

DEVELOPMENT REVIEW BOARD REPORT



Meeting Date: November 3, 2022
General Plan Element: *Character and Design*
General Plan Goal: *Foster quality design that enhances Scottsdale as a unique southwestern desert community.*

ACTION

94 Hundred Shea - The Village 8-ZN-2022

Pursuant to the requirements of the Planned Unit Development (PUD) zoning district, Zoning Ordinance Section 5.5003, the applicant is requesting a recommendation from the Development Review Board to the Planning Commission and City Council regarding the Development Plan elements related to design compatibility, environmental responsiveness, solar shading, connectivity and open space for a zoning district map amendment from Commercial Office, Planned Community District (C-O PCD) and Highway Commercial, Planned Community District (C-3 PCD) zoning to Planned Unit Development, Planned Community District (PUD PCD) zoning for a proposed mixed-use development with 219 new multi-family dwelling units on a +/- 11-acre site.

SUMMARY

Staff Recommendation

Forward a recommendation of approval regarding the applicable Development Plan elements

Key Issues

- Concerns on vehicular circulation through the overall site
- Development of a vacant property tied to an existing retail center
- Input received in opposition to proposal for new residential units

Items for Consideration

- Conformance with Development Review Board Criteria – staff confirms
- Integration of Sensitive Design Principles – staff confirms

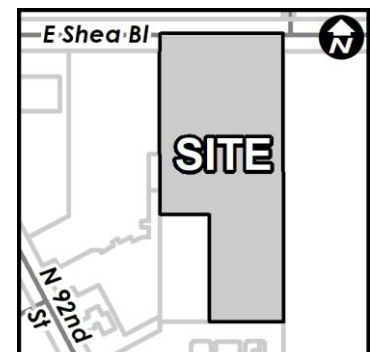
BACKGROUND

Location: 9400 block of the south side of E. Shea Boulevard (Parcels 217-36-001P, 217-36-001N, and 217-36-001M)

Zoning: Commercial Office, Planned Community District (C-O PCD) and Highway Commercial, Planned Community District (C-3 PCD).

Adjacent Uses

North: E. Shea Boulevard and an existing cemetery constructed in the 1970's



East: Existing 2-story office campus complex constructed in early 1990's

South: Existing 1-story office condo buildings constructed in 2002

West: Proposed rezoning for mixed-use/residential dwellings; see 6-GP-2022 & 12-ZN-2022

Property Owner

94 Hundred Shea LLLP

Applicant

Andy Jochums, Beus Gilbert McGroder
(480) 429-3063

Architect/Designer

Builtform Landscape Architecture

Engineer

Big Red Dog

DEVELOPMENT PROPOSAL

The applicant is proposing to rezone the existing retail/office center adjacent to E. Shea Boulevard and the vacant property to the south, in total approximately 11-acres, to the Planned Unit Development, Planned Community District (PUD PCD) zoning district designation, to establish a mixed-use development, keeping the existing commercial center on the northern portion of the site and creating 219 new multi-family dwelling units on the south portion of the site. The proposed 4-story multi-family building has a proposed configuration with an integrated parking garage on the north side of the building.

Vehicular access to the development is achieved through the existing commercial center from E. Shea Boulevard at the north end of the site. A public access easement is located on the office condominiums to the south, based on feedback received, the applicant is proposing a controlled emergency access only access point on the south property line with a gate. A fire lane wraps around the new proposed residential building on the east, south and west sides. The fire lane on the west, east, and south side of the building provides only emergency and fire vehicular access with pedestrian circulation sharing the access lane around the site. No regular vehicular traffic is proposed to use this access lane. The site plan includes pedestrian connections from the new residential building to the existing center to the north, a future pedestrian connection located at the northwest corner of the site for access to the shopping center to the west and a pedestrian connection to the south. The PUD district requires 10% of the overall site to be open space and the proposed development is providing approximately 28% of the overall site as open space. The C-3 district allows 36-feet in height and the C-O district allows 48-feet in height, excluding rooftop appurtenances. The proposed PUD district also allows a maximum height of 48-feet in height, excluding rooftop appurtenances. The building massing and design are enhanced by the articulation of the building, the varying roof heights, and building setbacks from adjacent properties.

Development Plan Consideration

Prior to the review of a zoning district map amendment for the Planned Unit Development (PUD) zoning district by the Planning Commission and City Council, the Development Plan shall be reviewed by the Development Review Board pursuant to the considerations listed in Section 5.5003.C.1.a. Staff confirms that the development proposal meets the applicable PUD zoning district considerations. For a detailed analysis of the considerations, please see Attachment #3. For the applicant's full Development Plan, please see Attachment #5.

Community Involvement

With the submittal of the application, staff notified all property owners within 750 feet of the site. In addition, the applicant sent notices to all property owners within 750 feet of the site. An open house was held by the applicant team at the site and in the adjacent conference facility on June 22, 2022.

As of the publishing of this report, staff has received numerous emails on the redevelopment of the site with concerns about traffic, water, additional apartments, and building height.

STAFF RECOMMENDED ACTION

Staff recommends that the Development Review Board recommend approval of the 94 Hundred Shea – The Village Development Plan to the Planning Commission and City Council, finding that the criteria/requirements of the PUD zoning district and Development Review Board Criteria have been met.

RESPONSIBLE DEPARTMENTS

STAFF CONTACTS

Planning and Development Services
Current Planning Services


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APPROVED BY



Jeff Barnes, Report Author

10/20/2022
Date



Brad Carr, AICP, LEED-AP, Planning & Development Area Manager
Development Review Board Liaison
Phone: 480-312-7713 Email: bcarr@scottsdaleaz.gov

10/27/2022
Date

ATTACHMENTS

- 1. Context Aerial
- 2. Close-up Aerial
- 3. Development Review Board Criteria Analysis
- 4. Development Information
- 5. 94 Hundred – The Village Development Plan
- 6. Zoning Map (existing)
- 7. Zoning Map (proposed)
- 8. Community Involvement (applicant)
- 9. Public Comment



Context Aerial

8-ZN-2022



Close-up Aerial

8-ZN-2022

DEVELOPMENT REVIEW BOARD CRITERIA ANALYSIS

An application for the PUD District must be accompanied by a Development Plan (DP), the elements of which shall include the following:

1. Character statements, including environmental response, design principles, architectural character, site development character, and landscape character;
 2. A master site plan, with a land use budget tabulation, showing the location of development components, the intensity of development, residential density, and building heights;
 3. An open space plan;
 4. An architectural concepts and design standards plan;
 5. Basis of design reports for storm water drainage, water service, and waste water disposal; and
 6. Any additional information as necessary to process the DP such as:
 - a. A view shed analysis plan;
 - b. A pedestrian circulation plan;
 - c. A hardscape plan;
 - d. A landscape plan;
 - e. A lighting plan; and/or
 - f. A signage plan.
- *The applicant's submittal includes a Development Plan which contains all the required elements.*

The Development Review Board shall review the DP elements and make a recommendation to the Planning Commission, based on the following considerations:

1. The design contained in the DP is compatible with development in the area that it may directly affect, and the DP provides a benefit to the city and adjacent neighborhoods.
 - *The proposed site design uses the existing access points for the commercial center. The main access to the new residential component will be provided through the existing commercial center to the north within the overall development site. Further, pedestrian connections are being provided from the proposed site to existing surrounding uses adjacent to the site. A shared access point is proposed to be provided by the adjacent property owner through the site to the west to allow access to the proposed signalized intersection at 92nd Street and Cochise Drive.*
 - *Most of the new proposed parking is located within an above ground parking structure that is fully integrated into the proposed building which will reduce the potential impervious area on the site and eliminate visibility and associated impacts on adjacent properties. Some surface parking is also maintained to support guest parking.*
 - *The introduction of residential units at the site will support the businesses in the commercial center within the proposed PUD and adjacent businesses.*
2. The DP is environmentally responsive, incorporates green building principles, contributes to the city's design guidelines and design objectives, and that any deviations from the design guidelines must be justified by compensating benefits of the DP.
 - *The site is designed to maximize efficient use of space by vertically stacking floor area, rather than spreading it horizontally across the property, which leaves room for more landscaping and several usable open space areas. Although the PUD district only requires*

10% of the site to be open space, approximately 28% of the site will be open space, including pedestrian hardscape, courtyard, and landscaping.

