

DEVELOPMENT REVIEW BOARD REPORT



Meeting Date: December 3, 2020
General Plan Element: *Character and Design*
General Plan Goal: *Foster quality design that enhances Scottsdale as a unique southwestern desert community.*

ACTION

- | | |
|--|---|
| Scottsdale Residences
8-DR-2017#2 | <ol style="list-style-type: none">1. Request by applicant for approval of a site plan, landscape plans, and building elevations for a new 4-story multi-family residential development consisting of 121 units and re-approval of a new 9-unit townhome development, all on a +/- 2.6-acre site.2. Request approval of the location of artwork provided in accordance with the Cultural Improvement Program. |
|--|---|

SUMMARY

Staff Recommendation

Approve, subject to the attached stipulations

Items for Consideration

- Conformance with Development Review Board Criteria – staff confirms
- Integration of Sensitive Design Principles – staff confirms
- Conformance with Old Town Scottsdale Urban Design & Architectural Guidelines – staff confirms
- No community input received as of the date of this report

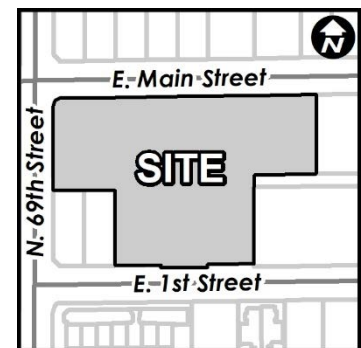
BACKGROUND

Location: 6903, 6909, 6915, and 6939 E. Main Street, and 6914, 6920, and 6930 E. 1st Street

Zoning: Downtown / Downtown Multiple Use – Type 2, Planned Block Development, Downtown Overlay (D/DMU-2 PBD DO)

Adjacent Uses

North: East Main Street, and farther north is restaurant and office uses
South: East 1st Street, and farther south is mixed-use development, and office use
East: Office, personal care service and restaurant uses
West: North 69th Street, residential, and hotel use



Property Owner

Main Street Scottsdale LLLP

Applicant

Paul Ladensack, CCBG Architects Inc
602-663-3095

Architect/Designer

CCBG Architects Inc

Engineer

SEG

DEVELOPMENT PROPOSAL

In February 2020, City Council approved a zoning district map amendment on the subject property for a 121-unit four-story condominium and nine (9) two-story townhouses. The approved development is split into two phases by the existing alleyway running between the condominiums (north side) and the townhouses (south side). This request includes approval of the site plan, landscape plan, and building elevations for the 121-unit condominium building and re-approval of the site plan, landscape plan, and building elevations for the nine (9) townhomes, which were originally approved by the Development Review Board in July of 2017.

For the condominium building (north side of alley), guest parking will be provided at the surface level in a structure accessed via the alleyway behind the building. Parking for the residences is provided in a below grade garage accessed from E. Main Street. The site plan maintains the existing street pedestrian circulation adjacent to E. Main Street and N. 69th Street and proposes to enhance these connections with new wider (8 feet) sidewalks with landscaping and shading. The proposed ground level patios will help activate the street and create interest for pedestrians. The 2-story townhomes (south side of alley) front on E. 1st Street with private garage parking in the rear via the alleyway. The existing sidewalk on E. 1st Street will remain and enhanced with landscaping and front entries and patio areas for each of the townhome units.

In accordance with the City’s Cultural Improvement Program, the property owner is proposing to install original works of art at the northwest corner of the property (N. 69th Street & E. Main Street). The proposed location is near the main entrance to the building and will be fully accessible to the public at an intersection that will have new 8-foot-wide sidewalks for pedestrian circulation. Through the permitting process staff will confirm the art structure does not conflict with any utilities, easements, or sight distance requirements.

Development Review Board Criteria

Staff confirms that the development proposal generally meets the applicable Development Review Board Criteria. For a detailed analysis of the Criteria, please see Attachment #22.

STAFF RECOMMENDED ACTION

Staff recommends that the Development Review Board approve the Scottsdale Residences development proposal, including proposed location of public art, per the attached stipulations, finding that the Character and Design Element of the General Plan and the Old Town Character Area Plan, and Development Review Board Criteria have been met.

RESPONSIBLE DEPARTMENTS

Planning and Development Services
Current Planning Services

STAFF CONTACTS

Bryan Cluff
Principal Planner
480-312-2258 bcluff@scottsdaleaz.gov

APPROVED BY


Bryan Cluff, Report Author


11/20/2020

Date


Brad Carr, AICP, LEED-AP, Planning & Development Area Manager
Development Review Board Liaison
Phone: 480-312-7713 Email: bcarr@scottsdaleaz.gov

11/20/2020

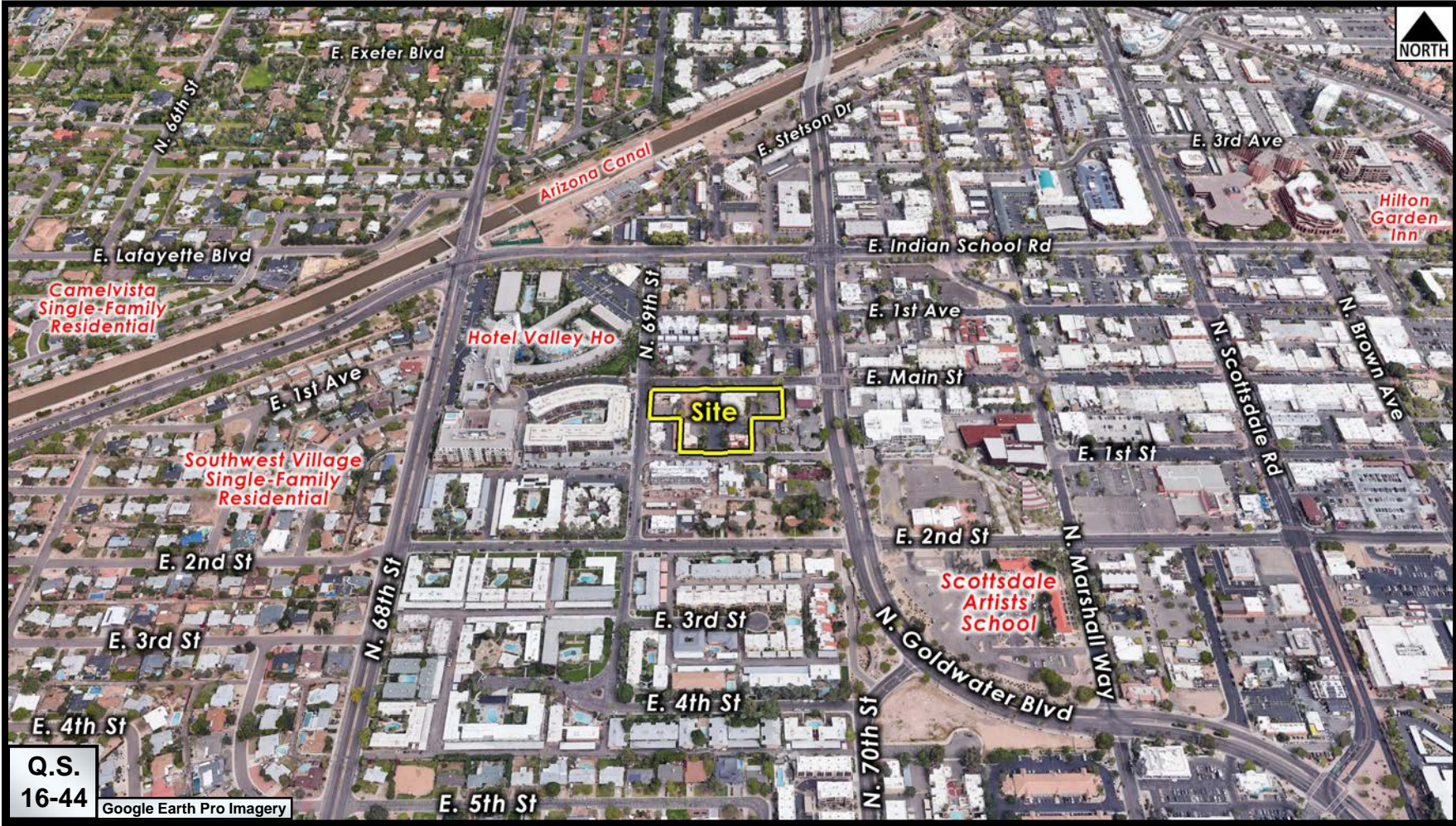
Date


Randy Grant, Executive Director
Planning, Economic Development, and Tourism
Phone: 480-312-2664 Email: rgrant@scottsdaleaz.gov

11/23/20
Date

ATTACHMENTS

1. Context Aerial
2. Close-up Aerial
3. Combined Context Aerial and Site Plan
4. Phasing Plan
5. Site Plan (Condos)
6. Site Plan (Townhomes)
7. Landscape & Hardscape Plans (Condos)
8. Landscape Plans (Townhomes)
9. Building Elevations Condos (black & white)
10. Building Elevations Condos (color)
11. Building Elevations Townhomes (black & white)
12. Building/Site Sections (Condos)
13. Perspectives (Condos)
14. Perspectives (Townhomes)
15. Materials and Colors Board (Condos)
16. Materials and Colors Board (Townhomes)
17. Electrical Site Plan/Photometrics (Condos)
18. Exterior Lighting Cutsheets (Condos)
19. Electrical Site Plan/Photometrics (Townhomes)
20. Exterior Lighting Cutsheets (Townhomes)
21. Applicant's Narrative
22. Art Plan / Location
23. Development Review Board Criteria Analysis
24. Development Information
25. Stipulations / Zoning Ordinance Requirements
26. Zoning Map
27. Community Involvement



Context Aerial

8-DR-2017#2

ATTACHMENT 1



Q.S.
16-44

Google Earth Pro Imagery

Close-up Aerial

8-DR-2017#2

ATTACHMENT 2

**PRELIMINARY
NOT FOR
CONSTRUCTION**



SCOTTSDALE RESIDENCES
MAIN STREET SCOTTSDALE LLLP
E. MAIN STREET & 69TH STREET
SCOTTSDALE, AZ 85251

ISSUE			
DATE	REV	FOR	
5.11.20	1		DRB RESUBMITTAL

Drawn	RL
Checked	PJL
Job Number	1822
Drawing	CONTEXT AERIAL
Sheet	

**PRELIMINARY
NOT FOR
CONSTRUCTION**

PHASE I

A. N. 69TH STREET

1. MILL AND REPAVE EAST HALF-STREET FROM SOUTH SIDE OF ALLEY TO THE CENTERLINE OF E MAIN STREET

2. MODIFY EAST HALF-STREET STREETLIGHTS TO THE ACCEPTABLE STREET ILLUMINATION CRITERIA, IN ACCORDANCE WITH THE DESIGN STANDARDS & POLICIES MANUAL, AND TO PROVIDE A MINIMUM OF TWO (2) FEET OF CLEARANCE BETWEEN FRONT OF CURB AND STREETLIGHT POLE.

B. E MAIN STREET

1. MILL AND REPAVE THE SOUTH HALF-STREET FROM THE CENTERLINE OF N 69TH STREET TO THE PROJECT'S EASTERN PROPERTY BOUNDARY.

2. MODIFY SOUTH HALF-STREET STREETLIGHTS TO THE ACCEPTABLE STREET ILLUMINATION CRITERIA, IN ACCORDANCE WITH THE DESIGN STANDARDS & POLICIES MANUAL, AND TO PROVIDE A MINIMUM OF TWO (2) FEET OF CLEARANCE BETWEEN FRONT OF CURB AND STREETLIGHT POLE.

C. ALLEY

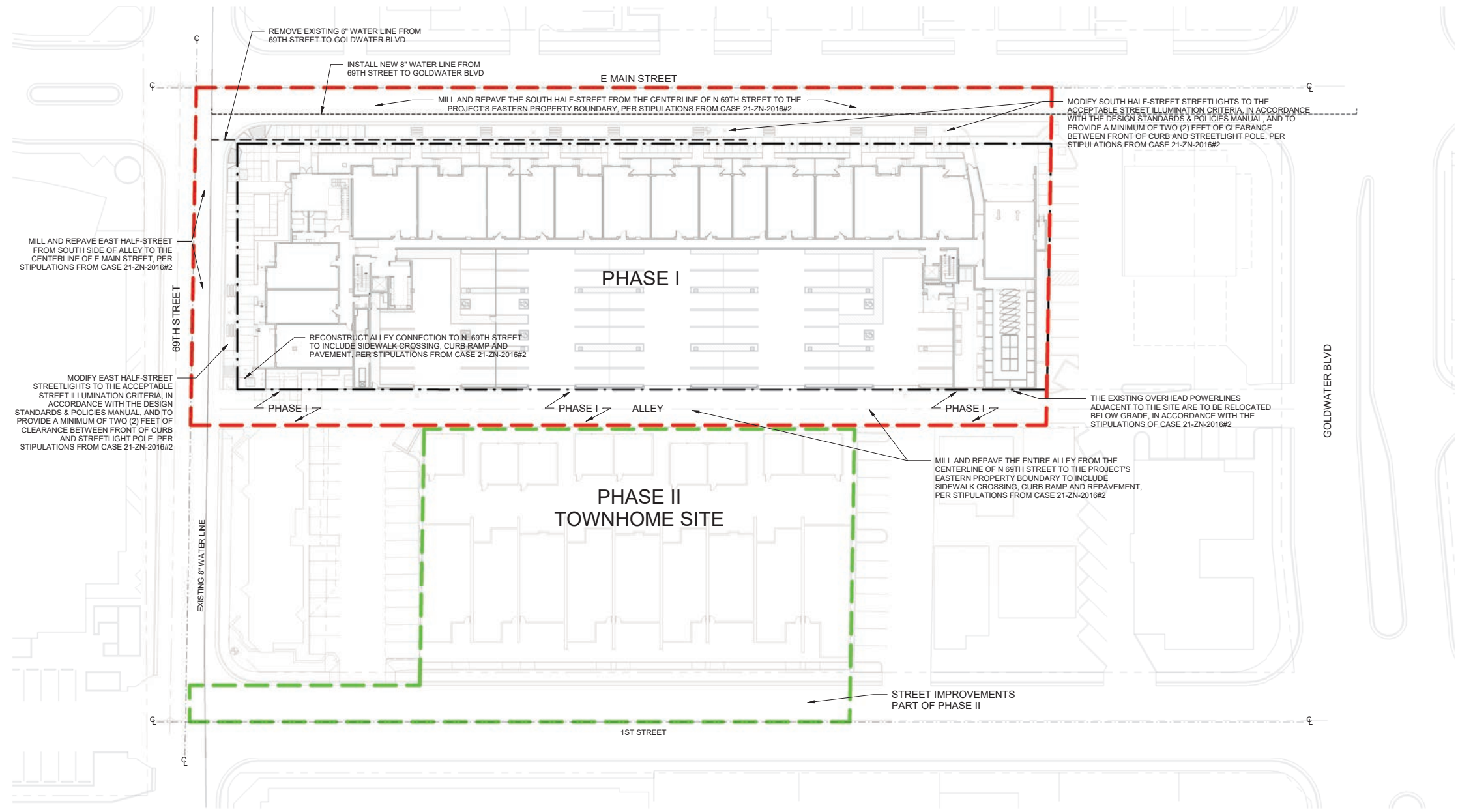
1. MILL AND REPAVE THE ENTIRE ALLEY FROM THE CENTERLINE OF N 69TH STREET TO THE PROJECT'S EASTERN PROERTY TO INCLUDE POSITIVE DRAINAGE.

2. RECONSTRUCT ALLEY CONNECTION TO N. 69TH STREET TO INCLUDE SIDEWALK CROSSING, CURB RAMP AND PAVEMENT.

PHASE II

A. TOWNHOME SITE

B. 1ST STREET



SCOTTSDALE RESIDENCES
MAIN STREET SCOTTSDALE, LLLP
6901 EAST MAIN STREET
SCOTTSDALE, ARIZONA 85251

ISSUANCE		
DATE	REV	FOR
5.11.20	1	DRB RESUBMITTAL
6.18.20	2	DRB RESUBMITTAL

Drawn
RL
Checked
P/JL
Job Number
1822
Drawing
PHASING PLAN

Sheet

00.20

8-DR-2017#2
8/4/2020

ATTACHMENT 4



1 PHASING PLAN
1" = 30'-0"

**PRELIMINARY
NOT FOR
CONSTRUCTION**

**TABLE A.1
BUILDING HEIGHT, GROSS FLOOR AREA RATIO (GFAR), DENSITY MAXIMUMS**

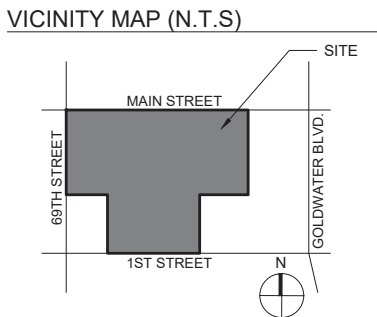
DEVELOPMENT TYPE	BUILDING HEIGHT MAXIMUM ⁽¹⁾	GFAR MAXIMUM WITHOUT BONUS(ES)	GFAR MAXIMUM WITH BONUS(ES) ⁽²⁾	DENSITY MAXIMUM (PER ACRE OF GROSS LOT AREA)
DOWNTOWN MULTIPLE USE TYPE 2	66 FEET	1.4	2.0	50 DWELLING UNIT

NOTES:
1. EXCLUDES ROOF TOP APPURTENANCES.
A. MAXIMUM HEIGHT FOR ROOFTOP APPURTENANCES 6'-0"
B. MAXIMUM COVERAGE FOR ROOFTOP APPURTENANCE: 20% OF ROOFTOP
C. MINIMUM SETBACK FOR ROOFTOP APPURTENANCES: 15 FEET FROM ALL SIDES OF THE BUILDING
2. SEE SEC. 6.1308.B. PBD

**TABLE B.1
MINIMUM SETBACK FOR BUILDINGS ADJACENT TO PUBLIC STREETS, EXCEPT ALLEYS**

STREET	MINIMUM BUILDING SETBACK
NORTH SCOTTSDALE ROAD IN TYPE 1, TYPE 2 OR TYPE 2.5 AREAS	20 FEET
ALL OTHER PUBLIC STREETS AND PUBLIC STREET SEGMENTS IN THE TYPE 2 OR TYPE 2.5 AREAS	20 FEET

NOTE: SEE THE DOWNTOWN PLAN URBAN DESIGN & ARCHITECTURAL GUIDELINES FOR LOCATIONS OF THE PUBLIC STREETS AND SETBACKS ABOVE.



PROJECT DATA

LEGAL DESCRIPTION
PARCEL NO. 1
THE WEST HALF OF LOT 3, ALL OF LOTS 4 AND 5 AND THE EAST HALF OF LOT 6, BLOCK 1 OF DUHAME HEIGHTS UNIT 1, ACCORDING TO BOOK 34 OF MAPS, PAGE 19, RECORDS OF MARICOPA COUNTY, ARIZONA.
PARCEL NO. 2
LOT 7, THE WEST HALF OF LOT 6 AND THE EAST HALF OF LOT 8, BLOCK 1, OF DUHAME HEIGHTS UNIT 1, ACCORDING TO BOOK 34 OF MAPS, PAGE 19, RECORDS OF MARICOPA COUNTY, ARIZONA.
PARCEL NO. 3
LOT 14 AND THE WEST ONE-HALF OF LOT 15, BLOCK 1, OF DUHAME HEIGHTS UNIT 1, ACCORDING TO BOOK 34 OF MAPS, PAGE 19, RECORDS OF MARICOPA COUNTY, ARIZONA.
PARCEL NO. 4
LOT 9 AND THE WEST HALF OF LOT 8, BLOCK 1, OF DUHAME HEIGHTS UNIT 1, ACCORDING TO BOOK 34 OF MAPS, PAGE 19, RECORDS OF MARICOPA COUNTY, ARIZONA.
PARCEL NO. 5
LOTS 10 AND 11, BLOCK 1, OF DUHAME HEIGHTS, UNIT 1 ACCORDING TO BOOK 34 OF MAPS, PAGE 19, RECORDS OF MARICOPA COUNTY, ARIZONA.
PARCEL NO. 6
THE EAST HALF OF LOT 15, ALL OF LOTS 16 AND 17 AND THE WEST HALF OF LOT 18, BLOCK 1, OF DUHAME HEIGHTS UNIT 1, ACCORDING TO BOOK 34 OF MAPS, PAGE 19, RECORDS OF MARICOPA COUNTY, ARIZONA.

PROJECT ADDRESS
6903, 6909, 6915,
6921 & 6939 E. MAIN STREET
AND
6914, 6920, 6930 E. 1ST STREET
SCOTTSDALE, AZ 85251

PARCEL ZONING
DOWNTOWN/DOWNTOWN MULTIPLE USE TYPE 2 PLANNED BLOCK DEVELOPMENT DOWNTOWN OVERLAY
D/DMU-2 PBD DO

APN
130-11-003 130-11-004
130-11-005 130-11-006
130-11-007 130-11-008
130-11-009 130-11-010
130-11-011 130-11-014A
130-11-015A 130-11-016
130-11-017 130-11-018

SITE AREA-NORTH PARCEL
NET LOT AREA:
GROSS LOT AREA: 76,803.53
(1.78 ACRES)
55,409.98 SF (1.27 ACRES)

BUILDING GROSS FLOOR AREA
BASEMENT 48,886 SF
FIRST FLOOR 43,894 SF
SECOND FLOOR 38,471 SF
THIRD FLOOR 36,662 SF
FOURTH FLOOR 33,930 SF
ROOF DECK 3,371 SF
TOTAL: 205,214 SF

OPEN SPACE CALCULATION
FRONTAL OPEN SPACE: 7,603 SF + 123 SF = 7,726 SF
OPEN SPACE OTHER THAN FRONTAL OPEN SPACE: 635 SF
PARKING LOT LANDSCAPING: 0 SF
7,726 SF + 288 SF + 0 SF = 8,014 SF OF TOTAL OPEN SPACE
8,014 SF OPEN SPACE / 55,409 SF LOT AREA = **14.5% OPEN SPACE PROVIDED**

PARKING

UNIT COUNT	PARKING RATIO	PARKING SPACES
22 (STUDIO UNITS)	1 PER UNIT	22
57 (1 BED UNITS)	1 PER UNIT	57
41 (2 BED UNITS)	2 PER UNIT	82
120 TOTAL UNITS		161 SPACES REQ'D
		193 SPACES PROVIDED

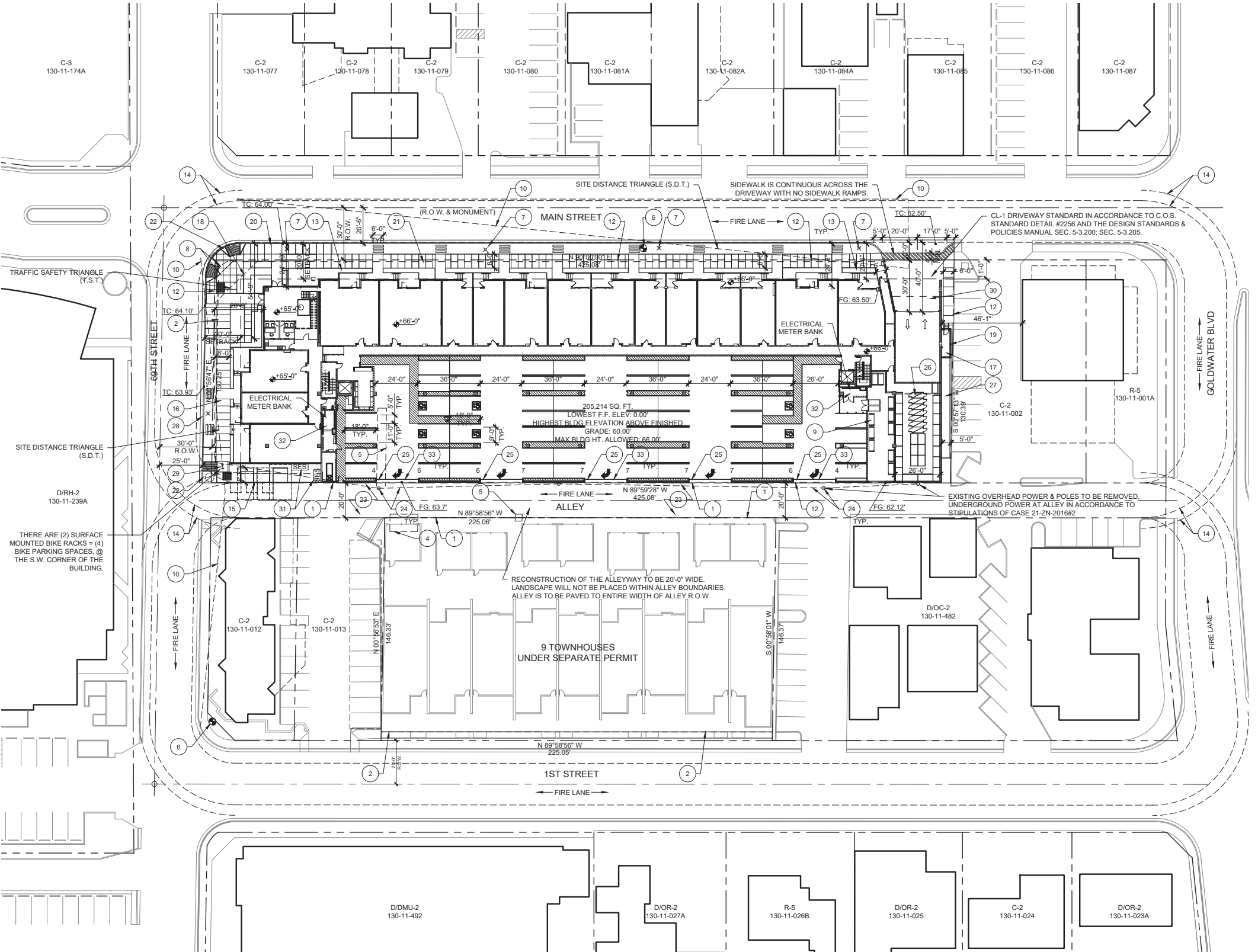
ACCESSIBLE PARKING:
4% OF 193 PARKING SPACES = 8 SPACES REQ'D
8 SPACES PROVIDED

BICYCLE PARKING:
2 SPACES FOR EVERY 10 SPACES: 39 SPACES REQ'D
(* NOT TO EXCEED 100 SPACES) 40 SPACES PROVIDED

REFUSE CALCULATIONS
PER CITY OF SCOTTSDALE, 1 ENCLOSURE FOR EVERY 20 UNITS
20/121 APARTMENT UNITS = 6 CONTAINERS REQ'D
6 CONTAINERS @ 4 CU. YDS. = 24 CU. YDS. REQ'D
1 EXTERIOR COMPACTOR w/ RATIO OF 1:4 COMPACTION RATE
4/24 CU. YDS. = 6 CU. YDS. REQ'D
(3) 2 CU. YDS. CONTAINERS PROVIDED
(APPROVED BY THE DEVELOPMENT ENGINEERING MANAGER, JUNE 18, 2019 & SEPTEMBER 11, 2019)

DWELLING UNIT DENSITY
130 UNITS/2.60 ACRES = 50 DU/AC
ALLOWED PER DOWNTOWN ORDINANCE: 50 DU/AC

PREVAILING SETBACK
NORTH SETBACK ALONG MAIN STREET
10,140.4 SF/404.00' = **25.1 FT**
WEST SETBACK ALONG 69TH STREET
3,770 SF/116.83' = **32.27 FT**



- KEYNOTES**
- EXISTING 2'-0" EASEMENT FOR R.O.W. & PUBLIC UTILITIES, SEE ALTA SURVEY
 - EXISTING 5'-0" EASEMENT FOR R.O.W. & PUBLIC UTILITIES, SEE ALTA SURVEY
 - EXISTING 2'-0" P.U.E. - SEE ALTA SURVEY
 - EXISTING 10'-0" EASEMENT FOR ELECTRIC LINES
 - EXISTING UTILITY EASEMENT
 - EXISTING FIRE HYDRANT
 - EXISTING STREET LIGHT (RELOCATED) w/ ELECTRICAL BOX
 - EXISTING PROPERTY CORNER EASEMENT FOR R.O.W. & PUBLIC UTILITIES, SEE ALTA SURVEY
 - TRASH ENCLOSURE w/ COMPACTOR (MINI-MAC APARTMENT COMPACTOR, MANUFACTURED BY MARATHON) SIZE IN COMPLIANCE TO C.O.S. DETAIL 2147-1. (APPROVED BY THE DEVELOPMENT ENGINEERING MANAGER, JUNE 18, 2019 & SEPTEMBER 11, 2019)
 - SITE VISIBILITY TRIANGLE IN COMPLIANCE TO THE C.O.S. DS&PM FIGURE 5.3-26
 - NOT USED
 - PROPERTY LINE
 - LANDSCAPE PLANTER, SEE LANDSCAPE PLAN
 - FIRE LANE & TURNING RADIUS w/ 8'-0" BUCKET SWING CLEARANCE PER C.O.S. DS&PM
 - TRANSFORMER SCREENED BY 8'-0" TALL METAL SCREEN-WALL ENCLOSURE
 - CONCRETE SIDEWALK
 - FIRE RISER ROOM
 - 25' x 25' TRAFFIC SAFETY-TRIANGLE, PER DS&PM 5.3-27
 - FIRE DEPARTMENT CONNECTION LOCATION IN ACCORDANCE w/ FIRE ORDINANCE 4283, 912
 - TRANSFORMER/ELECTRICAL BOX TO BE RELOCATED
 - EXTENTS OF UNDERGROUND PARKING STRUCTURE BELOW
 - NEW ADA COMPLIANT SIDEWALK RAMPS IN ACCORDANCE w/ DS&PM SEC. 5-8.205
 - RECONSTRUCTION OF THE ALLEYWAY TO BE 20'-0" WIDE
 - EXISTING OVERHEAD POWER & POLES TO BE REMOVED, UNDERGROUND POWER AT ALLEY.
 - POST SIGN BOTH SIDES OF EXIT INDICATING NO LEFT TURN
 - STORAGE
 - ABOVE GROUND RETENTION, SEE CIVIL
 - NEW POLE MOUNTED STREET LIGHT
 - BIKE RACK
 - DRIVEWAY ENTRANCE TO UNDERGROUND GARAGE, CITY OF SCOTTSDALE CL-1
 - SES PANEL SCREENED BY 8'-0" TALL METAL SCREEN-WALL ENCLOSURE
 - ELECTRICAL METER BANK
 - GARAGE DOORS ARE SET TWO (2) FEET BEHIND THE ALLEY RIGHT-OF-WAY LINE IN ACCORDANCE TO STIPULATIONS FROM CASE 21-2N-2016#2

**SCOTTSDALE RESIDENCES
MAIN STREET SCOTTSDALE LLP**
E. MAIN STREET & 69TH STREET
SCOTTSDALE, AZ 85251

ISSUE

DATE	REV	FOR
03/02/2020	1	DRB SUBMITTAL
05/11/2020	1	DRB RESUBMITTAL
06/18/2020	2	DRB RESUBMITTAL

Drawn	
CG	
Checked	
PJL	
Job Number	1822
Drawing	
SITE PLAN	
Sheet	

A1.0

**Main Street
Scottsdale
Townhomes**

**E. MAIN STREET & E. 1ST
STREET, SCOTTSDALE AZ
85251**

owner:
Main Street Scottsdale LLLP
1407 17th Street #700
Denver, CO 80202
Contact: Chris Murdy
303.728.3708 Voice
chris.murdy@haselden.com

