJanik@Scottsdaleaz.gov)>

**Cc:** 'Lori Lundberg' <[Loriscomputer@centurylink.net](mailto:Loriscomputer@centurylink.net)>

**Subject:** Miller Road extension and development of natural desert area North of Jomax

Mr. Durham, Mrs. Janik, Mrs. Littlefield,

Congratulations on your elected seat to the Scottsdale City Council! At the most recent election time I was in support of all of you based upon my understanding that you are not "Pro-Development" of Scottsdale. Myself being a conservative resident of Scottsdale for over 56 years, I am against the development of what little natural desert area we have remaining.

I recently become aware of the extension of Miller Rd. from Pinnacle Peak to Dynamite. Our HOA notified us of a notice they received notice from Scottsdale about "Sharing Miller Rd., which for the past 23-years that I have lived in this home adjacent to Miller Rd, is a dead-end barricade at Park View Lane, and terminates at Happy Valley Rd, maybe ½ long if that. This has been a quiet neighborhood that we enjoy daily walks along Miller Rd. with minimal disruption. The HOA's message, which came from the city, stated we can expect 30,000 to 40,000 cars per day traffic through our neighborhood on Miller after the extension of "sharing Miller road". The message stated that Miller would be developed North of Happy Valley by developers as needed. I contacted the city transportation planning department and was told the plan is to first build a bridge over Rawhide wash just south and behind many of our homes, and extend Miller from Pinnacle Peak to Happy Valley. David Meinhart, Transportation Planning Manager, confirmed that in 2021 they are making the plans, which I assume

will them be presented to the city council for approval, then the construction will begin in spring of 2022 and completed by fall of 2022. I hope this isn't already approved

My family and I moved into our new home in this neighborhood 23-yrs ago, to get away from the 101 and traffic noise. About 20-yrs ago there was some initiative by the council to build a bridge over Rawhide wash and extend Miller Rd, we then attended and spoke at the City Council meetings to express our concerns and ask the bridge and road not go through. We were told by a council member that the road will never go through due to the Millions of dollars it would cost to build the bridge over Rawhide wash. Now, if this plan is approved and Miller Rd is extended from Pinnacle Peak Rd, we will be exposed to the same amount of heavy traffic that is on Scottsdale Rd. The HOA's message said the city transportation planning department estimates from the traffic study that daily traffic on Miller Rd. directly behind our homes will be about 30,000 to 40,000 cars through our neighborhood daily. To myself, my family, and many of my neighbors in Pinnacle Reserve, this is not acceptable. The noise and the traffic will degrade our ability to enjoy our homes and property, and inhibit our ability to enjoy simple peaceful things like sleeping at night and taking a walk with our dogs twice a day along Miller Rd to Happy Valley and back, which we have done every day, twice a day, for the past 23-years. Many of us also have view fences at the back of our property lines, this road will take away any privacy we may have.

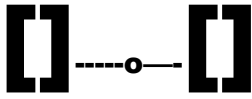
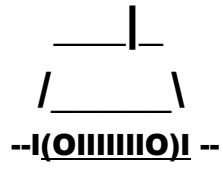
That being said I am seeking advice and help to stop the building of a bridge over Rawhide wash, stop the plans to extend Miller Rd. from Pinnacle Peak Rd to what is now barricaded at Parkview Lane. What can I, and the homeowners in my neighborhood at Pinnacle Reserve do to stop this plan?

I would also suggest that the city consider instead of using the millions and millions of tax payers dollars to build a bridge over Rawhide Wash and develop a road extension from Pinnacle Peak to connect Miller Rd. at Parkview Lane, the city instead consider using those same Millions of tax dollars to buy the land North of Happy Valley and preserve it, State Trust Land that was re-zoned for development a few years ago much to the dismay of thousands of local residents who came out in huge numbers at the city council meetings and meetings held in north Scottsdale to object to, and protest the development of what very well is the last of our remaining open natural desert area in Scottsdale!

I welcome any advice you can give, or help you can offer on your end to stop this plan of the Miller Road extension, the bridge, and maybe the land development of the land north of Happy Valley to Dynamite, between Pima and Scottsdale Rd.

Very best regards,

**Dan Lundberg**



## Murillo, Jesus

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**From:** Heather Tawes Nelson <htawes@clever101.com>  
**Sent:** Tuesday, February 02, 2021 11:06 AM  
**To:** Richter, Jeremy; Murillo, Jesus  
**Subject:** RE: Rawhide Wash project

**⚠ External Email: Please use caution if opening links or attachments!**

Thank you for the quick and thorough response!  
It is much appreciated!  
Heather

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**From:** Richter, Jeremy <JRichter@Scottsdaleaz.gov>  
**Sent:** Tuesday, February 2, 2021 12:58 PM  
**To:** Heather Tawes Nelson <htawes@clever101.com>; Murillo, Jesus <JMurillo@ScottsdaleAz.Gov>  
**Subject:** RE: Rawhide Wash project

Good morning Heather & Josh,

Thanks for reaching out to me. The Rawhide Wash project is being constructed by the Maricopa County Flood Control District (MCFCD) not the City of Scottsdale so you may need to contact them for additional information on the wash improvements and the natural open space preservation efforts. Having attended to a few meetings my self with the (MCFCD) concerning this project, I can tell you that the MCFCD project team does include a biologist and they are taking extra care to preserve the natural beauty of the wash. The MCFCD are tightly limiting the footprint of the contractor's activities during construction to help with the preservation effort. There will also be landscape restoration preformed by the contractor at the end of the project for the areas where they are required make improvements to the wash.

The Miller Rd Bridge project is being constructed by the City of Scottsdale. I am the Project Manager for the project. The design phase of the Miller road bridge does include a noise study and results of that study will be available to the public for review. Our public outreach efforts will kick off this spring. The public outreach will focus its efforts on providing residents an opportunity to provide input on the aesthetics of the bridge it's self, noise mitigation measures and landscaping that surround the bridge area.

Hope that helps to answer your questions. If you need any additional info please do not hesitate to ask.

Respectfully,

**Jeremy Richter**  
Project Manager



Capital Project Management  
7447 E. Indian School Road, Suite 205  
Scottsdale, Arizona 85251  
Phone: (480) 312-7869  
Email: [jrichter@scottsdaleaz.gov](mailto:jrichter@scottsdaleaz.gov)

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**From:** Heather Tawes Nelson <[htawes@clever101.com](mailto:htawes@clever101.com)>

**Sent:** Monday, February 01, 2021 6:37 PM

**To:** Richter, Jeremy <[JRichter@Scottsdaleaz.gov](mailto:JRichter@Scottsdaleaz.gov)>; Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>

**Subject:** Rawhide Wash project

**⚠ External Email: Please use caution if opening links or attachments!**

Hello,

Apologies for the late response.

We are homeowners in Talara who have a home that backs up to the wash. We have had an opportunity to watch the video.

We are big fans about keeping as much vegetation as possible as the wash/vegetation view was a huge reason we selected our home.

We are very concerned about the road noise from Miller once the connection goes through. Since the wash is an open area, the road noise will be amplified. Are there other mitigating factors that can be put into place?

Thank you!

Heather & Josh Nelson

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Heather Tawes Nelson  
(602) 751-1675

## Murillo, Jesus

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**From:** Richter, Jeremy  
**Sent:** Tuesday, February 02, 2021 10:58 AM  
**To:** Heather Tawes Nelson; Murillo, Jesus  
**Subject:** RE: Rawhide Wash project

Good morning Heather & Josh,

Thanks for reaching out to me. The Rawhide Wash project is being constructed by the Maricopa County Flood Control District (MCFCD) not the City of Scottsdale so you may need to contact them for additional information on the wash improvements and the natural open space preservation efforts. Having attended to a few meetings myself with the (MCFCD) concerning this project, I can tell you that the MCFCD project team does include a biologist and they are taking extra care to preserve the natural beauty of the wash. The MCFCD are tightly limiting the footprint of the contractor's activities during construction to help with the preservation effort. There will also be landscape restoration performed by the contractor at the end of the project for the areas where they are required make improvements to the wash.

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Respectfully,

**Jeremy Richter**  
Project Manager



Capital Project Management  
7447 E. Indian School Road, Suite 205  
Scottsdale, Arizona 85251  
Phone: (480) 312-7869  
Email: [jrichter@scottsdaleaz.gov](mailto:jrichter@scottsdaleaz.gov)

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**From:** Heather Tawes Nelson <htawes@clever101.com>  
**Sent:** Monday, February 01, 2021 6:37 PM  
**To:** Richter, Jeremy <JRichter@Scottsdaleaz.gov>; Murillo, Jesus <JMurillo@ScottsdaleAz.Gov>  
**Subject:** Rawhide Wash project

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Thank you!

Heather & Josh Nelson

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Heather Tawes Nelson

(602) 751-1675

## Murillo, Jesus

---

**From:** Heather Tawes Nelson <htawes@clever101.com>  
**Sent:** Monday, February 01, 2021 6:37 PM  
**To:** Richter, Jeremy; Murillo, Jesus  
**Subject:** Rawhide Wash project

**⚠ External Email: Please use caution if opening links or attachments!**

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We are very concerned about the road noise from Miller once the connection goes through. Since the wash is an open area, the road noise will be amplified. Are there other mitigating factors that can be put into place?

Thank you!  
Heather & Josh Nelson

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Heather Tawes Nelson  
(602) 751-1675

## Murillo, Jesus

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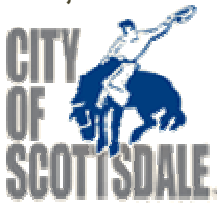
**From:** Richter, Jeremy  
**Sent:** Monday, February 01, 2021 3:39 PM  
**To:** Christina Dooley; Murillo, Jesus  
**Cc:** John Dooley; Meinhart, David  
**Subject:** RE: Miller Road Bridge Project  
**Attachments:** 20027-02\_Miller Rd Prelim Bridge Height\_20200127.pdf

Good afternoon Christina & John,

My apologies for the delayed response. Attached is an exhibit for The Miller road bridge exhibit showing approximate bridge elevations vs existing grade elevations. From this exhibit you can see at the north end of the bridge ties into the existing pavement at about 1940'. The bridge needs an average of 8-10' clearance under the bridge to allow storm water to pass. At the south end of the bridge the terrain is naturally lower (approx. 1920' elevation). In order to contain the storm water flows of the Rawhide wash from breaking out and flowing south on south on Miller Rd, causing potential damage to homes, during large storm events, a levee is required to contain the wash (this is being constructed at part of the Rawhide Wash Improvements). The south abutment of the new Miller road bridge will need be placed over top of this new flood levee and then roadway will taper from this high point down to existing grade on Miller road some distance south of the bridge (Approx. 400-500') south of the bridge. In short at the north end of the Bridge the roadway will be pretty close to existing grade and at the south end will be max at around 20' above existing grade tapering down to existing as soon as feasible. The design team is making every effort to minimize the height of the bridge. The project also includes noise study. Additionally, The City will be conducting public meetings to allow the public to provide input on aesthetics of the bridge, sound mitigation efforts and landscaping to help minimize the adverse impacts to residents. I hope this answers your questions. I apologize if the exhibit is a bit technical in nature. If you have any further questions or need any explanations please to not hesitate to give me a call.