- *Most of the new parking for the residential component of the site has been provided in a fully integrated structure to minimize impervious surfaces, reduce the heat-island effect, and fully screen from view. The landscaping will utilize drought tolerant plant material and strategically located to create a pedestrian-friendly environment.*
 - *The design of proposed building on the site uses effective building techniques, such as solar shading, recessed windows, building articulation, varying the roof lines, material selection and paint colors, to effectively integrate the site with the surrounding area and promote the unique character of the Sonoran Desert.*
3. The DP will not significantly increase solar shading of adjacent land in comparison with a development that could be developed under the existing zoning district.
- *The proposed building is 48-feet tall exclusive of mechanical equipment and other roof top appurtenances. The proposed building has four floors of dwelling units, with roof top deck areas provided above the 4th floor. The current C-3 zoning district on the northern portion of the site allows 36-feet in height and the C-O zoning district on the southern portion allows for 48-feet in height, excluding rooftop appurtenances. The proposed building will be taller than existing buildings in the immediate area, but not taller than what existing zoning allows on the C-O portion of the site, and the provided setbacks from adjacent properties will also help mitigate any increase in solar shading.*
4. The DP promotes connectivity between adjacent and abutting parcels and provides open spaces that are visible from the public right-of-way and useful to the development.
- *The proposed development will include enhanced sidewalks and landscaping and pedestrian connections to adjacent properties.*

Traffic

The 94 Hundred Shea – The Village development site is generally located south of Shea Boulevard, east of 92nd Street, and north of Ironwood Square Drive. The site is surrounded by a retail center to the north, medical-office buildings to the south, the CVS/Caremark campus to the east, and existing retail to the west. Site access is provided through the existing commercial center to the north to and from Shea Boulevard. There is an existing access point and at the southwest portion of the site, through the Ironwood Square complex, which is proposed to be operated for gated emergency access only. The active proposal to the west (Mercado Courtyards 6-GP-2022/12-ZN-2022) is proposing to provide a shared through-access connection and easement to allow this site to access the proposed signalized intersection at 92nd Street and Cochise Drive. The submitted site layout does not acknowledge that pending connection point, but staff supports stipulating the completion of that connection to create additional access and vehicular circulation options for this development and those around it.

The Shea Boulevard access through the site is primarily being provided via three routes through the retail center complex to the north. The first route is along the west side of the site, using the existing drive aisle behind the retail center, with the proposed addition of a future access connection toward the north end to the adjacent commercial center to the west. The second route is through the middle of the retail center that traverses under/through an archway signed with twelve (12)-feet of vertical clearance. The third route is along the east side of the site, using the existing approximately sixteen (16)-feet-wide one-way drive aisle behind the retail center. The existing drive aisle is primarily used

for overflow parking access, fire access, and waste refuse access. The project proposes this to become an access to/from Shea Boulevard. Staff recommends that this drive aisle be upgraded to include a minimum of twenty-four (24)-feet in width to allow for two-way traffic flow.

Based on the submitted traffic impact and mitigation analysis (TIMA) and proposed project, the capacity of the adjacent roadway network is anticipated to accommodate the associated traffic to this proposal. Internal to the site, there will be a change in traffic that is more residential in nature than what currently exists with the office buildings on the site. The development proposal is anticipated to increase the number of people walking and biking in the surrounding area, as new residents take advantage of nearby services, retail and recreational opportunities. The developer provided a pedestrian circulation plan that depicts on-site pedestrian routing.

DEVELOPMENT INFORMATION

Zoning History

The site was annexed into the City in 1963 (Ord. #168) zoned to the Single-family Residential district (R1-35) zoning designation. Since initial rezoning of the site, the site has been rezoned to Planned Community district (PCD) in 1974, Commercial Office Planned Community district (C-O PCD) in 1980 and in 2002 the northern portion of the property was rezoned to Highway Commercial, Planned Community district (C-3 PCD).

The applicant is requesting to change the zoning for the overall site to the Planned Unit Development (PUD) district to accommodate a mixed-use development and the proposed residential component on the southern portion of the site. The PUD zoning district promotes a mixed-use development pattern along major/minor arterial/collector streets for small- to medium-sized infill sites which are located outside of the Environmentally Sensitive Lands Overlay and the Downtown Area boundary.

Community Involvement

With the submittal of the application, staff notified all property owners within 750 feet of the site. In addition, the applicant sent notices to all property owners within 750 feet of the site. An open house was held by the applicant team at the site and in the adjacent conference facility on June 22, 2022.

As of the publishing of this report, staff has received numerous emails on the redevelopment of the site with concerns about traffic, water, additional apartments, and building height.

Context

Located on the south side of E. Shea Boulevard, the site is situated in an area of retail uses, office uses and multiple-family residences on the north side of E. Shea Boulevard. The site has existing offices, retail and restaurants on the northern portion of the property. Please refer to context graphics attached.

Project Data

- Existing Use: retail, restaurants and offices on northern portion and vacant on southern portion
- Proposed Use: Mixed-use
- Parcel Size: 11 +/- acres (gross)
451,281 square feet /10.36 acres (net)
- Residential Building Area (proposed): 387,454 square feet
- Commercial Building Area (existing): 85,187 square feet
- Total Building Area: 472,641 square feet
- Floor Area Ratio Allowed: 0.8 (commercial floor area only)
- Floor Area Ratio Provided: 0.19 (commercial floor area only)
- Building Height Allowed: 48-feet (plus 10-feet for rooftop appurtenances)
- Building Height Proposed: 48-feet (plus 10-feet for rooftop appurtenances)
- Parking Required for PUD: 284 spaces (mixed commercial), 347 spaces (residential)
- Parking Provided for PUD: 357 spaces (mixed commercial), 375 spaces (residential)
- Open Space Required: 47,916 square feet (10%)
- Open Space Provided: 126,685 square feet (28%)

- Number of Dwelling Units Allowed: Per Development Plan
- Number of Dwelling Units Proposed: 219 units
- Density Allowed: Per Development Plan
- Density Proposed: 19.9 dwelling units per gross acre (PUD area)

August 30, 2022

94 HUNDREDS
the village

9375 East Shea Boulevard

Mixed-Use Multifamily Residential and Retail / Office Development

10.6 Acres

Project Narrative and Development Plan

Minor General Plan Amendment

From: Commercial

To: Mixed-Use Neighborhoods

Rezoning

From: C-3 PCD / C-O PCD (Planned Community District – McCormick Ranch)

To: PUD PCD (Planned Community District – McCormick Ranch)

9400 East Shea Boulevard
Rezoning & Minor GPA

ATTACHMENT #5

Development Team

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I. Purpose of Request:

This request is for a General Plan Amendment (GPA) from Commercial to Mixed-Use Neighborhoods and a rezoning from C-3 PCD / C-O PCD (Planned Community District – McCormick Ranch) to PUD PCD (Planned Community District – McCormick Ranch) on a \pm 10.62 gross acre site to allow for a mixed-use development. This development is the build out of 94 Hundred Shea, which will add new residential (94 Hundred Shea – The Village) to the existing retail/office center (94 Hundred Shea – The Shops/Office). The vacant portion of the property will be developed as a New Age active Multi-Generational (young adults to active seniors) housing community of 219 well-appointed units to add vibrancy and fiscal sustainability to the existing commercial center. The property is located at 9375 East Shea Boulevard (the “Site”). (See below *Aerial*)

AERIAL PHOTO



II. Development Team

Taliajevan Properties, Inc:

Taliajevan Properties, Inc is a private real estate company specializing in the long-term ownership of commercial real estate properties in Canada and Scottsdale, AZ. Founded by Harmel Ryat in 1995, Taliajevan owns a portfolio of office and retail centers with a market value of over \$200 million. Taliajevan entered the Scottsdale market in 2005 and has owned the subject property since 2013. Taliajevan has retained Kaplan Multifamily as its Development Partner to develop & manage The Village luxury apartments.