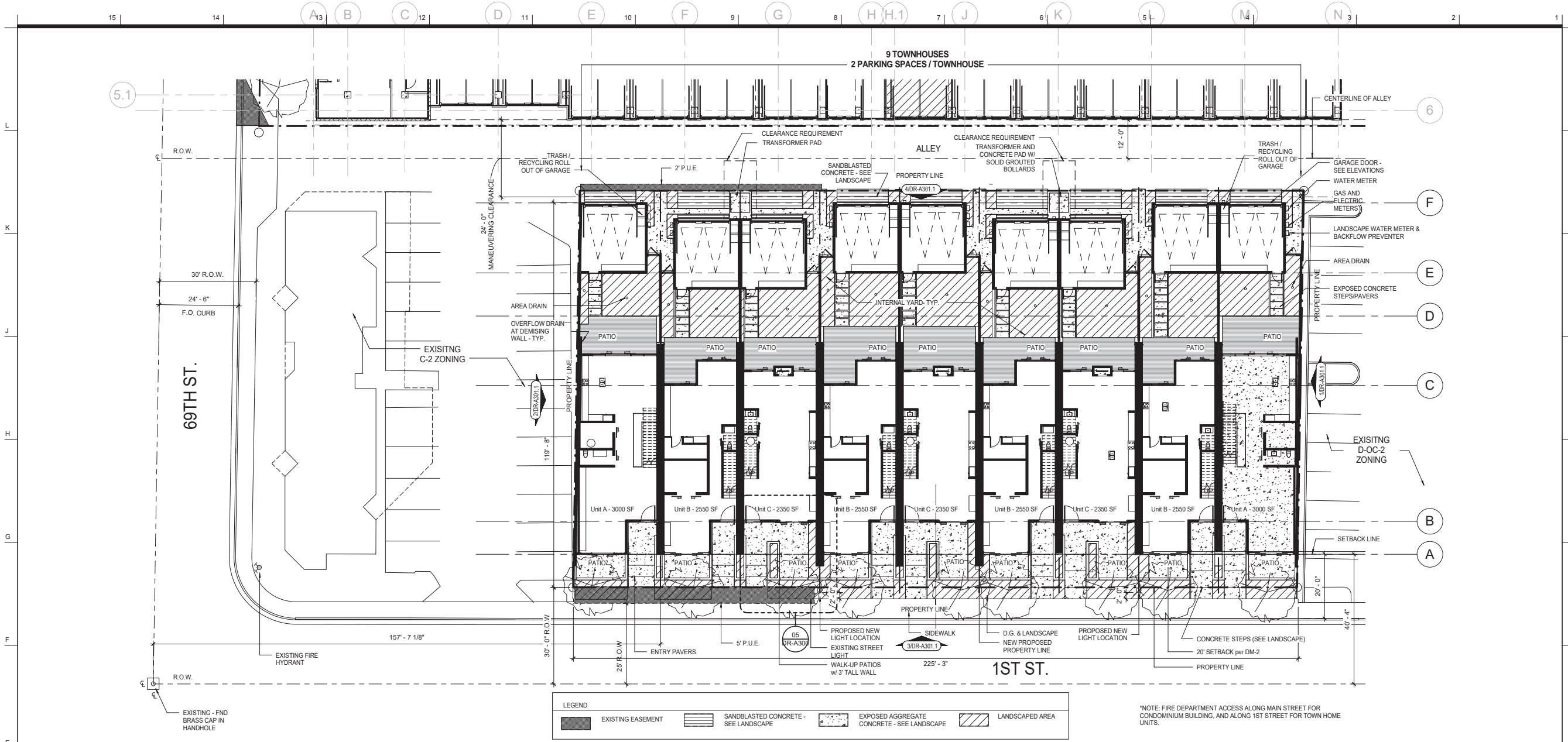
architect:
Gould Evans Associates
521 S 3rd St #100
Phoenix, AZ 85004
602.234.1140 voice
eduardo.perez@gouldevans.com

landscape architect:
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1426 N. 2nd St., Suite 200
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jms@collectivla.com

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7227 N. 16th St. #217
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480.344.0489 Voice
kland@klandeng.com

structural engineer:
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Phoenix, AZ 85012
480.442.2179 Voice

mep engineer:
Pearson Engineering, Inc.
8525 N 23rd Ave
Phoenix, AZ 85021
602.264.0807 Voice
mpearson@pearsoneng.com



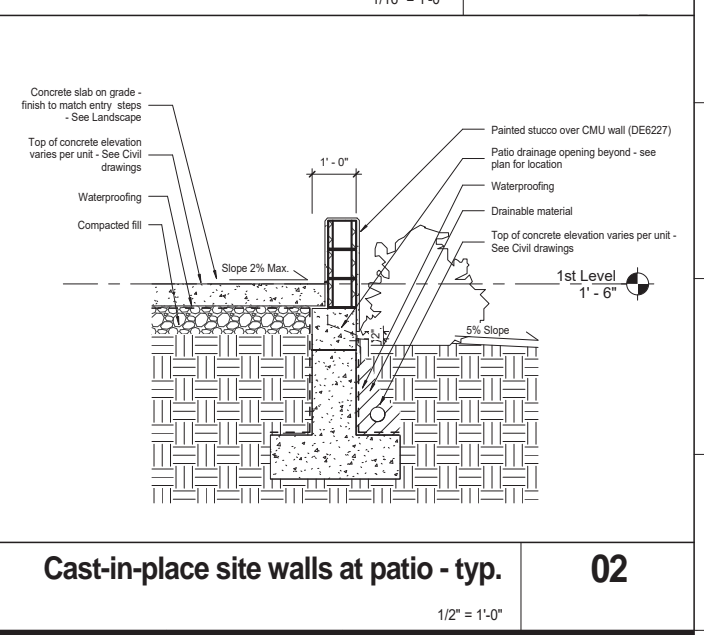
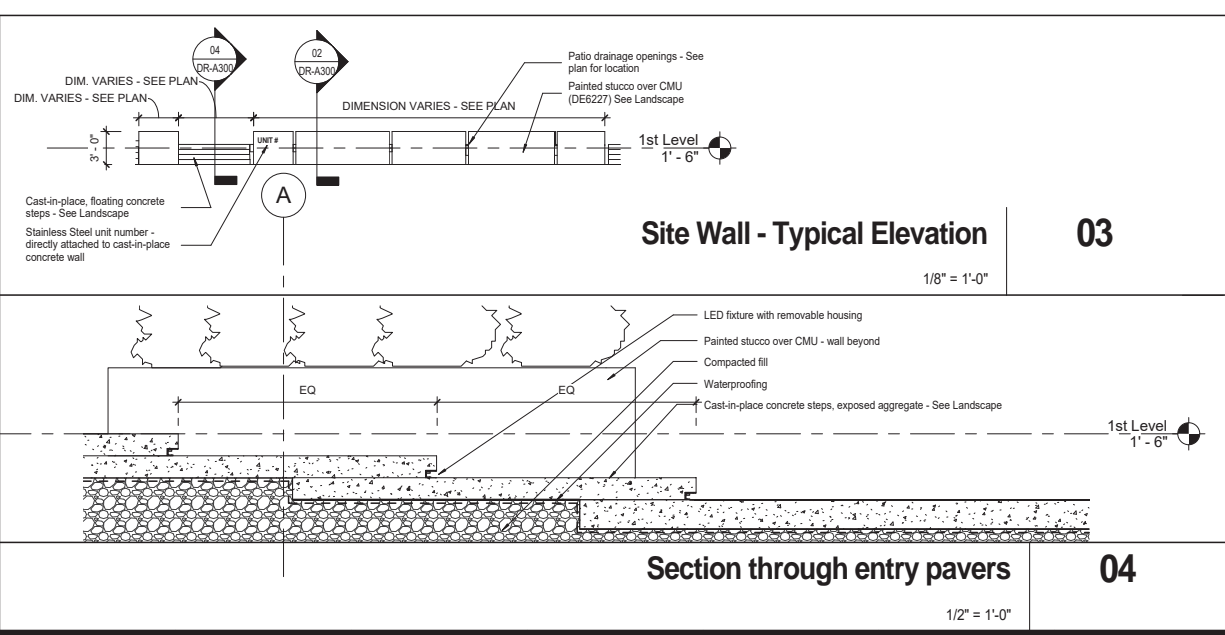
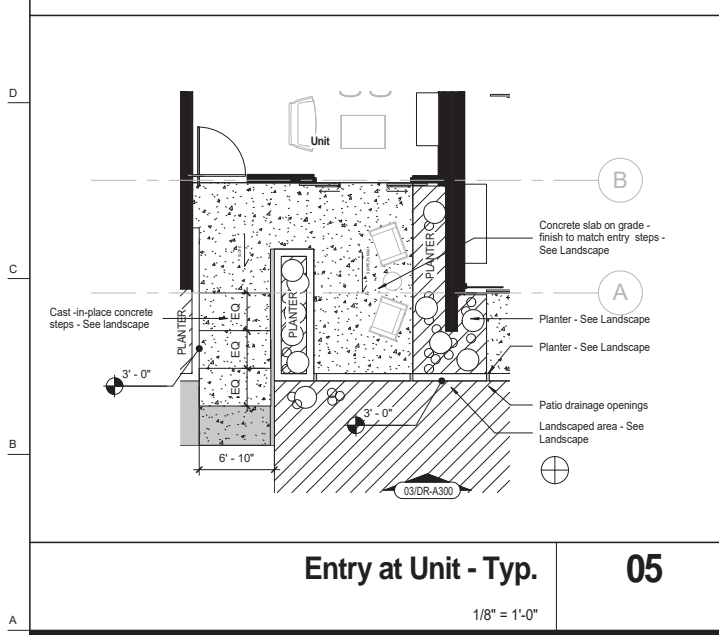
Enlarged Site Plan 01
1/16" = 1'-0"

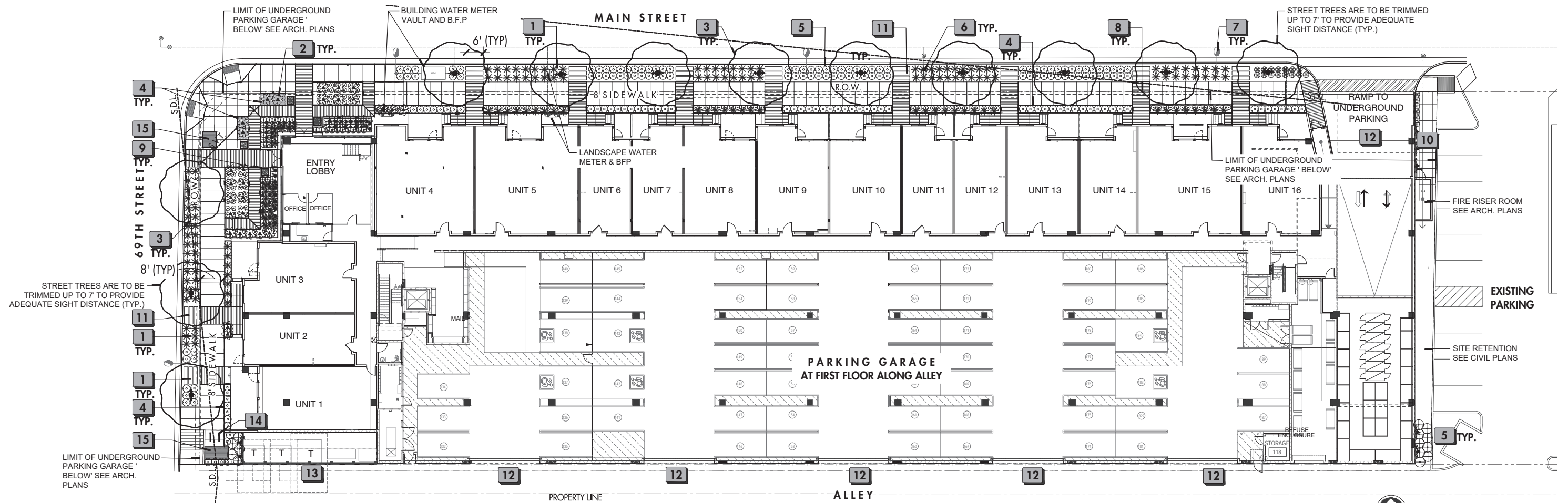
**NOT FOR
CONSTRUCTION**

Number	Revision Description	Date

Project No: 0560070
Date: February 10th, 2017
Sheet:

TH Site Plan & Site Details
DR-A300
DRB Submittal





KEYNOTES

- 1** STREETScape ORGANIZED WITH FORMALIZED TREES, FORMAL PLANTING AND LUSH DESERT ACCENTS.
- 2** LUSH ENTRY WITH PALMS IN 24" HT. RAISED STEEL PLANTERS TO COMPLIMENT VALLEY HO CHARACTER.
- 3** PALO BREA TREES ALONG MAIN & 69TH STREET (TYP.) SEE NOTES
- 4** 18" HT./ 24" HT. RAISED STEEL PLANTERS W/ CONTRASTING COLOR TO ADJACENT PAVING W/ ENHANCED LANDSCAPE TREATMENT.
- 5** ALL PLANTING AREAS TO BE TOP DRESSED WITH COBBLES/ GRANITE OR SIMILAR MATERIAL.
- 6** FIRE HYDRANT (SEE CIVIL PLANS)
- 7** STREET LIGHT - SEE LIGHTING PLANS
- 8** ENHANCED TEXTURED PAVING AT KEY LOCATIONS.
- 9** NATURAL STONE SEATING PIER.
- 10** CONC. SIDEWALK TO FIRE RISER ROOM.
- 11** STEP PADS CONNECTING ENHANCED TEXTURED PAVING TO PARALLEL PARKING.
- 12** GARAGE ACCESS.
- 13** ARCHITECTURAL SCREEN @ UTILITY CABINETS (SEE ARCH. PLANS)
- 14** BIKE RACKS.
- 15** INTAKE VENTS FOR GARAGE & POOL EQUIPMENT ROOM

SUMMARY DATA TABLE

LANDSCAPE CALCULATIONS

ON-SITE LANDSCAPE	=	1,845 S.F.
PARKING LOT LANDSCAPE	=	N/A
RIGHT OF WAY LANDSCAPE	=	2,480 S.F.
TOTAL GROUND LEVEL LANDSCAPE AREA PROVIDED	=	4,325 S.F.
<u>WATER INTENSIVE LANDSCAPE CALCS.</u>		
TOTAL LOT AREA (GROSS)	=	1.76 AC. OR 76,650 S.F.
10% OF FIRST 9,000 S.F.	=	900 S.F.
5% OF REMAINING 67,500 S.F.	=	3,375 S.F.
TOTAL ALLOWED	=	4,275 S.F.
TOTAL PROVIDED INCLUDING ROOFTOP	=	3,950 S.F.

PLANT SCHEDULE (PLANT QUANTITIES SHOWN ARE FOR GROUND FLOOR ONLY)

TREES	COMMON / BOTANICAL NAME	SIZE	QTY	SHRUBS	COMMON / BOTANICAL NAME	SIZE	QTY
●	AZT PALO BREA (THORNLESS) / CERCIUM PRAECOX AZT	48" BOX	13	✳	TROPICAL BIRD OF PARADISE / STRELITZIA REGINAE	15 GAL	19
	UPRIGHT VASE SHAPED SELECT FOR UNIFORMITY (THORNLESS) HAND SELECT AT NURSERY WITH LANDSCAPE ARCHITECT 14"-16" HT. X 10"-12" W. X 4" CAL.				RETAIL SPECIMEN, FULL, NO BURNED OR RIPPED LEAVES, 36" TALL MIN.		
SHRUBS	COMMON / BOTANICAL NAME	SIZE	QTY	GROUND COVER	COMMON / BOTANICAL NAME	SIZE	QTY
○	FIRECRACKER PLANT / RUSSELLIA EUISETIFORMIS	5 GAL	176	⊕	NEW GOLD LANTANA / LANTANA X 'NEW GOLD'	1 GAL	21
⊕	GIANT LIRIOPE / LIRIOPE GIGANTEA	5 GAL	52	◐	PURPLE QUEEN SPIDERWORT / TRADESCANTIA PALLIDA	1 GAL	57
⌒	HACIENDA CREEPER / PARTHENOISSUS QUINQUEFOLIA 'HACIENDA CREEPER'	5 GAL	7	○	SEASONAL ANNUALS / SEASONAL ANNUALS	4" POT	222
⊕	HOPSEED BUSH / DODONAEA VISCOSA	5 GAL	14	●	WEDELIA / WEDELIA TRILOBATA	1 GAL	136
✳	MEDITERRANEAN FAN PALM / CHAMAEROPS HUMILIS	15 GAL	32		FULL CAN, SPACE PER PLANS		
✳	PINK PARADE HESPERALOE / HESPERALOE X 'PERFU'	5 GAL	149				

**** NOTES:**

STREET TREES ARE TO BE TRIMMED UP TO 7' TO PROVIDE ADEQUATE SIGHT DISTANCE.

THORNY TREES, SHRUBS, CACTI SHALL BE PLANTED SO THAT THEIR MATURE SIZE/CANOPY WILL BE AT LEAST 4' AWAY FROM ANY WALKWAYS OR PARKING AREA CURBS.

LANDSCAPE MAY NOT BE PLACED WITHIN ALLEY BOUNDARIES. ALLEY IS TO BE PAVED TO ENTIRE WIDTH OF ALLEY R.O.W.

Ground Floor Landscape Plan

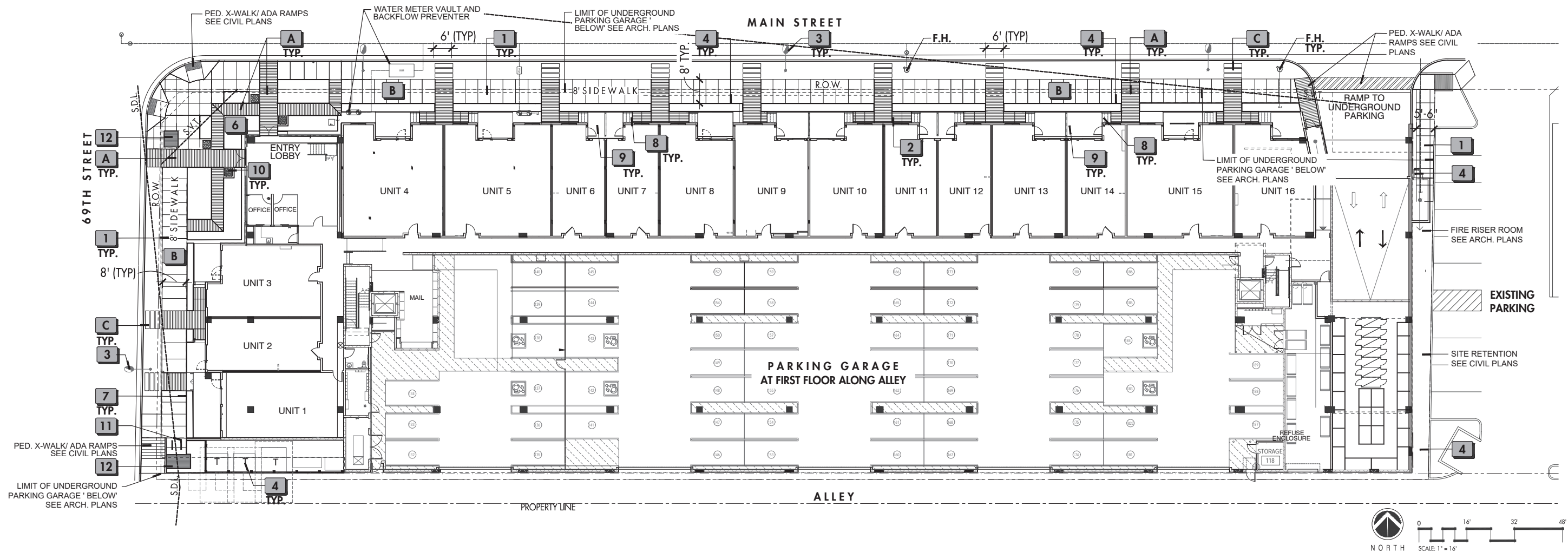
Scottsdale Residences
Main Street & 69th Street, Scottsdale, AZ.

ATTACHMENT 7



D.P.A. 2019 · 9-DR-2020

8-DR-2017#2
8/4/2020



HARDSCAPE KEYNOTES

- 1 CONCRETE SIDEWALK (WIDTH AS SHOWN)
- 2 48" WIDE UNIT WALK.
- 3 STREET LIGHT, SEE ELECTRICAL PLANS.
- 4 PLANTER STRIP ADJACENT TO GARAGE.
- 5 TRANSFORMER LOCATIONS W/ DECORATIVE SCREEN - SEE ARCH. PLANS.
- 6 FRONT ENTRY WITH 24" HT. RAISED STEEL PLANTERS.
- 7 18" HT. RAISED STEEL PLANTERS TO DEFINE UNIT ENTRIES/ PATIOS. SEE ARCH. PLANS.
- 8 C.I.P. CONCRETE STEPS @ UNIT ENTRIES. SEE ARCH. PLANS.
- 9 PRIVATE COURTYARD/ PATIO SEE ARCH. PLANS.
- 10 NATURAL STONE SEATING PIER- SEE MATERIAL IMAGE BOARD
- 11 BIKE RACKS - SEE MATERIAL IMAGE BOARD
- 12 INTAKE VENTS FOR GARAGE & POOL EQUIP. ROOM

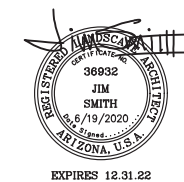
HARDSCAPE FINISHES

- A** 6' WIDE 3/8" EXPOSED AGGREGATE CONCRETE WALK WITH SAW CUT JOINTS
- B** ACID ETCHED GRAY CONCRETE WALK WITH SAW CUT JOINTS
- C** 1' W. x 6' L. C.I.P. 3/8" EXPOSED AGGREGATE CONCRETE STEPPING PADS

Ground Floor Hardscape Plan

Scottsdale Residences

Main Street & 69th Street, Scottsdale, AZ.



**Main Street
Scottsdale Condos
& Townhomes**

E. MAIN STREET & E. 1ST
STREET, SCOTTSDALE AZ
85251

owner:
Main Street Scottsdale LLLP
1407 17th Street #700
Denver, CO 80202
Contact: Chris Macy
303.728.3706 voicemail
chrismurphy@harsco.com

architect:
Gould Evans Associates
521 S 2nd St #108
Phoenix, AZ 85004
602.234.1140 voicemail
eduardo.perez@goulddevans.com

civil engineer:
Kland Civil Engineers
7227 N. 16th St. #217
Phoenix, AZ 85020
480.344.0480 voicemail
kland@klandeng.com

landscape architect:
Collectiv Landscape Architects
1426 N. 2nd St.
Phoenix, AZ 85004
602.358.7711 voicemail
jms@collectiv.com

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landscape architects
1426 N. 2nd Street, Suite 200
Phoenix, Arizona 85004
www.collectivla.com
Telephone: 602.358.7711
info@collectivla.com



Number	Revision Description	Date

Project No: 05150140
Date: 06.29.2020
Sheet: P-100

GROUND LEVEL
PLANTING PLAN

P-100

DR Submittal

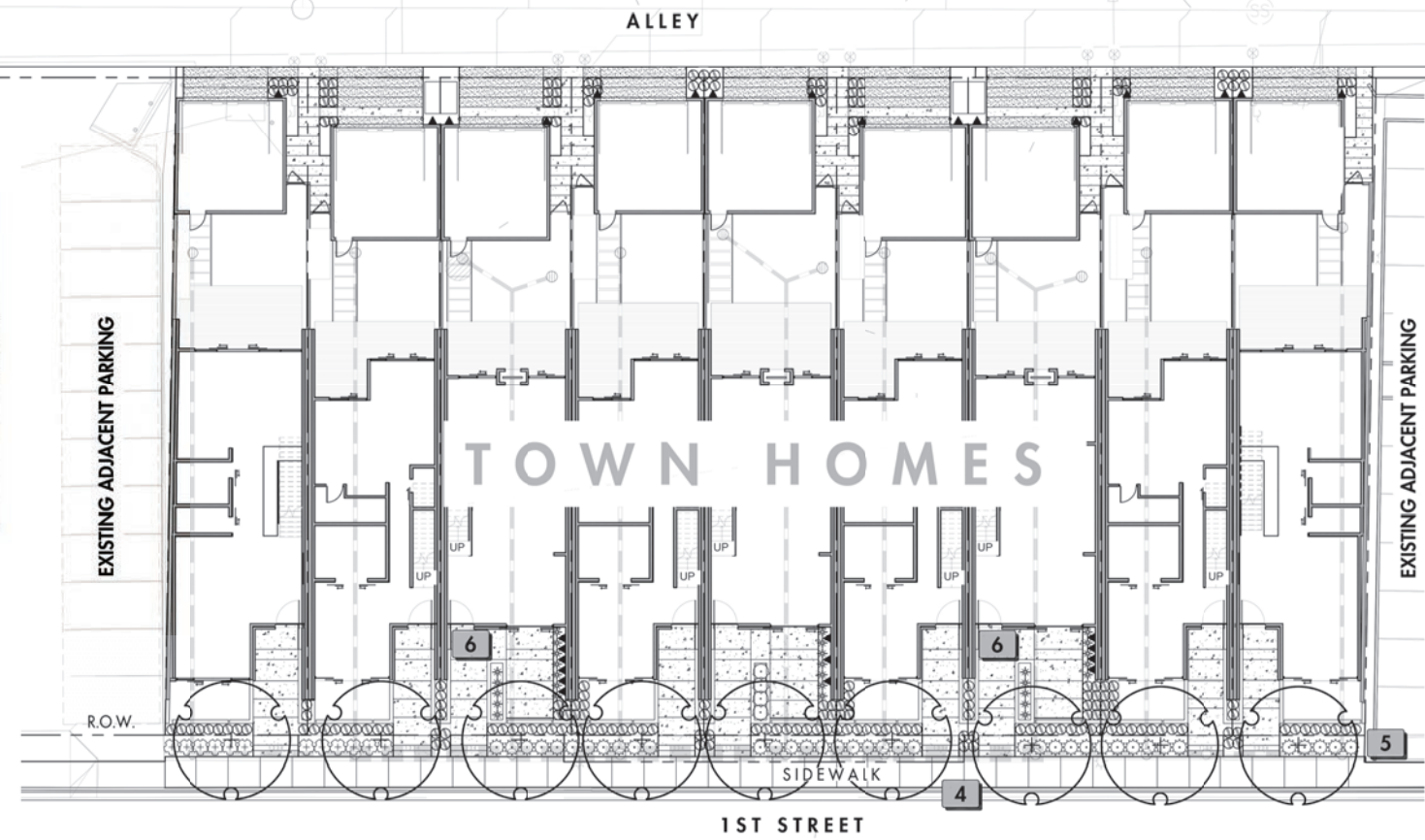
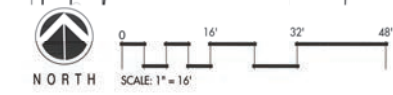
MAIN STREET

CONDO SITE

LANDSCAPE KEYNOTES

- 1 STREETScape ORGANIZED WITH FORMALIZED TREES, STRONG GRASSES AND ACCENT PLANTING.
- 2 ENTRY WITH 18" RAISED PLANTER, ARCHITECTURAL POTS AND INTEGRATED SEATING.
- 3 NOT USED
- 4 LESLIE ROY THORN-LESS MESQUITE TREE ALONG 1ST STREET
- 5 ALL AREAS TO BE TOP DRESSED WITH 3" COBBLE GRANITE OR SIMILAR MATERIAL.
- 6 PRIVATE PATIO LANDSCAPE IN DEEP SHADE WITH LUSH PLANTING.

69TH STREET



GROUND LEVEL PLANT SCHEDULE

TREES	COMMON NAME / BOTANICAL NAME	SIZE	QTY
+	SONORAN PALO VERDE / CERDIDUM PRAECOX	24" BOX	14
+	DESERT IRONWOOD / OLNEYA TESOTA	36" BOX	1
+	LESLIE ROY THORN-LESS MESQUITE / PROSOPIS HYBRID	24" BOX	9
SHRUBS			
⊙	ALOE / ALOE X 'YELLOW TORCH'	5 GAL	4
⊙	HOPSEED BUSH / DODONAEA ADENOPHORA	5 GAL	154
⊙	WEEPING FIG / FICUS BENJAMINA	5 GAL	2
⊙	JAPANESE PRIVET / LIGUSTRUM JAPONICUM	5 GAL	37
⊙	REGAL MIST PINK MUHLY / MUHLENBERGIA CAPILLARIS 'LENCA'	5 GAL	38
⊙	PINK FLAMINGO / MUHLENBERGIA CAPILLARIS 'PINK FLAMNGO'	5 GAL	131
⊙	BULLGRASS / MUHLENBERGIA EMERSLEYI 'EL TORO'	5 GAL	164
⊙	AUTUMN GLOW MUHLY / MUHLENBERGIA LINDHEIMERI 'LNI'	5 GAL	12
⊙	BLUE BELLS / RUELLIA BRITTONIANA	5 GAL	216
⊙	MOTHER-IN-LAW'S TONGUE / SANSEVIERIA TRIFASCIATA	5 GAL	35
CACTI			
⊙	MEXICAN FENCE POST / PACHYCREUS MARGINATUS	5 GAL	22
⊙	TOTEM POLE CACTUS / PACHYCREUS SCHOTTII	15 GAL	14
SUCCULENTS			
⊙	AGAVE / AGAVE ATTENUATA	5 GAL	11
⊙	WEBER'S AGAVE / AGAVE WEBERI	5 GAL	20
⊙	BLUE FLAME AGAVE / AGAVE X 'BLUE FLAME'	5 GAL	29
⊙	PENCIL TREE / EUPHORBIA TIRUCALLI	24" BOX	3
⊙	TROPICAL BIRD OF PARADISE / STRELITZIA REGINAE	5 GAL	78
VINE			
▲	CREeping FIG / FICUS PUMILA	5 GAL	61

NOTE:

- 50% OF TREES WILL BE EITHER SINGLE TRUNK WITH 3" CAL. OR MULTI-TRUNK WITH 1 1/2" CAL.
- ALL SHRUBS WILL BE 5 GALLON.
- ALL LANDSCAPE SURFACES TO BE TOPDRESSED WITH 3" MINUS DECOMPOSED GRANITE.

IRRIGATION MASTER PLAN:

ALL LANDSCAPE IMPROVEMENTS SHALL BE WATERED BY AN AUTOMATED UNDERGROUND IRRIGATION SYSTEM MAINTAINED BY THE HOME OWNER ASSOCIATION UNLESS NOTED OTHERWISE. LAYOUT AND EQUIPMENT SHALL BE CONSISTENT WITH COMMERCIALY OPERATED SYSTEMS. TREES AND SHRUBS WILL BE SEPARATELY VALVED.

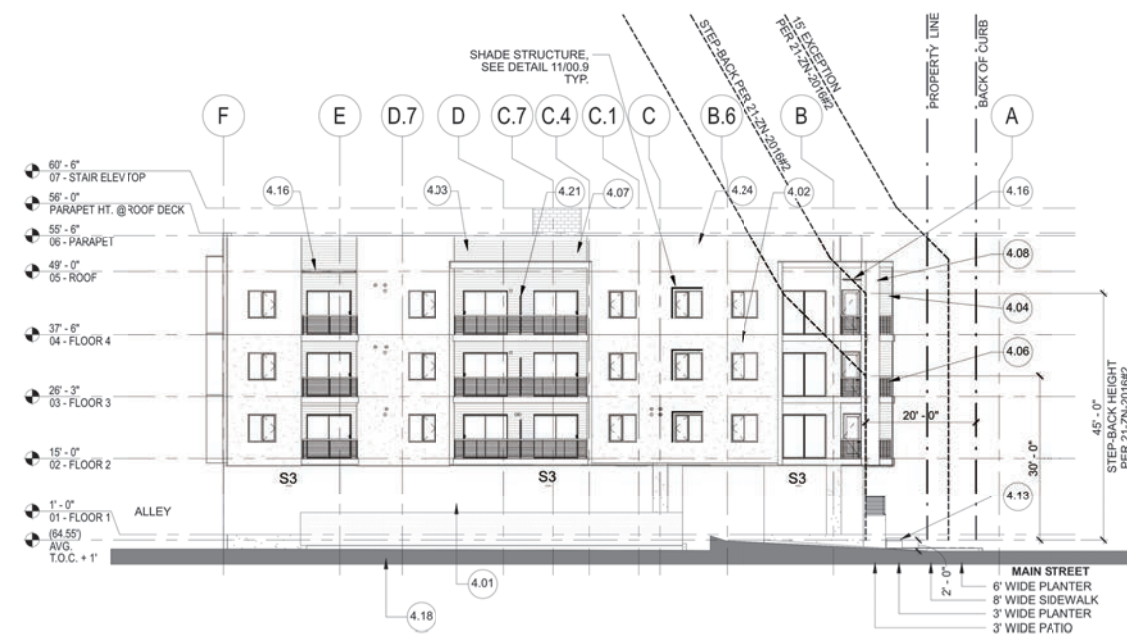
WATER INTENSIVE LANDSCAPE CALCULATION

TOTAL LOT AREA	= 2.6 ACRES OR 113,966 S.F.
ALLOWED WATER INTENSIVE LANDSCAPE:	
25% OF TOTAL LOT AREA (25 x 113,966)	= 2,850 S.F.
TOTAL ALLOWED	= 2,850 S.F.
TOTAL PROVIDED	= 626 S.F.
TOTAL SITE LANDSCAPE AREA PROVIDED	= 8,800 S.F.