Thanks,

**Jeremy Richter**  
Project Manager



Capital Project Management  
7447 E. Indian School Road, Suite 205  
Scottsdale, Arizona 85251  
Phone: (480) 312-7869  
Email: [jrichter@scottsdaleaz.gov](mailto:jrichter@scottsdaleaz.gov)  
To send large files [click here](#)

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**From:** Christina Dooley <mamalongsnapper@gmail.com>  
**Sent:** Sunday, January 24, 2021 8:24 PM  
**To:** Richter, Jeremy <JRichter@Scottsdaleaz.gov>; Murillo, Jesus <JMurillo@ScottsdaleAz.Gov>  
**Cc:** Christina Dooley <Mamalongsnapper@gmail.com>; John Dooley <pinnacle1@cox.net>  
**Subject:** Miller Road Bridge Project

**⚠ External Email: Please use caution if opening links or attachments!**

Good day, Jeremy and Jesus:

We are residents in the Talara home development and just watched the virtual public meeting on the Rawhide Wash Project. Our immediate concerns are in regard to the height of the Miller Road bridge and the efforts to keep the future traffic noise at a minimum.

Please inform us of these issues so that we have a better understanding of those ramifications.

Thank you kindly,  
Christina and John Dooley



Exst Pavement=1940+/-

Proposed Bridge (North End)  
Road Grade @ CL=1941+/-  
Top of Barrier Railing=1944.5+/-

Proposed Bridge (South End)  
Road Grade @ CL=1935+/-  
Top of Barrier Railing=1938.5+/-

Exst Pavement=1918+/-

## Murillo, Jesus

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**From:** Kuester, Kelli  
**Sent:** Monday, February 01, 2021 11:45 AM  
**To:** Tammie White  
**Cc:** City Council; Murillo, Jesus  
**Subject:** RE: Please do not move forward with the Rawhide Wash Flood Project

Hello Ms. White,

Please allow me to acknowledge receipt of and thank you for your email and input on behalf of Mayor Ortega and the City Councilmembers.

**Kelli Kuester**

Management Assistant to Mayor and Council  
3939 N. Drinkwater Blvd., Scottsdale, AZ 85251  
[kkuester@scottsdaleaz.gov](mailto:kkuester@scottsdaleaz.gov)  
(480) 312-7977

---

**From:** Tammie White <tammie0315@gmail.com>  
**Sent:** Friday, January 29, 2021 11:53 AM  
**To:** City Council <CityCouncil@scottsdaleaz.gov>  
**Subject:** Please do not move forward with the Rawhide Wash Flood Project

**⚠ External Email: Please use caution if opening links or attachments!**

Good morning,

I am writing as a resident, a mother and real estate agent with the intent of preserving our beautiful and peaceful community. I would like to formally object to the continuation of the Rawhide Flood Project that would extend Miller Road between Pinnacle Peak and Happy Valley Roads. To say this would be detrimental and put the our children's safety at risk in our neighborhood is an understatement. We have great foot and bike traffic throughout the neighborhood that would not be possible if Miller Road were to become a major thoroughfare. Perhaps worse is Juan Tabo would become a shortcut sending speeding vehicles east and west through the neighborhood in addition to the north and south traffic on Miller. This does not even take into account the personal violation of the residents backing up to a beautiful natural wash who will now be staring at a busy road with a projected 35,000 cars per day running up against their property lines.

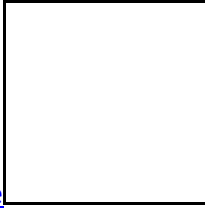
Please consider the impact to the current residents and their children and find a better way to ease traffic needs that is not so disrespectful to current property owners.

Sincerely,

Tammie White  
480-254-5958

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<http://bhhsaz.findbuyers.com/tammiewhite>



## Murillo, Jesus

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**From:** Murillo, Jesus  
**Sent:** Monday, February 01, 2021 10:33 AM  
**To:** Littlefield, Kathy  
**Subject:** RE: Rawhide Wash Flood Project - I am sending a copy of our staff report to citizens for this project. Thank you for your email.  
**Attachments:** 7WM2020\_51079.doc

Good morning Councilwoman Littlefield,

Forgive me for asking, which type of report would help. The application does have a drainage/hydrology report submitted. Currently, the project has submitted for one DRB process review, and a courtesy final plans review. There is still some work left to be done. Staff has issued a First Review Comment letter (please see attachment), but no DRB report has been written as of yet. Staff will begin the DRB report once the application has updated to a point that meets the criteria to move forward to a DRB hearing.

I can provide the DRB report once it has been finalized,

Jesús

---

**From:** Littlefield, Kathy <KLittlefield@Scottsdaleaz.gov>  
**Sent:** Monday, February 01, 2021 10:01 AM  
**To:** Murillo, Jesus <JMurillo@ScottsdaleAz.Gov>  
**Subject:** Re: Rawhide Wash Flood Project - I am sending a copy of our staff report to citizens for this project. Thank you for your email.

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Councilwoman Kathy Littlefield

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**To:** Littlefield, Kathy <KLittlefield@Scottsdaleaz.gov>; Fredric White <fgwiv05@gmail.com>  
**Cc:** Grant, Randy <RGrant@Scottsdaleaz.gov>; Stockwell, Brent <BStockwell@scottsdaleaz.gov>; Thompson, James <JThompson@Scottsdaleaz.gov>  
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480-375-5176

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**Sent:** Monday, February 01, 2021 10:24 AM  
**To:** Murillo, Jesus  
**Cc:** Grant, Randy; Littlefield, Kathy; Stockwell, Brent; Thompson, James  
**Subject:** Re: Rawhide Wash Flood Project - I am sending a copy of our staff report to citizens for this project.  
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Great thank you all again for your time and consideration or our desire to maintain our current quality of life by not putting a major road through our neighborhood.

We were all aware of the signs on Miller and the potential for this development. I believe that we had someone from the city planners offices come out to an HOA meeting for our community back in 2016 and we were led to believe that we would have a similar forum with city planners to voice our displeasure as a community prior to any final decisions being made about moving forward. We were also led to believe that the project itself was very costly to the tax payers and thus may never go through.

I don't want you all to think we haven't been concerned, we just figured our community would be allowed to have a voice in the process.

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Councilwoman Kathy Littlefield

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Thank you for your detailed inquiry regarding the future Miller Road extension and bridge. Here is some background information compiled by staff to hopefully address your concerns. City plans for connecting Miller Road between Pinnacle Peak and Happy Valley have been in place since at least 1991, when the roadway was included in the Circulation Element of the 1991 General Plan. The roadway was mapped to extend as far north as Dynamite Boulevard. The planned alignment moves northeasterly from the intersection of Miller Road/Happy Valley Road until it matches up with the Hayden Road (80<sup>th</sup> Street) alignment at Jomax Road. The planned extension of Miller Road north of Pinnacle Peak Road was also included in the City Council-adopted 2008 Transportation Master Plan and the Council-adopted 2016 Transportation Master Plan. These long-time plans for Miller Road are the reason that the developer of the Pinnacle Reserve subdivision constructed a four-lane roadway from Parkview Lane to Happy Valley Road in 1997. These same plans are the reason that the new Paseo at Pinnacle Peak subdivision has recently widened Miller Road to four lanes between Pinnacle Peak Road and Adele Court. In addition to the Council-approved planning documents discussed above, signage near the south and north banks of the Miller Road/Rawhide Wash intersection indicating the future connection of Miller Road between Pinnacle Peak and Happy Valley Roads has been in place for over 3 years (photos provided below).

During the development of the FY 20/21 Capital Improvement Plan, Council approved funding to initiate work on the connection of Miller Road across the Rawhide Wash. The funding package includes a 70 percent contribution from the Maricopa Association of Governments (MAG) through their Arterial Life Cycle Program which focuses on regionally significant roadway corridors. Completing this connection across the Rawhide Wash will create a new option for

north/south travel beyond Scottsdale and Pima Roads and provide a direct connection to the Hayden Road/Loop 101 interchange.

While the 4-lane roadway segment between Pinnacle Peak and Happy Valley will have a physical capacity of 30,000-35,000 vehicles per day (vpd), the 2040 travel demand forecast from MAG for this one mile segment ranges from 22,000 vpd near Pinnacle Peak to 17,500 vpd near Happy Valley. Roadways with only one travel lane each direction are normally considered for widening when volumes approach/exceed 16,000 vpd. The volumes projected for Miller Road between Pinnacle Peak and Happy Valley exceed typical two-lane road capacity and are comparable to what the City counted on Hayden Road through the Grayhawk area in 2018.

The design for Miller Road is in the initial stages. Based on the consultant's schedule, public outreach will begin in February/March 2021. Design is scheduled to be completed by March 2022. Construction would begin in mid-2022 and be completed by late 2022/early 2023. As the project moves forward, City Council will also be involved in approvals for continued funding and construction of the project.



Councilwoman Kathy Littlefield

**From:** Fredric White <[fgwiv05@gmail.com](mailto:fgwiv05@gmail.com)>  
**Sent:** Friday, January 29, 2021 11:44 AM  
**To:** City Council <[CityCouncil@scottsdaleaz.gov](mailto:CityCouncil@scottsdaleaz.gov)>  
**Subject:** Rawhide Wash Flood Project

**⚠ External Email: Please use caution if opening links or attachments!**

Good morning,

I am writing as president of the HOA for Pinnacle Reserve to formally object to the continuation of the Rawhide Flood Project that would extend Miller Road between Pinnacle Peak and Happy Valley Roads. To say this would be detrimental to our neighborhood is an understatement. We have great foot and bike traffic throughout the neighborhood that would not be possible if Miller Road were to become a major thoroughfare. Perhaps worse is Juan Tabo would become a shortcut sending speeding vehicles east and west through the neighborhood in addition to the north and south traffic on Miller. This does not even take into account the personal violation of the residents backing up to a beautiful natural wash who will now be staring at a busy road with a projected 35,000 cars per day running up against their property lines.

Please consider the impact to the current residents and find a better way to ease traffic needs that is not so disrespectful to current property owners.