Kaplan Multifamily:

Kaplan Multifamily (“Kaplan”) was formed in 1978 in Houston, Texas. Kaplan entered the Phoenix market in 2008 and opened a Regional office in Scottsdale in 2014. Kaplan is a diversified operator, owner, and developer of high-quality multi-family properties in major metropolitan areas across the United States. Kaplan is active in emerging high growth submarkets, redeveloping existing multi-family housing, and repurposing commercial developments into mixed-use communities, and holds 44 years of successful management experience in the dynamic and evolving multi-family industry.

Kaplan has a current development pipeline of 4,402 units at a cost of \$1.4 Billion which includes 3,370 units in Metro-Phoenix as a cost of \$992 Million.

Kaplan has developed two very successful multifamily communities in Scottsdale adjacent to the Scottsdale Quarter. The District at Scottsdale consisting of 322 units and the Scottsdale Grand consisting of 285 units. Both communities include amenities and features not found in other multifamily communities in Scottsdale such as, units with roof top decks, valet parking, on-site hair salon, fitness center open to the public, professional sports simulator just to mention a few. 94 Hundred Shea – The Village will include, not only these type of amenities, but will also include a water management program which reduces water consumption by at least 20%.

Here are photos of existing properties built by Kaplan in Scottsdale & other Valley locations:





III. 94 Hundred Shea – The Village

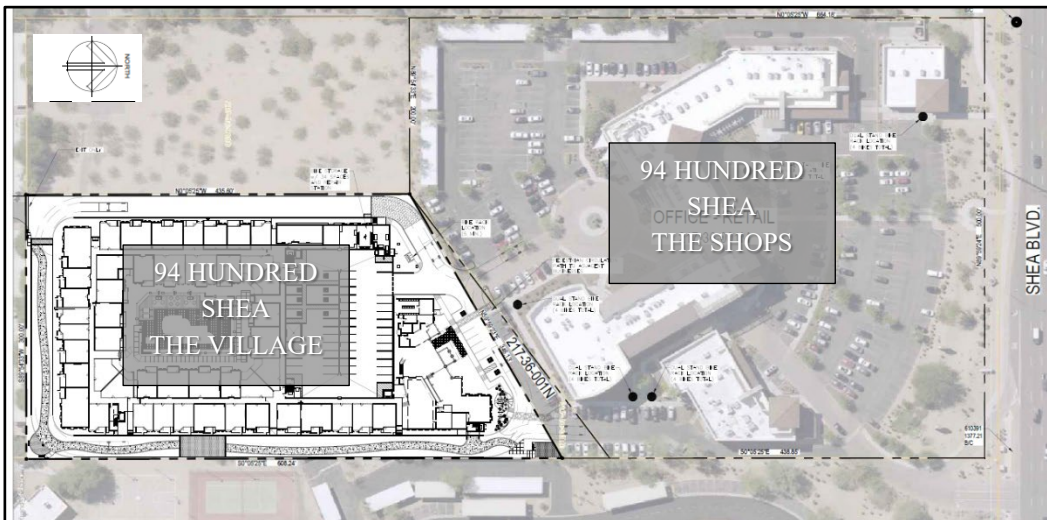
Overview

The proposed development will be a mixed-use development that will blend new multifamily residential housing with existing and well-established commercial retail and office. Under one ownership, these two uses will provide service and convenience to each other as well as serving the larger community.

Infill projects are often the most challenging, but also the most rewarding and responsible type of development as they are usually focused on solving a specific problem, or set of problems, and doing so on land that is often challenged by physical or social and political constraints. Recognizing the reality of the factors affecting this property, we are committed to serving the area with a new high-quality housing choice, new customers for local businesses, walkable design and convenience, and a true mixed-use experience for the City of Scottsdale.

94 Hundred Shea – The Shops is an existing commercial development that consists of approximately 35,000 square feet of Class A office (100% leased) serving 250 employees and approximately 38,740 square feet of restaurant and retail commercial space with only one 8,142 square foot restaurant space available. This is a high-end center with no ‘marginal’ uses – all of this on approximately seven acres (7.03 acres). Access is primarily from Shea Boulevard, though legal shared access exists from the south through the commercial office development via a dedicated vehicular access easement.

94 Hundred Shea – The Village is the residential component of this mixed-use development and is comprised of 219 new multifamily residential units on a vacant 3.59-acre site that is situated between 94 Hundred Shea to the north and an office condominium complex the south (Ironwood Office Suites). To the east is the CVS corporate office complex and to the west is a vacant 3.92-acre property, which is the subject of a recent general plan amendment and rezoning application, 3-GP-2021 and 6-ZN-2021, respectively (“92 Ironwood”), which was withdrawn earlier this year.



The subject property was approved for a mixed-used commercial retail and office development in 2002. The retail portion of the project has since developed; however, the remaining portion of the property has remained vacant despite being approved for a four story, 55,000 square-foot medical office building. A variety of variables ranging from access and visibility to market saturation are likely contributors to the lack of development interest with this property. Alternatively, the property is an ideal site for true mixed-use development. Its proximity to high-quality goods and services makes for a walkable community, which advances the goals of the City's new General Plan by establishing responsible and appropriate development in areas where impacts are minimal. This concept is validated by the reduced number of daily trips, the types of trips, and the concentrated timing of the vehicular trips associated with residential development versus the aforementioned, and previously approved, medical office building. These findings are reinforced by the Traffic Impact Analysis associated with this PUD and are further supplemented by the understanding that mixed-use developments in urban cores such as this one, with a mix of employment opportunities, commercial retail and service options, and quality residential development lends itself to greater pedestrian activity and lower reliance on automobiles.

This development is proximate to approximately 19,000 employees and a variety of local employers, including HonorHealth (hospital), PCS/CVS Caremark and nearby medical and professional offices, all of which will receive direct marketing for potential future residents who would surely find this convenient, modern lifestyle appealing. In support of the employees of those local employers, 94 Hundred Shea – The Village will implement the following Preferred Employer Discount for at least the first three (3) years.

Preferred Employer Discount

The discount program is called the preferred employer discount. The On-site property management team visits local employers (typically within a 3-5 mile radius) and discusses the program. Those employers who elect to participate have their HR department or office manager notify existing employees and new employees of the program. Employees are referred to the leasing staff and are offered discounted rent. The discount varies by unit type and availability which can range from 8% to 15% over the lease period. At District at Scottsdale Quarter, another project from Kaplan Multifamily, close to 25% of the units or 75 apartments received the discount.

All City of Scottsdale employees are eligible for the preferred employer discount. All they need to do is show proof of employment by the City of Scottsdale to receive the discount.

Existing Conditions & Context

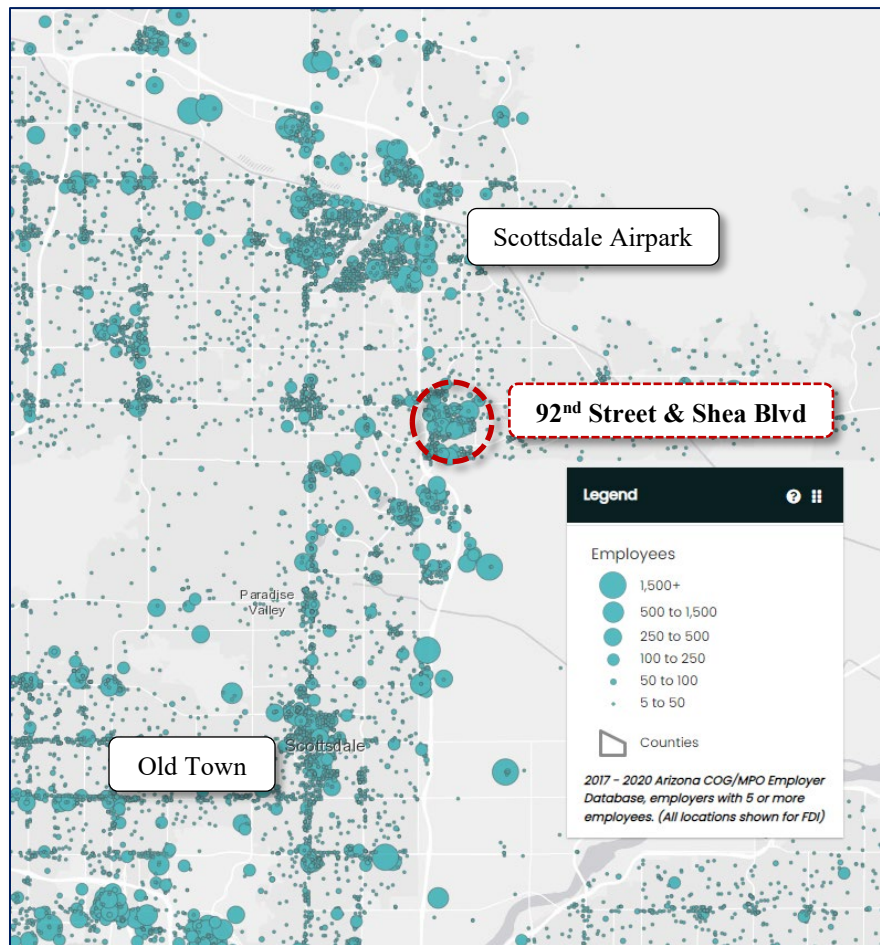
The Site constitutes \pm 10.62 gross acres and is bordered by Shea Boulevard on the north. Existing offices (C-O) border the Site to the east and south. The west side is bordered by existing commercial businesses (C-3) and an intervening vacant property.