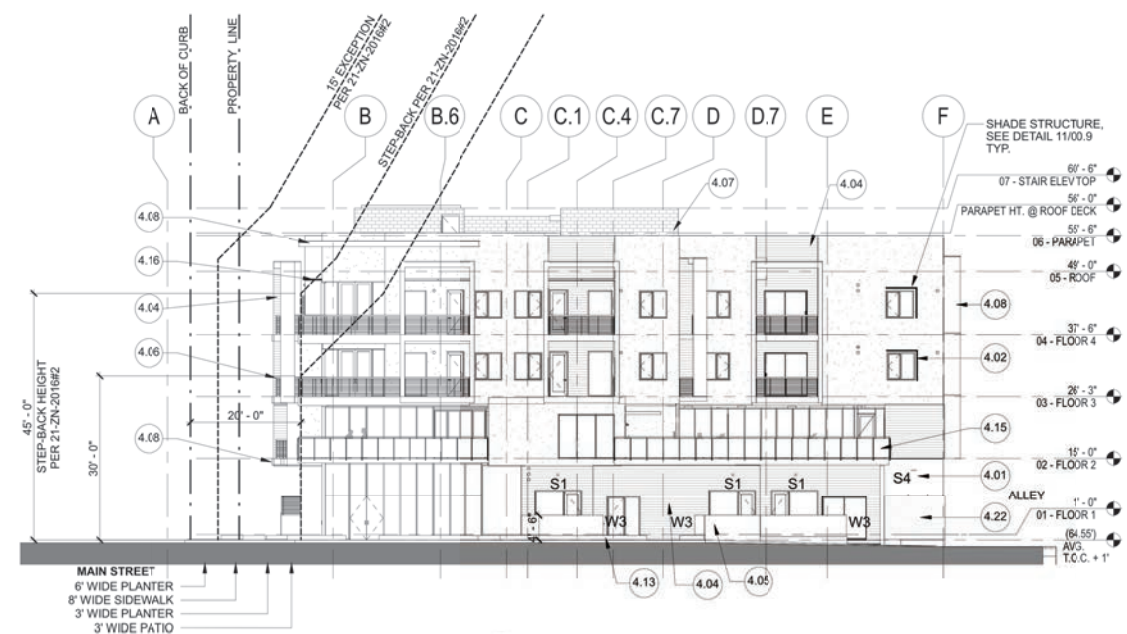
SUMMARY DATA TABLE

LANDSCAPE CALCULATIONS	
ON SITE LANDSCAPE	= 8,800 S.F.
PARKING LOT LANDSCAPE	= N/A
RIGHT OF WAY LANDSCAPE	= 1,987 S.F.

PRELIMINARY
NOT FOR
CONSTRUCTION



3 EAST ELEVATION Copy 1
1/16" = 1'-0"



4 WEST - (69TH ST) ELEVATION Copy 1
1/16" = 1'-0"

KEYNOTES

Key Value	Keynote Text
4.01	EXTERIOR STUCCO WALL SYSTEM - DE 6369 LEGENDARY GRAY LRV 13 (ACCENT COLOR)
4.02	EXTERIOR STUCCO WALL SYSTEM - DEC 765 BONE LRV 49
4.03	EXTERIOR STUCCO WALL SYSTEM - DE 6122 DRY CREEK FLAT LRV 55
4.04	ADOBE CEMENTITIOUS FIBERBOARD PANEL PATINA 333
4.05	ART PANEL - ART & ARTIST T.B.D. UPON SELECTION PROCESS
4.06	TYPICAL BALCONY RAILING-MIN 42" HIGH PRE-FINISHED METAL GUARDRAIL SYSTEM
4.07	OLD CASTLE SUPER LITE - BLACK CANYON GREY CEMENTITIOUS FIBERBOARD PANEL AFC TRANSPARENT 171
4.08	GUN METAL PLANTERS
4.13	42" GLASS RAIL ABOVE FINISHED FLOOR ELEVATION
4.15	WOOD SLATS BALCONY CANOPY (ADOBE CEMENTITIOUS FIBERBOARD PANEL PATINA 333) RETENTION BASIN
4.21	WOOD SLATS BALCONY DIVIDER (ADOBE CEMENTITIOUS FIBERBOARD PANEL PATINA 333)
4.22	6" SCREEN FOR TRANSFORMER
4.24	MECHANICAL ROOF UNITS (BEYOND), SEE MECH. DRAWINGS ROOF

MAX. HT. 66'-0" ABOVE AVG. T.O.C.
0'-0" = 65.00'
AVG. T.O.C. = 64.55'
MAX ALLOWED = 66' + 64.55' = 130.55'
MAX ACTUAL = 56' + 65.00' = 121'

GENERAL LIGHTING NOTES:
1. S4 LIGHT FIXTURES ARE FULLY SHIELDED
2. W3 LIGHT FIXTURES ARE FULLY RECESSED
3. W1 & W2 LED LIGHT FIXTURES ARE LOCATED AT THE RISERS ON EACH STEP AT THE STOOPS. THESE FIXTURES ARE NOT VISIBLE FROM ELEVATION VIEWS.



2 SOUTH - (ALLEY) ELEVATION Copy 1
1/16" = 1'-0"



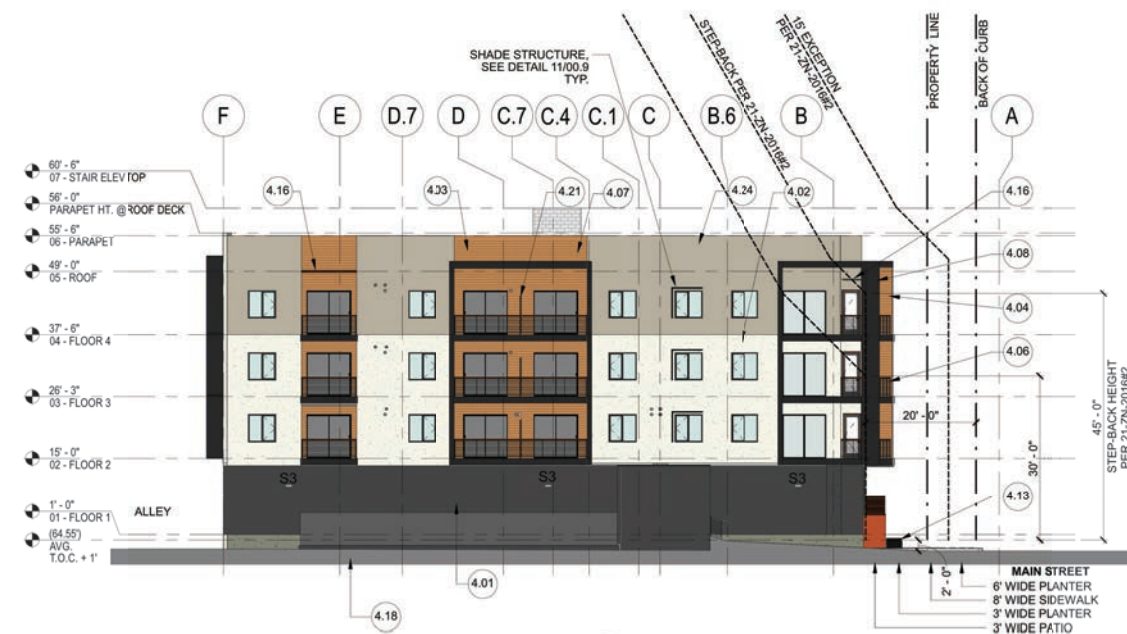
1 NORTH - (MAIN STREET) ELEVATION Copy 1
1/16" = 1'-0"

ISSUANCE		
DATE	REV	FOR
5.11.20	1	DRB RESUBMITTAL
6.18.20	2	CITY COMMENTS

Drawn	CG, MP
Checked	PL, MP
Job Number	1822
Drawing	BUILDING ELEVATIONS
Sheet	

ATTACHMENT 9

**PRELIMINARY
NOT FOR
CONSTRUCTION**



3 EAST ELEVATION Copy 1
1/16" = 1'-0"



4 WEST - (69TH ST) ELEVATION Copy 1
1/16" = 1'-0"



2 SOUTH - (ALLEY) ELEVATION Copy 1
1/16" = 1'-0"



1 NORTH - (MAIN STREET) ELEVATION Copy 1
1/16" = 1'-0"

KEYNOTES

Key Value	Keynote Text
4.01	EXTERIOR STUCCO WALL SYSTEM - DE 6369 LEGENDARY GRAY LRV 13 (ACCENT COLOR)
4.02	EXTERIOR STUCCO WALL SYSTEM - DEC 765 BONE LRV 69
4.03	EXTERIOR STUCCO WALL SYSTEM - DE 6122 DRY CREEK FLAT LRV 55
4.04	ADOBE CEMENTITIOUS FIBERBOARD PANEL PATINA 333
4.05	ART PANEL - ART & ARTIST T.B.D. UPON SELECTION PROCESS
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3. W1 & W2 LED LIGHT FIXTURES ARE LOCATED AT THE RISERS ON EACH STEP AT THE STOOPS. THESE FIXTURES ARE NOT VISIBLE FROM ELEVATION VIEWS.

SCOTTSDALE RESIDENCES
MAIN STREET SCOTTSDALE, ILLP
6901 EAST MAIN STREET
SCOTTSDALE, ARIZONA 85261

ISSUANCE

DATE	REV	FOR
5.11.20	1	DRB RESUBMITTAL
6.18.20	2	CITY COMMENTS

Drawn
CG, MP
Checked
PL, MP
Job Number
1822
Drawing
BUILDING ELEVATIONS

Sheet

ATTACHMENT 10

00.10

8-DR-2017#2
8/4/2020

**Main Street
Scottsdale
Townhomes**

**E. MAIN STREET & E. 1ST
STREET, SCOTTSDALE AZ
85251**

owner:
Main Street Scottsdale LLLP
1407 17th Street #700
Denver, CO 80202
Contact: Chris Murdy
303.728.3708 Voice
chrismurdy@haselden.com

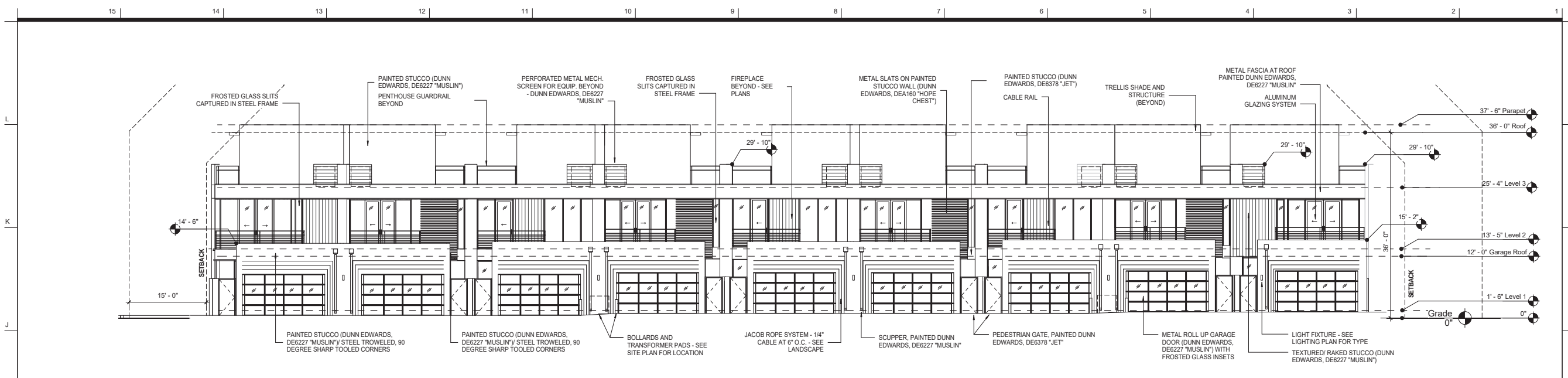
architect:
Gould Evans Associates
521 S 3rd St #100
Phoenix, AZ 85004
602.234.1144 voice
eduardo.perez@goulddevans.com

landscape architect:
Collective
1426 N. 2nd St., Suite 200
Phoenix, AZ 85004
602.358.7711 Voice
jms@collectivla.com

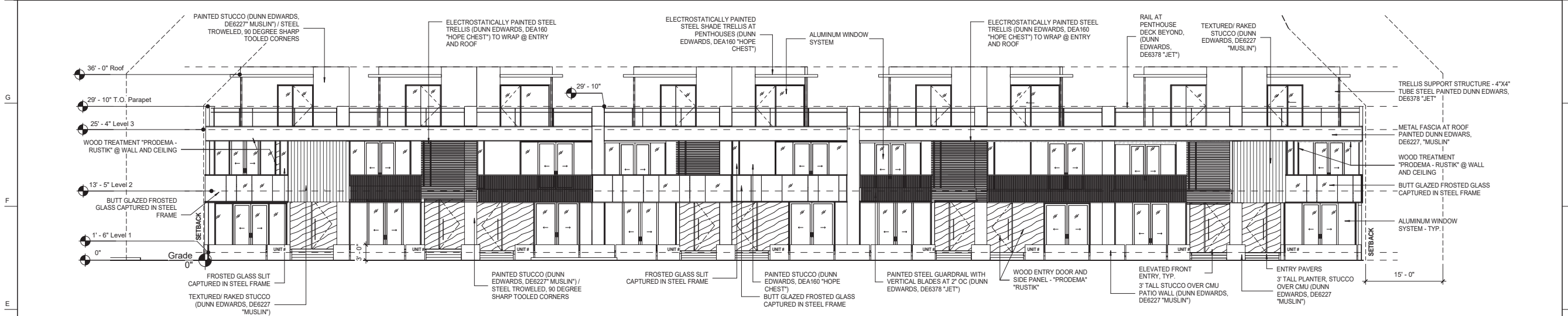
civil engineer:
Kland Civil Engineers
7227 N. 16th St. #217
Phoenix, AZ 85020
480.344.0498 Voice
kland@klandeng.com

structural engineer:
JTA Engineering, LLC
3200 N Central Ave Suite 1600
Phoenix, AZ 85012
480.442.2179 Voice

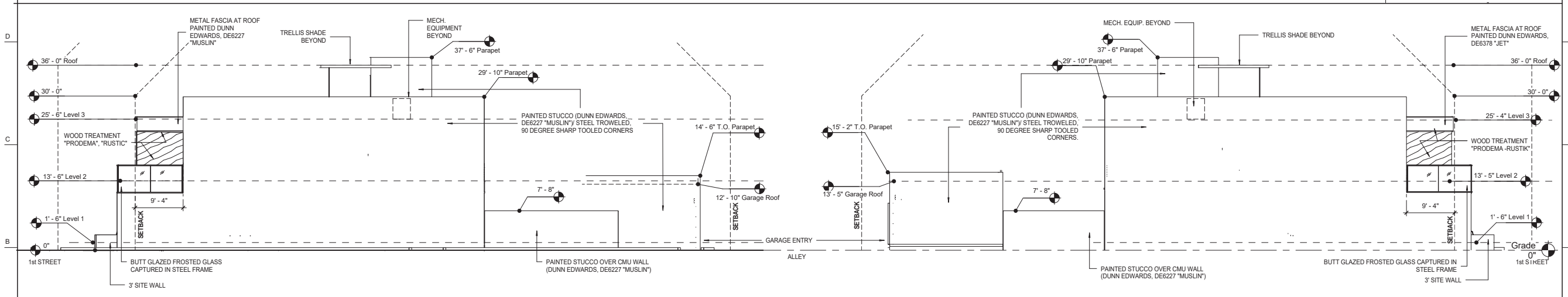
mep engineer:
Pearson Engineering, Inc.
8625 N 23rd Ave
Phoenix, AZ 85021
602.264.0807 Voice
mpearson@pearsoneng.com



T.H. North Elevation -Garage Entry 4
1" = 10'-0"



T.H. South Elevation - 1st Street 3
1" = 10'-0"



T.H. East Elevation 1
1" = 10'-0"

T.H. West Elevation 2
1" = 10'-0"

ATTACHMENT 11

**NOT FOR
CONSTRUCTION**

Number	Revision Description	Date

Project No 0560070
Date: February 10th, 2017
Sheet:

TH Elevations - B&W
DR-A301

DRB Submittal

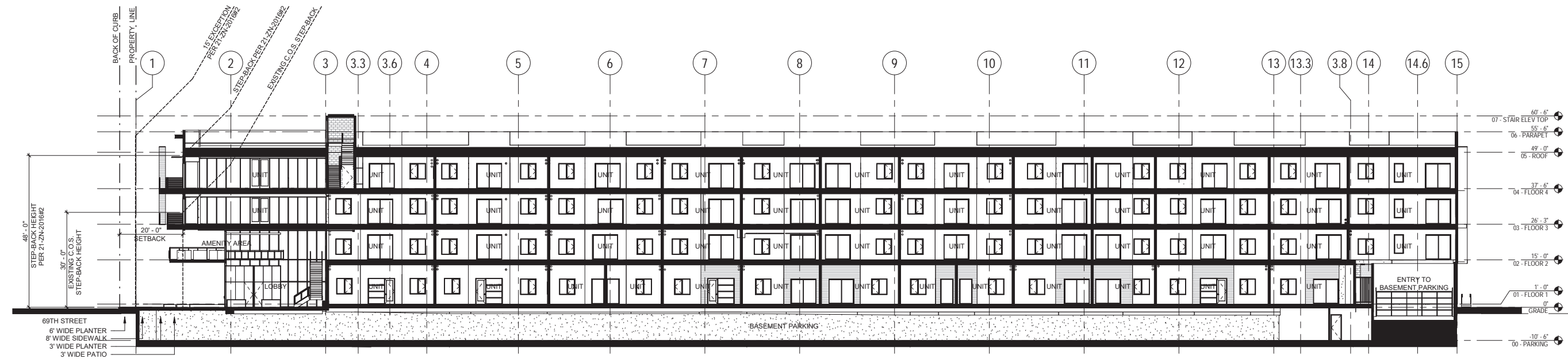
PRELIMINARY
 NOT FOR
 CONSTRUCTION

SCOTTSDALE RESIDENCES
 MAIN STREET SCOTTSDALE, LLP
 6901 EAST MAIN STREET
 SCOTTSDALE, ARIZONA 85251

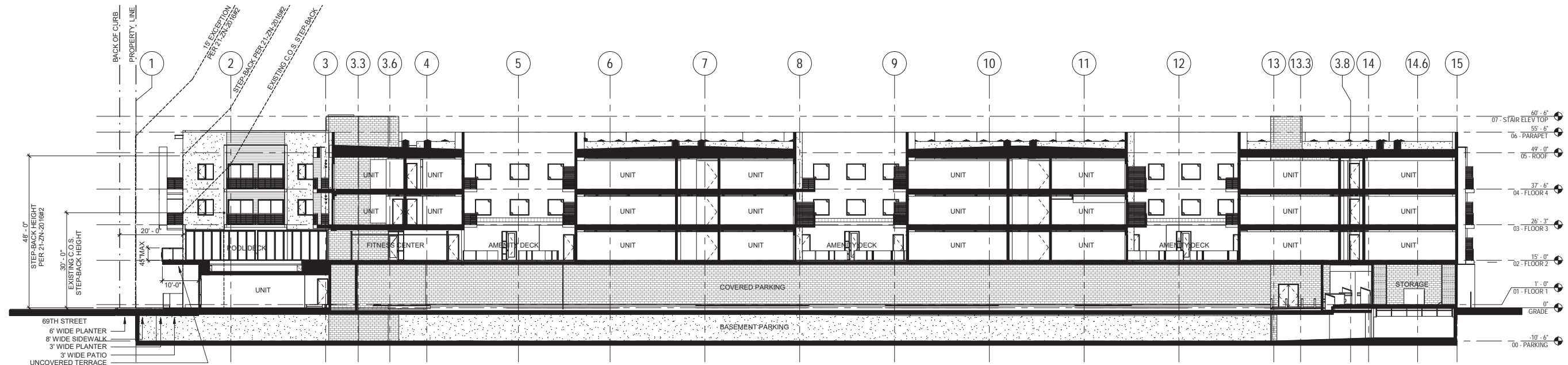
ISSUANCE	
DATE	REV FOR
5.11.20	1 DRB RESUBMITTAL

Drawn	RL
Checked	PJL
Job Number	1822
Drawing	BUILDING SECTIONS

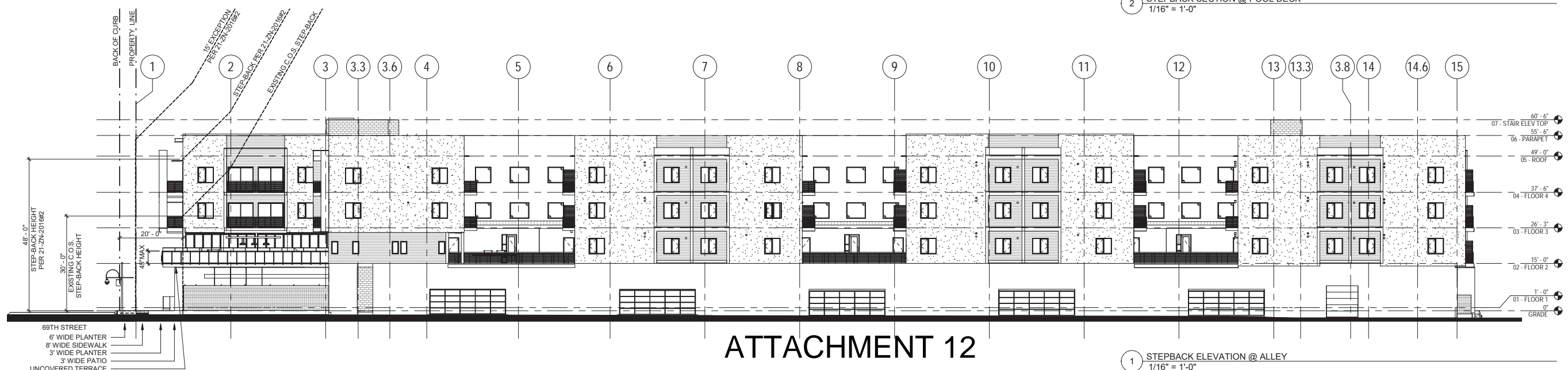
Sheet
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3 STEPBACK SECTION @ LOBBY
 1/16" = 1'-0"



2 STEPBACK SECTION @ POOL DECK
 1/16" = 1'-0"



1 STEPBACK ELEVATION @ ALLEY
 1/16" = 1'-0"

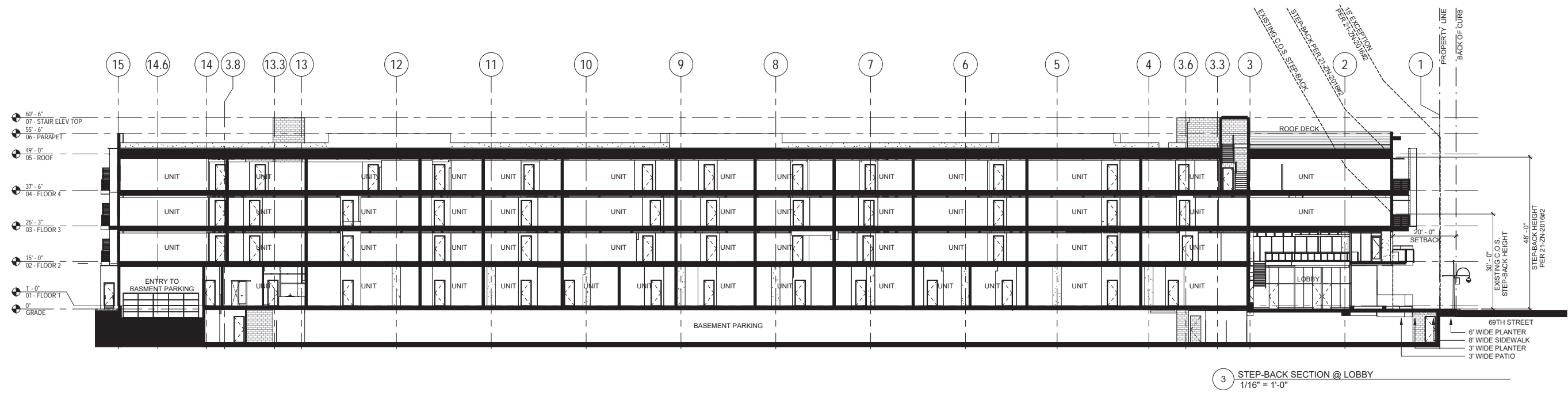
ATTACHMENT 12

**PRELIMINARY
NOT FOR
CONSTRUCTION**

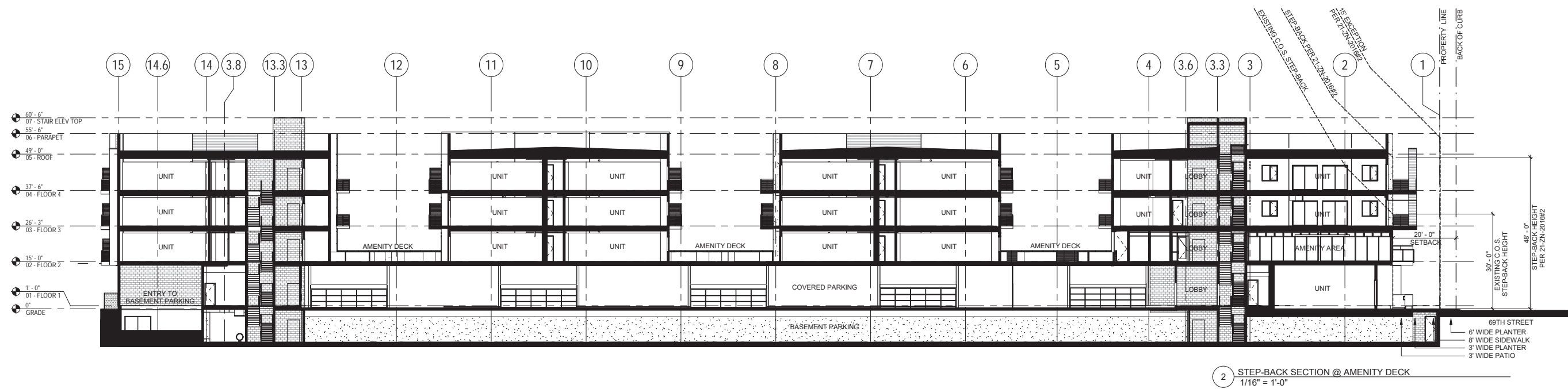
SCOTTSDALE RESIDENCES
MAIN STREET SCOTTSDALE, LLP
6901 EAST MAIN STREET
SCOTTSDALE, ARIZONA 85251

ISSUANCE	
DATE	REV FOR
5.11.20	1 DRB RESUBMITTAL

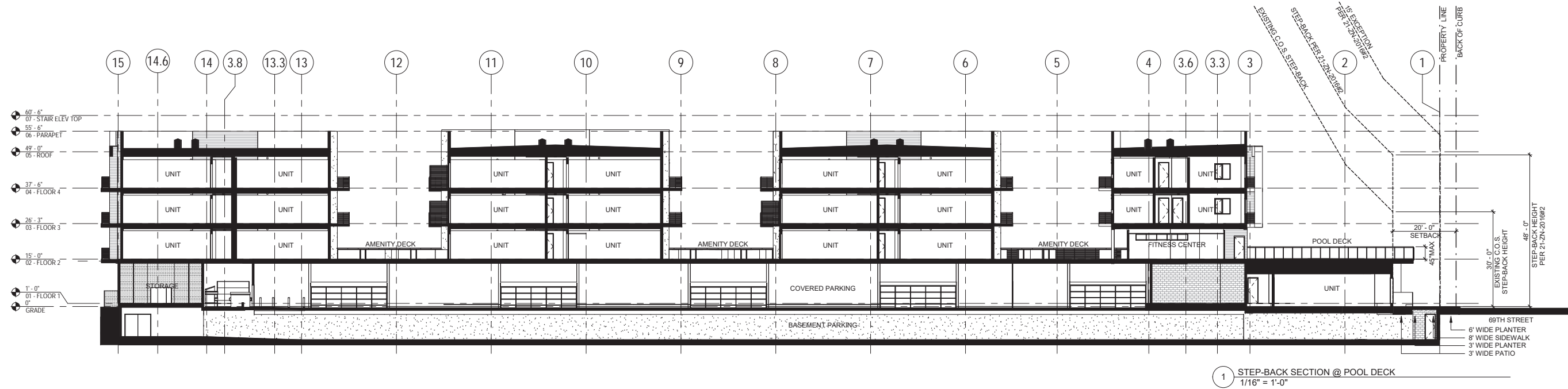
Drawn	RL
Checked	PJL
Job Number	1822
Drawing	BUILDING SECTIONS



3 STEP-BACK SECTION @ LOBBY
1/16" = 1'-0"



2 STEP-BACK SECTION @ AMENITY DECK
1/16" = 1'-0"



1 STEP-BACK SECTION @ POOL DECK
1/16" = 1'-0"



9-DR-2020
3/17/2020

ATTACHMENT 13









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kansas city • lawrence • new orleans
phoenix • san francisco • tampa

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**Main Street
Scottsdale
Townhomes**

**E. MAIN STREET & E. 1ST
STREET, SCOTTSDALE AZ
85251**

owner:
Main Street Scottsdale LLLP
1407 17th Street #700
Denver, CO 80202
Contact: Chris Murty
303.728.3706 Voice
chrismurty@hasselden.com

architect:
Gould Evans Associates
521 S. 2nd St #100
Phoenix, AZ 85004
602.234.1140 voice
eduardo.perez@gouldevans.com

landscape architect:
Collective
1426 N. 2nd St., Suite 200
Phoenix, AZ 85004
602.358.7711 Voice
jms@collectivla.com

civil engineer:
Kland Civil Engineers
7227 N. 19th St. #217
Phoenix, AZ 85020
480.344.0450 Voice
kland@klandeng.com

structural engineer:
JTA Engineering, LLC
3200 N Central Ave Suite 1600
Phoenix, AZ 85012
480.442.2179 Voice

map engineer:
Pearson Engineering, Inc.
6025 N 23rd Ave
Phoenix, AZ 85021
602.264.0807 Voice
mpearson@pearsong.com

**NOT FOR
CONSTRUCTION**

Number	Revision Description	Date
--------	----------------------	------

Project No	3560070
Date:	06.29.2020
Sheet:	

TH Perspective

DR-A302

DRB Submittal

ATTACHMENT 14

15 14 13 12 11 10 9 8 7 6 5 4 3 2 1

L
K
J
H
G
F
E
D
C
B
A



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phoenix • san francisco • tampa

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**Main Street
Scottsdale
Townhomes**

**E. MAIN STREET & E. 1ST
STREET, SCOTTSDALE AZ
85251**

owner:
Main Street Scottsdale LLLP
1407 17th Street #700
Denver, CO 80202
Contact: Chris Murty
303.728.3706 Voice
chrismurty@hasselden.com

architect:
Gould Evans Associates
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Phoenix, AZ 85004
602.234.1140 voice
eduardo.perez@gouldevans.com

landscape architect:
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480.442.2179 Voice

mep engineer:
Pearson Engineering, Inc.
8025 N 23rd Ave
Phoenix, AZ 85021
602.264.0807 Voice
mpearson@peawing.com

**NOT FOR
CONSTRUCTION**

Number	Revision Description	Date

Project No: 3560070
Date: 06.29.2020
Sheet:

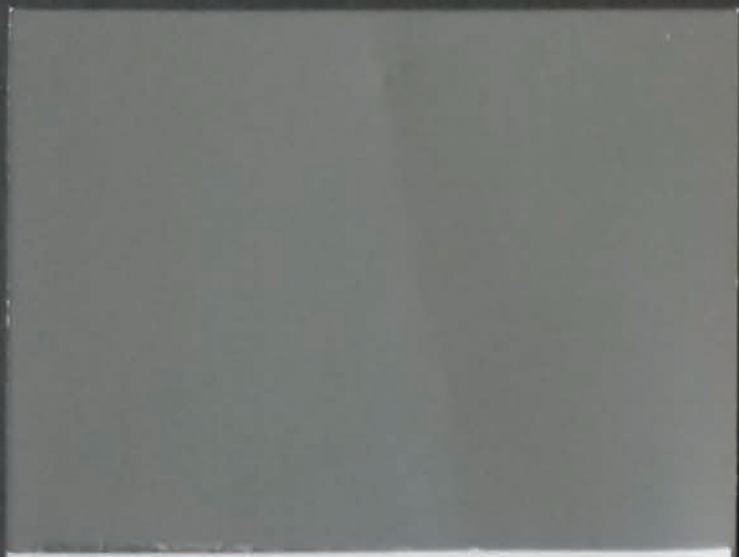
TH Perspective close up

DR-A302.1

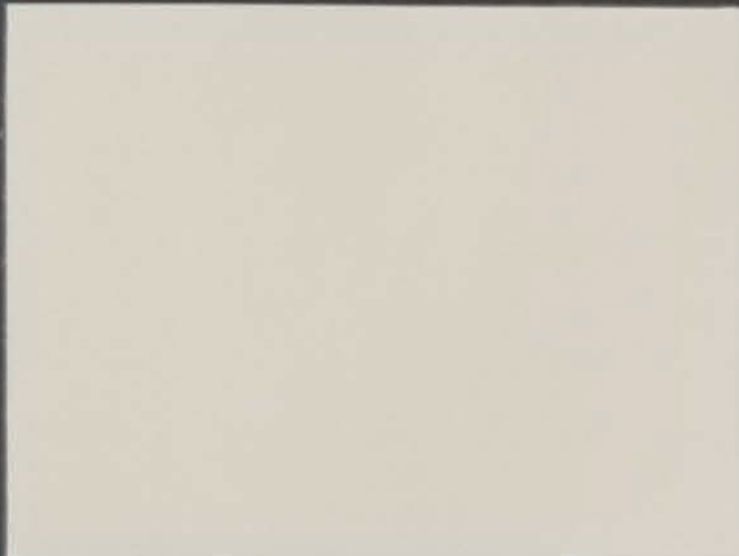
DRB Submittal

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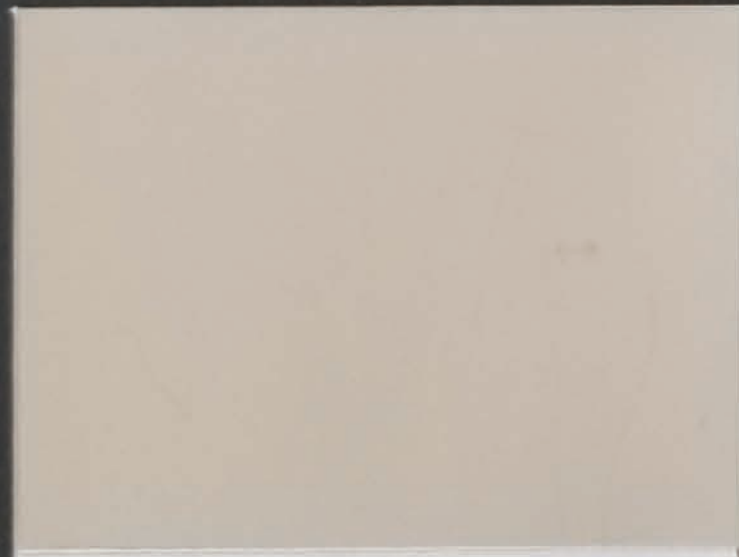
gouldevans



1. EXTERIOR STUCCO WALL SYSTEM -
DE 6349 LEGENDARY GRAY
LRV 18 (ACCENT)



2. EXTERIOR STUCCO WALL SYSTEM
DEC 756 BONE
LRV 69



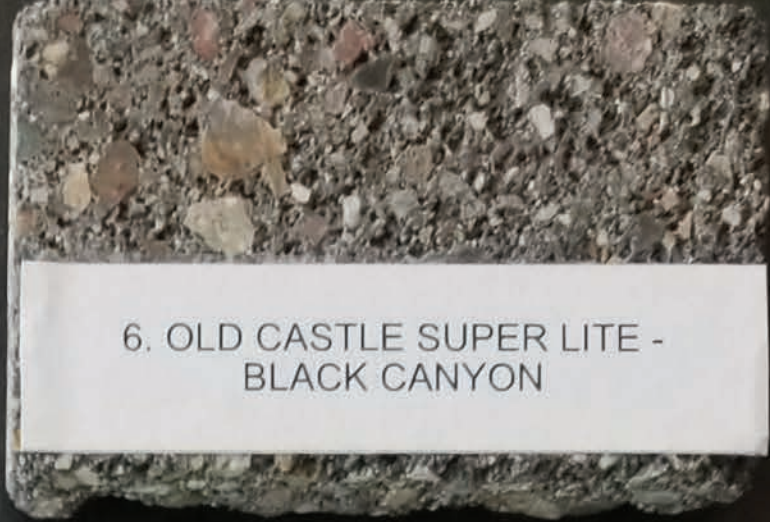
3. EXTERIOR STUCCO WALL SYSTEM -
DE 6122 DRY CREEK FLAT
LRV 55



4. ADOBE
CEMENTITIOUS
FIBERBOARD PANEL
PATINA 333



5. GREY
CEMENTITIOUS
FIBERBOARD PANEL
TRANSPARENT 171



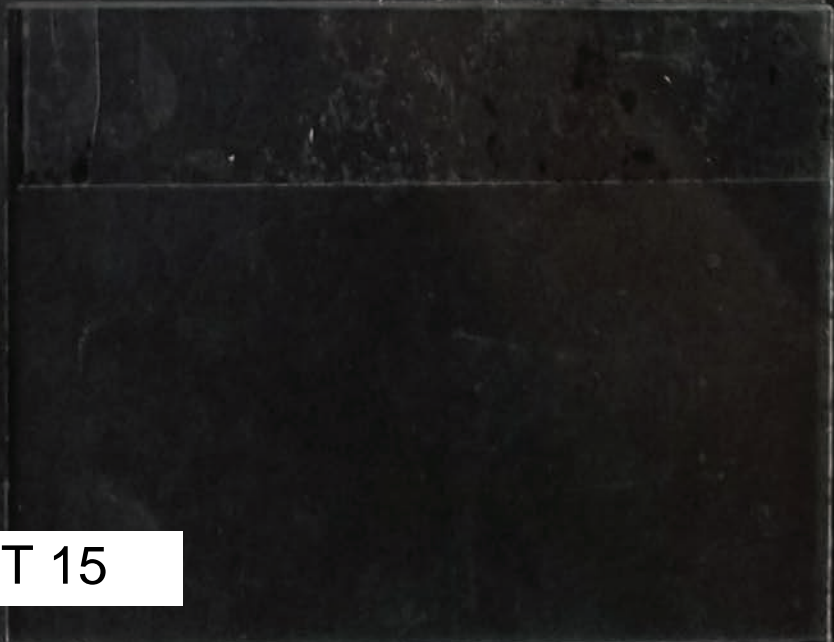
6. OLD CASTLE SUPER LITE -
BLACK CANYON



7. BLACK MULLION SYSTEM



8. GUN METAL PLANTERS



9. CLEAR GLASS
(V.L. Trans: 78%)
(Solar Trans: 60%)
(U-V Trans: 46%)

ATTACHMENT 15



W-1
WOOD ENTRY DOOR

GL-1
VIRACON VNE 1-63
1" (25mm) GLASS
25%-30% REFLECTIVITY

M-1
ALUMINUM MULLION
PAINTED TO MATCH
DUNN EDWARDS COLOR
DE6378 JET

GL-2
VIRACON 1/2"
FROSTED GLASS
CAPTURED IN
STEEL FRAME
NO REFLECTIVITY

PT-1
DUNN EDWARDS
EXTERIOR FLAT
PAINTED STUCCO
DE6227 MUSLIN
LRV 59 HUE 6.45
CHROMA 0.6

PT-2
DUNN EDWARDS
EXTERIOR FLAT
PAINTED STUCCO
DEA160 HOPE
CHEST LRV 12 HUE
3.81YR CHROMA 4.3

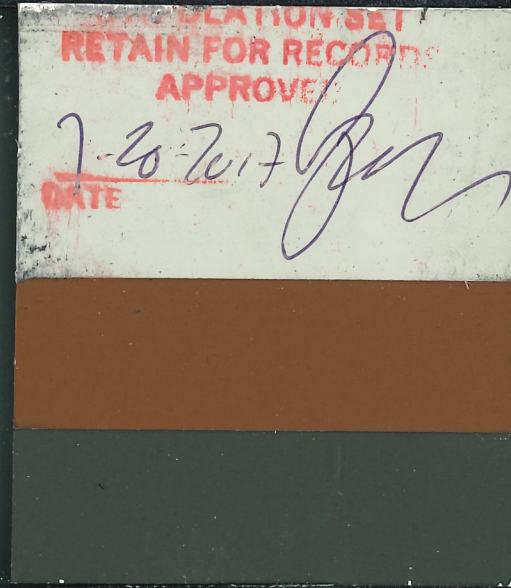
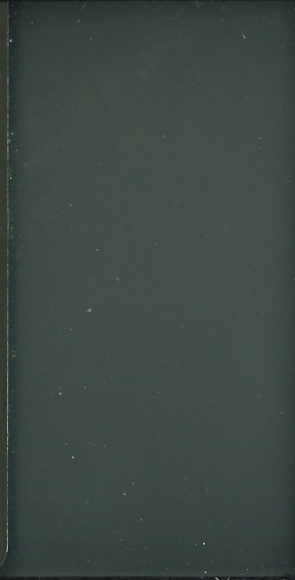
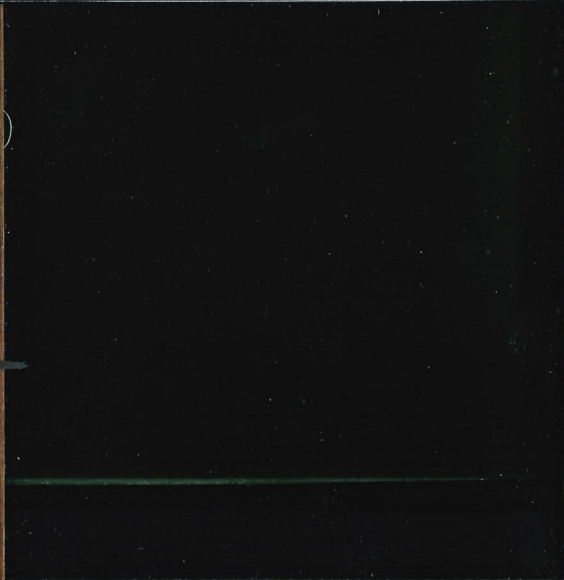
PT-3
DUNN EDWARDS
EXTERIOR FLAT
PAINTED STUCCO
DE6378 JET
LRV 9 HUE 7.26Y
CHROMA 0.1

W-1

GL-1

M-1

GL-2



PT-1

PT-2

PT-3

SCOTTSDALE
RESIDENCES

SCOTTSDALE AZ

DATE: 7/1/2020

PHOTOMETRICS ARE NOT TO SCALE
DRAWINGS ARE FOR ESTIMATING
PURPOSES ONLY.

FOOT-CANDLE VALUES ARE
PREDICTED AT HORIZONTAL
CALCULATIONS UNLESS SPECIFIED
OTHERWISE. ACTUAL
FOOT-CANDLES MAY VARY.

FINAL CONSTRUCTION DRAWINGS
& CALCULATIONS ARE THE
RESPONSIBILITY OF A LICENSED
ARCHITECT OR ENGINEER.

REFLECTANCES:
N/A

CEILING HEIGHT:
N/A

MOUNTING HEIGHT:
VARIES SEE PLAN

CALCULATION SPACING:
10' -0" x 10' -0"

FOOTCANDLE CALC HEIGHT:
0' -0" A.F.F. SITE
6' -0" A.F.F. PROP LINE

ADDITIONAL NOTES:

MAINTAINED
REV 5
(WITH EXISTING CITY
STREET LIGHTS)

CCBG
Architects, Inc.

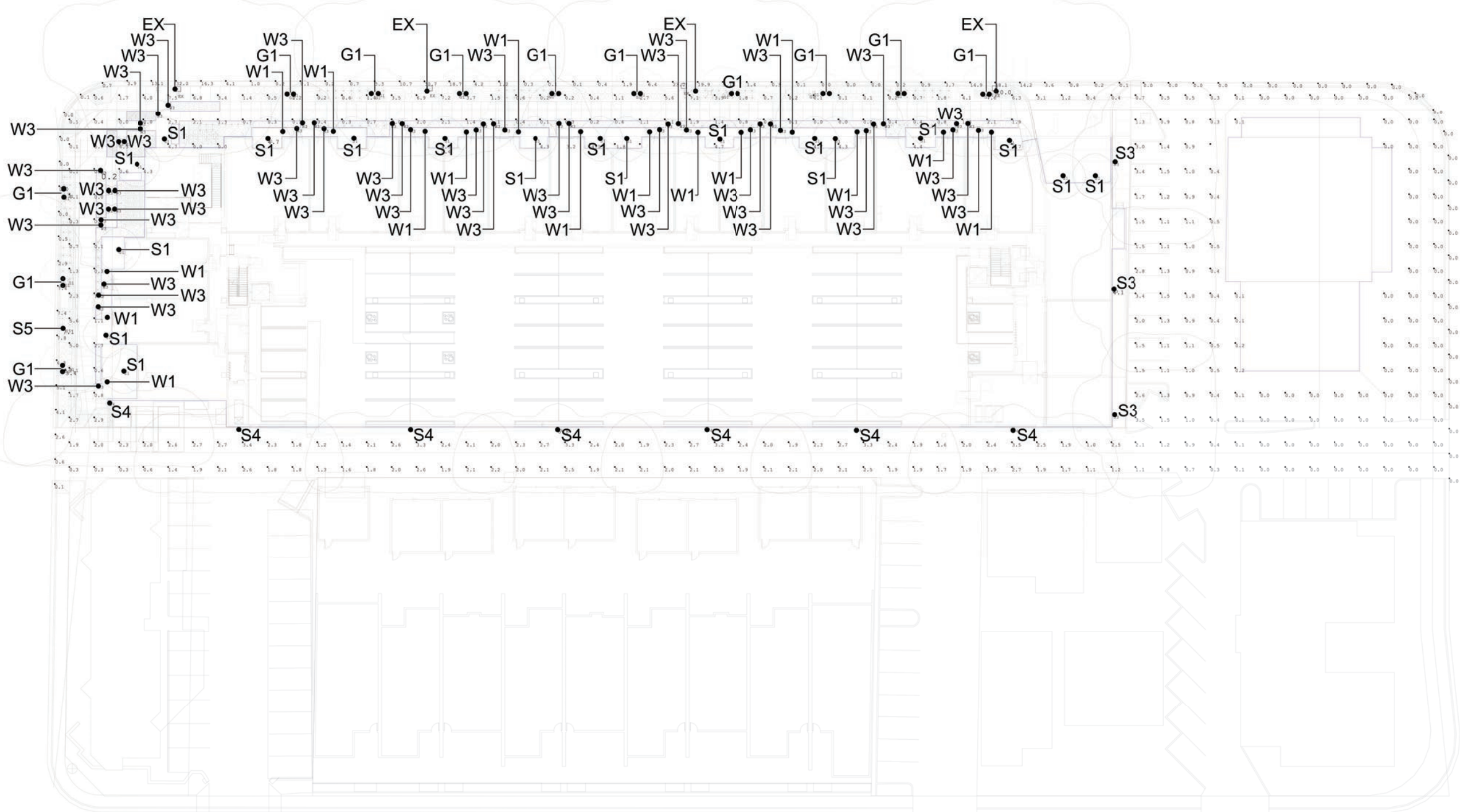
Phoenix-San Diego
www.ccbg-arch.com

CREATED BY:
AUSTIN JUDKINS

FOR PRICING AND
AVAILABILITY, CONTACT
ILLUMINATION SYSTEMS
AT 602.715.0506

DSC DESIGN, SUPPORT
& CONTROL

M



Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description
□	4	EX	SINGLE	16000	0.900	ESTIMATED EXISTING STREET LIGHT
□	24	G1	SINGLE	N.A.	0.900	650-RD-10LED4041-12-BK
□	18	S1	SINGLE	546	0.900	1801-DN-9269
□	3	S3	SINGLE	N.A.	0.900	GWC-AF-01-LED-E1-T4FT-600
□	7	S4	SINGLE	N.A.	0.900	GWC-AF-01-LED-E1-SL3-600
□	1	S5	SINGLE	N.A.	0.900	GLEOB-AF-02-LED-E1-T3R
□	45	W3	SINGLE	N.A.	0.900	6SR5IU LED 120 S 03 60 30 SS

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
EX	Illuminance	Fc	10.00	10.0	10.0	1.00	1.00
G1	Illuminance	Fc	3.40	3.4	3.4	1.00	1.00
PROPERTY LINE AT 6' AFG	Illuminance	Fc	3.70	38.1	0.0	N.A.	N.A.
S1	Illuminance	Fc	4.70	4.7	4.7	1.00	1.00
S3	Illuminance	Fc	4.10	4.1	4.1	1.00	1.00
S4	Illuminance	Fc	6.80	6.8	6.8	1.00	1.00
S5	Illuminance	Fc	7.10	7.1	7.1	1.00	1.00
SITE	Illuminance	Fc	1.37	7.6	0.0	N.A.	N.A.
W3	Illuminance	Fc	0.20	0.2	0.2	1.00	1.00

The initial vertical luminance at 6 foot above grade along the entire property line or 1 foot outside of any block wall exceeding 5 foot in height shall not exceed 1.0 foot candles all exterior luminaires shall be included in this calculation.

The maintained average horizontal luminance level at grade on site, shall not exceed 2.0 foot candles. All exterior luminaires shall be included in this calculation.

The maintained maximum horizontal luminance level at grade on the site shall not exceed 10.0 foot candles. All exterior luminaires shall be included in this calculation.

ATTACHMENT 17

G1

PAGE 1

DESCRIPTION
The Boca 650 is a slim 3 5/8" diameter inground luminaire for use in concrete, brick, stone or dirt. The luminaire is available as a fixed upright. The non-adjustable beam provides a crisp, white light source for grating or accenting in congested areas. Available in LED or Halogen (MR11 or T3 bi-pin lamps). LED is available in three color temperatures and three different beam spread distributions. Also available as an inground graze/marker light. See Boca 650-1,2,4.

SPECIFICATION FEATURES
Material
Recessed housing is constructed from injection molded, outdoor rated engineering thermoplastic. Trim and inner housing are die cast with corrosion resistant aluminum alloy. Premium materials are machined from solid stainless steel, copper, bronze* or brass.
Finish
Fixtures are double protected by a ROHS* compliant chemical conversion undercoating and polyester powdercoat paint finish, surpassing the rigorous demands of the outdoor environment. A variety of standard colors are available.
Gasket
Inner recessed housing and trim ring are sealed with a high temperature silicone, wrap around gasket to prevent water intrusion.



ORDERING INFORMATION

Series	Source	Voltage	Finish	Options
650-RD-3 1/2" Dia. Non-Adjustable Boca Inground Round Uplight	20Watt+12V MR11 20W max. G44 lamp not included	120V/277V - Nominal 120V transformer required (not included)	Polished Black RD-Bronze CR-Clear V3-Venice VF-Venice Premium Finish MS-Natural Brass MC-Natural Copper MB-Natural Bronze* MS-Natural Stainless Steel	LED-Lux Base See Order 650-08 recessed housing (optional)

TECHNICAL INFORMATION
1. Dimming is dependent on remote transformer compatibility with LED module. Please see compatibility matrix for dimmer switch and transformer selection.
2. When using a magnetic dimmer switch there are two recommended LED compatible 120V magnetic dimming switches: Lutron Arclite AVZ6 600P and Lutron Diva DVV6 600P

S1

PAGE 1

DESCRIPTION
AXEL SQUARE CEILING 1801-DN-9269

GENERAL
Item code: 1801-DN-9269
Place installation: Indoor
Name: AXEL SQUARE CEILING / 1801-DN-9269 ceiling suspension
Note: BBS on request.
Standard colour: DN - embossed white RAL 9003
Variant colour: GR - graphite satin finish (similar to RAL 7022), CO - Corten
Environments: walkways, hallway, conference hall, art and culture, office, leisure areas, retail areas, study areas.



OPTICAL SYSTEMS

Emission	direct
Opening beam	DN - DARK
Optical system	SLED optical system with UV resistant PC lenses.

S1

PAGE 2

ENERGY SAVING
This luminaire contains built-in LED lamps. The lamps cannot be changed in the luminaire.

SOURCES

Source Type	Source Power	System Power	Source	Lamp Socket	Source Temperature	Colour	Nominal Flux	Output Flux	MacAdam
SLED SQUARE	100W		Cluster 118400		3000K CRI>90		348 lm		Step 2



NORMS / DIRECTIVES

Norma	EN 60598-1, EN 60510-2-1
Directives	2014/30/EU, 2014/53/EU

S1

PAGE 3

ACCESSORIES

OPTIONAL ACCESSORIES

Mounting

Accessory code	1800-GR-4002
Technical description	AXEL C4 - Suspension Kit with 4 parallel ropes (L=2m) with fine adjusters and identified ceiling case -DN WHITE.
A: Total width device (mm)	110
H: Total height device (mm)	32

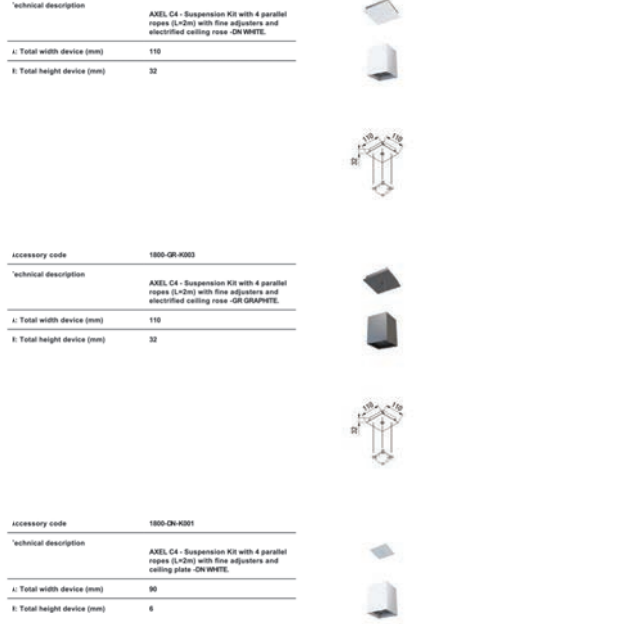
S1

PAGE 4

OPTIONAL ACCESSORIES

Mounting

Accessory code	1800-GR-4003
Technical description	AXEL C4 - Suspension Kit with 4 parallel ropes (L=2m) with fine adjusters and identified ceiling case -GR GRAPHITE.
A: Total width device (mm)	110
H: Total height device (mm)	32



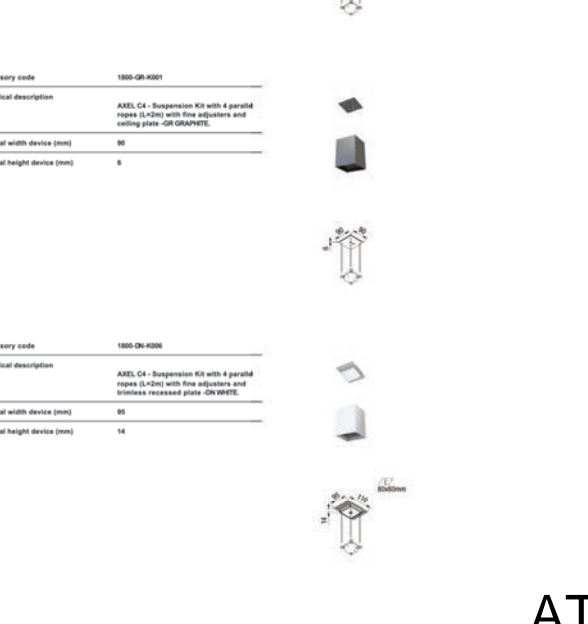
S1

PAGE 5

OPTIONAL ACCESSORIES

Mounting

Accessory code	1800-GR-4001
Technical description	AXEL C4 - Suspension Kit with 4 parallel ropes (L=2m) with fine adjusters and ceiling plate -GR GRAPHITE.
A: Total width device (mm)	90
H: Total height device (mm)	6



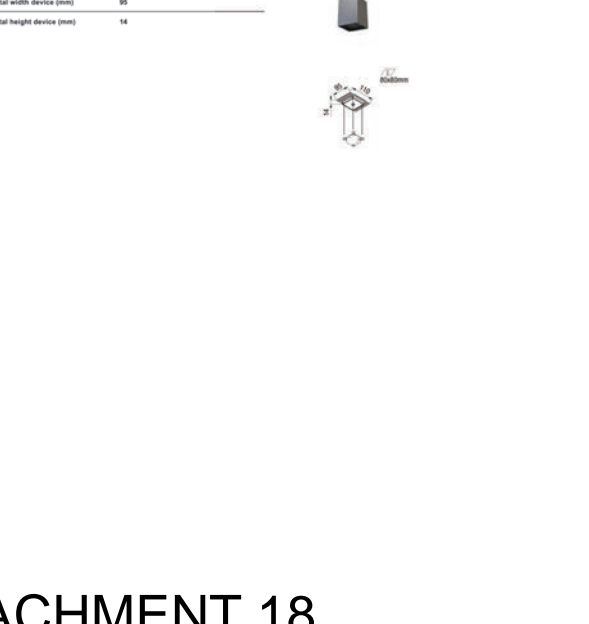
S1

PAGE 6

OPTIONAL ACCESSORIES

Mounting

Accessory code	1800-GR-4006
Technical description	AXEL C4 - Suspension Kit with 4 parallel ropes (L=2m) with fine adjusters and stainless recessed plate -GR GRAPHITE.
A: Total width device (mm)	90
H: Total height device (mm)	14

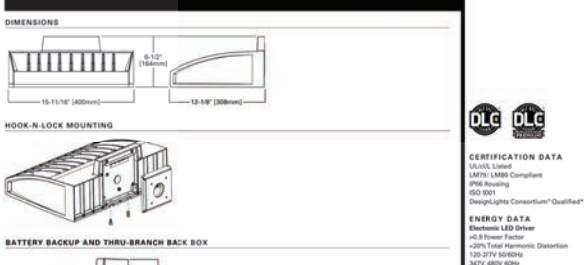


S3

PAGE 1

DESCRIPTION
The Galleon™ Wall LED luminaire's appearance is complementary with the Galleon area and site luminaire bringing a modern architectural style to lighting applications. Flexible mounting options accommodate wall surfaces in both an upward and downward configuration. The Galleon family of LED products deliver exceptional performance with patented, high-efficiency AccuLED Optics™, providing uniform and energy conscious lighting for parking lots, building and security lighting applications.

SPECIFICATION FEATURES
Construction
Driver enclosure thermally isolated from optics for optimal thermal performance. Heavy wall aluminum housing die-cast with integral external heat sinks to provide superior structural rigidity and an IP66 rated housing. Overall construction passes a 1.5G vibration test to ensure mechanical integrity. UPLIGHTING: Specify with the UPL option for inverted mount upright housing with additional protections to maintain IP rating.
Optics
Choice of three patented, high-efficiency AccuLED Optics. The optics are precisely designed to shape the distribution maximizing efficiency and application spacing. AccuLED Optics create consistent distributions with the scalability to meet customized application requirements. Offered standard in 4000K (u=2750) CCT and minimum 70 CRI. Optional 3000K, 5000K and 6000K CCT. Greater than 90% lumen maintenance expected at 60,000 hours. Available in standard 1A, drive current and optional 1200mA, 800mA, and 600mA drive currents.
Electrical
LED drivers are mounted for ease of maintenance. 120-277V 50/60Hz, 347V or 480V 60Hz operation. 480V is compatible for use with 480V Wye systems only. Drivers are provided standard with 0-10V dimming. An optional Eaton proprietary surge protection module is available and designed to withstand 10KV of transient line surge. The Galleon Wall LED luminaire is suitable for operation in -40°C to 40°C ambient environments. For applications with ambient temperatures exceeding 40°C, specify the HA (High Ambient) option. Emergency options for 20°C ambient environments and occupancy sensor available.
Mounting
Gasketed and zinc plated rigid steel mounting attachment fits directly to 4" J-box or wall with the Galleon Wall "Hook-N-Lock" mechanism for quick installation. Secured with two captive corrosion resistant black oxide coated allen head set screws which are concealed but accessible from bottom of fixture.
Finish
Housing finished in super durable TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Standard colors include black, bronze, grey, white, dark platinum and graphite metallic. RAL and custom color matches available. Consult the McGraw-Edison Architectural Colors brochure for the complete selection.
Warranty
Five-year warranty.



PRELIMINARY
NOT FOR
CONSTRUCTION

SCOTTSDALE RESIDENCES
MAIN STREET SCOTTSDALE, ILLP
6901 EAST MAIN STREET
SCOTTSDALE, ARIZONA 85261

ISSUANCE

DATE	REV	FOR
5.6.20	1DRB	RESUBMITTAL
7.1.20	2DRB	RESUBMITTAL

Drawn
RL
Checked
P/JL
Job Number
1822
Drawing
LIGHTING CUT SHEETS
Sheet

ATTACHMENT 18

CALI CALIFORNIA ACCENT LIGHTING ENC

LLED8000 ACCENT & COVE

RECESS MOUNT (Click on Product Thumbnail to See Individual Submittal)

MUD-IN (Click on Product Thumbnail to See Individual Submittal)

ACCESSORIES (Sold Separately)

MOUNTING OPTIONS (Sold Separately)

DESIGN GUIDELINES

CALIFORNIA ACCENT LIGHTING, INC. 2820 E. Gratta Lane, Anaheim, CA 92806. ph. 800.921.CALI (2254) | fx. 714.535.7902 | info@calighting.com | calighting.com

lipLEDsSM Specification Grade

CALI CALIFORNIA ACCENT LIGHTING ENC

LLED8000 ACCENT & COVE

ACCESSORIES (Sold Separately)

PART NUMBER	WEIGHT	SPECIFY FINISH	SPECIFY LENGTH	SPECIFY QUANTITY	UNIT
LLED8000-CC-2"	Varies by Length				Each
LLED8000-PC-2"	Varies by Length				Each
LLED8000-SC-WET	0.809 lbs each	N/A	N/A		Each
LLED8000-MCS	0.802 lbs	N/A	N/A		Each
LLED8000-MCS-WET	0.802 lbs	N/A	N/A		Each
LLED8000-SC	0.861 lbs per foot	N/A	N/A		Each
LLED8000-CC-CP	0.808 lbs	N/A	N/A		Each

MOUNTING OPTIONS (Sold Separately)

DESIGN GUIDELINES

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CALI CALIFORNIA ACCENT LIGHTING ENC

LLED8000 ACCENT & COVE

PROJECT: **SKUTER LED** TYPE: **Wall Recessed**

LIGHTSTRIP, EXTRUSION, & LENS

LAMP SPECIFICATIONS

LAMP NUMBER	CORRELATED COLOR TEMPERATURE	EFFICACY (LUMENS / WATT)	JAB	L70 LED LIFE
LAL	3000K Neutral White	95	Yes	45,000 hrs.
2AL	2700K Warm White	103	Yes	45,000 hrs.
3AL	3000K Warm White	100	Yes	45,000 hrs.
3AL	3000K Neutral White	103	Yes	45,000 hrs.
4AL	4000K Neutral White	105	Yes	45,000 hrs.
4AL	4000K Neutral White	102	Yes	45,000 hrs.
5	Blue-White	75	Yes	45,000 hrs.
6	Green-White	139	Yes	45,000 hrs.
8	Blue-White	40	Yes	45,000 hrs.
A	Amber	120	Yes	45,000 hrs.

INSTALLATION

ELECTRICAL

MAXIMUM RUN

VOLTAGE

DRIVER

TEMPERATURE RATINGS

CALIFORNIA ACCENT LIGHTING, INC. 2820 E. Gratta Lane, Anaheim, CA 92806. ph. 800.921.CALI (2254) | fx. 714.535.7902 | info@calighting.com | calighting.com

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CALI CALIFORNIA ACCENT LIGHTING ENC

LLED8000 ACCENT & COVE

SURFACE MOUNT (Click on Product Thumbnail to See Individual Submittal)

CORNER MOUNT (Click on Product Thumbnail to See Individual Submittal)

PENDANT MOUNT (Click on Product Thumbnail to See Individual Submittal)

CALIFORNIA ACCENT LIGHTING, INC. 2820 E. Gratta Lane, Anaheim, CA 92806. ph. 800.921.CALI (2254) | fx. 714.535.7902 | info@calighting.com | calighting.com

lipLEDsSM Specification Grade

PRELIMINARY NOT FOR CONSTRUCTION

SCOTTSDALE RESIDENCES MAIN STREET SCOTTSDALE, ILLP 6901 EAST MAIN STREET SCOTTSDALE, ARIZONA 85261

CALI CALIFORNIA ACCENT LIGHTING ENC

LLED8000 ACCENT & COVE

RECESS MOUNT (Click on Product Thumbnail to See Individual Submittal)

MUD-IN (Click on Product Thumbnail to See Individual Submittal)

ACCESSORIES (Sold Separately)

MOUNTING OPTIONS (Sold Separately)

DESIGN GUIDELINES

CALIFORNIA ACCENT LIGHTING, INC. 2820 E. Gratta Lane, Anaheim, CA 92806. ph. 800.921.CALI (2254) | fx. 714.535.7902 | info@calighting.com | calighting.com

lipLEDsSM Specification Grade

CALI CALIFORNIA ACCENT LIGHTING ENC

LLED8000 ACCENT & COVE

ACCESSORIES (Sold Separately)

PART NUMBER	WEIGHT	SPECIFY FINISH	SPECIFY LENGTH	SPECIFY QUANTITY	UNIT
LLED8000-CC-2"	Varies by Length				Each
LLED8000-PC-2"	Varies by Length				Each
LLED8000-SC-WET	0.809 lbs each	N/A	N/A		Each
LLED8000-MCS	0.802 lbs	N/A	N/A		Each
LLED8000-MCS-WET	0.802 lbs	N/A	N/A		Each
LLED8000-SC	0.861 lbs per foot	N/A	N/A		Each
LLED8000-CC-CP	0.808 lbs	N/A	N/A		Each

MOUNTING OPTIONS (Sold Separately)

DESIGN GUIDELINES

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lipLEDsSM Specification Grade

CALI CALIFORNIA ACCENT LIGHTING ENC

LLED8000 ACCENT & COVE

PROJECT: **SKUTER LED** TYPE: **Wall Recessed**

SPECIFICATION SHEET

Description: Robust with a sleek design, best describes this recessed wall light. The casing is constructed of cast aluminum. Ideal for protecting the LED chips from overheating, increasing their longevity. The cover is constructed of 316 stainless steel, ideal for use in an exterior or interior wall application, as the LEDs are protected by a gasketed tempered glass pane. Also included is a mounting pot.