Sincerely,

Fredric White  
480-375-5176

## Murillo, Jesus

---

**From:** James Kort <james.kort77@gmail.com>  
**Sent:** Sunday, January 31, 2021 8:16 PM  
**To:** Murillo, Jesus  
**Subject:** Rawhide Wash Flood prevention proposal

 **External Email: Please use caution if opening links or attachments!**

Open my shared note:



Mr Murillo,  
Notes

Sent from my iPad

## Murillo, Jesus

---

**From:** Christina Dooley <mamalongsnapper@gmail.com>  
**Sent:** Saturday, January 30, 2021 7:48 AM  
**To:** Murillo, Jesus  
**Cc:** Richter, Jeremy; John Dooley  
**Subject:** Re: Miller Road Bridge Project

**⚠ External Email: Please use caution if opening links or attachments!**

Thank you for your reply. We look forward to receiving more information soon.

Have a great weekend,  
Christina Dooley

On Fri, Jan 29, 2021, 7:08 PM Murillo, Jesus <[JMurillo@scottsdaleaz.gov](mailto:JMurillo@scottsdaleaz.gov)> wrote:

Hello Christina and John,

I hope this email finds you doing well.

First, I wanted to thank you for your patience. I am having my team put together some information to hopefully address your concerns. I know Mr. Meinhart (Transportation Manager) is putting together some information that we have received from the engineers. I wanted to send you this email in advance, that you would not think we had forgotten about you. I am hoping to have the completed information by Monday/Tuesday.

You may then feel free to respond with any further questions or comments.

Sincerely,

Jesús

---

**From:** Christina Dooley <[mamalongsnapper@gmail.com](mailto:mamalongsnapper@gmail.com)>  
**Sent:** Sunday, January 24, 2021 8:24 PM

**To:** Richter, Jeremy <JRichter@Scottsdaleaz.gov>; Murillo, Jesus <JMurillo@ScottsdaleAz.Gov>  
**Cc:** Christina Dooley <[Mamalongsnapper@gmail.com](mailto:Mamalongsnapper@gmail.com)>; John Dooley <[pinnacle1@cox.net](mailto:pinnacle1@cox.net)>  
**Subject:** Miller Road Bridge Project

**⚠ External Email: Please use caution if opening links or attachments!**

Good day, Jeremy and Jesus:

We are residents in the Talara home development and just watched the virtual public meeting on the Rawhide Wash Project. Our immediate concerns are in regard to the height of the Miller Road bridge and the efforts to keep the future traffic noise at a minimum.

Please inform us of these issues so that we have a better understanding of those ramifications.

Thank you kindly,

Christina and John Dooley

## Murillo, Jesus

---

**From:** Fredric White <fgwiv05@gmail.com>  
**Sent:** Friday, January 29, 2021 11:06 PM  
**To:** Littlefield, Kathy; City Council; Murillo, Jesus  
**Subject:** Re: Rawhide Wash Flood Project - I am sending a copy of our staff report to citizens for this project. Thank you for your email.

**⚠ External Email: Please use caution if opening links or attachments!**

Thank you for taking time to write out a personalized response. What are the considerations with regard to expanding the existing 1 lane Hayden Road between Pinnacle Peak and Happy Valley, or the optimal solution of widening Scottsdale Road to 3 lanes in each direction? That seems like a less invasive plan to the current property owner's, especially in Los Portones who will be the most impacted property owners.

Also, do you have projections on the increased traffic flow through Juan Tabo between Scottsdale Road and Miller?

On Fri, Jan 29, 2021 at 9:07 PM Littlefield, Kathy <[KLittlefield@scottsdaleaz.gov](mailto:KLittlefield@scottsdaleaz.gov)> wrote:

Thank you for your detailed inquiry regarding the future Miller Road extension and bridge. Here is some background information compiled by staff to hopefully address your concerns. City plans for connecting Miller Road between Pinnacle Peak and Happy Valley have been in place since at least 1991, when the roadway was included in the Circulation Element of the 1991 General Plan. The roadway was mapped to extend as far north as Dynamite Boulevard. The planned alignment moves northeasterly from the intersection of Miller Road/Happy Valley Road until it matches up with the Hayden Road (80<sup>th</sup> Street) alignment at Jomax Road. The planned extension of Miller Road north of Pinnacle Peak Road was also included in the City Council-adopted 2008 Transportation Master Plan and the Council-adopted 2016 Transportation Master Plan. These long-time plans for Miller Road are the reason that the developer of the Pinnacle Reserve subdivision constructed a four-lane roadway from Parkview Lane to Happy Valley Road in 1997. These same plans are the reason that the new Paseo at Pinnacle Peak subdivision has recently widened Miller Road to four lanes between Pinnacle Peak Road and Adele Court. In addition to the Council-approved planning documents discussed above, signage near the south and north banks of the Miller Road/Rawhide Wash intersection indicating the future connection of Miller Road between Pinnacle Peak and Happy Valley Roads has been in place for over 3 years (photos provided below).

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While the 4-lane roadway segment between Pinnacle Peak and Happy Valley will have a physical capacity of 30,000-35,000 vehicles per day (vpd), the 2040 travel demand forecast from MAG for this one mile segment ranges from 22,000 vpd near Pinnacle Peak to 17,500 vpd near Happy Valley. Roadways with only one travel lane each direction are normally considered for widening when volumes approach/exceed 16,000 vpd. The volumes projected for Miller Road between Pinnacle Peak and Happy Valley exceed typical two-lane road capacity and are comparable to what the City counted on Hayden Road through the Grayhawk area in 2018.

The design for Miller Road is in the initial stages. Based on the consultant's schedule, public outreach will begin in February/March 2021. Design is scheduled to be completed by March 2022. Construction would begin in mid-2022 and be completed by late 2022/early 2023. As the project moves forward, City Council will also be involved in approvals for continued funding and construction of the project.



Councilwoman Kathy Littlefield

---

**From:** Fredric White <[fgwiv05@gmail.com](mailto:fgwiv05@gmail.com)>  
**Sent:** Friday, January 29, 2021 11:44 AM  
**To:** City Council <[CityCouncil@scottsdaleaz.gov](mailto:CityCouncil@scottsdaleaz.gov)>  
**Subject:** Rawhide Wash Flood Project

**⚠ External Email: Please use caution if opening links or attachments!**

Good morning,

I am writing as president of the HOA for Pinnacle Reserve to formally object to the continuation of the Rawhide Flood Project that would extend Miller Road between Pinnacle Peak and Happy Valley Roads. To say this would be detrimental to our neighborhood is an understatement. We have great foot and bike traffic throughout the neighborhood that would not be possible if Miller Road were to become a major thoroughfare. Perhaps worse is Juan Tabo would become a shortcut sending speeding vehicles east and west through the neighborhood in addition to the north and south traffic on Miller. This does not even take into account the personal violation of the residents backing



up to a beautiful natural wash who will now be staring at a busy road with a projected 35,000 cars per day running up against their property lines.

Please consider the impact to the current residents and find a better way to ease traffic needs that is not so disrespectful to current property owners.

Sincerely,

Fredric White  
480-375-5176

## Murillo, Jesus

---

**From:** pinnacle1 <pinnacle1@cox.net>  
**Sent:** Friday, January 29, 2021 7:18 PM  
**To:** Murillo, Jesus  
**Subject:** RE: Miller Road Bridge Project

**⚠ External Email: Please use caution if opening links or attachments!**

Thank you Jesus.

John Dooley  
Pinnacle Productions  
C. 602-538-5429

----- Original message -----

From: "Murillo, Jesus" <JMurillo@ScottsdaleAz.Gov>  
Date: 1/29/21 7:08 PM (GMT-07:00)  
To: Christina Dooley <mamalongsnapper@gmail.com>, "Richter, Jeremy" <JRichter@Scottsdaleaz.gov>  
Cc: John Dooley <pinnacle1@cox.net>  
Subject: RE: Miller Road Bridge Project

Hello Christina and John,

I hope this email finds you doing well.

First, I wanted to thank you for your patience. I am having my team put together some information to hopefully address your concerns. I know Mr. Meinhart (Transportation Manager) is putting together some information that we have received from the engineers. I wanted to send you this email in advance, that you would not think we had forgotten about you. I am hoping to have the completed information by Monday/Tuesday.

You may then feel free to respond with any further questions or comments.

Sincerely,

Jesús

---

**From:** Christina Dooley <mamalongsnapper@gmail.com>  
**Sent:** Sunday, January 24, 2021 8:24 PM  
**To:** Richter, Jeremy <JRichter@Scottsdaleaz.gov>; Murillo, Jesus <JMurillo@ScottsdaleAz.Gov>  
**Cc:** Christina Dooley <Mamalongsnapper@gmail.com>; John Dooley <pinnacle1@cox.net>  
**Subject:** Miller Road Bridge Project

**⚠ External Email: Please use caution if opening links or attachments!**

Good day, Jeremy and Jesus:

We are residents in the Talara home development and just watched the virtual public meeting on the Rawhide Wash Project. Our immediate concerns are in regard to the height of the Miller Road bridge and the efforts to keep the future traffic noise at a minimum.

Please inform us of these issues so that we have a better understanding of those ramifications.

Thank you kindly,

Christina and John Dooley

## Murillo, Jesus

---

**From:** Murillo, Jesus  
**Sent:** Friday, January 29, 2021 7:09 PM  
**To:** Christina Dooley; Richter, Jeremy  
**Cc:** John Dooley  
**Subject:** RE: Miller Road Bridge Project

Hello Christina and John,

I hope this email finds you doing well.

First, I wanted to thank you for your patience. I am having my team put together some information to hopefully address your concerns. I know Mr. Meinhart (Transportation Manager) is putting together some information that we have received from the engineers. I wanted to send you this email in advance, that you would not think we had forgotten about you. I am hoping to have the completed information by Monday/Tuesday.

You may then feel free to respond with any further questions or comments.

Sincerely,

Jesús

---

**From:** Christina Dooley <mamalongsnapper@gmail.com>  
**Sent:** Sunday, January 24, 2021 8:24 PM  
**To:** Richter, Jeremy <JRichter@Scottsdaleaz.gov>; Murillo, Jesus <JMurillo@ScottsdaleAz.Gov>  
**Cc:** Christina Dooley <Mamalongsnapper@gmail.com>; John Dooley <pinnacle1@cox.net>  
**Subject:** Miller Road Bridge Project

**⚠ External Email: Please use caution if opening links or attachments!**

Good day, Jeremy and Jesus:

We are residents in the Talara home development and just watched the virtual public meeting on the Rawhide Wash Project. Our immediate concerns are in regard to the height of the Miller Road bridge and the efforts to keep the future traffic noise at a minimum.

Please inform us of these issues so that we have a better understanding of those ramifications.

Thank you kindly,  
Christina and John Dooley

## Murillo, Jesus

---

**From:** Enyart Paula J. <pjenyart@gmail.com>  
**Sent:** Friday, January 29, 2021 3:36 PM  
**To:** Murillo, Jesus  
**Subject:** Rawhide Wash

**⚠ External Email: Please use caution if opening links or attachments!**

I think it is perfectly clear that the residents in the Los Portones area do not want this disruption to our wash. But money talks, and it will happen because Phoenix needs the Flood Hazard in place for their projects to go forward. Forget what is best for community and native desert. It will happen against all wishes of public.