The McCormick Ranch Center creates a unique opportunity to blend interrelated land uses and promote the live, work, and play concept. Additionally, the nearby retail and surrounding employment core (i.e., hospital, CVS Health/Caremark, etc.) provides regional appeal for future residents of 9400 East Shea Boulevard. The ease of accessibility via the freeway and Shea Boulevard as well as its proximity to businesses, shopping, recreation, and trail system makes this development a compliment to its surroundings.

Retail / Commercial Component

The retail/commercial component of this mixed-use development is the existing office/retail center located between Shea Boulevard and the residential component. In total, it consists of 39,000 square feet of retail with a mix of dining and service uses. Additionally, there is approximately 36,000 square feet of professional office space available for lease.

The existing commercial development and the proposed new apartments will blend seamlessly to create a cohesive mixed-use community. The compatibility between the uses doesn't stop with just these two uses. The larger area of 92nd Street & Shea Boulevard is an urban core with a mix of uses of varying intensity.



Employer Data
Source: Maricopa Association of Governments

This area is served by several major employers and countless small businesses – all of which will serve, or be served by, new residential development.

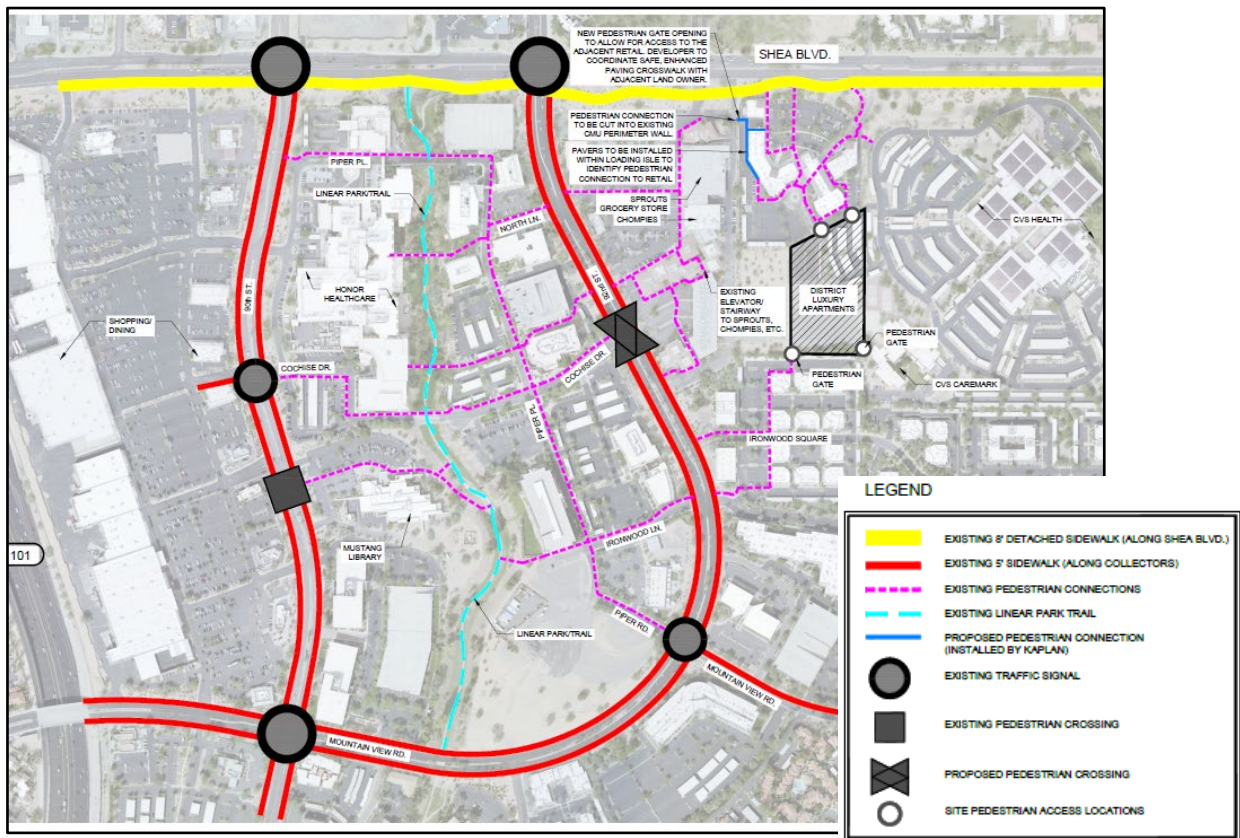
Site Access

Primary access to this development will be from Shea Boulevard via a shared driveway. This driveway splits into two separate drives – one that bypasses the commercial to the east and the primary drive that passes under the existing commercial building. It will be this primary drive that

serves as the main access to the residential portion of the project. A secondary access to 92nd Street will be provided via an existing vehicular access easement through the abutting Ironwood medical office condominium to the south. There will also be fire lane along the perimeter of the apartments that will serve dual purposes (i.e. building setback, walking area, and fire safety access).

Ironwood 92 Partners LLC owns the property to be developed as “Caliber” between the subject property and 92nd Street. Caliber has recorded an access easement through the Caliber property to 92nd Street, as required by the McCormick Ranch Association. This easement provides access to 92nd Street for the 94 Hundred Shea project. This access easement is also dependent on the execution of an agreement between 94 Hundred Shea and Caliber. We intend to sign an acceptable agreement and to use the access easement to 92nd Street when it is available. When this easement comes to fruition, 94 Hundred Shea will terminate its access through the Ironwood medical office condominiums to the south and limit its legal use of that access easement for emergency ingress and egress only.

In addition to vehicular access, the residential development with in the 94 Hundred Shea mixed use project will benefit from other multi-modal circulation opportunities into and throughout the surrounding commercial and employment within the McCormick Ranch Center core. As illustrated by the below map, a vast network of sidewalks and trails crisscross the area and provide connections to beyond.



Site Plan

The design for this Site provides open space, pedestrian passageways, and inviting gathering areas for activity and interaction with shaded areas, enhanced paving, a variety of meandering pathways, and landscaping. The addition of apartments to this Site via 94 Hundred Shea – The Village, will add to synergy by incorporating on-site residents to dine and shop in the existing restaurants and retail establishments thereby creating a true Live/Work/Play mixed use community. In addition, the proposed apartments will provide:

- Garage parking in excess of parking code
- Ride-share pick up & drop off area.
- Penthouse units with rooftop deck (spiral staircase).
- Professional indoor sports simulator.
- 10' ceiling in select ground floor units.
- Valet trash service (trash picked up daily at front door of unit).
- Teaching Kitchen with regular classes provided by management.
- Bike repair room located in garage.
- Pet spa.
- Gaming Lounge (billiards, pool, shuffleboard).
- Oversize two story clubhouse.
- Resort pool with beach entry.
- Coffee bar.
- Free daily breakfast in clubhouse.
- Onsite laundry & dry-cleaning service.
- Gourmet teaching kitchen in clubhouse.
- Equinox style fitness center.
- Outdoor phone & laptop charging stations.
- Concierge service.