Specifications

Input	120V (integrated driver)
Consumption	3W
Operating Temp.	-30 to +65C
Luminous flux	100lm
Optic	60 degree
CRI	> 80
Colour Temp.	3000K
Material	Aluminum/316 stainless steel
Ingress Protection	IP65
Finish	stainless steel

Note: must be recessed wall mounted with the emission downwards.

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lipLEDsSM Specification Grade

CALI CALIFORNIA ACCENT LIGHTING ENC

LLED8000 ACCENT & COVE

PROJECT: **SKUTER LED** TYPE: **Wall Recessed**

SPECIFICATION SHEET

ORDERING INFORMATION:

65RSKU Lamp +Input +Shape +Wattage +Optics +Color Temp. +Finish
LED 120 = 120V S = Square R = Round O3 = 3W 60 = 60 deg. 30 = 3000K SS = Stainless steel

ORDERING EXAMPLE:
65RSKU - 120 - S - O3 - 60 - 30 - SS

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lipLEDsSM Specification Grade

ISSUANCE		
DATE	REV	FOR
5.6.20	1DRB	RESUBMITTAL
7.1.20	2DRB	RESUBMITTAL

Drawn: RL
Checked: PJL
Job Number: 1822
Drawing: LIGHTING CU^T SHEETS
Sheet: 00.17

PRELIMINARY NOT FOR CONSTRUCTION

SCOTTSDALE RESIDENCES MAIN STREET SCOTTSDALE, ILLP 6901 EAST MAIN STREET SCOTTSDALE, ARIZONA 85261

CALI CALIFORNIA ACCENT LIGHTING ENC LLED8000 ACCENT & COVE. PROJECT TYPE: LAMP SPECIFICATIONS table with columns for LAMP NUMBER, CORRELATED COLOR TEMPERATURE, EFFICACY, and L70 LED LIFE.

CALIFORNIA ACCENT LIGHTING, INC. 2820 E. GRETA LANE, ANAHEIM, CA 92806. lipLEDs Specification Grade logo.

CALI CALIFORNIA ACCENT LIGHTING ENC LLED8000 ACCENT & COVE. SURFACE MOUNT, CORNER MOUNT, PENDANT MOUNT diagrams and specifications.

CALIFORNIA ACCENT LIGHTING, INC. 2820 E. GRETA LANE, ANAHEIM, CA 92806. lipLEDs Specification Grade logo.

CALI CALIFORNIA ACCENT LIGHTING ENC LLED8000 ACCENT & COVE. RECESS MOUNT, MUD-IN diagrams and specifications.

CALIFORNIA ACCENT LIGHTING, INC. 2820 E. GRETA LANE, ANAHEIM, CA 92806. lipLEDs Specification Grade logo.

CALI CALIFORNIA ACCENT LIGHTING ENC LLED8000 ACCENT & COVE. ACCESSORIES table, MOUNTING OPTIONS diagrams, DESIGN GUIDELINES diagrams.

CALIFORNIA ACCENT LIGHTING, INC. 2820 E. GRETA LANE, ANAHEIM, CA 92806. lipLEDs Specification Grade logo.

ISSUANCE table with columns DATE, REV, FOR.

5.6.20 1DRB RESUBMITTAL 7.1.20 2DRB RESUBMITTAL

Drawn: RL, Checked: PJL, Job Number: 1822, Drawing: LIGHTING CU SHEETS, Sheet: 00.18

PHOTOMETRIC STATISTICS - LEVEL 1					
CALC PLANE	AVERAGE FC	MAX FC	MIN FC	AVG/MIN FC	MAX/MIN FC
GOUND	1.2	7.9	0.0	N/A	N/A
6'-A.F.F.	0.1	0.1	0.0	N/A	N/A



CREATIVE DESIGNS
IN LIGHTING

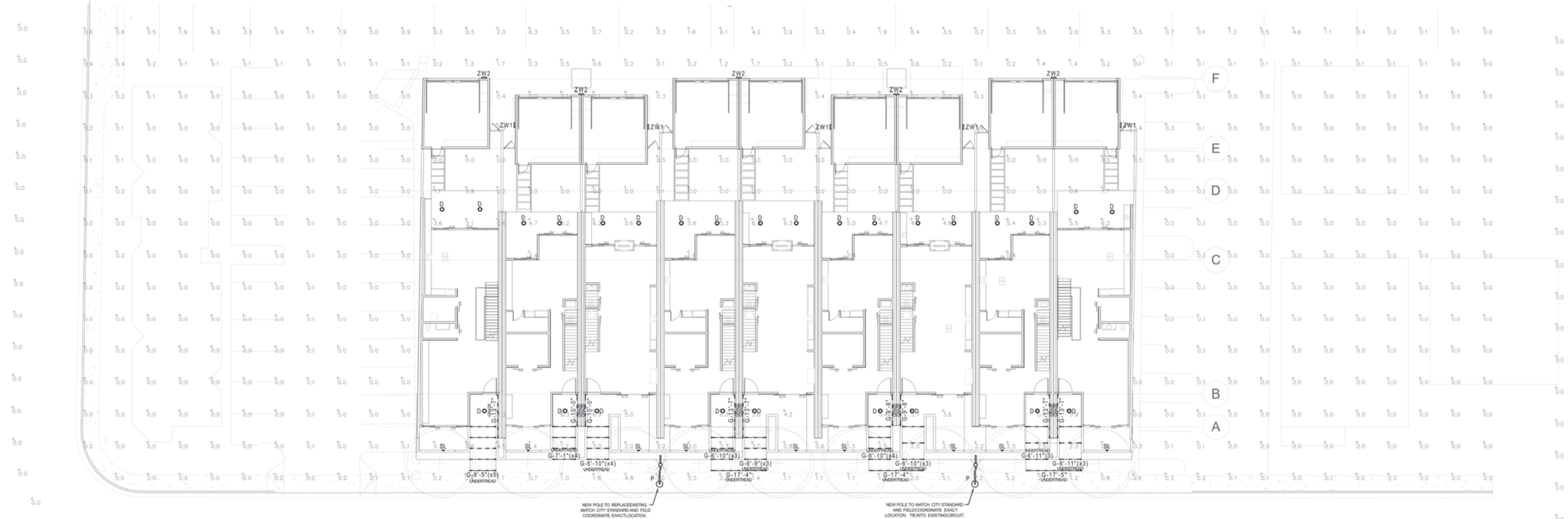


15982 N. 78th St. Suite A
Scottsdale, Arizona 85260

602.248.7822
design@cdltg.com
www.cdltg.com

1978 **39** 2017
years of architectural
lighting design

CONDO SITE



SCOTTSDALE MAIN
SCOTTSDALE, ARIZONA

REVISIONS	
△	
△	
△	
△	
△	

DATE
02.10.17
SCALE
1/16"=1'-0"
PROJECT NUMBER
107675-16
DRAWN BY
AG
CHECKED BY
MG
SHEETNAME

LEVEL 1 SITE
LIGHTING PLAN

SHEETNUMBER
AL1

ATTACHMENT 19

DESIGN DEVELOPMENT SET - NOT FOR CONSTRUCTION

8-DR-2017#2
8/4/2020



CREATIVE DESIGNS IN LIGHTING



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Scottsdale, Arizona 85260

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1978 39 2017
years of architectural
lighting design

SCOTTSDALE MAIN
SCOTTSDALE, ARIZONA

Table with 2 columns: Revision number, Description

Table with 2 columns: Field, Value (DATE, SCALE, PROJECT NUMBER, DRAWN BY, CHECKED BY, SHEET NAME)

LIGHTING NOTES AND SCHEDULES

SHEET NUMBER

ALO.0

8-DR-2017#2
8/4/2020

FOCUS INDUSTRIES PATH LIGHTS PL-17 SERIES. Includes specifications, construction details, mounting accessories, light distributions, and photometrics.

Eco-Downlight LED 1" Recessed

NEW Construction (IC/Airtight Rated*) - Low Power Density. Includes features, housing details, and emergency options.

CSL CREATIVE SYSTEMS LIGHTING. A Division of Troy-CSL. 14008 Nelson Avenue, City of Industry, CA 91744.

SCOTTSDALE MAIN LIGHTING FIXTURE SCHEDULE. Table listing fixture types, manufacturers, descriptions, finishes, dimensions, watts, volts, and lamps.

CREATIVE DESIGNS IN LIGHTING

SCOTTSDALE MAIN LIGHTING FIXTURE SCHEDULE. Table listing fixture types, manufacturers, descriptions, finishes, dimensions, watts, volts, and lamps.

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ATTACHMENT 20

DESIGN DEVELOPMENT SET - NOT FOR CONSTRUCTION

SCOTTSDALE MAIN LIGHTING FIXTURE SCHEDULE. Table listing fixture types, manufacturers, descriptions, finishes, dimensions, watts, volts, and lamps.

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GENERAL NOTES. 16 numbered notes detailing installation requirements, material specifications, and safety protocols.

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ATTACHMENT 20

DESIGN DEVELOPMENT SET - NOT FOR CONSTRUCTION

LIGHTING PLAN SYMBOL LEGEND. List of symbols and their corresponding lighting fixture types.

Photometric Luminaire Schedule - Level 2. Table with 4 columns: Label, LLF, Description, Lum. Lumens.

Photometric Luminaire Schedule - Level 1. Table with 4 columns: Label, LLF, Description, Lum. Lumens.

CREATIVE DESIGNS IN LIGHTING. Logo and company information.

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ATTACHMENT 20

DESIGN DEVELOPMENT SET - NOT FOR CONSTRUCTION

MICRO GRAZER LIGHT CHANNEL 7W OR 4.4W, 24VDC COMMERCIAL (85+, 92+, 95+CRI) TYPE: G



Description: Micro Grazer Light Channel LED features 24 volt commercial-grade LEDs included inside a slim, paintable aluminum extrusion. The asymmetrical 10 degree lens is ideal for creating dramatic grazing effects. Sold in 12 inch increments up to 120 inches. May be ordered in 3, 5, 8 or 10 inch increments. Mounting clips provided with each 2 foot section. Fixtures can be linked end-to-end with plug-in or flexible connectors for a maximum length of 12 feet. Each foot of Light Channel contains 85+ , 92+ or 95+ CRI LEDs with excellent color rendering. System is powered by a dimmable, remote power supply. Includes 8 foot power feed cable. Fixtures include a 5 year warranty.

Applications: Indoor and Wet Location - Highlight textured vertical surfaces like brick or stone walls, sheer curtains or edge lit glass. ETL listed for wet location.

Version	Watts per Foot	Lumens per Foot	85+ CRI	92+ CRI	95+ CRI	Lamp Life Hours
LCMG7 27K	7	51	367			50,000
LCMG7 30K	7	56	382			50,000
LCMG7 37K	4.4	52	327			50,000
LCMG7 30K	4.4	58	333			50,000
LCMG5 30D	5	58	244			50,000

24VDC 0-10V Power Supply (Sold Separately, Not used with Warm Dim):
PSB-96W-010-24VDC 120-277VAC input, 96 watt output
PSB-2X96W-010-24VDC 120-277VAC input, 2x96 watt output
PSB-3x96W-010-24VDC 120-277VAC input, 3x96 watt output
PSB-4x96W-010-24VDC 120-277VAC input, 4x96 watt output

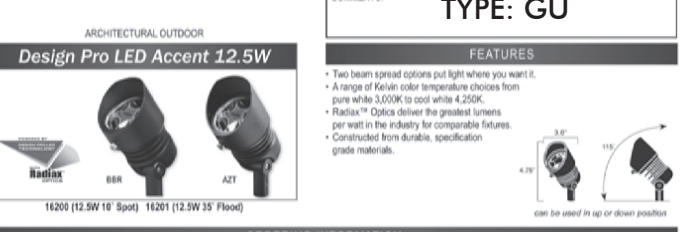
24VDC ELV Power Supply (Sold Separately):
PSB-60W-ELV-24VDC 120VAC input, 60 watt output
PSB-100W-ELV-24VDC 120VAC input, 96 watt output
PSB-2X100W-ELV-24VDC 120VAC input, 2x96 watt output
PSB-3x100W-ELV-24VDC 120VAC input, 3x96 watt output
PSB-4x100W-ELV-24VDC 120VAC input, 4x96 watt output

Dimming:
 0-10V power supplies use 0-10V dimmer: Philips Sunrise SR1200ZTUNV.
 ELV power supplies use ELV dimmer: Legrand, Adorne ADTP03TU.
 Lutron: Diva DVVL-300P, Skylark SELV-300P, Maestro MAELV-600 and Radio Ra 2



1718 W Fullerton Ave. Chicago, IL 60614 P: 773.770.1195 F: 773.935.5613 www.edgellighting.com

KICHLER



ORDERING INFORMATION
 Product ordered is a 12.5W, 3000K, 10 degree spot accent light in Textured Architectural Bronze with a long coil and an amber lens accessory.

PRODUCT	WATTAGE/STYLE	LIGHT SOURCE	FINISH	OPTIONS / ACCESSORIES
3000K PURE WHITE	12.5W - 10 Degree Spot Beam Spread	LED Spots - Integrated LEDs & Driver - LEDs: High Output CREE® LEDs tightly binned for color uniformity - Color Temp. (CCT): 3,000K (400-130) Pure White	Marine Grade Powdercoats Cast Aluminum AZT - Textured Architectural Bronze	Flange For Surface Mounting 15691BKT - Textured Bronze Finish 15691BKT - Textured Black Finish 15691BKT - Bronzed Brass Finish Mounting Options: Junction Box Mounting Bracket 15693AZT - Textured Bronze Finish 15693BKT - Textured Black Finish Cast Brass Power Post® 15278AZT - Textured Bronze Finish 15278BKT - Textured Black Finish Cast White CRI 3,000K - 80s 4,250K ± High/70s 100-130V AC, 50-60 Hz -40,000 Hours Lamp Life to L70 Specifications** Efficacy: 3,000K ± 47Lm/W 4,250K ± 52Lm/W Wiring: 8" of Usable 200°C 18AWG Wire Leads Included Mounting Accessories: NA
4200K COOL WHITE	18 Degree 16201 AZT30 16201 BBR30	35 Degree 16201 AZT30 16201 BBR30	Cast Brass BBR - Bronzed Brass	Long Coil 16064BKT - Textured Bronze Finish 16064BKT - Textured Black Finish 16064BKT - Bronzed Brass Finish 360° Coil 16059AZT - Textured Bronze Finish 16059BKT - Textured Black Finish

www.landscapelighting.com

WP WW 2635 Single Row CC LED Strip Light 120/m 10mm wide 5m Reel



TYPE: HR
 Waterproof Warm White 2635 Single Row CurrentControl LED Strip Light, 120/m, 10mm wide, by the 5m Reel
 Product No.: wp-2700k-cc2635-120-10-reel
 SMDs are 1 day, typically
 View the Product Description Page for required parts, accessories, photos and videos.

Product Features
 • Two beam spread options put light where you want it.
 • A range of Kelvin color temperature choices from pure white 3,000K to cool white 4,250K.
 • Fluxus™ Optics deliver the greatest lumens per watt in the industry for comparable fixtures.
 • Constructed from durable, specification grade materials.

Version	Watts per Foot	Lumens per Foot	85+ CRI	92+ CRI	95+ CRI	Lamp Life Hours
LCMG7 27K	7	51	367			50,000
LCMG7 30K	7	56	382			50,000
LCMG7 37K	4.4	52	327			50,000
LCMG7 30K	4.4	58	333			50,000
LCMG5 30D	5	58	244			50,000

http://www.environmentallights.com/17482-wp-2700k-cc2635-120-10-reel.html

TYPE: LU

SPECIFICATIONS

DESCRIPTION: Compact recessed in grade fixture with adjustable light source. Suitable for wet/damp location installations.

MATERIAL: Standard overall material is 6061 aluminum. HL-822 - Machined Aluminum

FINISH: AA - Anodized Aluminum AP - Powder Coat Aluminum BK - Powder Coat Black BZ - Powder Coat Bronze WT - Powder Coat White

HALOGEN LAMPING OPTION: Lamps: Type - 12V halogen MR16 lamp, bi-pin GX5.3 base, 50W max, not included (standard).

LED OPTIONS: Integral high output LED, warm white (3000K CCT) standard, others available. 3LED - 3W LED 8LED - 8W LED
 Optics: SP - Spot, 12° NF - Narrow Flood, 24° FL - Flood, 30°

VOLTAGE: 12 - 12 VAC output transformer required, not included.

MOUNTING: Suitable for installation into concrete, masonry, or any non-combustible material.

OPTIONS: Lenses/Louvers/Color Filters LA-1 - Hazeless Louver (Black) LA-2 - Prismatic lens LA-3 - Linear spread lens LA-4 - Soft focus lens (diffused) LA-5 - Moonlight lens LA-6 - Blue lens Other: LA-820 - Lens and louver holder Pole Mounting HL-207H - Aluminum See fixture accessories for more information.

SAMPLE ORDER SPECIFICATION: HL-822-AA-12-LA-1-LA-820

RATING: Wet/damp location.

MADE IN THE USA

ORDER SPECIFICATION: Fixture Finish Lensing Voltage Options/Accessories

PROJECT: HEVI LITE, INC. 9714 Varrel Ave, Chatsworth, CA 91311 Tel: (818) 341-8291 - Fax: (818) 998-1986 Web Site http://www.hevilite.com

CATALOG NUMBER: HL-822

TYPE: P

Evolve™ LED Roadway Lighting
 LED Roadway Luminaire (ERL1-ERLH-ERS1-ERS2)

current powered by GE

MINILOFT SQUARE CEILING LED

TYPE: RP

DESCRIPTION: Ceiling mounted luminaire with excellent light control, characteristics gives improved lighting design solutions and precision with glare-free effects outside the declared angle of light emission.

Luminaire characteristics: Power input: 0W Lumens: 288 lm Luminaire efficacy: 48 lm/W

Source: White LED, LM-80 tested 3000K: 90CRI 4000K: 90CRI Lumens maintenance: >70% of initial lumens at > 50 000 hours (L70) (LM-79 tested).

Optics: 33° beam angle.

Material: Body: die-cast aluminum Reflector: 99.98% pure anodized aluminum Diffuser: clear toughened glass Hardware: stainless steel screws and silicone gasket.

Electrical: Integral universal high efficiency electronic power supply, rated at 50 000 hours. 120-277V.

Mounting: Install on a standard 4" J-box.

Finish: White or aluminum gray.

Weight: 2.0 lbs (1.2kg).

Warranty: 5 year limited warranty.

Certification: cULus listed for wet location.

Ratings: IP65, IK06

REVISIONS

NO.	REVISION	DATE
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

DATE: 02.10.17
SCALE: NTS
PROJECT NUMBER: 107675-16
DRAWN BY: AG
CHECKED BY: MG
SHEET NAME:

DATE: 02.10.17
SCALE: NTS
PROJECT NUMBER: 107675-16
DRAWN BY: AG
CHECKED BY: MG
SHEET NAME:

THE INFORMATION CONTAINED IN THIS DRAWING IS THE SOLE PROPERTY OF HEVI LITE, INC. ANY REPRODUCTION IN PART OR WHOLE WITHOUT THE WRITTEN PERMISSION OF HEVI LITE, INC. IS PROHIBITED.

www.environmentallights.com/17482-wp-2700k-cc2635-120-10-reel.html

LAST UPDATE: AUGUST 23, 2016

1820 Blvd. St-Laurent, suite 100, Montreal (Quebec) Canada H2N 1N7
 P: 514 523 1330 F: 514 525 0167
 www.systemalux.com



CREATIVE DESIGNS IN LIGHTING



15982 N. 78th St. Suite A
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602.248.7822
 design@cdiltg.com
 www.cdiltg.com

1978 39 2017
 years of architectural lighting design

SCOTTSDALE MAIN
 SCOTTSDALE, ARIZONA

LIGHTING NOTES AND SCHEDULES

SHEET NUMBER

ALO.1

8-DR-2017#2
 8/4/2020

This drawing has been reviewed and approved by the project manager and shall remain the property of Creative Design Lighting and shall remain the property of Creative Design Lighting and shall remain the property of Creative Design Lighting. The use of this drawing and the materials it contains is limited to the project for which it was prepared and published. It is not to be reproduced or published in any form without the written permission of Creative Design Lighting.



Table with specifications for LUNA LED STEP 120V 58508TT TITANIUM, including dimensions, weight, material, and LED info.

TYPE: SL

AT HINKLEY, WE EMBRACE THE DESIGN PHILOSOPHY THAT YOU CAN MERGE TOGETHER THE LIGHTING, FURNITURE, ART, COLORS AND ACCESSORIES YOU LOVE INTO A BEAUTIFUL ENVIRONMENT...

lifeGLOW™



L16 TYPE: SLS

Application: Exterior/interior wall, stair, and walkway illumination. IP: 68. Mounting: Vertically or horizontally positioned face plate mounts to single gang box...

Type:

Project:

Modified:

Quantity:

Notes: PLEASE READ When using a control system, consult dimming system manufacturer with minimum load before installing 12V AC transformer...

Order Guide

Example L16 / 200W 5-2-2-21

Order Guide table with columns for Code, Voltage, Color, Beam, Plate, Input Voltage, Finish.

FOCUS INDUSTRIES HANGING LIGHTS SL-15 SERIES TYPE TD

SPECIFICATIONS

CONSTRUCTION: Extruded aluminum brass or copper hanging "Starlight" cylinder on 18" long baby oval brass chain and cast brass hook. Aluminum cylinder has matching aluminum top.

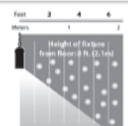


SL-15-BAR

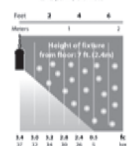
ORDERING INFORMATION

Table with columns for CATALOG NO., DESCRIPTION, LAMP, SHIP WEIGHT.

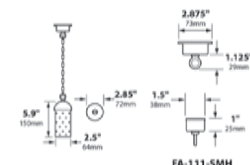
LIGHT DISTRIBUTIONS AND PHOTOMETRICS



SL-15 Half Spread Photometrics



SL-15 Half Spread Photometrics



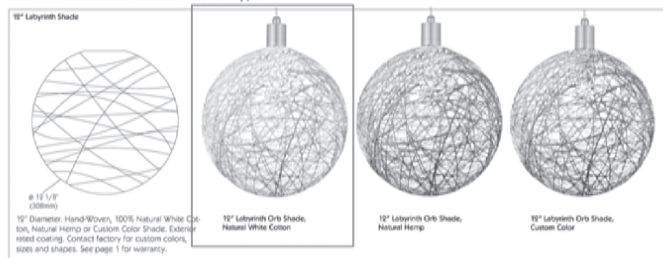
Form for JOB INFORMATION with fields for Type, Date, Job Name, Cat No., Lamp(s), Specifier, Contractor, Notes.

Table with columns for Stock Number, Voltage, Color, Beam, Plate, Input Voltage, Finish.

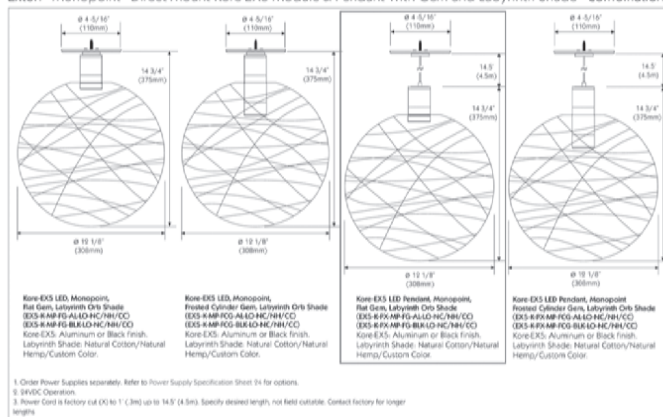
Exton System

TYPE: ZC Monopoint with Kore-EX5 LED Module

Exton - Architectural Shades - Woven Type



Exton - Monopoint - Direct Mount Kore-EX5 Module & Pendant with Gem and Labyrinth Shade - Combinations



Notes for Exton System, including MVOCT driver operation, shipping information, and warranty details.

WST LED Architectural Wall Sconce



Specifications Luminaire

Height: 7-1/4" (184 mm), Width: 16-1/4" (413 mm), Depth: 9-1/8" (232 mm), Weight: 17 lbs (7.7 kg).

Optional Back Box (BBW)

Height: 4" (102 mm), Width: 5-1/2" (140 mm), Depth: 1-1/2" (38 mm).

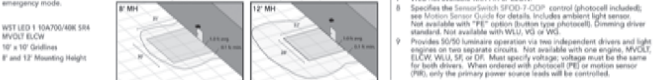
Ordering Information EXAMPLE: WST LED 2 10A700/40K SR3 MVOCT DDBXTD

Ordering Information table with columns for Series, Light Engines, Performance Package, Distribution, Voltage, Mounting, Options, Finish.

Emergency Battery Operation

The emergency battery backup (EBCW) option is integral to the luminaire - no external housing required! This design provides reliable emergency operation while maintaining the aesthetics of the product.

The emergency battery will power the luminaire for a minimum duration of 90 minutes (maximum duration of three hours) from the time supply power is lost...



CREATIVE DESIGNS IN LIGHTING



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602.248.7822 design@cdltg.com www.cdltg.com

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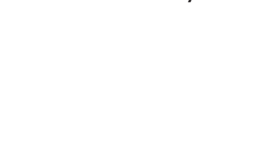
SCOTTSDALE MAIN SCOTTSDALE, ARIZONA

SKILL SQUARE LED



Wall mounted step light. Luminaire characteristics: Power Input: 12.5W, Lumens: 400 to 435 lm (delivered), Luminaire efficacy: 32 lm/W.

TYPE: ZW1/ZW2



Front and side view diagrams of the ZW1/ZW2 light fixture.



REVISIONS table with columns for revision number, description, and date.

Table with columns for DATE, SCALE, PROJECT NUMBER, DRAWN BY, CHECKED BY, SHEET NAME.

LIGHTING NOTES AND SCHEDULES

SHEET NUMBER

ALO.2

8-DR-2017#2 8/4/2020

SCOTTSDALE RESIDENCES

E. Main Street and 69th Street

140-PA-2019

Project Narrative

May 11, 2020



Prepared for **Main Street Scottsdale LLLP**

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102 E Buchanan Street
Phoenix, AZ 85004

(602) 258-2211

ATTACHMENT #21

Main Street Scottsdale LLLP

1

8-DR-2017#2
5/15/2020

Table of Contents

1. Property Information	3
2. Project Overview	4
3. Development Review Board Criteria	5
4. Sensitive Design Program	23
5. Design Standards and Policies Manual	27
6. Old Town Scottsdale Urban Design and Architectural Guidelines	27
7. MAG Supplements	27
8. Lighting Design Guidelines	27
9. Shading	28
10. Conclusion	29
11. Property Development Standards (For Reference)	30-34

1. Property Information

Location:

E. Main Street & 69th Street

Property Size:

1.76+/- gross acres (north of alley)

0.84 +/- gross acres along 1st Street (south of alley)

Total Site Area:

2.60 +/- gross acres

Zoning:

D/DMU-2 PBD DO (PBD Overlay District)



2. Project Overview

This request is for Design Review Board approval for a 2.60+/- gross acre site located north of the southeast corner of 69th Street and Main Street, which is located directly east of the Hotel Valley Ho in Downtown Scottsdale. The developer has been approved for site to be zoned a D/DMU-2 PBD DO for the density transfer between the two parcels (north and south of the alley). The applicant intends to redevelop the site with residential development consisting of 121 multi-family units and 9 townhome units (fee simple lots) in harmony with the goals and polices of the Old Town Scottsdale Character Area Plan adopted by City Council in 2018. The overall proposed density on the 2.60+/- acre is 50 du/ac, which is the maximum allowable under the Downtown Ordinance. The Property is surrounded by a variety of retail, live/work, resort, residential, entertainment and service related business in Downtown Scottsdale and is within close proximity to the gallery district and a range of employment opportunities.



3. Development Review Board Project Criteria

1. Ordinances, Master Plans, General Plan, and Standards

Describe how the proposed development will comply with the design and character elements of the General Plan, the appropriate character area plan, all applicable city-wide master plans, the zoning ordinance development standards, the Design Standards and Policies Manual, all applicable city-wide design guidelines, and the appropriate Master Environmental Design Concept Plan.

Our Response:

The General Plan / Downtown Zoning classification allows for higher residential densities in a mixed-use setting to encourage an urban lifestyle and appropriate balance of land uses with a rich pedestrian environment. This proposal is for 130 units on 2.60 acres. The property currently includes several older commercial office buildings and surface parking lots. The site is surrounded by a variety of retail, live/work, entertainment, residential, employment and service related business and is within close proximity of two of Scottsdale's largest employers, Honor Health and the City of Scottsdale. Additionally, this property is located approximately one-quarter mile west of Scottsdale Road a major north-south arterial with nearby access to public transportation and is only 2.5 miles away from Loop 101, both of which provide regional access. This site is ideally situated in a Downtown setting that offers all ingredients for urban residential development in a mixed-use setting. Within the design is compliance with the design and character elements of the General Plan. Compliance with the zoning ordinance development standards, the Design Standards and Policies Manual are all an important role of this project. See Old Town Scottsdale Urban Design and Architectural Guidelines in section 5 of this document.

2. Architectural Character, Landscaping, and Site Design

Explain how the proposed development has been designed so that it:
Promotes a desirable relationship of structures to one another, to open spaces and topography, both on the site and in the surrounding neighborhood; Avoids excessive variety and monotonous repetition; Recognizes the unique climatic and other environmental factors of this region to respond to the Sonoran Desert environment, as specified in the Sensitive Design Principles; Incorporates unique or characteristic architectural features, including building height, size, shape, color, texture, setback, or architectural details, in the Historic Property Overlay District.

Our Response:

The development incorporates to the north (Main Street), west (69th street) and south sides (1st Street), a connection to the public street that engages the exterior space, by opening up to expansive patios from every unit or townhome

on the ground floor. Gathering spaces are pushed to the front of every unit to activate the public edge. The multi-family building lobby, through glass transparency also engages 69th street with activity. This creates and promotes pedestrian relationship to open space while working with existing sidewalk topography to allow for a barrier free connection.

Along the street sides of Main Street and 69th street the design is broken up into pedestrian scale elements that are unified by a strong base to the site. The building mass also incorporates expressed strong vertical architectural frames and overhangs to create relieve, depth and shade – that as incorporated into the design will also reduce the scale of the building and provide visual interest. Overhangs serve as large balcony spaces extending the interior life of the units out towards the sidewalks, which intern offer visual as well as audible connection to the street. Instead of solid walls and a continuous massive wall, the main expression of the multi-family building along Main Street and 69th Street are large outdoor deep set balconies with transparent glazing which will animate the façade. The design incorporates a unique and dynamic architectural features within the building height that vary in size, material, geometric shape, color and texture. Architectural details of railing, street stoops, paving transitions and strong native landscape palette give the design both a contextual feeling and a link to progressive southwestern character.

For the multi-family units, the second floor units are designed to create three courtyard spaces. These amenity decks are arranged to create ‘private patio spaces’ facing the alley, which articulates mass with relief and layering of landscape, screening elements, and unit enclosure. This unique design offers a layer of transparency, to allow the interior life of the third and fourth floor units to engage a strong visual connection to green spaces within the site. This design also utilizes the unique climatic by shading the occupied spaces, layering of materials which have a direct response to heat and solar environmental factors of this region. Layering of materials providing shade are also in direct response to our Sonoran Desert environment. Water features at these areas will reinforce a calm, relaxing feel as well as acoustical reprieve. The sound of water will add interest and curiosity. Utilizing a sculpted landscaped strategy, these masses will be articulated in form and textured in material.