## Murillo, Jesus

---

**From:** Murillo, Jesus  
**Sent:** Friday, January 29, 2021 2:32 PM  
**To:** Copper Phillips  
**Subject:** RE: REMINDER - Rawhide Wash Public Meeting - Deadline 1/29

Hello Copper,

I hope this email finds you and your family doing well.

Thank you for your comments. I will be sure that they are included as part of the public communication and included in the report to the Development Review Board.

Sincerely,

Jesús

---

**From:** Copper Phillips <jcopperphillips1174@outlook.com>  
**Sent:** Thursday, January 28, 2021 2:58 PM  
**To:** Murillo, Jesus <JMurillo@ScottsdaleAz.Gov>  
**Subject:** Fwd: REMINDER - Rawhide Wash Public Meeting - Deadline 1/29

**⚠ External Email: Please use caution if opening links or attachments!**

Hi, Jesus.

I just reviewed the design and construction info on the Rawhide Wash from Pinnacle Peak to Happy Valley. I am very pleased to see that it was sensitive to neighbors' concerns while creating flood abatement that was needed. I know some folks were against this project, but having served on the committee, I absolutely believe it benefits them and the City in the long run.

Regards,

Joanne "Copper" Phillips

Begin forwarded message:

**From:** Alexis Amezquita <[AAmezquita@gciaz.com](mailto:AAmezquita@gciaz.com)>  
**Date:** January 27, 2021 at 1:38:43 PM MST  
**Subject:** REMINDER - Rawhide Wash Public Meeting - Deadline 1/29

Dear Stakeholder,

This is a reminder that you still have a few days to participate in the public meeting for the Rawhide Wash Flood Mitigation Project. The short, pre-recorded presentation is available on the project website and **available to view until Friday, January 29<sup>th</sup>**. Additionally, you and your fellow community members are encouraged to share comments via a digital comment form on the project site.

I have attached more information the public meeting and how you can access it to this email. We are looking for as much stakeholder participation as possible so please share with your fellow residents and neighbors so that they can share their comments during the open window. If you or your neighbors have

any questions about the meeting, there is a 24/7 hotline number at the bottom of the flyer where you can get more answers.

Thank you,

**ALEXIS AMEZQUITA**

Rawhide Wash Flood Mitigation Project

Public Outreach Coordinator

Email: [aamezquita@gciaz.com](mailto:aamezquita@gciaz.com)

Office: 623.362.1597 Ext: 110 | Direct: 623.498.8046

[www.gciaz.com](http://www.gciaz.com) – SBE

## Murillo, Jesus

---

**From:** Joe Keyser <joeowenk@icloud.com>  
**Sent:** Friday, January 29, 2021 12:50 PM  
**To:** Richter, Jeremy  
**Cc:** Meinhart, David; Murillo, Jesus; Walsh, Erin  
**Subject:** Re: Miller bridge

**⚠ External Email: Please use caution if opening links or attachments!**

Jeremy,

Thank you for your reply. I sincerely fear the day that we see trucks and bulldozers pulling into the wash, and am sure many of my neighbors share this thought. I'm sure you can build a beautiful design, but it really isn't a good place for it. So, I appreciate you passing along my thoughts and comments.

Have a great day.

Joe

Sent from my iPhone

On Jan 29, 2021, at 12:40 PM, Richter, Jeremy <JRichter@scottsdaleaz.gov> wrote:

Good afternoon Mr. Keyser,

My apologies, as The City's Capital Project Manager my expertise in the project are more on the design, construction and aesthetics of the bridge. I will have to refer you to Dave Meinhardt for our Transportation Department (he is cc on this email) for comments of the planning aspects or need for this project.

Dave, Can you please provide some insight on Mr. Keyser's questions below? Thanks,

Respectfully,

**Jeremy Richter**

Project Manager

<image001.png>

Capital Project Management

7447 E. Indian School Road, Suite 205

Scottsdale, Arizona 85251

Phone: (480) 312-7869

Email: [jrichter@scottsdaleaz.gov](mailto:jrichter@scottsdaleaz.gov)

To send large files [click here](#)

---

**From:** Joe Keyser <joeowenk@icloud.com>  
**Sent:** Thursday, January 28, 2021 9:01 PM



To: Richter, Jeremy <JRichter@Scottsdaleaz.gov>

Subject: Miller bridge

**⚠ External Email: Please use caution if opening links or attachments!**

Hello Jeremy,

I just watched your presentation on the flood mitigation, and need to voice a strong opinion on this matter. I hope you can take these comments to the right audience, and thanks in advance.

We do not need a bridge over the wash at Miller Rd! What we need is less development, not more. I jog up and down the wash from los Portones to Jomax and back almost daily, and have for 17 years. There are many animals and plants in there, and it is the last raw desert nearby. It would be an absolute tragedy to see the city tear up the wash, and turn it into a construction project. Please keep your motor vehicles out of the wash as the signs indicate.

The road on los portones floods over, and that could be fixed. The overpass on pinnacle peak near scottsdale road is a potential backup, and could be looked at. Otherwise I'd rather keep the flood insurance than to see our beautiful wash destroyed.

The bridge on Miller is a completely separate issue and is not needed or wanted. Perhaps the city could instead update its 20 year old general plan? What about open space? That apparently has no value to the city. Just look at the tragedy going up at 101 & Hayden, that is destroying the character of Scottsdale and the native ecosystem. Disturbing the wash as planned would only add to this unwanted change, and the correct answer is that the infrastructure is maxed out and for the city council to stop taking money from developers. The new housing developments at the previous site of Rawhide were also unneeded and have caused more traffic than the area can handle, particularly during the snowbird season.

Sincerely and best regards,

Joe Keyser  
602-430-1391

Sent from my iPhone

## Murillo, Jesus

---

**From:** Richter, Jeremy  
**Sent:** Friday, January 29, 2021 12:41 PM  
**To:** Joe Keyser  
**Cc:** Meinhart, David; Murillo, Jesus; Walsh, Erin  
**Subject:** RE: Miller bridge

Good afternoon Mr. Keyser,

My apologies, as The City's Capital Project Manager my expertise in the project are more on the design, construction and aesthetics of the bridge. I will have to refer you to Dave Meinhardt for our Transportation Department (he is cc on this email) for comments of the planning aspects or need for this project.

Dave, Can you please provide some insight on Mr. Keyser's questions below? Thanks,

Respectfully,

**Jeremy Richter**  
Project Manager



Capital Project Management  
7447 E. Indian School Road, Suite 205  
Scottsdale, Arizona 85251  
Phone: (480) 312-7869  
Email: [jrichter@scottsdaleaz.gov](mailto:jrichter@scottsdaleaz.gov)  
To send large files [click here](#)

---

**From:** Joe Keyser <joeowenk@icloud.com>  
**Sent:** Thursday, January 28, 2021 9:01 PM  
**To:** Richter, Jeremy <JRichter@Scottsdaleaz.gov>  
**Subject:** Miller bridge

**⚠ External Email: Please use caution if opening links or attachments!**

Hello Jeremy,

I just watched your presentation on the flood mitigation, and need to voice a strong opinion on this matter. I hope you can take these comments to the right audience, and thanks in advance.

We do not need a bridge over the wash at Miller Rd! What we need is less development, not more. I jog up and down the wash from los Portones to Jomax and back almost daily, and have for 17 years. There are many animals and plants in there, and it is the last raw desert nearby. It would be an absolute tragedy to see the city tear up the wash, and turn it into a construction project. Please keep your motor vehicles out of the wash as the signs indicate.

The road on los portones floods over, and that could be fixed. The overpass on pinnacle peak near scottsdale road is a potential backup, and could be looked at. Otherwise I'd rather keep the flood insurance than to see our beautiful wash destroyed.

The bridge on Miller is a completely separate issue and is not needed or wanted. Perhaps the city could instead update its 20 year old general plan? What about open space? That apparently has no value to the city. Just look at the tragedy going up at 101 & Hayden, that is destroying the character of Scottsdale and the native ecosystem. Disturbing the wash as planned would only add to this unwanted change, and the correct answer is that the infrastructure is maxed out and for the city council to stop taking money from developers. The new housing developments at the previous site of Rawhide were also unneeded and have caused more traffic than the area can handle, particularly during the snowbird season.

Sincerely and best regards,

Joe Keyser  
602-430-1391

Sent from my iPhone

## Murillo, Jesus

---

**From:** Richter, Jeremy  
**Sent:** Friday, January 29, 2021 12:26 PM  
**To:** Natalia and Michael  
**Cc:** Murillo, Jesus; Meinhart, David; Walsh, Erin  
**Subject:** RE: Miller Road Bridge Project

Good afternoon Mikhail,

Yes, we will kick off our public outreach process this spring. The planning effort or decision to install the Miller Road Bridge at rawhide wash was part of the City of Scottsdale's approved Transportation Master Plan. The public outreach will focus on giving the public an opportunity to provide input on the look and feel of the project. During the design process The City will be taking input from the residents and exploring ways to minimize adverse impacts. The design portion of this project will include noise study, biology memo, cultural resources report and clean water act technical memo and will be available for public review upon request. While this project is a bridge project, The Maricopa County Flood Control District will also be making improvements to the Rawhide Wash below the bridge as part of regional flood control project. In consideration of both project special efforts are being taken to preserve the native species in the wash and minimize impacts to local wildlife. For example this bridge is to be constructed on round columns foundations to allow as much natural light under the bridge as possible to enhance comfort of both wildlife and pedestrians traveling along the wash. This is different than typical box culvert design which includes long, often times dark and uninviting, tunnels under the roadway. I hope that answers your questions. If you need any additional info at this time please do not hesitate to ask.

Respectfully,

**Jeremy Richter**  
Project Manager



Capital Project Management  
7447 E. Indian School Road, Suite 205  
Scottsdale, Arizona 85251  
Phone: (480) 312-7869  
Email: [jrichter@scottsdaleaz.gov](mailto:jrichter@scottsdaleaz.gov)

---

**From:** Natalia and Michael <mgneus@yahoo.com>  
**Sent:** Thursday, January 28, 2021 8:37 PM  
**To:** Richter, Jeremy <JRichter@Scottsdaleaz.gov>  
**Subject:** Miller Road Bridge Project

**⚠ External Email: Please use caution if opening links or attachments!**

Hi Jeremy,

I live at 24718 N 76 Place Scottsdale and we are very concerned regarding the bridge on Miller Rd. project. You are going to start public outreach in March. Is it just a formality/pr effort to soothe the blow to the residents or the members of the community will actually have a say in this matter?

Also, where can I get more information about this project, specifically how it will affect home values in our community, how will it change noise and pollution levels and what would it do wildlife?

Thank you for your time!