The apartments provide for one (1) main outdoor activity area for both active and passive recreation, relaxation, and an abundance of open space for the future residents. The main building structures are navigated through a series of pedestrian passages that lead throughout the Site and ultimately to the outer pedestrian sidewalk network and the surrounding area. *(See Exhibit D: Site Plan)*

94 Hundred Shea – The Village plans to become a “New Age – Multigenerational Project” – the first in the City of Scottsdale. Our amenities & activities are designed for several generations: from younger persons to active seniors. Features include different fitness & social activities including wellbeing, intellect, as well as services like housekeeping, dry cleaning, in-home package delivery, etc.

Landscape Theme

The project’s landscape theme will reduce overall water intake include by utilizing native trees, shrubs, accent plants, groundcover, and minimal turf. Elements of the McCormick Ranch Landscape Master Plan will be utilized, such as predominantly using trees, shrubs and accent plantings from the approved list. While the Master Plan is specifically for property that is owned and managed by the McCormick Ranch Property Owners Association, ensuring that landscaping reinforces the character of the area is important as per both the General Plan (Character and Design Element Goal CD 5) and Shea Area Plan (Goal 1).

Throughout the site are tree and shrub lined sidewalks providing a pleasant/cool environment to walk. The open space areas will also contain a variety of native shrubs and landscaping providing for a friendly, enjoyable, useable, and shaded environment for residents to traverse and use the property. As such, the plan includes one (1) main internal courtyard area which all feature a variety of landscaping and amenities such as a swimming pool, fountains, fire pit, putting green, televisions, barbeques, and shaded seating and dining areas which are all connected by a system of winding walkways. *(See Exhibit E: Landscape and Amenity Plans)*

Shea Boulevard Scenic Corridor

The Scottsdale General Plan identifies Shea Boulevard as a Scenic Corridor, where 100' landscaped setbacks are expected to preserve views and create a sense of openness. Previous approvals for this property (11-ZN-2002) allowed for an 80-foot minimum corridor along Shea Boulevard. However, since that time the City of Scottsdale has revised the standards which now includes a 100-foot minimum. 94 Hundred Shea embraces and incorporates the Shea Boulevard Scenic Corridor and within this PUD and with the proposed additional of residential, continues to support the Scenic Corridor with no changes to the existing conditions. Sheet A1.3.1 of this submittal (Overall Site Plan) illustrates the Scenic Corridor and notes an average setback of 91.36 feet.

If future development/redevelopment efforts occur within the 94 Hundred Shea project along Shea Boulevard, no further encroachments into the Scenic Corridor.

Architecture

The building architecture, specifically the new multifamily residential building, features varied massing and roof parapets, architectural embellishments, stoops, materials and façade detailing found in many contemporary luxury multi-family developments found in Scottsdale and the Southwest region. The building massing includes a series of towers and recessed facades and patios. The massing and detailing emphasize the promotion of pedestrian activity via lighting, trees, and shade structures such as: awnings and roof overhangs. The color scheme is a blend of shades of brown, white, and tan with some complementary accent colors found within the Sonoran Desert color palette and consistent and appropriate with the surrounding building context. *(See Exhibit G: Elevations)*

Maximum building height is 48' with all rooftop mechanical equipment and screening, stairwell bulkheads, as well as rooftop deck enclosure walls and fall protection railing that exceed that building height, limited to under 30% total of the roof area for each building.

IV. The Development Plan

Pursuant to the City's Zoning Ordinance for PUD rezoning requests the following four (4) items to be addressed within the required Development Plan ("DP"). They are:

(1) The design contained in the DP is compatible with development in the area.

The Site sits in a dense "core" area planned for such intensities and mix of uses. The proposal is for a planned, medium density, mixed-use apartment project added to an appropriate/sustainable level of supporting retail/commercial (non-residential) situated in this "core" area. The ability to provide residential units creating and fostering the live, work, and play concept will further promote and enhance the activity in this area and create a more synergetic "core" area.

The proposed project is compatible with and contributes to its surrounding uses, which has evolved towards a more active, dynamic, and vibrant area. The proposed development, as part of this "core" area, and together with the existing users (i.e., hospital, retail, office, trails, etc.) creates the desired effect envisioned for this area by attracting new development into the McCormick Ranch Center. In addition, the residential units will connect nicely with the Site amenities and users as well as beyond without the use of cars. By downplaying the internalized/structured parking, creating ease access on foot, and increasing the critical mass of people in the area helps to support the businesses in the area on a daily/nightly basis. The proposed apartment development is responding to the demand for housing to support the surrounding retail/commercial/employment uses. The proposed development plan of approximately 220 units is reasonable and provides a density option that can easily be supported with the existing infrastructure (e.g., water, sewer, streets, etc.) as well as uses in the area. With that being said, the 9400 East Shea Boulevard apartments complies in overall height, setbacks, high quality architecture, and pedestrian/vehicular connectivity to seamlessly blend within the area, but it is also a unique residential development option internalized for those looking for a different living experience.

The apartments will be built in one (1) phase. The anticipated timing of construction is expected to begin in the 1st Quarter of 2023. Once the apartments are completed with the existing on-site retail/office users ensures that the intent of the PUD, General Plan, and Area Plan will be met and provide a substantial public benefit along with implementing the components of a lively mixed-use area within an identifiable/unique node of the McCormick Ranch Center.

There are two (2) total usable open space areas integrated into the DP that continue the theme of the surrounding area, which include the main swimming pool. The swimming pool is the largest open space area being approximately and the smallest internal usable open space for passive/active amenities. Finally, the entire Site is connected by winding walkways which link up to public sidewalks, bike paths/trails, and ultimately to the surrounding area.

- (2) The DP is environmentally responsive, incorporates green building principles, contributes to the city's design guidelines and design objectives, and that any deviations from the design guidelines must be justified by compensating benefits of the DP.**

The proposed development is environmentally responsive and provides exceptional public benefits in many ways by including an enhanced common open space, public/private pedestrian areas/connections as well as amenities (e.g., trails, restaurants, shopping, etc.) encouraged in the Scottsdale Design Guidelines. It should be noted that the development will exceed the required 10% open space. Again, these open space areas provide areas of contemplation, recreation (passive/active), cooling, and visual interest both on-site and off-site. The landscape palette is in keeping with a Sonoran Desert theme and water conservation measures by strategically locating low water use trees, shrubs, groundcovers, etc. to create a lush appearance that cools the environment both internally and externally. All of the plant species proposed adhere to the Arizona Department of Water Resources (ADWR) "Low Water Use Plant List" in order to incorporate native and hybrid arid region vegetation into the landscape. Turf is strategically located on-site within a few of the areas designated for internal/activities in order to optimize comfort and use. Finally, the entire Site is interconnected by walkways which link up to public sidewalks and bike/trail paths encouraging multimodal options.

94 Hundred Shea – The Village is designed with cutting edge "watersmart" features including the City of Scottsdale and LEED WaterSense program. Water-efficient products that use 20 percent less water, while still performing as well as or better than standard models will be used throughout the project, including toilets, bathroom faucets and faucet accessories and showerheads.

The architectural character is a contemporary design which will utilize the most current building materials to provide for an energy efficient development. The building masses are broken by using "bump outs" and other architectural relief/projections to create a less imposing building structure and more human scale. In addition, the curve of the north façade of the building creates opportunities for enhanced pedestrian areas and landscaping to emphasize the front entrance and most visible portion of the building. The architectural elevations are broken up vertically by varying the roof lines, alternating between flat parapets and flat roof overhangs, awnings, etc. These architectural treatments help vary the roof lines vertically. Within the flat parapet areas of the building the walls of the building step back horizontally creating wide recessed areas that provide space for awnings, patios, and visual massing reliefs. This horizontal relief occurs approximately every 100 lineal feet with massing changes, the curve of the building, covered main entrance area, and the natural curvature of the main street (i.e., driveway). The proposed design provides a strong base with a material change from stucco, stone, glass, steel awnings, and pedestrian access points located in strategic locations to "ground" the design. The midsection and top utilized the same materials with the top units accentuated by patio areas as well as bulkhead areas protruding towards the top of the buildings to provide access to the roof decks for those units along with alternating flat parapets and roof overhangs. The overarching intent is to

create a compatible development design for the area while also being a unique, high quality, and visually appealing for one to want to live and play while being near work, shopping, restaurants, recreation, etc. thus reducing traffic and pollution while also maintaining long term economic success.