For the townhouses to the south, the ground floor offers depth, patios, planting and glazing which will engage the public sidewalk and liven the streetscape. The use of shade and shadow by virtue of the building’s façade will also add interest while not using the same façade on all 9 units. Variation in façade is key to the makeup of the street and block as a whole.

Site responsible landscaping and materials will provide a comfortable pedestrian scale by incorporating natural shading elements, and pathways that provide a unique blend of texture and filtered light up against building materials that introduce a level of transparency.

3. Ingress, Egress, On-Site Circulation, Parking, and Pedestrians

Describe how the site layout of the proposed development has been designed to promote safety and convenience, relative to ingress, egress, internal traffic circulation, off-street parking facilities, loading and service areas, and pedestrian ways.

Our Response:

The Site Layout incorporates Main Street, west 69th street and south sides 1st Street, and alley to the south. A new auto connection to the Main Street separates the main occupant living parking spaces from the visitor and service areas off the alley. This entrance allows for direct access to the underground parking area. This helps reduce the amount of auto traffic from the alley to the south. This separation promotes safety and convenience for all.

The alley also incorporates an efficient refuse collection and service area for the building. With this separation pedestrian circulation is allowed within the building to access offices and lobbies for upper levels.

4. Mechanical and Utility Equipment

Describe how the proposed development will locate mechanical equipment, appurtenances, and utilities so that these elements will not conflict with street frontage open space, pedestrian amenities, resident amenities, landscape features, or on-site circulation, and has utilized screening devices that are integral to the design of the building, in order to screen mechanical equipment, appurtenances and utilities.

Our Response:

Scottsdale Residences will completely screen all roof top mechanical systems with a 5' parapet as allowed by City of Scottsdale ordinance. Other equipment will either be placed within the lower level garage or behind architectural screens off the alley. These appurtenances do not conflict with pedestrian paths, resident amenities of landscape features.

5. Old Town Scottsdale

If the development proposal is within Old Town Scottsdale, specify through narrative and graphical exhibits how the proposal is in conformance with the Old Town Scottsdale Urban Design and Architectural Guidelines.

Old Town Scottsdale Character

The Downtown Multiple Use Type 2 category supports a variety of major employment and service related uses including, but not limited to, multiple story residential, office, commercial retail, and support services consistent with the intensity of uses which are typically found in the Downtown Scottsdale. Additionally, revitalizing and redeveloping older properties is a critical part of the economic vitality of the community as it matures. Thus, the proposed and future redevelopment of the site is essential for the continuing economic growth and sustainability of the city as a whole.



New street edge along Main Street

The proposed D/DMU-2 DO zoning district is consistent with the General Plan/Downtown Plan land use designation for the subject Property. The Downtown Plan's goals and policies which relate specifically to the proposed Development Plan for subject Property are identified as follows:

1. Land Use
2. Character and Design
3. Mobility
4. Economic Vitality

5. a. Land Use

Goal LU 1

Maintain Old Town Scottsdale as the commercial, cultural, civic, and symbolic center of the community.

Policy LU 1.3

Maintain Old Town as a year-round, seven days a week, 18-hour Mixed-Use Neighborhood that supports the needs of Scottsdale's residents, businesses and visitors.

Our response:

The proposed urban residential development will further strengthen Downtown's urban environment and 24-hour mixed-use character by integrating additional rooftops into the urban core where there is established commercial, entertainment, cultural and employment land uses. Note Character & Design Goal 1 (and subsequent goals & policies) below regarding the specific design elements that will create a vibrant, interactive urban development on the Property.

Goal LU 2

Encourage the development of Old Town as a collection of mixed land uses and districts.

Policy LU 2.1

Encourage new development, redevelopment, and infill projects to enhance the Downtown Core as a specialty retail and regional tourist destination. The Downtown Core is comprised of the lowest intensity of development (Type 1). The small lot development pattern and active ground level land uses in the Downtown Core are some of the primary elements that give Old Town its most identifiable character.

Policy LU 2.2

Maintain, enhance, and expand the development of the Downtown Civic Center with land uses consisting of Old Town's primary public open space.

Our response:

The rezoning request is for an assemblage of parcels in Downtown Scottsdale immediately surrounded by a variety of land uses: the Valley Ho hotel to the west, Old Town Tortilla Factory, the House Brasserie, Grazie Pizzeria & Wine Bar to the north, Prestige Cleaners, Cornish Pasty and numerous galleries to the east, and the Eldorado on 1st residential development to the south.

D/DMU-2 DO zoning has permitted for residential development on the property by allowing more urban development standards than what is currently allowed under previous C-2 and P-2 zoning categories. The property is located west of Goldwater Boulevard and Scottsdale Road (a major north-south arterial roadway)

and 2.5 miles west of the Loop 101, both of which provide regional access. The location of the proposed residential development will lend itself to various modes of transportation, such as by foot, bicycle and/or trolley as the property is located near numerous cultural opportunities, art galleries, retail, restaurants and the City of Scottsdale civic complex (offices, library, and museum). Additionally, the Indian Bend Wash (a multi-use path network) is located approximately 1 mile from the site.

Policy LU 2.5

Maintain, enhance, and expand the development of a Downtown Regional area with primary land uses consisting of regional/ community serving commercial uses, as well as larger scale housing and office developments. Located north of the Arizona Canal and centered around major regional and community destination. The greatest intensity of Old Town development may be accommodated in Downtown Regional Type 3.

Our response:

Redevelopment of this property will build on the City's goal of strengthening Downtown's mix of uses and activities. This project will bring 130 residences (both multi-family units and townhomes) to the heart of Downtown on a site that is within close proximity to cultural opportunities, a range of restaurants and retail, transportation corridors and major employers such as Honor Health and City of Scottsdale.

Goal LU 6

Encourage a mix of land uses to support a walkable and sustainable Downtown.

Policy LU 6.1

Encourage development to provide a mix of uses and active street frontages, particularly in the Downtown Core, along Scottsdale Road, adjacent to primary open space areas and within the more active Old Town districts.

Our response:

The Scottsdale Residences development provides an urban residential living experience with onsite amenities and a lifestyle that integrates with the existing Downtown fabric and collection of entertainment, arts, employment, retail, and support services contributing towards the variety of housing options available to the residents of Scottsdale and creating a sense of community. The multi-family units will range from 502 sf to 1,558 sf and townhome units will range from approximately 2,300 sf to 3,000 sf providing two different lifestyle options and price points for future residents. The second level of the multi-family building will include a private pool, three outdoor common spaces with a yoga platform, a clubhouse with bar area, a fitness area, and a roof terrace for the residents. The multi-family units will each have a private outdoor living space/balcony while the townhomes will have private yard spaces between the living unit and garage and the option for roof top patio spaces. Notably, the private outdoor living spaces for the fourth floor multi-family units and townhomes will far

surpass the City's requirement of 60 sf with most private spaces exceeding 300 sf.

Goal LU 6.2

Support downtown sustainability by encouraging vertical mixed-use development with land uses near one another.

Policy LU 6.3

Encourage development to make use of existing urban resources such as infrastructure systems, under-utilized sites, buildings, and transportation networks.

Our response:

The redevelopment of this site from a collection of aging commercial buildings to a vibrant, urban residential development will bring housing and synergy to the western segment of Downtown Scottsdale utilizing existing infrastructure systems and transportation networks that run near and adjacent to the property.

5. b. Character and Design

Goal CD 1

Strengthen and enhance Old Town district character with contextually compatible development.

Policy CD 1.1

Incorporate the distinctive qualities and character of the surrounding, and/ or evolving district context into building and site design.

Policy CD 1.2

Encourage public and private development to establish new urban design and architectural character in areas where downtown development patterns are fragmented or are in transition.

Policy CD 1.4

Protect prominent historic resources and promote innovative new development that respectfully coexists with the character and context of these historic assets.

Policy CD 1.5

Maintain the pedestrian oriented small town character and human scale in the Downtown Core. Incorporate similar elements of pedestrian character and scale at the street level in all downtown districts.

Our response:

Below is a detailed summary of the development which addresses the Character & Design considerations in the Old Town Scottsdale Character Area Plan. Also see pages 6-8 above for more design details regarding the pedestrian realm and

human scale elements.

The Multi-family Residence Building Design:

The Scottsdale Residence project is a 121 unit, 4-story building with 3 stories of units over a ground floor that consists of 18 units with direct pedestrian access to the sidewalk, lobby, second floor amenity spaces, and covered parking. The amenities are predominately concentrated on the second floor facing south towards the alley. Parking entries are only from the alley-side eliminating curb cuts along Main Street and 69th Street further enhancing the pedestrian realm. Queuing space in the alley will also alleviate the potential for traffic congestion.

Elimination of curb cuts on Main Street also allows patrons to walk at ease in the east-west direction, not worrying about ground level plane changes and focusing on the streetscape trees, streetlights and overall Downtown experience. This was a key goal as removing curb cuts restores the patron walking experience and reaffirms the walking connection between the Valley Ho resort and Downtown.

Breaking-down the Mass

The Scottsdale Residence development along Main Street will be a transitional project mediating between the fine-grain, layered developments on Main Street east of the site and the larger scale development of the Valley Ho resort to the west. In order to address this dichotomy and articulate a human-scale to the massing, the building utilizes two strategies:

On the Street

Ground floor 1-story units, bicycle parking, and 35 extra covered parking spaces are pushed up against the alley, creating private 'urban patio spaces' along Main Street, articulates smaller massing with relief and layering of landscape, screening elements, and unit enclosure. Offering a layer of transparency, these urban patio spaces will allow the interior life of the ground floor units to expand to the street. Perforated steel screening elements in conformance with City guidelines will be added to these areas for visual as well as acoustical reprieve. The sound of water on the second floor amenity decks will add interest and curiosity. Utilizing a sculpted strategy, these masses will be heavily articulated in form and textured in material. This approach begins to address the Scottsdale's requirement for variation of expression on the street.

Elevated Mass

The building on levels 2-4 is a much simpler mass utilizing a layered strategy with extensive zones of transparency between indoor and outdoor spaces. Units are elongated in the north-south direction where bedrooms and all major living spaces can have direct connection to panoramic views and natural light. Through transparency, these shallow units start to bring the inner life of the unit closer to the edge of the project and to the street. The fourth floor balcony spaces will be designed as outdoor 'rooms' large enough for furniture and flexible

programming to allow for indoor/outdoor living space. The balconies further help to create large zones of relief along the street addressing the City's requirement for street articulation.

Both massing strategies will utilize tactile materials of a desert color palette. The focus will be on the quality and detailing of a reduced palette versus an over-abundant material selection. Material will be left in their natural state allowing them to naturally change sunlight and shadow change over the course of the day while weathering better over longer periods of time.

Four-Sided Architecture

Each side of the Scottsdale Residences project is designed to respond to its particular urban, environmental and programmatic orientation. This is not a project with a singular front façade or a service back-of-house area. Strategies for each of the exposure include:

(North Elevation)

The main mass of the building is pushed south on the site against the alley and elongated in the east-west orientation to maximize good solar orientation and views north to Camelback Mountain. Units along the north side of the building are also elongated in the north-south direction where they can have maximum panoramic views and connection to Main Street. Deep balconies on level 4 off of each unit create large amount of livable outdoor space where the interior life of each unit can extend out and activate this north façade.

The edges of balconies extend to the building set back line on floors 2 and 3 with large framed architectural elements oriented in patterns behind that setback. This strategy further addresses the City's requirement for articulation along the street. On the 4th floor, both the balcony edge and building enclosure steps back further beyond the distance than the lower floors in order to address the City's step-back requirement.

Sunlight will be an active component within the units penetrating deep within the recessed spaces and changing through the day and season.

At the ground floor, the entire zone between curb, setback distance, and private urban patio space at each unit is designed as a unified expression layering landscape, hardscape and screening material. The screening material at the urban patio spaces will offer privacy with some level of transparency creating an indoor-outdoor connection between the unit and sidewalk. Integrated together, the building mass and landscape will offer dappled shade along the entire length of sidewalk at Main Street.

The lobby is located towards the North West corner of the building. The lobby is a 2-story space that will function as a flexible event and gathering space for residents. Through transparency and operable direct connection to the second floor amenity decks, this event space can spill-out outdoors, activating the sidewalk along 69th Street. The transparency in combination with lighting will

accentuate the user experience as well as provide interest to the passer-by while also giving a sense of security. The lobby is an amenity that will also incorporate art, seating and lighting to provide a luxurious experience for residents.

(South Elevation)

Massing along the southern edge from level 2-4 steps back significantly for a majority of site in order to provide relief from the alley and the townhouse project. This design also provides desired solar exposure for the pool area and three amenities on the alley-side of the 2nd floor.

Unit geometry and relationship to outdoor space are the same as those along the north elevation.

Extensive planting areas on the second floor amenity decks along the south elevation becomes the main amenity program space and also serves as a large usable space for south-facing units on the second floor. The southern side of the project takes on a hidden 'garden-side' immersing those units and amenity space in a rich landscape. This becomes a distinguishing factor for these units compared to those on the north which are more directly connected to Main Street.

The plant palette will consist of low-water use native species. Planting and landscape on this amenity floor become an important component at the southern façade. This landscape extends vertically in planters on the floors above. The landscape helps shade the building along the south and creates a visual amenity for all adjacent properties.

Amenities along the planted garden spaces including a fitness space with an indoor and outdoor component, yoga platform, and flexible clubhouse with bar area that can also expand to the outside pool with its lounge area.

The 61 covered parking spaces at grade and the 131 underground parking spaces are accessed through the alley. The alley is 20 feet wide in order to accommodate maneuvering in and out of the covered parking. The large amount of parking provides more than the City of Scottsdale requires for parking. This building will bring 33 extra parking spaces to the site and has the potential to relieve congestion of limited parking in this neighborhood. The visual rhythm of garage doors will also add visual interest to the alley as opposed to seeing an opened, slightly screened parking garage. The larger shared garage will have quick coiling doors and a call box to reduce wait times. Parking stall dimension and overall parking count meets and exceeds the minimum standards set forth by Scottsdale.

Transformers will be situated along the south west side of the building for access towards the alley but will be screened from view along 69th Street with vegetation and 8' tall enclosed perforated screens. Existing overhead electrical lines will be re-routed underground and meters will be located inside of the covered parking away from main pedestrian circulation routes.

Expanding on this neighborhood's precedent for alley activation, the alley will connect the two projects. Residents from both projects will be able to utilize the alley as a pedestrian connection between the two sites as well as to the rest of the area. Landscape on the podium of the multi-family building as well as portions of the townhomes will be visible and spill over the edge toward the ally. The garage doors of both projects will provide transparency and further articulation.

(West Elevation)

As the other major façade of the project connected to the street, the west edge utilizes all of the same strategies as the north edge.

The lobby, second floor pool deck, fitness center, and clubhouse with bar area will reinforce the pedestrian activity along the west edge of the building. Landscape along 69th Street and private urban patio spaces at these west facing units will soften the massing of the building to enhance a visual and inviting feel to the adjacent properties.

(East Elevation)

The east edge of the building is a mixture of strategies employed along the west and south. The elevation is 4 stories with similar varied articulation as the west façade. The first floor is recessed to minimize the massing of the building but also to allow safe passage for visibility when entering into the alley. At the fourth floor, the remaining portion of the building mass steps back at the north east corner of the building. This will allow undisturbed views from the fourth floor balconies towards Downtown Scottsdale.

The trash enclosure will be positioned near the south east side of the site allowing easy access for trash pick-ups without interfering with pedestrian focused areas.

Townhome Design

The series of townhomes will be located on the southerly portion of the site, facing 1st Street. Nine (9) townhomes will be developed as fee-simple properties of approximately 25' in width (east-west direction), and 130' in length (north-south). Building setback boundaries, step back plane, and development requirements are in compliance with standards set forth in the City's Code for fee-simple lots. Each townhome consists of 2 levels (approximately 12' floor to floor heights), with roof access by means of exterior stair, or enclosed stair leading to roof top penthouse and private deck area. Each unit will include a 2-car garage that is accessed off of the alley located at the center of the block development between Main Street and 1st Street. All 9 townhome units will include a private exterior courtyard between the Townhome proper and the detached Garage. Expansive ground level patios at the front of each unit will face 1st street, with screening elements and appropriate landscaping framing

the entry into each individual unit. Refuse services for each unit will be accessed off of the alley adjacent to the garage entries.

Entries off 1st Street

Pedestrian and main entry to each townhome unit off of 1st street, is provided by a series of reliefs and projections of porch-like patios that inter-mix with contextual landscaping elements. Walk up slabs will also be used to elevate the entry into the front door of each townhouse. Connection to the urban fabric already present along the street edge provides pedestrians with a comfortable path with appropriate scale, similar to the Eldorado development across 1st Street. Landscaping elements that provide layers of screening and transparency help to provide the units with a sense of privacy, while still connecting them to the pedestrian edge of their property.

Material Palette

Exterior materials of the townhomes responds elegantly to the desert vernacular of the site, representing textures that layer and build upon one another. Exterior patios seamlessly blend into interior living spaces, with glazing that is easily pulled away to make two spaces become one. Warm accents of wood for flooring, screening elements and ceiling accents help to unify spaces. Light is brought into interior spaces with carefully placed glazing that responds to unique lighting opportunities within, while respecting harsh realities of the desert sun in warmer months. Shading elements at exterior patios help to construct relief and projections at the façade, while creating shade and comfort for interior spaces.

Outdoor Space

Balconies at the second floor are presented to the street side of the unit (along 1st Street), activating the public edge of the development and taking in the views of housing and the mix uses currently being developed. Penthouse spaces at the 3rd floor of many of the units provide views of the Downtown, stimulating another level of activity at this height.

Goal CD 2

Development should sensitively transition in scale, height, and intensity at the Old Town boundary and between different development types.

Policy CD 2.1

The scale of existing development adjacent to the Old Town boundary should be acknowledged and respected through a sensitive edge transition buffer. This buffer, established on a location specific basis, may include transitional development types, landscape buffers, and/or sensitive architectural design solutions to mitigate the larger building mass and height of downtown development.

Our response:

See design summary above under Goal CD 1.

Goal CD 3

Downtown development should respect and respond to the unique climate and context of the southwestern Sonoran desert.

Policy CD 3.2

Enhance outdoor pedestrian comfort through microclimate design that incorporates a variety of shade, trees, and other drought tolerant landscape features to create passively cooler temperatures.

Policy CD 3.4

Public realm and site design should incorporate techniques for efficient water use. Water, as a landscape element or design feature, should be used judiciously and placed in locations with high pedestrian activity.

Our response:

The landscape character of the proposed residential community is that of ornamental desert design with a variety of plants that will provide year-round color, shade, and texture for the site. The proposed plant palette incorporates hardy plants known to thrive in the heat and sun of the desert climate. Plant selection and intentional planting design will allow the development to use water efficiently throughout the site. The proposed planting design limits lush and dense planting patterns to areas with the most human interaction such as entries, amenity areas and pedestrian areas.

Goal CD 4

Create a dynamic and connected walkable downtown through urban and architectural design.

Policy CD 4.1

Encourage urban and architectural design that is human scale and provides pedestrian comfort.

Policy CD 4.3

Improve the pedestrian experience on arterial roadways with features such as increased and consistent sidewalk width, shade, trees, on-street parking, landscape buffers, landscape medians, and pedestrian refuge islands.

Our response:

Pedestrian circulation along both the perimeter and internal alleyway to the residential community is an important feature of this Downtown project, as numerous retail, restaurant, entertainment, and cultural uses are within walking distances from this site. Special consideration is given to the ground level

building/pedestrian interface including direct unit access and outdoor living spaces along the street edges to encourage safe walkability and street interaction.

Goal CD 5

Establish an inviting and interconnected downtown public realm and open space network that is useful, safe, interesting, walkable, and comfortable to all.

Policy CD 5.1

Provide high-quality, multi-functional open space areas within Old Town that include central gathering places, a series of smaller, intimate spaces, as well as active and passive recreational use opportunities.

Policy CD 5.2

Private and public development should contribute to the creation of new, and/or the expansion of existing, public realm and open space areas throughout Old Town.

Policy CD 5.3

Provide a variety of public realm and open space areas that accommodate multiple activities and special events for downtown residents, visitors and workers of all ages.

Our response:

These practices will enrich the pedestrian experience on the streets and encourage the use of the sidewalks to get from one destination to the next. Direct pedestrian access from the ground level multi-family units as well as the townhomes will allow residents to immediately engage the pathways providing for a more urban living experience.

Goal CD 6

Create safe, comfortable, and interesting street spaces.

Policy CD 6.1

Create a unified public realm experience through the design of downtown streets, building setback areas, and building frontages.

Policy CD 6.2

Connect downtown street spaces with other pedestrian spaces and linkages.

Our response:

The proposed plant materials palette complements the evolving character of the urban built environment surrounding the site. Incorporating sculptural plantings will create more attractive and inviting spaces for pedestrians and will provide an appropriate balance/ transition between the urban hardscape and proposed residential development.

Goal CD 9

Implement high quality urban and architectural design in Old Town.

Policy CD 9.2

Incorporate the “Scottsdale Sensitive Design Principles” and the Old Town Urban Design and Architectural Guidelines in all development.

Policy CD 9.3

Achieve high quality urban and architectural design through the development review process.

Policy CD 9.4

Integrate art into downtown urban design and architecture.

Our response:

The development will promote the Scottsdale Sensitive Design Principles and comply with the applicable Downtown Urban Design & Architectural Guidelines. Taking cues from modern architectural design, indigenous building materials and native landscaping materials that were approved with more recent developments such as The Douglas located at 69th & 1st Avenue to the north and Eldorado on 1st located at 69th & 1st Street to the south, Scottsdale Residences will provide a pedestrian-oriented urban environment with a modern, contemporary vibe. Complementary textures, colors and plant varieties will create strong aesthetic connections between existing and newly constructed developments while still maintaining a unique and identifiable character.

The owner will provide a funding of 1% (of their building’s total valuation) that will be dedicated towards an art program. The building will also incorporate artistic guard railings at the ground level that will give an artistic architectural expression along the sidewalk. By integrating artistic railing panels at the patio spaces, this gives each ground unit its own identity and character.

Goal CD 9

Development should incorporate sustainable building practices and products.

Policy CD 9.1

Development should strive to incorporate sustainable planning, design strategies, building techniques, and the use of durable indigenous materials, to minimize environmental and maintenance impacts, and endure over time.

Policy CD 9.2

Encourage green building design strategies such as building orientation, passive solar response, natural day lighting, passive cooling techniques, and the integration of regional plant materials.

Policy CD 9.3

Promote the use of energy efficient systems, construction methods, and alternative energy sources.

Our response:

Sustainable strategies and building techniques, which minimize environmental impact and reduce energy consumption, will be emphasized. The developer intends to incorporate sustainable design elements into the building design and plans to develop in accordance with green building standards where feasible.

5. c. Mobility

Goal M 1

Develop complete streets through public and private infrastructure investments and improvements.

Policy M 1.1

Maintain a well-connected downtown circulation grid, comprised of complete streets that are designed and operated of complete streets that are designed and operated to enable safe access for all users, including pedestrians, bicyclists, motorists and transit riders of all ages and abilities.

Policy M 1.2

Provide pedestrian and bicycle facilities within large projects and connect them to adjacent and connect them to adjacent development and the greater downtown circulation system.

Our response:

See CD Goals and Policies above and Goal M 2 below.

The proposed residential community will provide a comfortable and safe streetscape with adequate access, shade and visibility. These practices will enrich the pedestrian experience on the streets and encourage the use of the sidewalks to get from one destination to the next and enjoy the mixed-use character of Downtown.

Goal M 2

Create complete, comfortable, and attractive pedestrian circulation systems.

Policy M 2.1

Design the public realm to include wide sidewalks that accommodate meeting and passing other pedestrians, queuing, pedestrian waiting areas, street furniture, pocket parks, patio areas and other desired levels of activity.

Our response:

The sidewalk improvements combined with well-placed street trees, ground cover, and native vegetation will generate a more comfortable and inviting pedestrian space along the streetscape. This will allow use of the site's circulation system regardless of solar orientation. Direct pedestrian access from ground level will allow residents to immediately engage the pathways. Successful Downtown revitalization and redevelopment focuses on creating synergy as a result of mixed-use development, both horizontally and vertically, and quality pedestrian level design and linkages. One of the primary draws to creating this quality pedestrian environment is locating residential in the Downtown core. The range of surrounding land uses coupled with the pedestrian enhancements noted above will increase foot traffic in, out, and around this site as well as throughout Downtown.

The proposed design creates a 6' wide planter along the curb of the street, followed by an 8' wide sidewalk, a 3' wide planter, and a minimum 6' deep patio space (equaling minimum 60 SF). By positioning the sidewalk inward from the street and having both sides of the walk surrounded by planters, this would push pedestrian activity closer to the building to create a safer and shaded experience.

In accordance to the City Ordinance, the project will ensure that the design will comply with the shaded sidewalk requirements. Along 69th Street and Main Street, street trees are planted along the sidewalk to provide shade for pedestrians along the path. At Main Street, the orientation of the building will naturally shade the sidewalk around the evening hours with its four-story mass. The entrance at the north side of the site will be addressed with a 7' long shade canopy that will be cantilevered off the building.

Additionally, by internalizing the parking with access predominately off Main Street and minor off the alley, the site design has reinforced the ideas of alternative means of transportation.

Direct access from ground level units to the streets and sidewalk connections encourages residents to engage the community.

6. Location of Artwork

Cultural Improvement Program or Public Art Program proposed location of artwork complies with the following criteria:

Accessible by the public; Location near pedestrian circulation routes consistent with existing or future development or natural features; Location near the primary pedestrian or vehicular entrance of a development; Location in conformance with the Design Standards and Policies Manual for locations affecting existing utilities, public utility easements, and vehicular sight distance requirements; and Location in conformance to standards for public safety.

Our response:

Pedestrian activity along the street edge enhances the experience and feel of Scottsdale’s residential culture. Intimate patio spaces accompanied with lush landscape and shaded pathways reflects the atmosphere found in Downtown Scottsdale to incorporate art into the building and landscape. The owner will provide a funding of 1% (of their building’s total valuation) that will be dedicated towards an art program. The artwork will be completely accessible to the public via pedestrian connections open 24 hrs a day. The building will incorporate artistic guard railings at the ground level that will give an artistic architectural expression along the sidewalk. By integrating artistic railing panels at the patio spaces, this gives each ground unit its own identity and character. Upper mural wall areas near pool will also incorporate art visible to the public.



4. Scottsdale Sensitive Design Program

The Character and Design Element of the General Plan states that “Development

should respect and enhance the unique climate, topography, vegetation and historical context of Scottsdale's Sonoran desert environment, all of which are considered amenities that help sustain our community and its quality of life.” The City has established a set of design principles, known as the Scottsdale’s Sensitive Design Principles, to reinforce the quality of design in our community. The following Sensitive Design Principles are fundamental to the design and development of the Property.

4.1 The design character of any area should be enhanced and strengthened by new development.

Our response:

The contemporary building character is complementary to the surrounding development including several newer projects in the area such as The Standard at Valley Ho, Eldorado on 1st, and the Douglas. The proposed development will utilize a variety of desert appropriate textures and building finishes, incorporate architectural elements that provide solar shading and overhangs, and celebrate the Southwestern climate by creating large outdoor living spaces for each unit and common amenities for its residents.

4.2 Development, through appropriate siting and orientation of buildings, should recognize and preserve established major vistas, as well as protect natural features.

Our response:

Although the setting of this Downtown site is urban in character and does not have natural features such as washes and natural area open space, the developer has taken special consideration in providing interaction with the streetscape via large private living spaces for the residents (approx. 300+ s.f.).

4.3 Development should be sensitive to existing topography and landscaping.

Our response:

The property is a Downtown redevelopment site. All landscaping will consist of low-water use desert appropriate landscaping materials. The current topography of the site is flat and therefore will be maintained.

4.4 Development should protect the character of the Sonoran Desert by preserving and restoring natural habitats and ecological processes.

Our response:

The proposed redevelopment will preserve and restore natural habitats and ecological processes through the inclusion of additional desert appropriate

landscaping as well as integration of native plants. Additional landscaping will contribute to the urban habitat for wildlife and improved air quality. Also, desert appropriate plants will be able to withstand the variations of the local climate and as they mature they will become self-sustaining relative to water demand.

4.5 The design of the public realm, including streetscapes, parks, plazas and civic amenities, is an opportunity to provide identity to the community and to convey its design expectations.

Our response:

Pedestrian circulation along both the perimeter and through the alleyway is an important feature of this Downtown project, as numerous retail, live/work, cultural, restaurant, resort/hotel, and entertainment uses are within walking distances from this site.

4.6 Developments should integrate alternative modes of transportation, including bicycles and bus access, within the pedestrian network that encourage social contact and interaction within the community.

Our response:

The property is within walking distance to an established Downtown core with a range of land uses and also within close proximity to major employers, such as Honor Health and City of Scottsdale. As such, the site plan has been designed with an emphasis on a pedestrian network enhancing the connectivity land use goals for this area. Developing housing in Downtown with established transportation options reduces the number and distance of automobile trips and improves air quality, thereby enhancing the quality of life for surrounding residents.

4.7 Development should show consideration for the pedestrian by providing landscaping and shading elements as well as inviting access connections to adjacent developments.

Our response:

The proposed development will incorporate design elements that respect human-scale, providing shade and shelter through building, site and landscape design.

4.8 Buildings should be designed with a logical hierarchy of masses.



Our response:

Variation in massing, proportion, material contrast, and architectural detailing will be provided with the two product types (multi-family units and townhomes) establishing a natural hierarchy. The proposed development also provides continuity between the newly proposed and existing architecture in the surrounding area, providing contextually appropriate redevelopment and visual fluidity along the street frontages with setbacks and step backs that respect the Downtown Ordinance and integrate well the existing urban context.

4.9 The design of the built environment should respond to the desert environment.

Our response:

The proposed development will utilize a variety of desert appropriate textures and building finishes, incorporate architectural elements that provide solar shading and overhangs, and celebrate the Southwest climate by creating large outdoor living spaces and amenities for its residents.

4.10 Developments should strive to incorporate sustainable and healthy building practices and products.

Our response:

Sustainable strategies and building techniques, which minimize environmental impact and reduce energy consumption, will be emphasized. The developer intends to incorporate sustainable design elements into the building design and plans to develop in accordance with green building standards where feasible.

4.11 Landscape design should respond to the desert environment by utilizing a variety of mature landscape materials indigenous to the arid region.

Our response:

Context appropriate, mature arid-region plant materials will be utilized with the redevelopment of the property. The desert character will be upheld through the careful selection of plant materials in terms of scale, density, and arrangement.

4.12 Site design should incorporate techniques for efficient water use by providing desert adapted landscaping and preserving native plants.

Our response:

The proposed development will maintain a low-water use plant palette (see Landscape Plan for specific plant materials). Context appropriate desert plant

materials will be utilized with the development of the Property, consistent with the established vegetative pattern found throughout Downtown.

4.13 Signage should consider the distinctive qualities and character of the surrounding context in terms of size, color, location and illumination.

Our response:

Project identification will be contextually appropriate and processed under a separate approval and permit process

5. Design Standards and Polices Manual

This project conforms to all Scottsdale Design Standards as approved during zoning case. See Section 3 above for individual descriptions of applicable items.

6. Old Town Scottsdale Urban Design and Architectural Guidelines

See Old Town / Development Review Board Criteria section complying with Downtown area for responses. See Section 3 for criteria

7. MAG Supplements

Civil Engineering will comply with all required MAG standards as prescribed by City of Scottsdale.

8. Lighting Design Guidelines

Lighting Design for this project provide multiple layers of appropriate design illumination. The extent and quality of lighting will be integrally designed as part of the built environment. Lighting is designed in a manner that is respectful of the surrounding context while maintaining safety for future residents and Downtown visitors and residents. Existing Main Street themed light poles will remain in place for street lighting. Existing transformer for these lights will be relocated into non pedestrian location. Landscape lighting is utilized to accent landscaping, is pointed away from property lines, and fixtures contain extension shields to minimize glare and light source visibility. Residence patios are illuminated with recessed fixtures that provide a soft glow that does not conflict with street lighting. Stairs to residences stoops are illuminated to allow

for visibility and circulation up the stairs to individual patios. With internal unit lighting the building will project a soft glow that we not be a distraction to nearby properties. The lighting is integrally designed as part of the building and reflects a balance of lighting needs with the contextual ambient light level and surrounding nighttime characteristics the area. The Lighting fixtures are incorporated to minimize glare, light trespass, energy conservation and to maintain dark skies.