Mikhail Gurevich

## Murillo, Jesus

---

**From:** Fredric White <fgwiv05@gmail.com>  
**Sent:** Friday, January 29, 2021 11:59 AM  
**To:** Murillo, Jesus  
**Subject:** Fwd: Rawhide Wash Flood Project

**⚠ External Email: Please use caution if opening links or attachments!**

Good afternoon,

Please see below.

Thank you

----- Forwarded message -----

**From:** Fredric White <[fgwiv05@gmail.com](mailto:fgwiv05@gmail.com)>  
**Date:** Fri, Jan 29, 2021 at 11:44 AM  
**Subject:** Rawhide Wash Flood Project  
**To:** [citycouncil@scottsdaleaz.gov](mailto:citycouncil@scottsdaleaz.gov) <[citycouncil@scottsdaleaz.gov](mailto:citycouncil@scottsdaleaz.gov)>

Good morning,

I am writing as president of the HOA for Pinnacle Reserve to formally object to the continuation of the Rawhide Flood Project that would extend Miller Road between Pinnacle Peak and Happy Valley Roads. To say this would be detrimental to our neighborhood is an understatement. We have great foot and bike traffic throughout the neighborhood that would not be possible if Miller Road were to become a major thoroughfare. Perhaps worse is Juan Tabo would become a shortcut sending speeding vehicles east and west through the neighborhood in addition to the north and south traffic on Miller. This does not even take into account the personal violation of the residents backing up to a beautiful natural wash who will now be staring at a busy road with a projected 35,000 cars per day running up against their property lines.

Please consider the impact to the current residents and find a better way to ease traffic needs that is not so disrespectful to current property owners.

Sincerely,

Fredric White  
480-375-5176

## Murillo, Jesus

---

**From:** LOREEN LEITZEN <lalzen@msn.com>  
**Sent:** Friday, January 29, 2021 12:21 AM  
**To:** Murillo, Jesus  
**Cc:** Mary Brockman; Lenore Simmons; jmorris58@att.net; Cara Barnes  
**Subject:** Salvaged plants/irrigation

**Follow Up Flag:** Follow up  
**Flag Status:** Completed

 **External Email: Please use caution if opening links or attachments!**

Hello Jesus.

I left some comments on the survey about this question but wanted to address it with our management company and board. Our community is not the Los Portones Master Community.

In October when I met with the small committee it was discussed that the salvaged plants from the wash were in need of irrigation when replanted. I asked who will be paying for the irrigation and asked that all of the the associations involved be in the loop with this discussion/decision. I know that you are in the final stages for the project. I was wondering if this topic has been discussed with the associations impacted by your project.

Thanks for the time and I hope you are doing well and staying healthy.

Loreen Leitzen/ Los Portones

Sent from [Mail](#) for Windows 10

## Murillo, Jesus

---

**From:** Socorro Rudolph <Socorro@cox.net>  
**Sent:** Thursday, January 28, 2021 3:33 PM  
**To:** Murillo, Jesus  
**Subject:** Bridge over Rawhide Wash

**⚠ External Email: Please use caution if opening links or attachments!**

Dear Jesus,

It is my understanding you are part of the committee working on establishing a plan to build a bridge over the Rawhide Wash that will extend Hayden/Miller Road from Pinnacle Peak to Parkview Lane. This will significantly increase traffic into our neighborhood, increase noise pollution, air pollution, and possibly crime.

How many signatures would we need on a petition to thwart this bridge/road connection from being built?

Do you know if there is already a petition in place?

I appreciate you understanding our concerns and desire to keep our neighborhood quiet, clean, and safe.

After all, this is one of the reasons we pay a premium in property taxes.

Your response is appreciate.

All the best,  
**Socorro Rudolph**

*"Work hard at living in peace with others" 1 Peter 3:10-11*



## Murillo, Jesus

---

**From:** Copper Phillips <jcopperphillips1174@outlook.com>  
**Sent:** Thursday, January 28, 2021 2:58 PM  
**To:** Murillo, Jesus  
**Subject:** Fwd: REMINDER - Rawhide Wash Public Meeting - Deadline 1/29  
**Attachments:** image001.png; image002.png; image003.png; image004.png; Rawhide Wash January Public Meeting Invite.pdf

**⚠ External Email: Please use caution if opening links or attachments!**

Hi, Jesus.

I just reviewed the design and construction info on the Rawhide Wash from Pinnacle Peak to Happy Valley. I am very pleased to see that it was sensitive to neighbors' concerns while creating flood abatement that was needed. I know some folks were against this project, but having served on the committee, I absolutely believe it benefits them and the City in the long run.

Regards,

Joanne "Copper" Phillips

Begin forwarded message:

**From:** Alexis Amezquita <AAmezquita@gciaz.com>  
**Date:** January 27, 2021 at 1:38:43 PM MST  
**Subject:** REMINDER - Rawhide Wash Public Meeting - Deadline 1/29

Dear Stakeholder,

This is a reminder that you still have a few days to participate in the public meeting for the Rawhide Wash Flood Mitigation Project. The short, pre-recorded presentation is available on the project website and **available to view until Friday, January 29<sup>th</sup>**. Additionally, you and your fellow community members are encouraged to share comments via a digital comment form on the project site.

I have attached more information the public meeting and how you can access it to this email. We are looking for as much stakeholder participation as possible so please share with your fellow residents and neighbors so that they can share their comments during the open window. If you or your neighbors have any questions about the meeting, there is a 24/7 hotline number at the bottom of the flyer where you can get more answers.

Thank you,

**ALEXIS AMEZQUITA**

Rawhide Wash Flood Mitigation Project  
Public Outreach Coordinator  
Email: [amezquita@gciaz.com](mailto:amezquita@gciaz.com)  
Office: 623.362.1597 Ext: 110 | Direct: 623.498.8046  
[www.gciaz.com](http://www.gciaz.com) – SBE



# Rawhide Wash Flood Hazard Mitigation Virtual Public Meeting Notice

The Flood Control District of Maricopa County (FCDMC), the City of Scottsdale, and the City of Phoenix invite you to participate in our virtual public meeting for the Rawhide Wash Flood Hazard Mitigation – Final Design Project.

This online presentation will provide the same information typically available at an in-person public meeting while respecting social distancing recommendations and the personal safety of the community during the COVID-19 pandemic.

## Virtual Public Meeting Presentation

Monday, Jan. 18 through Friday, Jan. 29, 2021:

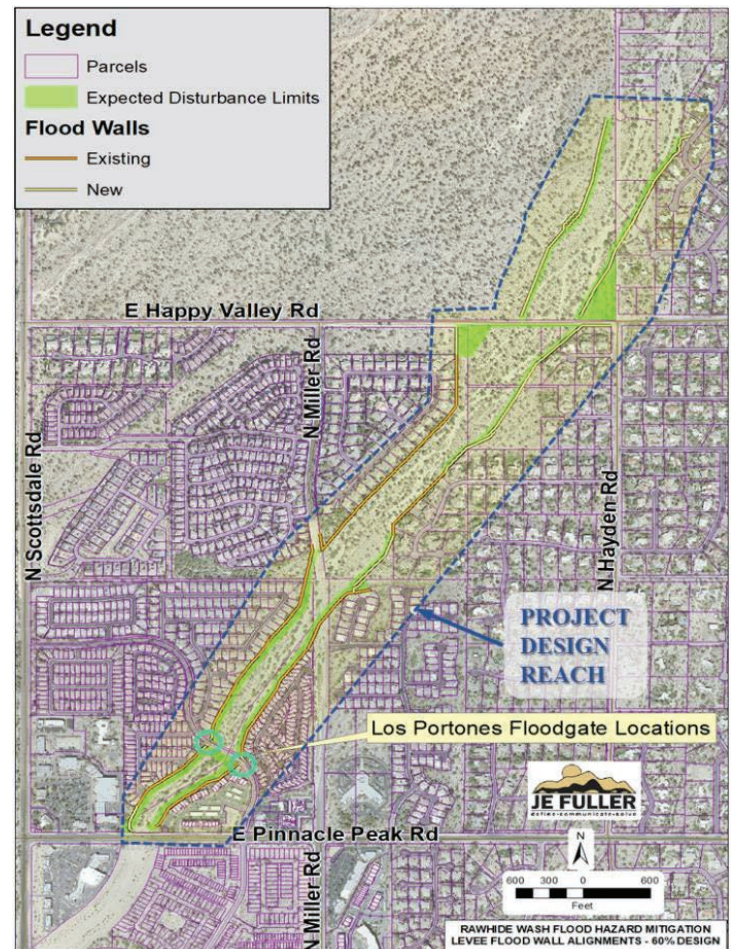
- **VISIT** [www.maricopa.gov/rawhidewash](http://www.maricopa.gov/rawhidewash) to access all information
- **WATCH** our prerecorded presentation
- **PROVIDE FEEDBACK** by clicking on the digital comment form link on the project website
- **CONTACT** project coordinator to provide further comments/questions

*Comment period will close on Friday, Jan. 29, 2021*

## Project Overview

The project team will provide a project update and an overview of the pre-90% completion design plans.

Implementation of the Rawhide Wash Project will include some disturbances of the native desert within the project corridor area, modification of existing floodwalls, and constructing of new floodwalls to provide 100-year flood protection to approximately 850 buildings within the Rawhide Wash Floodplain. Presentation materials will include sample graphics and examples of construction



City of Scottsdale Case No. 7-WM-2020

If you require reasonable accommodations for this meeting, please contact our Project Hotline at **623-825-3444** at least 72 hours in advance of the close of the public meeting.

## Project Contact

Jesus Murillo – Senior Planner

☎ 480-312-7849

✉ [jmurillo@scottsdaleAZ.gov](mailto:jmurillo@scottsdaleAZ.gov)

## Murillo, Jesus

---

**From:** ina.smeets@cox.net  
**Sent:** Thursday, January 28, 2021 10:42 AM  
**To:** Murillo, Jesus  
**Cc:** James Kort  
**Subject:** Re: Rawhide Wash COS 284PA2019, Case No. 7 -WM-2020

**⚠ External Email: Please use caution if opening links or attachments!**

Thank you Mr Murillo.

Looking forward to talking to you tonight at 5 pm.

Ina

Sent from my iPhone

On Jan 28, 2021, at 10:13, Murillo, Jesus <JMurillo@scottsdaleaz.gov> wrote:

Hello James and Ina,

I put together the couple of images that completes the picture for the wall near/on your parcel. Please reference the image below for our meeting at 5:00 today. I have outlined your parcel in a dark blue dashed line. The yellow line is where the wall is proposed to be located. The highlighted pink area is the dedicated NAOS areas. The image also shows the 10 acres to the west of your property.

Talk to you soon.