In summary, the 94 Hundred Shea – The Village commits to incorporate/adhere to the following Green Building Code Features.

SITE:

- Native plants including desert responsible landscaping (xeriscape)
- Designed to encourage indoor/outdoor living via the main internal courtyard and use of shade canopies
- Environmentally friendly ground treatments without pesticides
- Heat Island reduction from shade and paint colors
- Pedestrian shading

ENERGY:

- Energy performing modeling (smart homes)
- Energy efficient appliances including an ENERGY STAR® qualified dishwasher and ENERGY STAR® qualified clothes washer and dryer with a modified energy factor of greater than or equal to 2.0 and a water factor of less than 5.5.
- Energy efficient heating and cooling
- Water heating/management that uses a demand controlled circulation loop or compact design that stores no more than 0.5 gallons such as the Teal System.
- Recessed windows with top ledges
- Fresh air ventilation including operational windows
- Smart home-controlled thermostats, doors and lighting
- Ductwork located within climate-controlled areas (corridors)
- Black out window shades

ENVIRONMENTALLY RESPONSIBLE MATERIALS:

- Recyclable building materials wherever possible
- Construction waste management to include recycling (50%)
- Indigenous materials (desert tolerant)
- Select local manufacturers (e.g., Hilton Cabinets)
- Energy wise roofs (non-petroleum)
- “Heat Island” reduction via shading and paint colors

- Vehicle charging stations
- Valet trash service including recyclables
- Natural lighting occupancy A & B

SAFE INDOOR AIR ENVIRONMENT:

- Low VOC materials specified by Architect
- Fresh air ventilation with operational windows
- Stormwater management
- Low-use landscape irrigation systems
- Building electrical power and lighting system

EFFICIENT WATER USE:

- WaterSense labeled plumbing fixtures including, toilets with 1.28 gallons per flush, faucets with a flow rate less than 1.5 gallons per minute, and showerheads with a flow rate of less than 1.5 gallons per minute.
- Desert responsible landscaping (xeriscape)
- Water heating/management that uses a demand controlled circulation loop or compact design that stores no more than 0.5 gallons such as the Teal System.

REDUCE GENERATION OF SOLID WASTE:

- Construction waste recycling program mandatory
- Prefab framing to reduce waste of lumber
- Construction efficiency program used by General Contractor

- (3) The DP will not significantly increase solar shading of adjacent land in comparison with a development that could be developed under the existing zoning district.**

Comparable heights, uses and generous setbacks created by the abutting streets and internal circular access drive aisle do not significantly increase solar shading of adjacent land in comparison with a development that could be developed under the existing C-O or C-3 zoning districts. Moreover, the C-O or C-3 zoning district allows up to 48' (not inclusive of roof apparatus) in building height, which will be comparable to the proposed development.

(4) The DP promotes connectivity between adjacent and abutting parcels, and provides open spaces that are visible at the public right-of-way and useful to the development.

The proposed development provides for usable and common open space, with shaded seating and landscaping features that exemplify the promotion of connectivity between on-site and abutting properties. The enhanced/existing open space street frontage landscaping along Shea Boulevard of the Site creates an inviting/enhanced enjoyable streetscape for all modes of transportation. Furthermore, with the addition of individual unit roof decks will help enhance visibility and activity within this internal area of the Site providing greater security for the area. Finally, these open space areas and enhanced connections provide areas of contemplation, recreation (passive/active), cooling, visual interest and connections to the surrounding area. (See the Landscape Plan Set Exhibit))

The landscape palette is in keeping with a Sonoran Desert theme with strategically locating trees, shrubs, groundcovers, etc. to create a lush appearance that cools the environment both internally and externally. The entire Site is connected by internal walkways which link up to public sidewalks and bike/trail paths encouraging multimodal options. Vehicular access is centrally located to provide ease of access to Shea Boulevard and 92nd Street (i.e., via an “exit-only” access south through the medical office condominium) and to circulate around the new apartment building for resident access as well as fire access.

V. Minor General Plan Amendment Determination

The requested GPA is in conformance with a Minor General Plan Amendment, based upon the criteria set forth in the General Plan. The proposed change in land use designation is from Commercial to Mixed-Use Neighborhoods, which as shown on Pages 56 of the 2035 General Plan, is a Minor Amendment. A detailed explanation of how this proposal is consistent with the 2035 General Plan and the Shea Area Plan is provided below.

1. **Change in Land Use Category**

A change in land use category on the land use plan that changes the land use character from one type to another as delineated in the land use category table (Page 56 of the General Plan).

Response: The 2035 General Plan designation is Commercial and a requested GPA land use change to the Mixed-Use Neighborhoods designation. These land use categories are located within Group G, and therefore do not constitute a Major GPA.

2. **Area of Change Criteria**

A change in the land use designation that includes the following gross acreages:

*Planning Zone A: 10 acres or more.

*Planning Zone B: 15 acres or more.

Response: The designated Planning Zone for the site is Zone B, which establishes a 15-acre threshold for Major Amendments. The subject property is only 10.62 acres.

This project is keeping with the mission and values of the General Plan and community, and in addition the Site totals approximately 10.62 gross acres. Thus, it is under the acreage threshold and therefore meets Minor General Plan Amendment criteria.

3. **Character Area Criteria**

Character areas have been added to the city's planning process in order to recognize and maintain the unique physical, visual and functional conditions that occur in distinct areas across the community. The city recognizes that these form a context that is important to the lifestyle, economic well-being and long term viability of the community. These areas are identified by a number of parameters including but not limited to building scale, open space types and patterns, age of development and topographic setting.

If a proposal to change the land use category has not been clearly demonstrated by the applicant to comply with the guidelines and standards embodied within an approved character area plan it will be considered a major amendment.

Response: The property is located in the Shea Area Plan/Character Area. In Section VI. "2035 General Plan & Shea Area Plan" of this narrative, there is a full analysis of the

Shea Area Plan, including responses to the criteria of that specific plan. We believe we have demonstrated compliance with this approved character area plan; therefore, the General Plan Amendment request remains a minor amendment.

4. Water/ Wastewater Infrastructure Criteria

If a proposal to change the planned land use category results in the premature increase in the size of a master planned water transmission or sewer collection facility, it will qualify as a major amendment.

Response: The proposed change in land use does not result in a premature increase in the water and sewer plan, therefore it will not constitute a major amendment. At this time the development team has no plans to change or upgrade any water or sewer infrastructure, but should improvements to these systems be necessary during the final design stages of the project then they will be discussed/negotiated with the city regarding the necessary improvements and what this particular project will be responsible for improving.

5. Change to the Amendment Criteria and/or Land Use Category Definitions Criteria

A modification to the General Plan Amendment Criteria Section of the General Plan Land Use Element and/or a text change to the use, density, or intensity of the General Plan Land Use Category definitions.

Response: Does not apply.

6. Growth Area Criteria

A change in General Plan Land Use Category accompanied by a new or expanded Growth Area.

Response: Does not apply.

7. General Plan Land Use Overlay Criteria

The modification or expansion of an existing General Plan Land Use Overlay Category (specifically regarding the Regional Use Overlay, Shea Corridor Overlay, and Mayo Support District Overlay) or the creation of a new General Plan Land Use Overlay Category.

Response: Does not apply.