9. Shading

The new sidewalk improvements as well as trees and shrubs, will create shade and a comfortable microclimate for the pedestrian. The building mass also incorporates shade elements expressed as strong vertical architectural frames and overhangs to create relieve, depth and shade – that as incorporated into the design will also reduce the scale of the building and provide visual interest. Overhangs serve as shade for large balcony spaces extending the interior life of the units out towards the sidewalks, which intern offer visual as well as audible connection to the street. Instead of solid walls and a continuous massive wall, the main expression of the multi-family building along Main Street and 69th Street are large outdoor deep set balconies with transparent glazing which will animate the façade. The design incorporates a unique and dynamic exterior architectural frames that within the building height that vary in size, material, geometric shape, color and texture. These elements act as both a horizontal overhang and a vertical fin to shade the building. Balconies provide shade to units below as units are stacked vertically. Architectural details of railing, street stoops, paving transitions and strong native landscape palette give the design both a contextual feeling and a link to progressive southwestern character. Heat avoidance is utilized as a key strategy for providing for comfort in summer months.

Shading for the multi-family units, the second floor units are designed to create three courtyard spaces. These amenity decks are arranged to create ‘private patio spaces’ facing the alley, which articulates mass with relief and layering of landscape, screening elements, and unit enclosure. This unique design offers a layer of transparency, to allow the interior life of the third and fourth floor units to engage a strong visual connection to green spaces within the site. This design also utilizes the unique climatic by shading the occupied spaces, layering of materials which have a direct response to heat and solar environmental factors of this region. Layering of materials providing shade are also in direct response to our Sonoran Desert environment. Water features at these areas will reinforce a calm, relaxing feel as well as acoustical reprieve. The sound of water will add interest and curiosity. Utilizing a sculpted landscaped strategy, these masses will be articulated in form and textured in material.

For the townhouses to the south, the ground floor offers depth, patios, planting and glazing which will engage the public sidewalk and liven the streetscape. The use of shade and shadow by virtue of the building’s façade will also add interest while not

using the same façade on all 9 units. Variation in façade is key to the makeup of the street and block as a whole.

See Shading Sections at balconies, windows and door drawings sheet that depicts conformance with Scottsdale Shading requirements. These are typical details that will be incorporated throughout project.



10. Conclusion

Downtown Scottsdale is a community where residents and visitors enjoy an enhanced standard and quality of life. The cultural amenities, shops, restaurants, resorts and range of employment opportunities found within Downtown contribute to Scottsdale's well-earned reputation as a premier destination and place to live, play and work. The assemblage and redevelopment of these parcels will play a meaningful role in the fabric of Scottsdale's Downtown by implementing the goals and policies set forth in both the General Plan and Downtown Plan. Main Street Scottsdale LLLP is dedicated to reinvesting in Downtown Scottsdale by creating a residential development that will continue to build upon the existing successful urban character in an evolving mixed-use core.

11. Property Development Standards for Scottsdale Residences (amended) October 2019 **(Revised January 15, 2020 – Townhome Portion of development)**

(south side of alley) shall comply with all standards of the Downtown “D” District, without amendment.

A. Maximums for building height, GFAR and density, are shown on Table A.1.

Table A.1 Building Height, Gross Floor Area Ratio (GFAR), Density Maximums				
Development Type	Building Height Maximum ⁽¹⁾	GFAR Maximum without Bonus(es)	GFAR Maximum with Bonus(es) ⁽²⁾	Density Maximum (per acre of gross lot area)
Downtown Multiple Use Type 2	66 feet	1.4	2.0	50 dwelling units
<p>Notes:</p> <ol style="list-style-type: none"> 1. Excludes roof top appurtenances: <ol style="list-style-type: none"> a. Maximum height for rooftop appurtenances 6'-0" b. Maximum coverage for rooftop appurtenances: 20% of rooftop c. Minimum setback for rooftop appurtenances: 15' feet from all sides of the building 2. See Sec. 6.1308.B. PBD 				
<p>Excerpt from Planned Block Development Overlay District (PBD), Sec. 6.1308. - Property development standards.</p>				
<p>B. Maximums for building height, GFAR and density, without bonuses, are shown on Table 6.1308.B.</p> <ol style="list-style-type: none"> 1. The Development Plan shall identify the building heights for each property within the PBD Overlay District. If the building height is not identified, the maximum building height for that property shall be the building height maximum set forth in Table 6.1308.B. for the applicable Downtown District development type. See Above 2. The Development Plan shall identify the GFAR for each property within the PBD Overlay District. If the GFAR is not identified in the Development Plan, the maximum GFAR for a property shall be 1.4. See Above 3. The Development Plan shall identify the density for each property within the PBD Overlay District. If the density is not identified in the Development Plan, the maximum density for that property shall be fifty (50) dwelling units per acre of gross lot area. See Above 				
<p>* See General Plan pages 5 thru 15 and Downtown Plan Guidelines pages 32 thru 34.</p>				

B. Setbacks from public streets, except alleys.

1. The minimum setback from public streets (except alleys) is shown in Table

B.1. The setback is measured from the back of curb.

Table B.1 Minimum Setback for Buildings Adjacent to Public Streets, except alleys	
Street	Minimum Building Setback
North Scottsdale Road in Type 1, Type 2 or Type 2.5 Areas	20 feet
All other public streets and public street segments in the Type 2 or Type 2.5 Areas	20 feet
Note: See the Downtown Plan Urban Design & Architectural Guidelines for Locations of the public streets and setbacks above.	

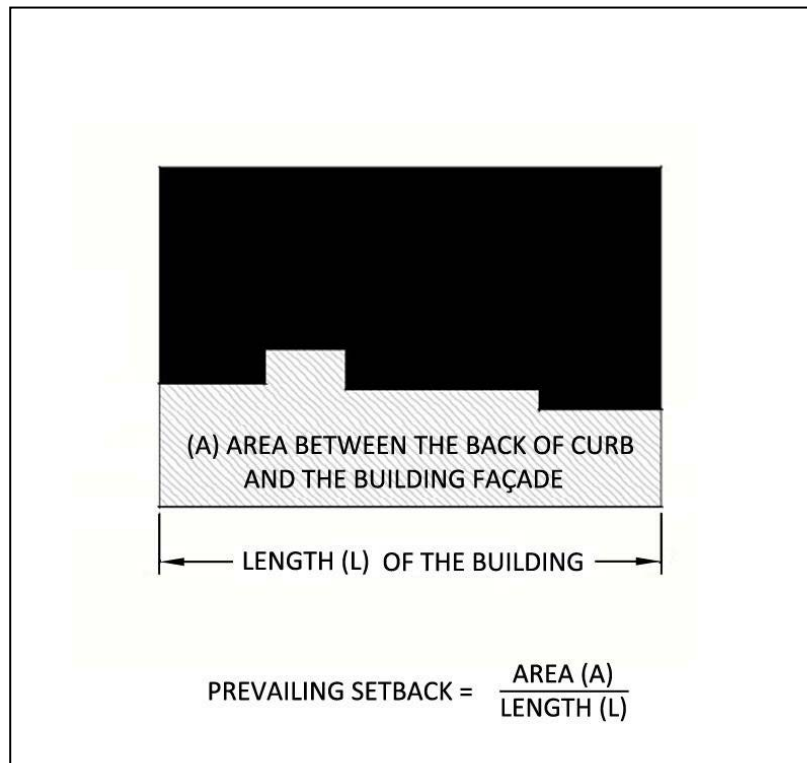
2. The adjustment of front yard requirements in Article VII. does not apply.

C. Building location.

1. In a Type 2 Area, a Type 2.5 Area, or a Type 3 Area, at least twenty-five (25) percent of the length of a building façade at grade and up to a height of thirty (30) feet shall be set back at least ten (10) additional feet.
2. In a Type 2 Area, a Type 2.5 Area, or a Type 3 Area, a building with a building façade length of two hundred (200) feet or more shall be located to achieve a prevailing setback shown in Table C.1. The building facades on a corner lot are calculated separately, and not added together.

Table C.1 Prevailing Setbacks for Buildings Adjacent to a Public Street (except alleys)	
Street	Prevailing Setback
All public street and public street segments	Between 25 and 35 Feet

2. The prevailing setback is equal to the area between the back of curb and the building facade, divided by the length of the building, as shown in Example C.2.



D. Private outdoor living space.

1. All dwelling units shall include private outdoor living space located beside the dwelling unit.
2. Each private outdoor living space shall be at least six (6) feet deep and sixty (60) square feet in area.

E. Stepbacks.

1. Property in a Type 2 Area:

- a. **Main Street:** The stepback plane shall incline at a ratio of 1:1, beginning ~~thirty (30)~~ **forty-five (45)** feet above (i) the minimum setback from the public street.
- b. **69th Street:** The stepback plane shall incline at a ratio of 1:1, beginning thirty (30) feet above the minimum setback from the public street. **For up to 25% of the building length along the street, the stepback plane shall begin forty-eight (48) feet above the minimum setback from the public street.**
- c. **East Property Line:** The stepback plane shall incline at a ratio of 1:1, beginning ~~thirty (30)~~ **forty-eight (48)** feet above the property line.
- d. No Stepbacks shall be required adjacent to the alleyway.

F. Exceptions to building location, setback, prevailing setback and stepback standards.

1. Except as provided in Subsection F.5. below, certain

exceptions to building location, setback and stepback standards are allowed if the Development Review Board finds the exceptions conform to:

- a. The Downtown Plan and Downtown Plan Urban Design & Architectural Guidelines; and
 - b. The sight distance requirements of the Design Standards and Policy Manual.
2. Subject to design approval by the Development Review Board, the following exceptions to building location, setback and stepback standards are allowed:
- a. A maximum of five (5) feet for cornices, eaves, parapets and fireplaces.
 - b. A maximum of seven (7) feet for canopies and other covers over sidewalks, balconies and terraces.
 - c. Balcony walls and railings with a maximum inside height of forty-five (45) inches.
 - d. Uncovered balconies, uncovered terraces, patios at and below grade, **and stoops along Main Street varying between one foot (1') and four feet (4') above adjacent grade, in accordance with development plan.**
 - e. Covered sidewalks and uncovered terraces directly above a sidewalk.
 - f. A maximum of three (3) feet for covered balconies.
3. Subject to design approval by the Development Review Board, in a Type 2 Area, a maximum fifteen (15) feet exception to stepback and setback standards above the first floor (not specified in F.2. above), is allowed for projections that:
- a. Are less than fifty (50) percent of the length of the segment of the building façade where the projections occur; and
 - b. Are less than thirty-three (33) percent of the surface area of the segment of the building façade where the projections occur.
4. Subject to design approval by the Development Review Board, an exception to the stepback standard is allowed for stairwells and elevator shafts.
5. Exceptions to setback or stepback standards are not allowed:
- a. To cross a property line; however, exceptions that encroach into the public street may be allowed, subject to the Scottsdale Revised Code.
 - b. To increase the maximum building height.

G. Shaded sidewalks.

1. The property owner shall provide shaded sidewalks that conform to the Downtown Plan Urban Design & Architectural Guidelines, subject to Development Review Board approval.

H. Signs.

1. The provisions of Article VIII. shall apply.

I. Off-street parking.

1. The provisions of Article IX. shall apply.
2. Vehicle parking is prohibited in the required setback specified in Table 5.3006.C.
3. The underground portion of a parking structure may be built to the property line.
4. A development with dwelling units that is required to provide:
 - a. Fifty (50) to two hundred (200) parking spaces for the dwelling units, shall provide at least ninety (90) percent of those parking spaces in a parking structure, podium parking, or tuck-under parking.
 - b. Two hundred one (201) or more parking spaces for the dwelling units, shall provide at least ninety (90) percent of those parking spaces in a parking structure, excluding podium parking and tuck- under parking.
5. The Development Review Board may approve an above-ground parking structure, podium parking and tuck-under parking adjacent to a public street if it finds that such parking conforms to the Downtown Plan and Downtown Plan Urban Design & Architectural Guidelines.

J. Landscaping.

1. The provisions of Article X. shall apply.



C Gallery in collaboration with Baron Properties & Haselden Construction propose a public art installation titled “Guest House” by Artist Charlene Falk.

Art in public spaces plays a distinguishing role in our country’s history and culture. It reflects and reveals our society, enhances meaning in our civic spaces, and adds uniqueness to our communities. Public art humanizes the built environment. It provides an intersection between past, present, and future between disciplines and ideas. Public art matters because our communities gain cultural, social, and economic value through public art.

Guest House is a narrative visual abstract work by Artist Charlene Falk in collaboration with Artist Jeffrey Lazos Ferns an Arizona Native. Falk inspired by the Poet Rumi and the Arizona ecosystem, past present and future, explores and captures our interconnectedness and interdependence with nature and humanity. The story is a visual narrative shared in universal iconography and prehistoric glyphs indigenous to the first people of the Sonoran Desert and Americas. The story begins with the element of water, as water is life in the desert, moves through the natural elements of sun, weather, flora & fauna, building community and rests with contemporary humans as reflected in the sculpture. The Scottsdale Residences plays an integral backdrop as both contemporary living spaces i.e.: “Guest Houses” and as a reflection and continuation of the human experience story. In this visual narrative we celebrate all the desert’s inhabitants living interdependent and in harmony with the Sonoran Desert for well over 25,000 years.

SCULPTURE:

- metal/Corten - (exact material to be confirmed)
- lighting either white or color illuminating the figures
- the figures represent all people
- the open arch metal powder coated in white representing spiritual arms, a doorway, opening or gateway



PRIVACY WALLS:

- metal/Corten

- lighting to create shadow at night on sidewalk or back lit

- each privacy wall depicts an indigenous symbol which supports the main Sculpture and the materials consistent with the Sculpture to create an overall story.

- 10 symbols including:

1. Suns Rays - Constancy

2. Teepee - Temporary Home

3. Four Directions

4. Paths Crossing

5. Water - Transformation

6. Life

7. 4 Stages of Life

8. Feather - Healing

9. Sky and - Leading to Happiness

10. Rattlesnake Jaw - Strength

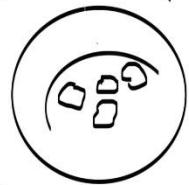


'GUEST HOUSE' - ARTIST
 CHARLONE
 FALK

ART INSTALLATION
 SCULPTURE & PRIVATE SCREENS
 STORYBOARD

RAIN
 EARTH
 WATER
 OCEAN
 RIVER
 TREE
 CACTUS
 AGAVE

RAIN EARTH	WATER OCEAN RIVER	SUN MOON STARS	FOUR DIRECTIONS	TREE CACTUS AGAVE	ANIMALS BIRDS	COMMUNITY FRIENDSHIP
---------------	-------------------------	----------------------	--------------------	-------------------------	------------------	-------------------------



PRIVATE SCREENS TO BE
 INSCRIBED WITH NATIVE AMERICAN
 SYMBOLS OF THEMES

INSTALLATION 'GUEST HOUSE'
 SCULPTURE

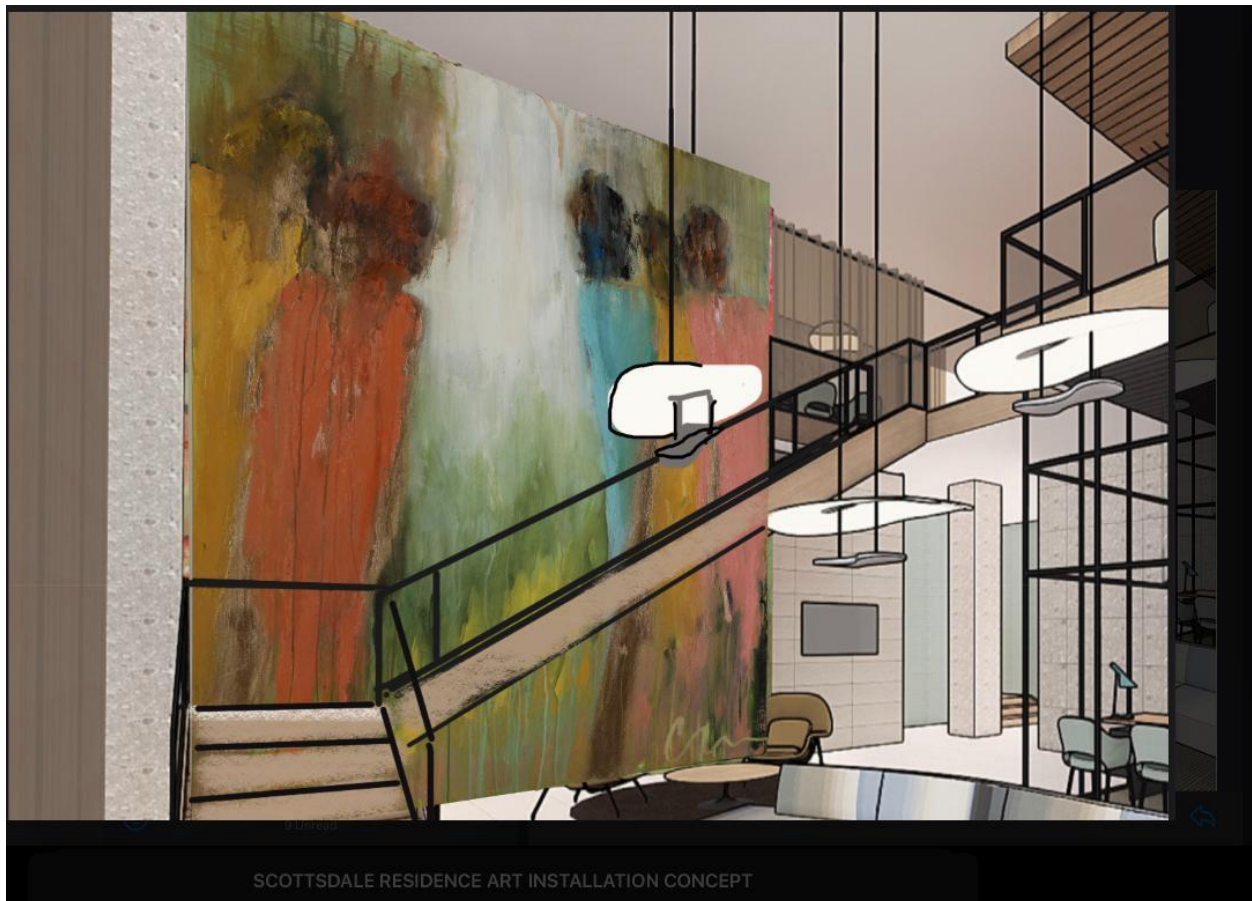
DESCRIPTION OF ART:

- plaque which describes the story of the Art Installation & QR Code directed to an online presence of "Guest House". Suggested online presence can sit on "Scottsdale Public Art and Scottsdale Residence platforms.

INTERIOR SPACES:

We highly recommend the story is continued throughout the common areas to enhance and support the overall theme.

- Mural behind stairwell should include vinyl print of one of the original paintings "Guest House" and or original artwork by the artist to continue and support the story of the art installation.



GUEST HOUSE

“This being human is a Guest House. Every morning a new arrival.

A joy, a depression, a meanness, some momentary awareness comes as an unexpected visitor.

Welcome and entertain them all!...

Still, treat each guest honorably.

He may be clearing you out for some new delight...

Meet them at the door laughing and invite them in.

Be grateful for whatever comes, because each has been sent as a guide from beyond.”

- Rumi



**PRELIMINARY
NOT FOR
CONSTRUCTION**

**SCOTTSDALE RESIDENCES
MAIN STREET SCOTTSDALE, LLLP**
6901 E. MAIN STREET
SCOTTSDALE, AZ 85251

**TABLE A.1
BUILDING HEIGHT, GROSS FLOOR AREA RATIO (GFAR), DENSITY MAXIMUMS**

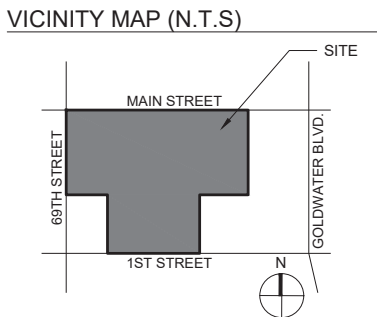
DEVELOPMENT TYPE	BUILDING HEIGHT MAXIMUM ⁽¹⁾	GFAR MAXIMUM WITHOUT BONUS(ES)	GFAR MAXIMUM WITH BONUS(ES) ⁽²⁾	DENSITY MAXIMUM (PER ACRE OF GROSS LOT AREA)
DOWNTOWN MULTIPLE USE TYPE 2	66 FEET	1.4	2.0	50 DWELLING UNIT

NOTES:
1. EXCLUDES ROOF TOP APPURTENANCES.
A. MAXIMUM HEIGHT FOR ROOFTOP APPURTENANCES 6'-0"
B. MAXIMUM COVERAGE FOR ROOFTOP APPURTENANCE: 20% OF ROOFTOP
C. MINIMUM SETBACK FOR ROOFTOP APPURTENANCES: 15 FEET FROM ALL SIDES OF THE BUILDING
2. SEE SEC. 6.1308.B. PBD

**TABLE B.1
MINIMUM SETBACK FOR BUILDINGS ADJACENT TO PUBLIC STREETS, EXCEPT ALLEYS**

STREET	MINIMUM BUILDING SETBACK
NORTH SCOTTSDALE ROAD IN TYPE 1, TYPE 2 OR TYPE 2.5 AREAS	20 FEET
ALL OTHER PUBLIC STREETS AND PUBLIC STREET SEGMENTS IN THE TYPE 2 OR TYPE 2.5 AREAS	20 FEET

NOTE: SEE THE DOWNTOWN PLAN URBAN DESIGN & ARCHITECTURAL GUIDELINES FOR LOCATIONS OF THE PUBLIC STREETS AND SETBACKS ABOVE.



PROJECT DATA

LEGAL DESCRIPTION
PARCEL NO. 1
THE WEST HALF OF LOT 3, ALL OF LOTS 4 AND 5 AND THE EAST HALF OF LOT 6, BLOCK 1 OF DUHAME HEIGHTS UNIT 1, ACCORDING TO BOOK 34 OF MAPS, PAGE 19, RECORDS OF MARICOPA COUNTY, ARIZONA.
PARCEL NO. 2
LOT 7, THE WEST HALF OF LOT 6 AND THE EAST HALF OF LOT 8, BLOCK 1, OF DUHAME HEIGHTS UNIT 1, ACCORDING TO BOOK 34 OF MAPS, PAGE 19, RECORDS OF MARICOPA COUNTY, ARIZONA.
PARCEL NO. 4
LOT 9 AND THE WEST HALF OF LOT 8, BLOCK 1, OF DUHAME HEIGHTS UNIT 1, ACCORDING TO BOOK 34 OF MAPS, PAGE 19, RECORDS OF MARICOPA COUNTY, ARIZONA.
PARCEL NO. 5
LOTS 10 AND 11, BLOCK 1, OF DUHAME HEIGHTS, UNIT 1 ACCORDING TO BOOK 34 OF MAPS, PAGE 19, RECORDS OF MARICOPA COUNTY, ARIZONA.
PARCEL NO. 6
THE EAST HALF OF LOT 15, ALL OF LOTS 16 AND 17 AND THE WEST HALF OF LOT 18, BLOCK 1, OF DUHAME HEIGHTS UNIT 1, ACCORDING TO BOOK 34 OF MAPS, PAGE 19, RECORDS OF MARICOPA COUNTY, ARIZONA.

PROJECT ADDRESS
6901 E MAIN STREET
SCOTTSDALE, AZ 85251

PARCEL ZONING
DOWNTOWN/ DOWNTOWN MULTIPLE USE TYPE 2 PLANNED BLOCK DEVELOPMENT DOWNTOWN OVERLAY **DIDMU-2 PBD DO**

APN

130-11-003	130-11-004
130-11-005	130-11-006
130-11-007	130-11-008
130-11-009	130-11-010
130-11-011	130-11-014A
130-11-015A	130-11-016
130-11-017	130-11-018

BUILDING GROSS FLOOR AREA

BASEMENT	48,886 SF
FIRST FLOOR	43,894 SF
SECOND FLOOR	36,471 SF
THIRD FLOOR	36,652 SF
FOURTH FLOOR	33,930 SF
ROOF DECK	3,371 SF
TOTAL:	205,214 SF

SITE AREA-NORTH PARCEL
NET LOT AREA:
GROSS LOT AREA: 76,803.53 (1.76 ACRES)
55,409.98 SF (1.27 ACRES)

OPEN SPACE CALCULATION
FRONTAL OPEN SPACE: 7,803 SF + 123 SF = 7,926 SF
OPEN SPACE OTHER THAN FRONTAL OPEN SPACE: 635 SF
PARKING LOT LANDSCAPING: 0 SF
7,926 SF + 288 SF + 0 SF = 8,014 SF OF TOTAL OPEN SPACE
8,014 SF OPEN SPACE / 55,409 SF LOT AREA = **14.5% OPEN SPACE PROVIDED**

PARKING

UNIT COUNT	PARKING RATIO	PARKING SPACES
22 (STUDIO UNITS)	1 PER UNIT	22
57 (1 BED UNITS)	1 PER UNIT	57
41 (2 BED UNITS)	2 PER UNIT	82
120 TOTAL UNITS		161 SPACES REQ'D
		193 SPACES PROVIDED

ACCESSIBLE PARKING:
4% OF 193 PARKING SPACES = 8 SPACES REQ'D
8 SPACES PROVIDED

BICYCLE PARKING:
2 SPACES FOR EVERY 10 SPACES:
(* NOT TO EXCEED 100 SPACES)
39 SPACES
39 SPACES REQ'D
40 SPACES PROVIDED

REFUSE CALCULATIONS
PER CITY OF SCOTTSDALE, 1 ENCLOSURE FOR EVERY 20 UNITS
20121 APARTMENT UNITS = 6 CONTAINERS REQ'D
6 CONTAINERS @ 4 CU. YDS. = 24 CU. YDS. REQ'D
1 EXTERIOR COMPACTOR w/ RATIO OF 1:4 COMPACTION RATE
4/24 CU. YDS. = 6 CU. YDS. REQ'D
(3) 2 CU. YDS CONTAINERS PROVIDED
(APPROVED BY THE DEVELOPMENT ENGINEERING MANAGER, JUNE 18, 2019 & SEPTEMBER 11, 2019)

DWELLING UNIT DENSITY
130 UNITS/2.80 ACRES = 50 DU/AC
ALLOWED PER DOWNTOWN ORDINANCE: 50 DU/AC

PREVAILING SETBACK
NORTH SETBACK ALONG MAIN STREET
10,140.4 SF/404.00' = 25.1 FT
WEST SETBACK ALONG 69TH STREET
3,770 SF/ 116.83' = 32.27 FT

KEYNOTES

1. PROPOSED ART LOCATION ON PATIO LOW-WALL STEEL PANELS.
2. CORNER SCULPTURE LOCATION
3. SITE VISIBILITY TRIANGLE

ISSUE

DATE	REV	FOR
05.04.2020		50% CD'S
05.21.2020		PUBLIC ART SUBMITTAL
11.18.2020		CITY COORDINATION

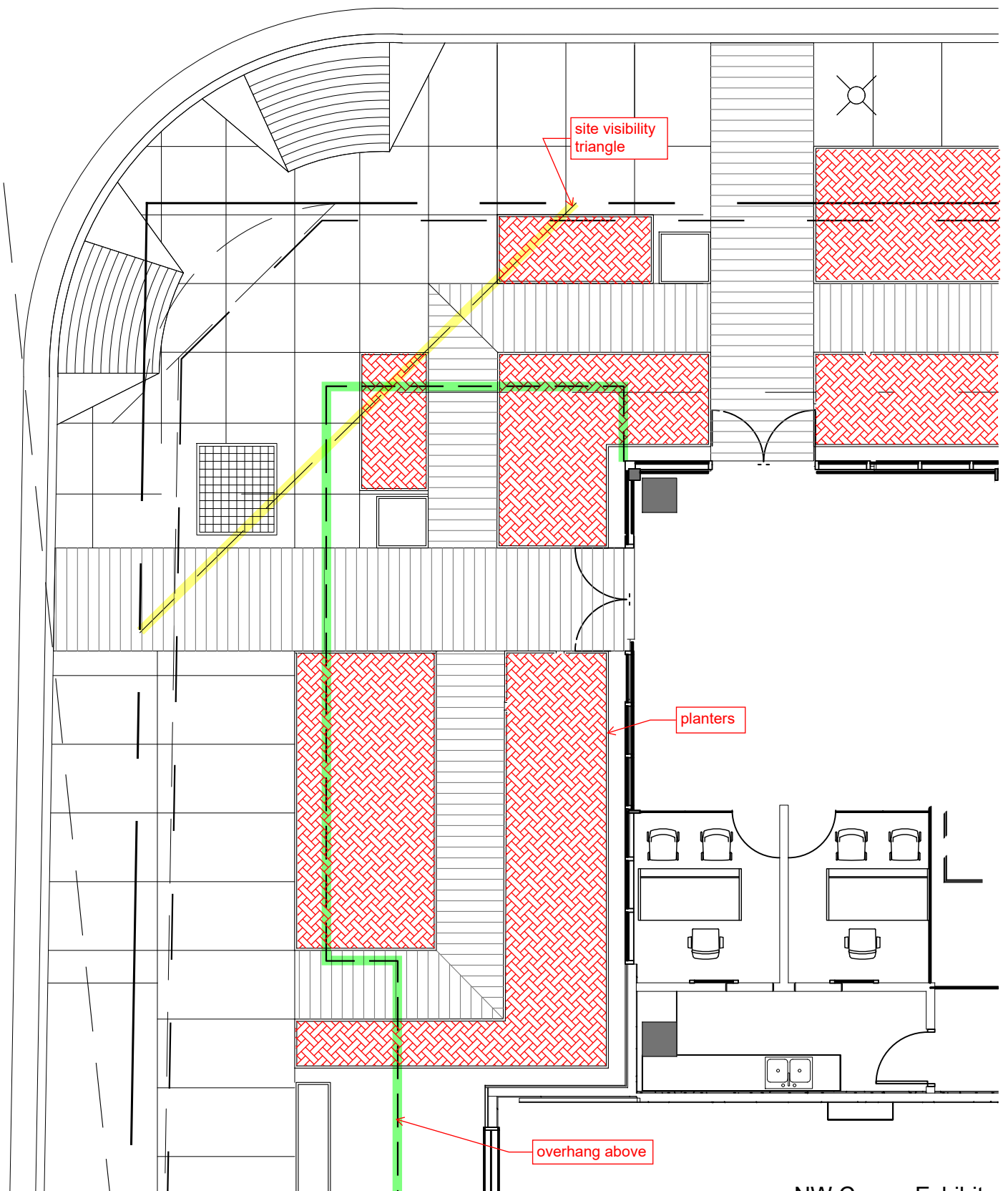
Drawn
RL, MP
Checked
PL, MP
Job Number
1822
Drawing
PUBLIC ART
SITE PLAN
Sheet

A1.1

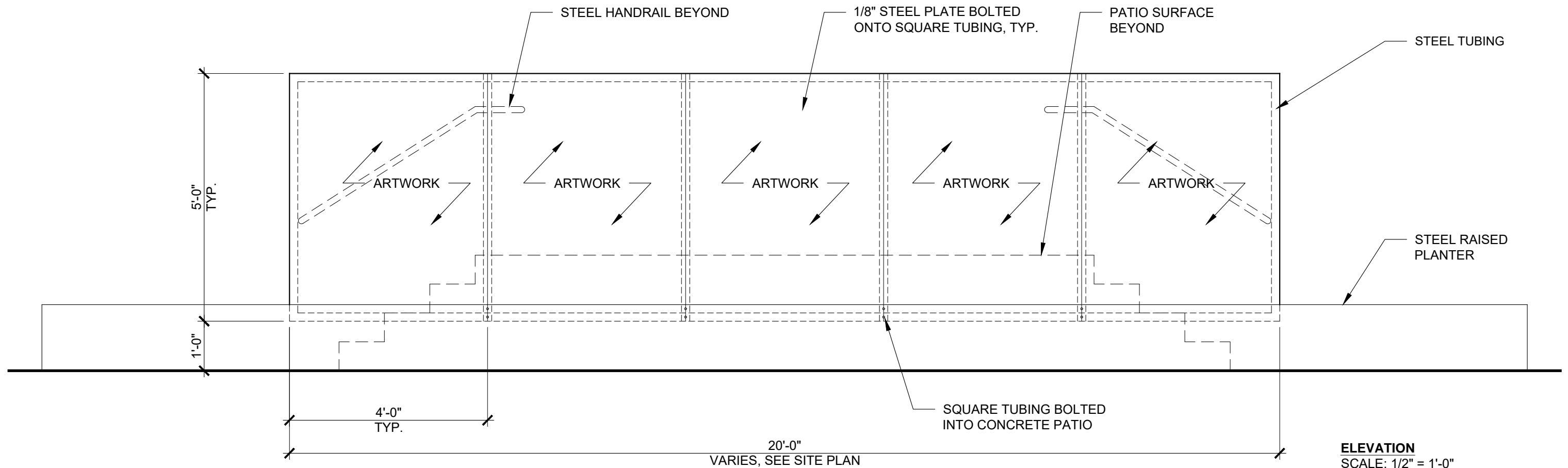


SITE PLAN
1" = 30'-0"

X:\1822 BARON APARTMENTS SCOTTSDALE OLD TOWN DRAWINGS\A101 PROJECT HERE\SCOTTSDALE RESIDENCES\SHEETS\A1.1 PUBLIC ART SITE PLAN.DWG Plotted by MARK PHILLIPS on 11/19/2020 4:23:18 PM



NW Corner Exhibit
11.18.2020 1/8" = 1'-0"



MAINTENANCE AND DURABILITY

THE CONSTRUCTION OF THE PATIO LOW WALLS ALLOWS FOR FLEXIBILITY TO QUICKLY INSTALL AND DISASSEMBLE THE ARTWORK. THE ARTWORK CAN BE REMOVED BY UNBOLTING THE STEEL PANELS OFF FROM THE SQUARE TUBE STEEL FRAME.