<image001.png>

-----Original Message-----

From: James Kort <james.kort77@gmail.com>  
Sent: Sunday, January 24, 2021 3:29 PM  
To: Murillo, Jesus <JMurillo@ScottsdaleAz.Gov>  
Subject: Rawhide Wash COS 284PA2019, Case No. 7 -WM-2020

**⚠ External Email: Please use caution if opening links or attachments!**

Mr. Murillo,

I had the opportunity to speak with you approximately 6 months ago regarding the proposed development of 5 houses on Happy Valley road in the 10 acres adjacent to our property. You were very helpful at the time of that conversation and I appreciated the information you provided

My wife Wilhelmina Smeets and myself, James Kort, reside at and own the property at 7910 East La Junta Rd that appears to be most affected by the Rawhide wash project. Despite carefully reviewing your presentation on a 27" 4K monitor it is very difficult to see precisely where the wall across our property is planned. It clearly divides the house from the majority of the property with no access identified and appears to be very close to our residence. This perception is reinforced by noting tagged numbers on Palo Verde trees adjacent to the house.

We request clarification of the plan given the major impact it will have on the aesthetics and value of our property.

Given the response dates offered from 1/19/21 - 1/29/21 we would like to set a time to speak with you in a timely fashion to allow for us to give thought to the information you provide and possibly draft comments. We do have work obligations so request a phone appointment time Monday, January 25 in the afternoon.

Please appraise us as well regarding the Happy Valley development as you indicated that would have significant impact on the project given the diversion of water flow in the direction of our property.

Respectfully submitted,

James S. Kort  
480-710-1612  
James.kort@cox.net

Wilhelmina J. Smeets  
860-558-4242  
Ina.smeets@cox.net

Sent from my iPad

## Murillo, Jesus

---

**From:** Murillo, Jesus  
**Sent:** Thursday, January 28, 2021 10:12 AM  
**To:** James Kort; ina.smeets@cox.net  
**Subject:** RE: Rawhide Wash COS 284PA2019, Case No. 7 -WM-2020

Hello James and Ina,

I put together the couple of images that completes the picture for the wall near/on your parcel. Please reference the image below for our meeting at 5:00 today. I have outlined your parcel in a dark blue dashed line. The yellow line is where the wall is proposed to be located. The highlighted pink area is the dedicated NAOS areas. The image also shows the 10 acres to the west of your property.

Talk to you soon.



-----Original Message-----

From: James Kort <james.kort77@gmail.com>  
Sent: Sunday, January 24, 2021 3:29 PM  
To: Murillo, Jesus <JMurillo@ScottsdaleAz.Gov>  
Subject: Rawhide Wash COS 284PA2019, Case No. 7 -WM-2020

⚠ External Email: Please use caution if opening links or attachments!

Mr. Murillo,

I had the opportunity to speak with you approximately 6 months ago regarding the proposed development of 5 houses on Happy Valley road in the 10 acres adjacent to our property. You were very helpful at the time of that conversation and I appreciated the information you provided

My wife Wilhelmina Smeets and myself, James Kort, reside at and own the property at 7910 East La Junta Rd that appears to be most affected by the Rawhide wash project. Despite carefully reviewing your presentation on a 27" 4K monitor it is very difficult to see precisely where the wall across our property is planned. It clearly divides the house from the majority of the property with no access identified and appears to be very close to our residence. This perception is reinforced by noting tagged numbers on Palo Verde trees adjacent to the house.

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Respectfully submitted,

James S. Kort  
480-710-1612  
James.kort@cox.net

Wilhelmina J. Smeets  
860-558-4242  
Ina.smeets@cox.net

Sent from my iPad

## Murillo, Jesus

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**From:** Andy Sweis <andysweis@hotmail.com>  
**Sent:** Wednesday, January 27, 2021 5:13 PM  
**To:** Murillo, Jesus  
**Subject:** Re: Pinnacle Peak Reserve Sharing Wash Meeting Notice

**⚠ External Email: Please use caution if opening links or attachments!**

Hi Jesus. When is this project expected to be complete? Will it help remove the mandatory flood insurance in the area?

Thanks.  
Andy

On Jan 27, 2021, at 5:06 PM, Pinnacle Peak Reserve HOA <messenger@pdsaz.com> wrote:







# Rawhide Wash Flood Hazard Mitigation Virtual Public Meeting Notice

The Flood Control District of Maricopa County (FCDMC), the City of Scottsdale, and the City of Phoenix invite you to participate in our virtual public meeting for the Rawhide Wash Flood Hazard Mitigation – Final Design Project.

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## Virtual Public Meeting Presentation

Monday, Jan. 18 through Friday, Jan. 29, 2021:

- **VISIT** [www.maricopa.gov/rawhidewash](http://www.maricopa.gov/rawhidewash) to access all information
- **WATCH** our prerecorded presentation
- **PROVIDE FEEDBACK** by clicking on the digital comment form link on the project website
- **CONTACT** project coordinator to provide further comments/questions

*Comment period will close on Friday, Jan. 29, 2021*

### Project Overview

The project team will provide a project update and an overview of the pre-90% completion design plans.

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City of Scottsdale Case No. 7-WM-2020

### Project Contact

Jesus Murillo – Senior Planner

☎ 480-312-7849

✉ [jmurillo@scottsdaleAZ.gov](mailto:jmurillo@scottsdaleAZ.gov)

If you require reasonable accommodations for this meeting, please contact our Project Hotline at **623-825-3444** at least 72 hours in advance of the close of the public meeting.

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This email is intended for the residents of Pinnacle Peak Reserve only. Please direct queries on this email to [messenger@pdsaz.com](mailto:messenger@pdsaz.com). You may modify your subscriptions to these email broadcasts by changing your preferences on the Membership/Web tab in your online [member profile](#).

**Pinnacle Peak Reserve. 17235 N 75th Ave Building H100 Glendale, AZ 85308, Tel: (623) 877-1396**

## Murillo, Jesus

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**From:** Ron Finkel <finkel.ron@gmail.com>  
**Sent:** Wednesday, January 27, 2021 1:59 PM  
**To:** Murillo, Jesus; Don Doherty; Ron Finkel  
**Subject:** Rawhide Wash Flood Hazard Comments

**⚠ External Email: Please use caution if opening links or attachments!**

**RE: Happy Valley Ranch 1, HOA  
Tract A, also referencing Tract A Legal Description  
New Wall Communication**

Jesus,

I am sending you this email since it was requested that all communication go to you, after watching the YouTube Videos.

I am speaking as part of the HVR1 community.

For the last several YEARS we have been in direct communication with Scott, Nazar, Jay, Ashley, and sometimes you.

We were asked to work hard with all involved to keep the process moving forward, then abruptly in June 2020, all communication stopped from everyone on the Wash Project. Not only bad business practice, but flat out bizarre!

It has been since June 2020 that anyone on the project contacted us, and we have yet to have our original questions answered.

Because of this gap, it will be like starting from the beginning; let's remove any casual gentlemen's agreements that were considered to be in place, move forward being very specific and in writing on all aspects.

I know everyone's intention was correct, but time lapse causes confusion! We were asked to stay attentive, move fast to help the project, and then as I said the communication stopped. I would like to remind everyone, just like last summer; many people that are working with you on this project in Happy Valley Ranch 1 HOA, will be leaving for the summer. So if you want us to be involved to produce results for the project, then the Wash Project group needs to do the same.

**Below I have added a few of the past emails, but let's start with the original questions, and the new ones:**

1. The City of Scottsdale Real Estate Department has not yet addressed the Language of Liability, Maintenance with Don Doherty a homeowner in HVR1 that the wall will be proposed to be on his property; and then HVR1 also. **I believe this almost needs to be completed first** and then we can add the specific Easement data to the document.
2. Scott agreed but nothing has materialized that the walls and easement on the HVR1 property be PROFESSIONALLY staked by a surveyor and marked. Most likely it would be logical to complete the Language of the Easement Document first, then do the staking.

3. I previously caught a few errors on Scott's legal description in June, and want to be sure it is corrected completely.
4. We have to confirm the distance between the two walls for the access point, before we stake the walls and easement. It needs to be the narrowest possible that Scott and I discussed before. If you look at the current stakes that Scott installed, that were casually done, the distance is over 15 feet.
5. We were very specific with Jay on the size of the slump block, type of mortar joint, color, and wash we wished to have. He was to check and get back to us, that was June 2020.

**Items Specific to the Wall Construction Material that asked in June 2020:**

- a. We have chosen the Superlite Slump Block, **but 4x8x16; we do not want the 6 inch tall block.**

Spanish Brown or sometimes called Brown is again what we want to go with.

The HOA and Don Doherty do not want the 6 inch tall.

We were never looking for a special custom block color.

- b. Mortar, we do not want the Heavy Mortar wash on both sides.

We want the Mortar Joint that is called Raked Joint and Brushed, on both sides.

- c. Mortar color, I gave Jay the information of what we wanted, I just could not provide the specific color number,

except what was on the Amerimix bag. That was the reason for the email with the details I gave Jay previously.

It does not match the Superlite Block on the Camelot Subdivisions I gave him, it is slightly different to accent the block.

We are not looking for a special color, just need to match it with the Camelot Subdivision sample I gave him, I am sure that is a stock color.

6. Due to the huge gap in the communication we will want a very detailed list of removed and added vegetation, location, on HVR1 and Doherty Property. It was discussed and casually trusted that Jay would make it correct, but now I think we need to be very specific.

7. Due to the huge gap in the communication we will want an agreement that the huge trees behind the Murawski property (HVR1 Lot 70) will only be slightly trimmed back, not removed or damaged. It was discussed and casually trusted that Scott would make it correct, but now I think we need to be very specific.

8. Due to the huge gap in the communication we will want specifics of how many, what location of "No Motorized Vehicle Allowed" signs on the Northside of Happy Valley Road wash crossing, in addition to the Southside of Jomax wash crossing. We are talking about permanent signs after the work is completed. In addition what kind of control signs will be used during construction, since

the construction crews will be having deep access into the wash area, which will then invite ATV, motorcycle use as a playground. Our residence highly use our HOA property for walking, biking, and taking children out to play; so safety is a concern.

**Finally a couple of new questions:**

9. With the completion of Miller Road, will a light signal be installed on Happy Valley Road for traffic control?

10. With the completion of Miller Road and the current work on Happy Valley Road widening East of Pima; in addition to all the new homes east of Pima; traffic will be greater. Has any timeline been

discussed on the eventual widening of Happy Valley Road between Pima and Scottsdale Road?

**Part of a string of emails from June 2020 below:**

This one mainly discusses with Jay about materials for the wall.

Ron Finkel <[finkel.ron@gmail.com](mailto:finkel.ron@gmail.com)>

to Jay, Scott



Jay...thanks but where and what are you getting the specs....I did not give you those?  
I think I might have confused you.....

1. By chance we have chosen the Superlite Slump Block, **but 4x8x16; we do not want the 6 inch tall block.**

Spanish Brown or sometimes called Brown is again by chance what we want to go with.

The HOA and Don Doherty do not want the 6 inch tall.

We were never looking for a special custom block color.