8. Exceptions to the General Plan Amendment Criteria

Certain exceptions to the General Plan Amendment Criteria are considered in the best interest of the general public and in keeping with the vision, values, and goals of the community. *[Paraphrase] Specific examples of possible exceptions provided.*

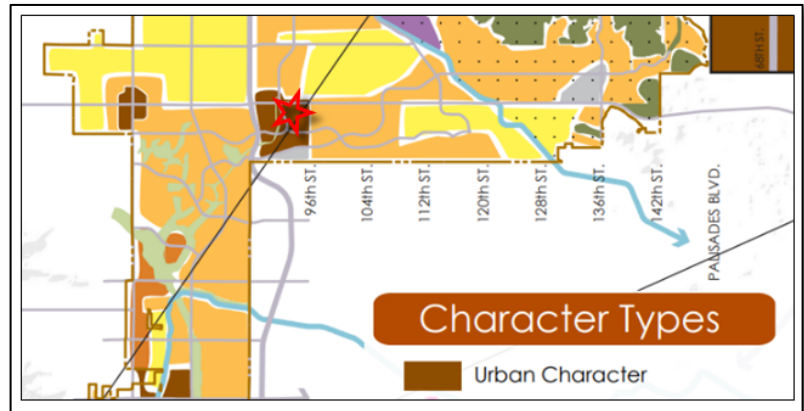
Response: Does not apply.

VI. 2035 General Plan & Shea Area Plan

2035 General Plan

The 2035 General Plan designation is Commercial and this is a requested GPA land use change to Mixed-Use Neighborhoods. (See Exhibit A: Current General Plan and Exhibit B: Proposed General Plan)

The property is located within an Urban Character Type within the 2035 General Plan which emphasizes higher density residential within mixed-use neighborhoods and next to employment centers such as Honor Health Care. Included in the General Plan Urban Character Area language above is a reference to taller buildings being allowed in Growth Areas. The subject property is identified as an Activity Area within the Growth Areas Element and on the respective Growth Areas Map. This project is in the heart of a highly urbanized area with a broad spectrum of non-residential, employment-based uses of varying intensity, height, and overall activity. Furthermore, the General Plan Growth Areas Element is intended to “...identify Growth and Activity Areas to manage growth and development and maintain the quality and variety of lifestyle choices found throughout the community” which this project does with exquisite style and function.



The General Plan sets forward collective goals and approaches of the community with the intent to integrate Guiding Principles into the planning process and provide as a framework for proposed development and the built environment. The goals are, however, not intended to be stationary or inflexible. The General Plan is designed to be a broad, flexible document that changes as the community needs, conditions, and direction change.

With this in mind, this proposed Minor General Plan Amendment not only meets, but exceeds the goals and approaches established in the General Plan. A selection of supporting goals and policies are provided below.

Shea Area Plan

This property, as indicated in Shea Area Plan, is intended to provide a mix of uses located within the shopping and “core” area while protecting and enhancing the “openness” of the desert environment along Shea Boulevard. This indicates the appropriateness of the

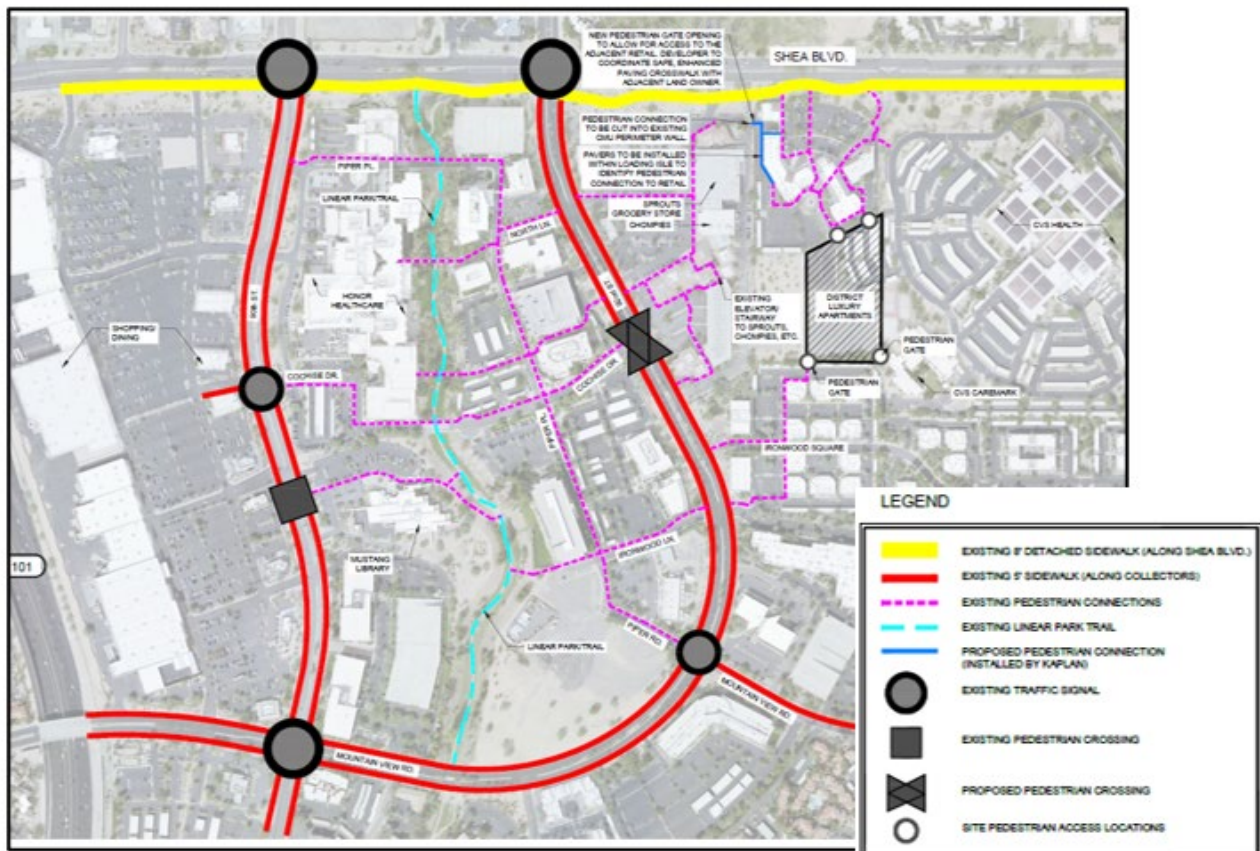
proposed mixed-use residential development within this existing retail/office enter in this strategic location along with the current housing/development trends that are important to the Shea Area Plan, economic well-being, and long-term viability.

GENERAL PLAN ELEMENTS

Land Use

LU 2: Sensitively transition and integrate land uses within the surrounding natural and built environments.

Response: This proposed development, with its rezoning request to PUD will facilitate the build out of 94 Hundred Shea. The vacant portion of the property will be developed as a New Age active Multi-Generational (young adults to active seniors) housing community of 219 units (94 Hundred Shea – The Village) to add vibrancy and fiscal sustainability to the existing commercial center (94 Hundred Shea – The Shops). The combined mixed use 94 Hundred Shea project will form an integrated and cohesive community where residents can shop, dine, and work in the immediate core area. While vehicular connections are necessary, 94 Hundred Shea will provide pedestrian connections for integration with the surrounding commercial and office.



LU 3.1: Allow for the diversity and innovative development patterns of residential uses and supporting services to provide for the needs of the community.

Response: This proposed development allows for a unique residential housing opportunity off the main street but helps with supporting services and amenities in the area. The proposed residential and existing non-residential uses at this Site provides for a balance and an appropriate level of unique mixed-use development that complement and complete the surrounding area providing for the needs of community and affords for an exceptional lifestyle.

LU 3.2: Integrate housing, employment, and supporting infrastructure, primarily in mixed-use neighborhoods and Growth and Activity Areas, to support a jobs/ housing balance.

Response: This mixed-use development is within an Activity Area and proposes appropriately balanced uses that are consistent with the needs and character of the surrounding developments and area uses and encourage a high quality lifestyle with many leisure opportunities and resources that support the surrounding community. The residential and non-residential uses at this location will support the quality of life and lifestyle desired in the area by providing residential units with some additional non-residential uses to help the balance of uses that support the surrounding community.

LU 3.3: Maintain a citywide balance of land uses, and consider modifications to the land use mix to accommodate changes in community vision, demographic needs, and economic sustainability.