IMPLEMENTATION TIMELINE AND BUDGET

THIS ARTWORK WILL BE PRODUCED OFFSITE AND INSTALLED DURING CONSTRUCTION.

ONE PERCENT (1%) OF THE BUILDING'S CONSTRUCTION COST WILL BE DESIGNATED FOR THE INSTALLATION OF THIS ARTWORK.

SCOTTSDALE RESIDENCES

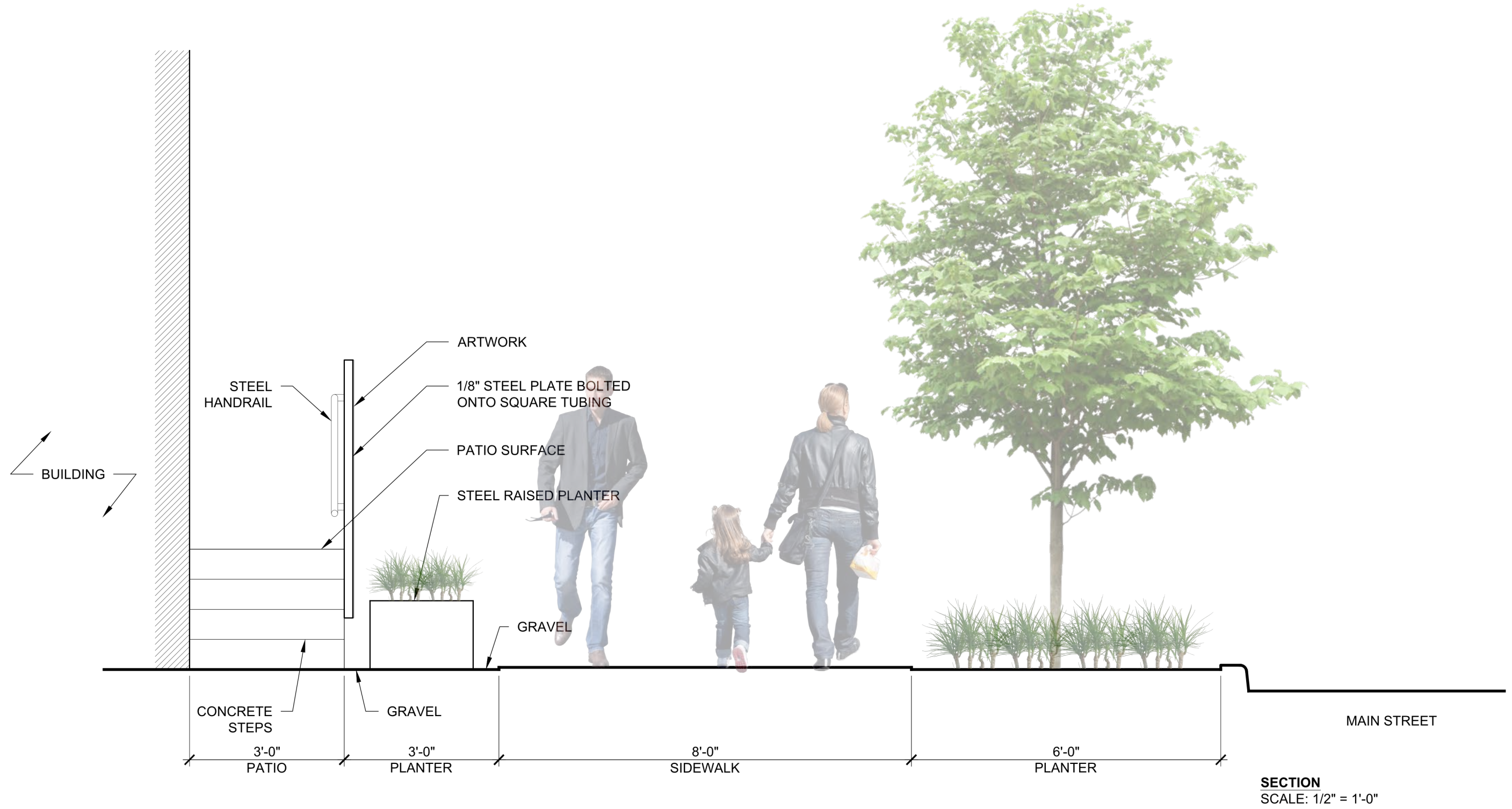
CCBG ARCHITECTS, INC.

CASE# 8-DR-2017#2

MAY 21, 2020

REVISED NOVEMBER 18, 2020





SCOTTSDALE RESIDENCES
 CCBG ARCHITECTS, INC.
 CASE# 8-DR-2017#2
 MAY 21, 2020
 REVISED NOVEMBER 18, 2020



DEVELOPMENT REVIEW BOARD CRITERIA ANALYSIS

Per Section 1.904. of the Zoning Ordinance, in considering any application for development, the Development Review Board shall be guided by the following criteria:

1. The Board shall examine the design and theme of the application for consistency with the design and character components of the applicable guidelines, development standards, Design Standards and Policies Manual, master plans, character plan and General Plan.

Staff Analysis:

- *Staff finds that the proposed development is consistent with the design and character components of the applicable guidelines, development standards, Design Standards and Policies Manual, master plans, character plan and General Plan. Further detail provided in the responses below.*

2. The architectural character, landscaping and site design of the proposed development shall:
 - a. Promote a desirable relationship of structures to one another, to open spaces and topography, both on the site and in the surrounding neighborhood;
 - b. Avoid excessive variety and monotonous repetition;
 - c. Recognize the unique climatic and other environmental factors of this region to respond to the Sonoran Desert environment, as specified in the Sensitive Design Principles;

Staff Analysis:

- *The proposed development incorporates new sidewalk improvements as well as trees and shrubs, that will create shade and a comfortable microclimate for the pedestrian. Sidewalks will be separated from the curb to provide a buffer between the pedestrian and the street. These improvements will enrich the pedestrian experience on the streets and encourage the use of the sidewalks to get from one destination to the next. The proposed plant materials palette complements the evolving character of the urban built environment surrounding the site. Proposed sculptural plantings will create more attractive and inviting spaces for pedestrians and will provide an appropriate balance/ transition between the urban hardscape and proposed residential development.*

The building design provides variation, movement, various textures and hierarchy of massing to create visual interest and varied proportions. The building frontage along E. Main Street has a strong base to firmly anchor the building to the ground plane with a ground level exterior made of a dark colored stucco pattern with a unique vertical pleated textured finish. The length of the building along E. Main Street is broken up by a rhythm of ten architectural frames that anchor the balconies to the façade. Each architectural frame is oriented in an opposite direction from the frame next to it. The frames create an undulating pattern along the street edge to enhance the make-up of the building. These frames which break up the building are also complimented by the fourth level volumes that are recessed in four areas along Main Street. The recessed volumes break down the mass of the building and gives a smaller sense of scale to the overall proportion of the building in the pedestrian realm.

In response to the unique climate of the desert southwest, the proposed development incorporates patios and balcony from at grade to the roof top as part of the dwelling unit rooms that provide outdoor pedestrian comfort areas. In addition, the dwelling patios are recessed and projecting that allows for shading to enhance the outdoor pedestrian comfort. The inset and offset windows and building projections are proposed to be incorporated in order to provide a variety of shade elements, protecting the building and occupants from solar exposure.

3. Ingress, egress, internal traffic circulation, off-street parking facilities, loading and service areas and pedestrian ways shall be designed as to promote safety and convenience.

Staff Analysis:

- *Vehicular access to the site is provided from E. Main Street, E. 1st Avenue, and the alleyway between the 2 phases. Guest parking for the condominium building (north side of alley) is provided at the surface level in a structure accessed via the alleyway behind the building. Parking for the residences is provided in a below grade garage accessed from E. Main Street. The site plan maintains the existing street pedestrian circulation adjacent to East Main Street and North 69th Street and proposes to enhance these connections with new wider (8 feet) sidewalks with landscaping and shading. The proposed ground level patios on Main Street and 1st Avenue will help activate the streets and create interest for pedestrians. The 2-story townhomes (south side of alley) front on E. 1st Street with private garage parking in the rear via the alleyway. The existing sidewalk on E. 1st Street will remain and will be enhanced with landscaping and front entries and patio areas for each of the townhome units.*
4. If provided, mechanical equipment, appurtenances and utilities, and their associated screening shall be integral to the building design.

Staff Analysis:

- *Mechanical equipment is integrated into the building design and rooftop units are fully screened by the building parapets. Proposed electrical transformers are located in the alleyway behind the building to minimize visual impacts to the public. The trash storage and pick-up area is also located off the alleyway and internalized within the building mass.*
5. Within the Downtown Area, building and site design shall:
 - a. Demonstrate conformance with the Downtown Plan Urban Design & Architectural Guidelines;
 - b. Incorporate urban and architectural design that address human scale and incorporate pedestrian-oriented environment at the street level;
 - c. Reflect contemporary and historic interpretations of Sonoran Desert architectural traditions, by subdividing the overall massing into smaller elements, expressing small scale details, and recessing fenestrations;
 - d. Reflect the design features and materials of the urban neighborhoods in which the development is located; and
 - e. Incorporate enhanced design and aesthetics of building mass, height, materials and intensity with transitions between adjacent/abutting Type 1 and Type 2 Areas, and adjacent/abutting Type 2 Areas and existing development outside the Downtown Area.

Staff Analysis:

- *In addition to the points above regarding building design, the proposed development responds to the Downtown urban environment and contextual design area by placing the building near East Main Street and North 69th Street, and incorporating building forms that are distinctive, complementary and assist in establishing urban character that respects and contributes to the existing and evolving contextual area, and the Sonoran Desert. Furthermore, the building scale, architectural features, window location, defined building entry, patios, and balconies assist in incorporating a human scale and a pedestrian-oriented character that accomplishes contextual compatibility and allows smooth design relationships within the established urban form, and the adjacent developments.*

6. The location of artwork provided in accordance with the Cultural Improvement Program or Public Art Program shall address the following criteria:
- a. Accessibility to the public;
 - b. Location near pedestrian circulation routes consistent with existing or future development or natural features;
 - c. Location near the primary pedestrian or vehicular entrance of a development;
 - d. Location in conformance with Design Standards and Policies Manual for locations affecting existing utilities, public utility easements, and vehicular sight distance requirements; and
 - e. Location in conformance to standards for public safety.

Staff Analysis:

- *The owner is proposing to install original works of art at the northwest corner of the property (N. 69th Street & E. Main Street). The proposed location is near the main entrance to the building and will be fully accessible to the public at an intersection that will have new 8-foot-wide sidewalks for pedestrian circulation. Through the permitting process staff will confirm the art structure does not conflict with any utilities, easements, or sight distance requirements.*

Please see the applicant's project narrative included as Attachment #21 for the applicant responses to the above criteria.

DEVELOPMENT INFORMATION

Zoning History

In January 2017, City Council approved a zoning district map amendment on the subject property giving the current zoning designation of Downtown / Downtown Multiple Use – Type 2, Planned Block Development, Downtown Overlay (D/DMU-2 PBD DO).

Community Involvement

With the submittal of the application, staff notified all property owners within 750 feet of the site. In addition, the applicant has been in communication with property owners surrounding the site. As of the publishing of this report, staff has not received any community input regarding the application, other than general inquiries.

Context

Located on the southeast corner of North 69th Street and East Main Street, and approximately 95 feet east of the northeast corner North 69th Street and East 1st Street, the site is generally surrounded by office, parking, residential and restaurant uses. Please refer to the context graphics attached. The site is currently occupied by a few older 1- and 2- story office buildings built throughout the 1960s and 80s, along with surface parking and an undeveloped parcel. To the west is the Hotel Valley Ho, and the recently constructed Standard at Valley Ho condominiums.

Project Data

- Existing Use: Office/vacant
- Proposed Use: Multi-family Residential
- Parcel Size: 2.60 gross acres
1.94 net acres
84,743 square feet
- Gross Floor Area Ratio Allowed: 1.4
- Gross Floor Area Ratio Proposed: 0.0 (no commercial space provided)
- Floor Area Ratio Proposed (residential): 2.08 (176,207 square feet)
- Building Height Allowed: 66 feet, excluding rooftop appurtenances
- Building Height Proposed (Condos): 60 feet, 6 inches, including rooftop appurtenances
- Building Height Proposed (Townhomes): 37 feet, 6 inches, including rooftop appurtenances
- Parking Required: 179 spaces (Both Phases)
- Parking Provided: 211 spaces (Both Phases)
- Number of Dwelling Units Proposed: 130 units
- Density Allowed: 50 dwelling units per acre
- Density Proposed: 50 dwelling units per acre
- Open Space Provided: 17,629 square feet

**Stipulations for the
Development Review Board Application:
Scottsdale Residences
Case Number: 8-DR-2017#2**

These stipulations are intended to protect the public health, safety, welfare, and the City of Scottsdale.

APPLICABLE DOCUMENTS AND PLANS:

1. Except as required by the Scottsdale Revised Code (SRC), the Design Standards and Policies Manual (DSPM), and the other stipulations herein, the site design and construction shall substantially conform to the following documents:
 - a. Architectural elements, including dimensions, materials, form, color, and texture shall be constructed to be consistent with the building elevations submitted by CCBG, with a city staff date of 8/4/2020.
 - b. The location and configuration of all site improvements shall be consistent with the site plan submitted by CCBG, with a city staff date of 8/4/2020.
 - c. Landscape improvements, including quantity, size, and location shall be installed to be consistent with the preliminary landscape plan submitted by CCBG, with a city staff date of 8/4/2020.
 - d. The preliminary drainage reports and grading and drainage plans submitted by SEG and accepted in concept by the Stormwater Management Department of the Planning and Development Services.
 - e. The water and sewer basis of design report submitted by SEG and accepted by the Water Resources Department.
 - f. The Phasing Plan by submitted by CCBG, with a city staff date of 8/4/2020.

RELEVANT CASES:

Ordinance

- A. At the time of review, the applicable Zoning and Development Review Board cases for the subject site were: 21-ZN-2016#2 and 8-DR-2017

ARCHAEOLOGICAL RESOURCES:

Ordinance

- B. Any development on the property is subject to the requirements of Scottsdale Revised Code, Chapter 46, Article VI, Section 46-134 - Discoveries of archaeological resources during construction.

ARCHITECTURAL DESIGN:

DRB Stipulations

2. All exterior window glazing shall be recessed a minimum of fifty (50) percent of the wall depth, including glass windows within any tower/clerestory elements. The amount of recess shall be measured from the face of the exterior wall to the face of the glazing, exclusive of external detailing. With the final plan submittal, the developer shall provide head, jamb and sill details clearly showing the amount of recess for all window types.
3. All exterior doors shall be recessed a minimum of thirty (30) percent of the wall depth, the amount of recess shall be measured from the face of the exterior wall to the face of the glazing, exclusive of external detailing. With the final plan submittal the developer shall provide head, jamb and sill details clearly showing the amount of recess for all door types.
4. With the final plan submittal, the owner shall provide section drawings of the proposed exterior shade devices. All shade devices shall be designed so that the shade material has a density of 75%, or greater, in order to maximize the effectiveness of the shade devices.
5. No exterior roof ladders shall be allowed where they are visible to the public or from an offsite location.
6. Roof drainage systems shall be interior to the building, except that overflow scuppers are permitted. If overflow scuppers are provided, they shall be integrated with the architectural design. Areas that are rooftop drainage shall be designed and constructed to minimize erosion or staining of nearby building walls and directs water away from the building foundations.

LANDSCAPE DESIGN:

Ordinance

- C. The property owner shall obtain approval of a Salvage/Native Plant Plan Application, and obtain a permit to remove any tree.
- D. A minimum of percent (50%) of trees shall be mature, as defined in Article III of the Zoning Ordinance. With the final plan submittal, indicate both the compliant caliper and industry standard box-size for that caliper in the plant palette, based on the provisions within Section 10.501.B of the Zoning Ordinance.

DRB Stipulations

7. Thorny trees, shrubs and cacti shall be planted so that their mature size/canopy will be at least 4 feet away from any walkways or parking area curbing.
8. Prior to the issuance of any building permit for the development project, the property owner shall submit landscape improvement plans that demonstrate the utilization of the City of Scottsdale Supplement to MAG Standard Specifications for the landscape and irrigation improvements within the public right-of-way median(s).
9. If proposed, landscape pots and/or raised landscape planters shall have a minimum of 36 inches in diameter, a sufficient depth to support the root system of the plants located in the pots/planters, and an automatic irrigation system.
10. With the final plan submittal, the owners shall provide documentation of approval by the Water Resources Department on all proposed fountains.

EXTRIOR LIGHTING:

Ordinance

- E. Any exterior luminaire with a total initial lumen output of greater than 1600 lumens shall have an integral lighting shield.
- F. Any exterior luminaire with a total initial lumen output of greater than 3050 lumens shall be directed downward and comply with the Illuminating Engineering Society of North America (IES) requirements for full cutoff.

DRB Stipulations

- 11. All exterior luminaires shall meet all IES requirements for full cutoff, and shall be aimed downward and away from property line except for landscape lighting.
- 12. Incorporate the following parking lot and site lighting into the project's design:
 - a. The maintained average horizontal luminance level, at grade on the site, shall not exceed 2.0 foot-candles. All exterior luminaires shall be included in this calculation.
 - b. The maintained maximum horizontal luminance level, at grade on the site, shall not exceed 10.0 foot-candles. All exterior luminaires shall be included in this calculation.
 - c. The initial vertical luminance at 6-foot above grade, along the entire property line shall not exceed 0.2 foot-candles on E. 1st Street and 1.0 foot-candles on E. Main Street and N. 69th Street. All exterior luminaires shall be included in this calculation. This stipulation shall not apply to the property lines adjacent to the alleyway.
 - d. The total lumen per luminaire shall not exceed 24,000 lumens.
 - e. All exterior light fixtures shall have a Kelvin temperature of 3000 or less.

STREET DEDICATIONS:

Ordinance

- G. Prior to the issuance of any building permit for the development project, the property owner shall make all the fee simple right-of-way dedications to the City of Scottsdale as stipulated in 21-ZN-2016 #2.

STREET INFRASTRUCTURE:

Ordinance

- H. All street infrastructure improvements shall be constructed in accordance with this City of Scottsdale (COS) Supplement to MAG Specifications and Details, and the Design Standards and Policies Manual.
- I. Prior to the issuance of any building permit for a specific phase of the development project, the property owner shall submit and obtain approval of civil construction documents to construct the improvements stipulated in 21-ZN-2016#2 as approved for phasing in Phasing Plan dated 05/20/2020 by CCBG Architects Inc.

WATER AND WASTEWATER:

Ordinance

- J. All city water and wastewater infrastructure improvements shall be constructed in accordance with this City of Scottsdale (COS) Supplement to MAG Specifications and Details, and the Design Standards and Policies Manual.
- K. Prior to the issuance of any building permit for a specific phase within the development project, the property owner shall submit and obtain approval of civil construction documents to construct the improvements stipulated in 21-ZN-2016#2 with Phase I and a new eight (8) inch ductile iron pipe water line on E First Street from N 69th Street to Project Development eastern E First Street frontage boundary with Phase II, as approved for phasing in Phasing Plan dated 05/15/2020 by CCBG Architects Inc.

DRB Stipulations

- 13. Existing water and sewer service lines to this site shall be utilized or shall be disconnected at the main pursuant to the Water Resources Department requirements.
- 14. All new water main pipe shall be mortar lined per AWWA standards, polyethylene wrapped, class 350 with fully restrained joints.
- 15. The townhome water meters that cannot be placed in landscape area in accordance with the Design Standards and Policies Manual, may be placed in the concrete sidewalk. The meter boxes and lids that contain water meters within a sidewalk shall traffic grade plastic, and allow for advanced metering infrastructure (AMI).
- 16. To satisfaction of the City Attorney, or designee, the dedication language of the water meter easements shall require the property owner to be responsible for the maintenance, repair and replacement all hardscape, including sidewalks, the that may be disturb, damaged, or destroyed in order to service, maintain, or replace the water meter and service line.
- 17. To satisfaction of the City Attorney, or designee, the dedication language of the proposed public utility easements adjacent to East Main Street shall be limited to streetlights and associated infrastructure.

DRAINAGE AND FLOOD CONTROL:

DRB Stipulations

- 18. With the civil construction document submittal, the property owner shall submit final drainage reports and final grading and drainage plans that demonstrate consistency with the DSPM and the preliminary drainage reports and grading and drainage plans accepted in concept by the Stormwater Manager or designee.
- 19. The condominium portion of the project will be responsible for payment of a stormwater storage waiver fee in the amount of \$3,533.00 as a condition of project approval and prior to pulling the first permit for construction on the condominium portion of the project.
- 20. The townhouse portion of the project will be responsible for payment of a stormwater storage waiver fee in the amount of \$3,894.00 as a condition of project approval and prior to pulling the first permit for construction on the townhouse portion of the project.
- 21. The project will be responsible for preparing a separate improvement plan for city review and approval and constructing a dry well on APN's 130-11-012 and 013 as further described in the

November 6, 2020 letter between the owner of these parcels and the owner of the project of the development. The dry well will need to be constructed and functional prior to removal of any portion of the storm drain connecting flows between APN's 130-11-012 and 013 and the townhouse development unless other acceptable arrangements in writing have been made.

EASEMENTS DEDICATIONS:

Ordinance

- L. Prior to the issuance of any building permit for the development project, the property owner shall make all easement dedications to the City of Scottsdale as stipulated in 21-ZN-2016#2 and 8-DR-2017.

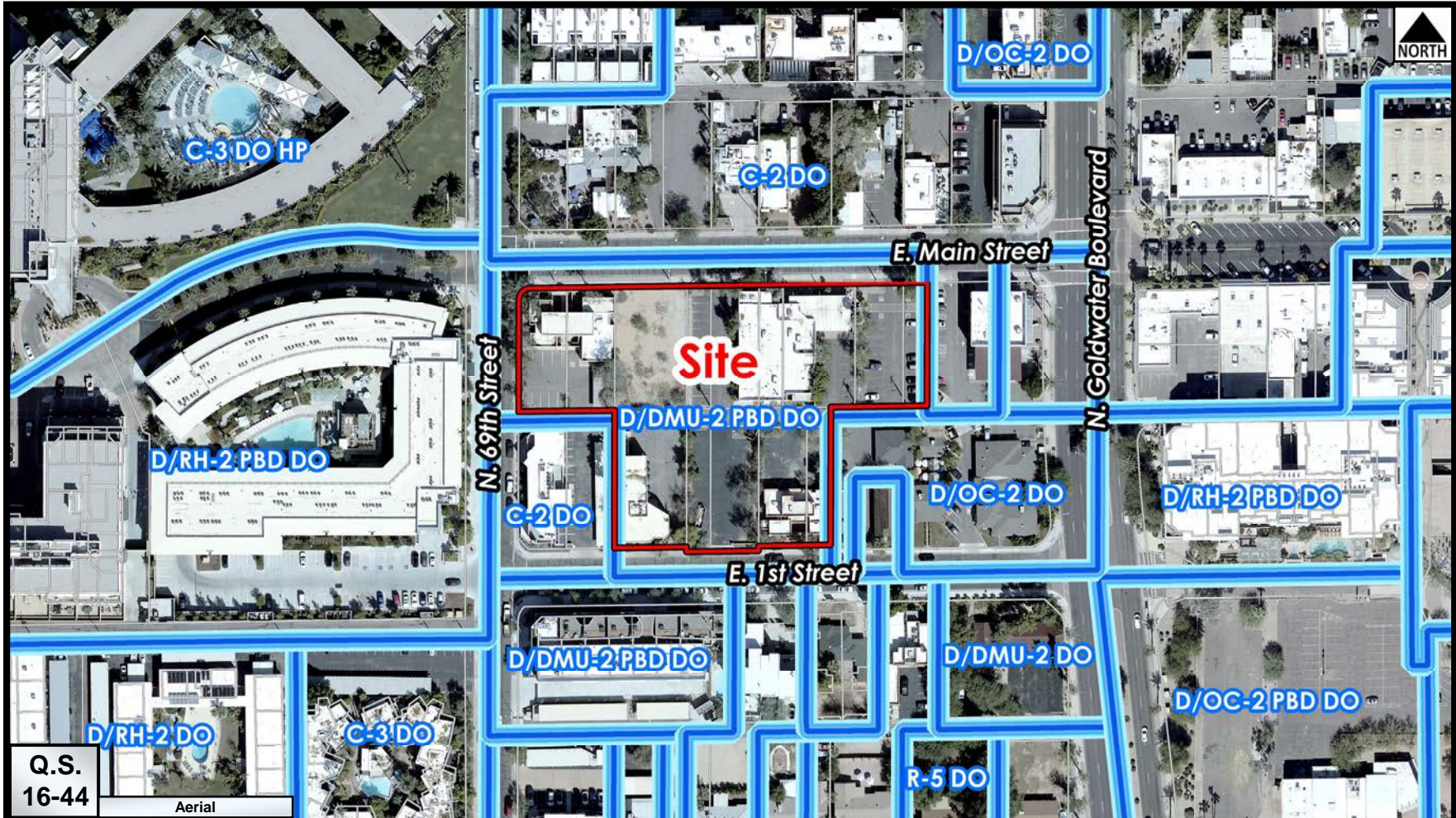
DRB Stipulations

- 22. Prior to the issuance of any building permit for the development project, the property owner shall dedicate the following easements to the City of Scottsdale on a final plat or map of dedication:
 - a. A sight distance easement, in conformance with figures 5.3-26 and 5.3-27 of Section 5.3 of the DSPM, where a sight distance triangle(s) cross on to the property.
 - b. A continuous Public Non-Motorized Access Easement to the City of Scottsdale to contain the public sidewalk in locations where the sidewalk crosses on to the lot.

ADDITIONAL ITEMS:

DRB Stipulations

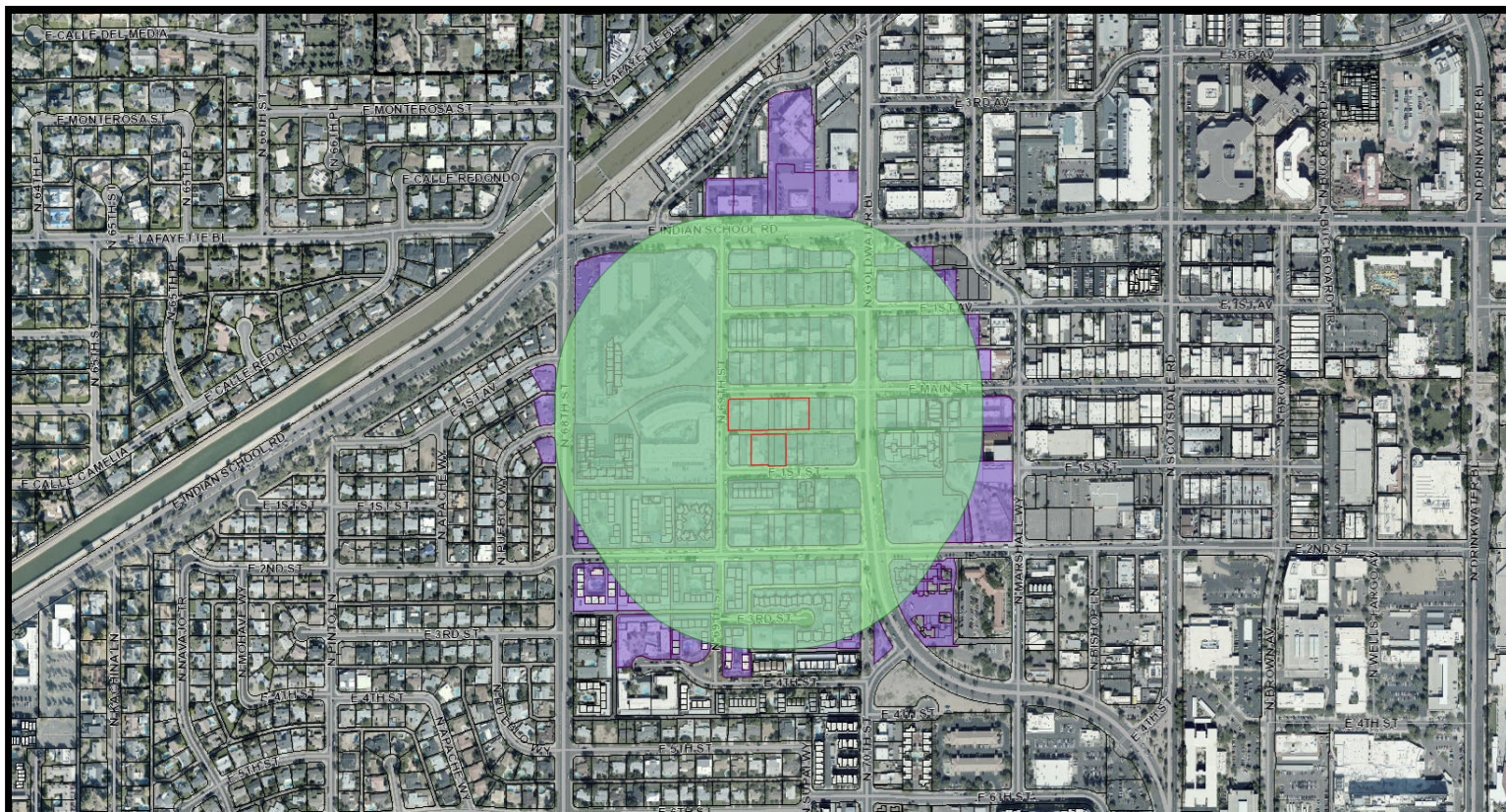
- 23. The proposed development is near three properties, listed on the Scottsdale Historic Register, that are constructed of adobe bricks. Specifically, El Adobe Apartments, Cavalliere's Blacksmith Shop, and Old Adobe Mission Church. Construction on the subject site may result in ground vibrations that may cause damage to adobe structures. With the final plan submittal, the owner shall provide information regarding construction methods and techniques that will be utilized to minimize ground vibrations and potential damage to these adobe structures, to the satisfaction of the City's Historic Preservation Officer.



Zoning Aerial

8-DR-2017#2

City Notifications – Mailing List Selection Map





Additional Notifications:

- Interested Parties List
- Adjacent HOA's
- P&Z E-Newsletter
- Facebook
- Twitter
- Nextdoor.com
- City Website-Projects in the hearing process

Pulled Labels
May 19, 2020

Map Legend:

-  Site Boundary
-  Properties within 750-foot

Postcards: 442

8-DR-2017#2

Cluff, Bryan

From: Cluff, Bryan
Sent: Friday, July 24, 2020 8:23 AM
To: kristy.osborn@constructconnect.com
Subject: RE: 9-DR-2020 SCOTTSDALE RESIDENCES

Kristy,

This case has not yet been scheduled to be heard. We are waiting on the applicant to make a resubmittal of the application for further review. After DRB approval they will need to submit construction documents for review and approval prior to permit issuance. I do not have any information regarding the contractor or construction schedule.

Thanks,
Bryan

From: kristy.osborn@constructconnect.com <kristy.osborn@constructconnect.com>
Sent: Thursday, July 23, 2020 11:48 AM
To: Cluff, Bryan <BCluff@Scottsdaleaz.gov>
Subject: 9-DR-2020 SCOTTSDALE RESIDENCES

⚠ External Email: Please use caution if opening links or attachments!



Good afternoon, Hello, I would like to know the status of approvals for the following project: 9-DR-2020 SCOTTSDALE RESIDENCES • Has the project been scheduled to appear before the Development Review Board? • What further approvals are needed before construction can begin? • Do you know when the next approval meeting will be held? • Do you have information regarding the general contractor? • Has the applicant stated when construction may begin? Thank you and have a wonderful day! -- sent by Kristy Osborn (case# 9-DR-2020)



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