2. **Mortar, we do not want the Heavy Mortar wash on both sides.**

**We want the Mortar Joint that is called Raked Joint and Brushed, on both sides.**

3, Mortar color, I gave you the information of what we want, I just can't provide the specific number,

except what was on the Amerimix bag. That was the reason for the email with the details I gave you.

It does not match the Superlite Block on the Camelot Subdivisions I gave you, it is slightly different to accent the block.

You provided some color mix, but I don't know if that is what I gave you from Amerimix.

We are not looking for a special color, just need to match it with the Camelot Subdivision sample I gave you, I am sure that is a stock color.

Thanks

**Ronald Finkel**

On Thu, Jun 18, 2020 at 5:38 PM Jay Hicks <[jay@digstudio.com](mailto:jay@digstudio.com)> wrote:

Ron,

Let me see if we can cross the color with Superlite Block. The block manufacturer may be our limitation on color without getting into a special custom color block run. A custom color block run is very expensive and take months to fit into their production run.

Our current spec on the block and mortar:

Cement Mortar Specifications:

Color: 1 LB. CC-54 Per 78 LBS of Mortar

Finish: Heavy Mortar Wash (Both Sides)

Wall Block Specifications:

Supplier: Superlite Block

Style: Slump Block (6" x 8" x 16")

Color: Spanish Brown

Thanks for your input, we have a little time to work through the colors.

Jay

602-363-1890

Jay Hicks

Sr. Principal

Dig Studio, Inc

600 N. 4<sup>th</sup> Street, Bldg D

Phoenix, AZ 85004

Mb. 602-363-1890

Em. [jay@digstudio.com](mailto:jay@digstudio.com)

---

**From:** Ron Finkel <[finkel.ron@gmail.com](mailto:finkel.ron@gmail.com)>

**Sent:** Thursday, June 18, 2020 8:49 AM

**To:** Jay Hicks <[jay@digstudio.com](mailto:jay@digstudio.com)>; Ron Finkel <[finkel.ron@gmail.com](mailto:finkel.ron@gmail.com)>

**Subject:** Wall for the HVR1 HOA

Jay,

Morning....we are making progress but I ask for your help on one detailed item.

When I get this item resolved, I will provide a detailed slump block product and type of mortar joint.

I can't find the color of the masonry cement mortar joint but I have all the details.

The color we want to go with when I actually know the details of it are used at:

1. The wall on Los Gatos that Camelot Homes, White Horse subdivision. (You sent me a photo)

2. It is also being used at another Camelot Homes subdivision called Bronco Estates, located just slightly

north of the intersection of Happy Valley and Pima, the west side. They are currently building the wall

so I have detailed information.

( FYI, great block and mix access on a road directly north of this subdivision, where they have the heavy equipment )

A. I believe the Wall Construction Company is.

Rhino Contracting

480-275-6576

[www.rhinocontracting.org](http://www.rhinocontracting.org)

Mesa, AZ

B. The material for the colored cement is being provided by Amerimix. (Photos Below)

There are several 3,000lb bags, with the following information.

Amerimix

I believe the product number is: AMX 2# CC610/6

And it came out of the Chandler Plant at 6741 W. German Rd, 602-980-1529.

Not being a licensed contractor, I got a huge push back from Amerimix, but I bet you can solve this in a phone call or two. I do have photos of the bags, and also could run up to the site if needed for other information.

Let me know if this is something you can handle, if not I will figure something else out.

Thanks,

Ron

**This email String is mainly with Scott on the Legal Description back in June 2020.**  
**Scott Ogden <[scott@jefuller.com](mailto:scott@jefuller.com)>**

to me, Don, Nazar, Ashley, Maria, Jesus



Thanks, Ron and good catch. The amount did get changed in the text of the legal, but was missed in the little boxes at the title – we will get those fixed.

Regarding the staking of the wall and easement limits, that can be done. I will need to know when you want to do the walk-through so we can schedule the stake-out to be as close to that time as possible. As you know, stakes that are placed have found themselves broken and in piles in the past. So – please let us know when you would like to schedule the walk through and we will try to get it staked as close to that time as possible.

Thanks for working with Jay on the wall materials. I am confident we can get that dialed in.

Thanks,

Scott

---

**From:** Ron Finkel <[finkel.ron@gmail.com](mailto:finkel.ron@gmail.com)>  
**Sent:** Wednesday, June 10, 2020 10:51 AM  
**To:** Scott Ogden <[scott@jefuller.com](mailto:scott@jefuller.com)>  
**Cc:** Don Doherty <[f8u4doc@hotmail.com](mailto:f8u4doc@hotmail.com)>; Nazar Nabaty (FCD) <[Nazar.Nabaty@maricopa.gov](mailto:Nazar.Nabaty@maricopa.gov)>; Ashley Couch (ACouch@ScottsdaleAz.Gov) <[ACouch@scottsdaleaz.gov](mailto:ACouch@scottsdaleaz.gov)>; Muiser, Maria <[MMuiser@scottsdaleaz.gov](mailto:MMuiser@scottsdaleaz.gov)>; Murillo, Jesus <[JMurillo@scottsdaleaz.gov](mailto:JMurillo@scottsdaleaz.gov)>  
**Subject:** Re: Rawhide Wash FHMP - Revised Legal Description for Tract A

Morning everyone....

Scott,

In looking at the updated Survey, Exhibit B, Layout it seems OK....BUT I believe it still has an error, maybe two.

1. The first Easement you sent showed an Easement Area of 31,977 SF, so does the Updated version, .....I would believe that would be a lower number of SF?
2. Then please double check the legal description, and Line Table if correct.
3. When corrected, Don and I discussed the value of actually professionally staking the wall, and actual easement on both Doherty and HOA Easement. Don wants to actually see without a doubt where his property is impacted.

The HOA parcel we need to walk with the HOA Board, and it would be very important to have the actual, not the about Easement and Wall Location to show. That is an important step to having the HOA Board finalize and sign

Easement Agreement, after their attorney review.

Other Items that are still open:



1. We have communicated with Jay on the material of the wall, getting close, but not yet finalized.

2. The City of Scottsdale Real Estate Department has not yet addressed the Language of Liability, Maintenance.

We are trying to keep everything moving forward....and we thank you.

Regards,

Ron Finkel

**Scott Ogden** <[scott@jefuller.com](mailto:scott@jefuller.com)>

to me, Maria, Don, Nazar, Ashley, Jesus



Ron and Maria,

Please see the attached corrected legal file. Thanks!

Thanks,

Scott

---

**From:** Scott Ogden

**Sent:** Wednesday, June 10, 2020 12:31 PM

**To:** Ron Finkel <[finkel.ron@gmail.com](mailto:finkel.ron@gmail.com)>

**Cc:** Don Doherty <[f8u4doc@hotmail.com](mailto:f8u4doc@hotmail.com)>; Nazar Nabaty (FCD) <[Nazar.Nabaty@maricopa.gov](mailto:Nazar.Nabaty@maricopa.gov)>; Ashley Couch (ACouch@ScottsdaleAz.Gov) <[ACouch@scottsdaleaz.gov](mailto:ACouch@scottsdaleaz.gov)>; Muiser, Maria <[MMuiser@scottsdaleaz.gov](mailto:MMuiser@scottsdaleaz.gov)>; Murillo, Jesus <[JMurillo@scottsdaleaz.gov](mailto:JMurillo@scottsdaleaz.gov)>

**Subject:** RE: Rawhide Wash FHMP - Revised Legal Description for Tract A

Thanks, Ron and good catch. The amount did get changed in the text of the legal, but was missed in the little boxes at the title – we will get those fixed.

Regarding the staking of the wall and easement limits, that can be done. I will need to know when you want to do the walk-through so we can schedule the stake-out to be as close to that time as possible. As you know, stakes that are placed have found themselves broken and in piles in the past. So – please let us know when you would like to schedule the walk through and we will try to get it staked as close to that time as possible.

Thanks for working with Jay on the wall materials. I am confident we can get that dialed in.

Thanks,

Scott

**From:** Ron Finkel <[finkel.ron@gmail.com](mailto:finkel.ron@gmail.com)>

---

**Sent:** Wednesday, June 10, 2020 10:51 AM

**To:** Scott Ogden <[scott@jefuller.com](mailto:scott@jefuller.com)>

**Cc:** Don Doherty <[f8u4doc@hotmail.com](mailto:f8u4doc@hotmail.com)>; Nazar Nabaty (FCD) <[Nazar.Nabaty@maricopa.gov](mailto:Nazar.Nabaty@maricopa.gov)>; Ashley Couch ([ACouch@ScottsdaleAz.Gov](mailto:ACouch@ScottsdaleAz.Gov)) <[ACouch@scottsdaleaz.gov](mailto:ACouch@scottsdaleaz.gov)>; Muiser, Maria <[MMuiser@scottsdaleaz.gov](mailto:MMuiser@scottsdaleaz.gov)>; Murillo, Jesus <[JMurillo@scottsdaleaz.gov](mailto:JMurillo@scottsdaleaz.gov)>

**Subject:** Re: Rawhide Wash FHMP - Revised Legal Description for Tract A

Morning everyone....

Scott,

In looking at the updated Survey, Exhibit B, Layout it seems OK....BUT I believe it still has an error, maybe two.

1. The first Easement you sent showed an Easement Area of 31,977 SF, so does the Updated version, .....I would believe that would be a lower number of SF?

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Other Items that are still open:

1. We have communicated with Jay on the material of the wall, getting close, but not yet finalized.

2. The City of Scottsdale Real Estate Department has not yet addressed the Language of Liability, Maintenance.

We are trying to keep everything moving forward....and we thank you.

Regards,

Ron Finkel

On Tue, Jun 9, 2020 at 4:50 PM Scott Ogden <[scott@jefuller.com](mailto:scott@jefuller.com)> wrote:

Hi Ron and Don,

Hope you are able to enjoy the reprieve in heat we are having. Attached is a revised legal description for the Tract A easement, which has been written to fit your last comments. Thanks again for all the feedback and positive communications. Take care and stay healthy!

W. Scott Ogden | P.E., CFM | President/CEO

Project Manager / Senior Engineer  
8400 S Kyrene Rd, Suite 201 | Tempe, AZ 85284  
Office: (480) 222-5717 | Mobile: (480) 299-3394

[www.JEFuller.com](http://www.JEFuller.com)

## Murillo, Jesus

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**From:** Richter, Jeremy  
**Sent:** Tuesday, January 26, 2021 11:41 AM  
**To:** Meinhart, David  
**Cc:** Walsh, Erin; Murillo, Jesus  
**Subject:** Fwd: Miller Road Bridge Project

Hey Dave, I am out of town this week. Are you able to reply to this one?

Thanks in advance,

### Jeremy Richter

Project Manager



Capital Project Management

7447 E. Indian School Road, Suite 205

Scottsdale, Arizona 85251

Phone: [\(480\) 312-7869](tel:(480)312-7869)

Mobile: [\(480\) 980-4830](tel:(480)980-4830)

Email: [jrichter@scottsdaleaz.gov](mailto:jrichter@scottsdaleaz.gov)

To send large files [click here](#)

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**From:** Christina Dooley <mamalongsnapper@gmail.com>  
**Sent:** Sunday, January 24, 2021 8:24:07 PM  
**To:** Richter, Jeremy <JRichter@Scottsdaleaz.gov>; Murillo, Jesus <JMurillo@ScottsdaleAz.Gov>  
**Cc:** Christina Dooley <Mamalongsnapper@gmail.com>; John Dooley <pinnacle1@cox.net>  
**Subject:** Miller Road Bridge Project

**⚠ External Email: Please use caution if opening links or attachments!**

Good day, Jeremy and Jesus:

We are residents in the Talara home development and just watched the virtual public meeting on the Rawhide Wash Project. Our immediate concerns are in regard to the height of the Miller Road bridge and the efforts to keep the future traffic noise at a minimum.

Please inform us of these issues so that we have a better understanding of those ramifications.

Thank you kindly,  
Christina and John Dooley

## Murillo, Jesus

---

**From:** Couch, Ashley  
**Sent:** Tuesday, January 26, 2021 12:58 AM  
**To:** kricharder51@cox.net  
**Cc:** Murillo, Jesus  
**Subject:** RE: Rawhide Wash Flood Hazard Mitigation Project COS 284-PA-2019 Case No 7-Wm-2020

Mr. Harder:

Thank you for your inquiry. The Rawhide Wash Flood Hazard Mitigation Project will not directly impact Vistana Estates subdivision. Consequently, no changes to the FEMA 100-year floodplain (aka Special Flood Hazard Area) are proposed at this time.

There is a separate, but related project that was identified in the Pinnacle Peak West Area Drainage Master Study known as the Troon North Tributary Levee Project. This project is north of Jomax Road and west of Pima Road. We are proposing to build a levee on the south side of a wash known as the Troon North Tributary Wash on Arizona State Trust Land. This \$6 million project is not currently funded, but it is part of the stormwater master plan for this area. In fact, we are proposing to build the Rawhide Wash project to accommodate future conditions by including flows from this wash in our current design. I suspect the Troon North Tributary Levee Project will be funded 6-10 years from now, possibly sooner. This project would cut off 100-year flows from Troon North Tributary Wash that break out to the south and cross Jomax Road between Pima Road and Rawhide Wash and route them into Rawhide Wash itself north of Jomax Road. The existing Rawhide Wash corridor through Vistana has enough capacity in its natural condition to handle these flows. After the Troon North Tributary Levee Project is completed, we plan to request that FEMA remap the floodplain in this area, removing it from most, if not all, the homes that are east of Rawhide Wash within Vistana Estates.

I hope this answers your questions. Please let me know if I may be of further assistance.

Best regards,

C. Ashley Couch, P.E., CFM  
Drainage and Flood Control Program Manager  
Floodplain Administrator  
City of Scottsdale, Arizona  
480-312-4317  
[acouch@scottsdaleaz.gov](mailto:acouch@scottsdaleaz.gov)  
Stormwater Management Department  
7447 E Indian School Road, Suite 125  
Scottsdale, AZ 85251

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**From:** Murillo, Jesus <JMurillo@ScottsdaleAz.Gov>  
**Sent:** Thursday, January 21, 2021 7:03 PM  
**To:** kricharder51@cox.net kricharder51@cox.net <kricharder51@cox.net>  
**Subject:** RE: Rawhide Wash Flood Hazard Mitigation Project COS 284-PA-2019 Case No 7-Wm-2020

Hello Ken,

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term loosely), and will forward your email to the other experts on the team. I will try to consolidate the responses, but will provide you mine in advance of others, if those take a little more time.

Sincerely,

Jesús

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**From:** [kricharder51@cox.net](mailto:kricharder51@cox.net) [kricharder51@cox.net](mailto:kricharder51@cox.net) <[kricharder51@cox.net](mailto:kricharder51@cox.net)>

**Sent:** Thursday, January 21, 2021 4:35 PM

**To:** Murillo, Jesus <[JMurillo@ScottsdaleAz.Gov](mailto:JMurillo@ScottsdaleAz.Gov)>

**Subject:** Fwd: Rawhide Wash Flood Hazard Mitigation Project COS 284-PA-2019 Case No 7-Wm-2020

**⚠ External Email: Please use caution if opening links or attachments!**

Helps to have the correct email.

Ken

----- Original Message -----

From: "[kricharder51@cox.net](mailto:kricharder51@cox.net) [kricharder51@cox.net](mailto:kricharder51@cox.net)" <[kricharder51@cox.net](mailto:kricharder51@cox.net)>

To: [Jmurillo@ScottsdaleAz.gov](mailto:Jmurillo@ScottsdaleAz.gov)

Date: January 21, 2021 at 6:26 PM

Subject: Rawhide Wash Flood Hazard Mitigation Project COS 284-PA-2019 Case No 7-Wm-2020

Jesus, I was one of the original members of the homeowner group which provided input, thoughts and ideas regarding the project's desirables, costs and hopeful deliverables. I just watched the Virtual Public Meeting videos and happy to see the progress that has been made. The addition of the Miller Street bridge is good, and we are hopeful that this entire project can begin construction by the end of this year.

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I have called you and left you a message to call me, but I thought this email will help you prepare for that discussion. My home phone number is 480-585-3359. By the way, I serve on two commissions in Scottsdale and have served on various Boards and Commissions for the City for over 30 years. I share this information with you so that you know I am a person familiar with Scottsdale, and what we can do to help all of our citizens. Looking forward to our call.

Ken Harder

## Murillo, Jesus

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**Sent:** Sunday, January 24, 2021 8:24 PM  
**To:** Richter, Jeremy; Murillo, Jesus  
**Cc:** Christina Dooley; John Dooley  
**Subject:** Miller Road Bridge Project

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Thank you kindly,  
Christina and John Dooley



## Murillo, Jesus

---

**From:** James Kort <james.kort77@gmail.com>  
**Sent:** Sunday, January 24, 2021 3:29 PM  
**To:** Murillo, Jesus  
**Subject:** Rawhide Wash COS 284PA2019, Case No. 7 -WM-2020

⚠ External Email: Please use caution if opening links or attachments!

Mr. Murillo,

I had the opportunity to speak with you approximately 6 months ago regarding the proposed development of 5 houses on Happy Valley road in the 10 acres adjacent to our property. You were very helpful at the time of that conversation and I appreciated the information you provided

My wife Wilhelmina Smeets and myself, James Kort, reside at and own the property at 7910 East La Junta Rd that appears to be most affected by the Rawhide wash project. Despite carefully reviewing your presentation on a 27" 4K monitor it is very difficult to see precisely where the wall across our property is planned. It clearly divides the house from the majority of the property with no access identified and appears to be very close to our residence. This perception is reinforced by noting tagged numbers on Palo Verde trees adjacent to the house.

We request clarification of the plan given the major impact it will have on the aesthetics and value of our property.

Given the response dates offered from 1/19/21 - 1/29/21 we would like to set a time to speak with you in a timely fashion to allow for us to give thought to the information you provide and possibly draft comments. We do have work obligations so request a phone appointment time Monday, January 25 in the afternoon.

Please appraise us as well regarding the Happy Valley development as you indicated that would have significant impact on the project given the diversion of water flow in the direction of our property.

Respectfully submitted,

James S. Kort  
480-710-1612  
James.kort@cox.net

Wilhelmina J. Smeets  
860-558-4242  
Ina.smeets@cox.net

Sent from my iPad

## Murillo, Jesus

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**From:** jj.levine@cox.net  
**Sent:** Sunday, January 24, 2021 1:47 PM  
**To:** Murillo, Jesus  
**Subject:** Miller Rd north of Pinnacle Peak

**Follow Up Flag:** Follow up  
**Flag Status:** Completed

**⚠ External Email: Please use caution if opening links or attachments!**

Jesus,

I am concerned that I received an email from someone in 'Traffic Engineering' that says the Miller Road bridge, between Pinnacle Peak and Happy Valley, may be starting as early as 2022. I would like to see the plans that the City of Scottsdale may be proposing for Miller road. I cannot find anything on the development site for the City. I know that you would be a major player in that venue and was hoping you could point me in the right direction.

What sidewalk configuration is planned, Will a wall be erected, Medians, plantings, other stuff.....

In the pursuit of finding a new *NORMAL* in 2021,

*Joseph 'Just Joe' Levine*

La Vista HOA Preident

ARC Committee Chair

EMAIL [JJ.Levine@cox.net](mailto:JJ.Levine@cox.net)

[Joe at LinkedIn](#)

I CAN HANDLE ANYTHING LIFE THROWS AT ME.

I may not always handle it well, but I will handle it!!

## Murillo, Jesus

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**From:** "VOICE/+9498134022"@vmaxpr01.ci.scottsdale.az.us  
**Sent:** Friday, January 22, 2021 11:22 AM  
**To:** Murillo, Jesus  
**Subject:** Voice mail: 18 sec.  
**Attachments:** 300302b9fa3.1a60\_0.wav

## Murillo, Jesus

---

**From:** Ken Harder <kricharder51@cox.net>  
**Sent:** Friday, January 22, 2021 6:07 AM  
**To:** Murillo, Jesus  
**Subject:** Re: Rawhide Wash Flood Hazard Mitigation Project COS 284-PA-2019 Case No 7-Wm-2020

**⚠ External Email: Please use caution if opening links or attachments!**

Thank you. Have a great day.

Ken

Sent from my iPhone

On Jan 21, 2021, at 7:02 PM, Murillo, Jesus <JMurillo@scottsdaleaz.gov> wrote:

Hello Ken,

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**Sent:** Thursday, January 21, 2021 4:35 PM  
**To:** Murillo, Jesus <JMurillo@ScottsdaleAz.Gov>  
**Subject:** Fwd: Rawhide Wash Flood Hazard Mitigation Project COS 284-PA-2019 Case No 7-Wm-2020

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----- Original Message -----

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To: [Jmuriilo@ScottsdaleAz.gov](mailto:Jmuriilo@ScottsdaleAz.gov)

Date: January 21, 2021 at 6:26 PM

Subject: Rawhide Wash Flood Hazard Mitigation Project COS 284-PA-2019 Case No 7-Wm-2020

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**From:** "kricharder51@cox.net kricharder51@cox.net" <kricharder51@cox.net>  
**To:** [Jmuriilo@ScottsdaleAz.gov](mailto:Jmuriilo@ScottsdaleAz.gov)  
**Date:** January 21, 2021 at 6:26 PM  
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**Sent:** Thursday, January 21, 2021 3:44 PM  
**To:** Murillo, Jesus  
**Subject:** Voice mail: 32 sec.  
**Attachments:** 060302a8ba0.1a60\_0.wav