Response: The proposed apartment development provides housing opportunities that support the future of the community and Scottsdale by enhancing the long-term viability of the employment users (i.e., hospital, medical, etc.) in the area as well as to appeal to employers looking to locate/expand while also providing an appropriate and transitional mixed-use development at this location in the McCormick Ranch Center. The apartment development provides a balance of uses to the area with the plethora of non-residential users in the area along with ease of access to major streets and the freeway system.

The apartment development also adds a complimentary balance at this tough/hidden location designated by McCormick Ranch Center and Shea Area Plan for mixed-use development. The proposed residential will be supportive of the existing retail, commercial, and employment uses within these neighborhoods and complete the mixed-use nature of this McCormick Ranch Center and the Shea Area Plan as envisioned.

LU 3.4: Provide an interconnected, accessible open space system, which includes pedestrian and equestrian links, recreation areas, canals, and drainage ways.

Response: Paths, connections, and open spaces have been carefully connected throughout and surrounding the site to provide for comfortable connections and alternative modes of transportation to surrounding land uses and beyond.

LU 5.1: Encourage a variety of compatible mixed-use land uses within or next to Growth and Activity Areas, along major streets, and within particular Character Areas to reduce automobile use and improve air quality.

Response: The location of this mixed-use project is appropriately located with the McCormick Ranch Center. The McCormick Ranch Center is the appropriate location for a Mixed-Use Neighborhoods designation for the proposed intensity of development, which currently provides pedestrian scaled uses and services on-site and the area. In addition, the location will support and enhance both the existing and proposed residential and non-residential uses in this location and transition between the employment users and surrounding retail. This development is replacing a vacant/hidden parcel into a vibrant use that will be a 24-7 days a week use and provide better security for the abutting users in the area too. Moreover, the development of apartments and the sidewalks will create a more walkable and enjoyable environment that helps to complete the overall development.

LU 6.3: Encourage commercial land uses of similar scale and character in proximity to or within medium- to high-density residential areas to promote walkable connections.

Response: This Site, with the apartments, will utilize the existing infrastructure already in place and will take advantage of this prime location (albeit hidden from view) for such a mixed-use development because of the surrounding employment, retail, trails, and services. With a nice variety of employment and uses within walking distance, this Site and its future apartment development encourages walkability and alternative modes of transportation which limits automobile trips.

Open Space

OS 4.3: As development and redevelopment occurs along transportation corridors, ensure the preservation of mountain viewsheds, the Sonoran Desert, natural features, and landmarks that enhance the unique image and aesthetics of major streets through open space buffering. The following Visually Significant Roadway designations should be applied:

- **Scenic Corridors should be designated along major streets where a significant landscaped buffer is needed between streets and adjacent land uses, where an enhanced streetscape appearance is desired, and where views to mountains and natural or man-made features will be maximized. Scenic Corridors may provide enhanced opportunities for open space, scenic viewing, trails, and pathways in the community.**

Response: The subject property is adjacent to Shea Boulevard which is designated as a scenic corridor where significant setbacks are expected to preserve views and create a sense of openness. 94 Hundred Shea embraces and incorporates the Shea Boulevard Scenic Corridor and within this PUD and proposed additional of residential, continues to support the Scenic Corridor.

Economic Vitality

EV 4.1: Ensure the highest level of services and public amenities are provided at the lowest costs in terms of property taxes and travel distances.

Response: High quality and desirable services and amenities are included within this development. Furthermore, the location of the development and uses within walking distance of this development provide residents and nearby citizens the highest level of services with minimal travel. The residential (i.e., apartments) component is the missing piece to this existing non-residential development and area, so by including the proposed apartments provides a nice balance of uses and amenities that promote a healthy lifestyle by encouraging walking and reduced travel (i.e., auto trips). There is a good balance of non-residential and commercial uses on Site that support the apartment development which will help sustain these uses along with pedestrian connections creating a walkable mixed-use development. Private and public, passive and active forms of open space are found throughout the overall Site (i.e., proposed and existing).

It should be noted that the apartment development will exceed the required 10% open space. Again, these new/existing open space areas provide areas of contemplation, recreation (passive/active), cooling, and visual interest both on-site and off-site. Mobility and connections through the site and surrounding area are enhanced with pathways, landscaping, and ground level architectural elements (i.e., canopies, overhangs, etc.). Use of native landscaping along with strategically location open spaces and drainage areas have been incorporated in an environmentally sensitive manner with consideration to the character of this area of Scottsdale.

The apartment development also supports the use of future innovations in technology that provide opportunities for “work from home” based businesses of the present and future while providing for a high quality of life. The development will utilize state of the art Wi-Fi technology and contains on-site amenities and services within the business center that support future technology workers and can help to eliminate automobile use. The on-site business center has a conference center with meeting space and can assist in home business needs such as printing, which will be located within the development.

Growth Areas Element

GA 3.1: Provide useable public open space as an integral part of Growth and Activity Areas to encourage public gathering, enhance aesthetics, preserve viewsheds, and serve as buffers between differing land uses and intensities.

Response: Open spaces (i.e., existing and proposed) have been strategically laid out within the Site. These areas encourage public gathering and activity. The open space corridor along Shea Boulevard continues to preserve viewsheds that also serve as a buffer from Shea

Boulevard and provides for a public benefit for the area. The apartment development strengthens the design and character of the Shea Area Plan and promotes a safe, comfortable, and aesthetically pleasing pedestrian environment and overall mixed-use development.

Housing Element

H 1.2: Promote complementary physical design, building structure, landscaping, and lot layout relationships between existing and new construction.

Response: The proposed apartment development will be aesthetically pleasing and will allow for another housing opportunity within this immediate area.

H 1.4: Support the creation of mixed-use projects, primarily in Growth and Activity Areas, to increase housing supply within walking distance of employment, transportation options, and services.

Response: This development will support the jobs and housing balance by providing an appropriate residential base to support new and existing employment and services. The designated McCormick Ranch Center is an ideal location for live, work, and play based mixed-use development that activates the surrounding area with pedestrians as well as connections while utilizing existing infrastructure.

H 1.5: Encourage a variety of housing densities in context-appropriate locations throughout Scottsdale to accommodate projected population growth.

Response: The proposed apartment development provides a unique residential housing option that is not on a major street but tucked back and more secluded for those looking for such an option. In addition, there are various floor plans (i.e., studio, one, and two bedrooms) including roof top access units. Additionally, the density of 219 units proposed is a reasonable number to economically develop and provides a critical mass of people within this immediate area to bolster the retail, restaurants, and employment uses in the area.

H 2.4: Encourage the development and preservation of affordable housing types, including smaller units and older housing stock.

Response: A range of floor plans have been included with the development that provides various levels of living options (i.e. studio, one, and two bedrooms with roof access for some units) as well as amenities (e.g., concierge service).

Community Mobility Element

C 2.1: Encourage a mix of land uses that will reduce the distance and frequency of automobile trips and support mobility choices.

Response: This mixed-use development will contribute to the existing live, work, and play theme seen in adjacent developments in this location. The mixed-use nature and design of the proposal provides for walkability and encourages alternative modes of transportation to reduce automobile trips and ultimately the strain on regional and local/neighborhood systems.

This Site provides an appropriate mixed-use development with the various commercial/retail/office users in the area. Furthermore, by adding the apartments, the development is designed with the intent to reduce automobile trips and encourage pedestrian oriented development by including ground level uses, live/work units, and services and enhancing the streetscapes to become walkable, comfortable, and aesthetically pleasing.

SHEA AREA PLAN

The Shea Area Plan was adopted in June 1993 by Scottsdale’s City Council. The following are the goals, intent, and policies from the Shea Area Plan (**emphasis** added) that support our proposal.

GOAL – ENHANCE AND PROTECT EXISTING NEIGHBORHOODS

INTENT: **New development should blend into the existing land use patterns without creating negative off-site impacts.**

POLICY 1 - **New development should be compatible to existing development through appropriate transitions.**

GUIDELINES:

The **following techniques are suggested to encourage compatibility with adjoining land uses:**

...

- 1) **Building heights at the edges of the parcel should reflect those already established by the existing neighborhood.**

...

- 4) **Buffering techniques such as landscaping, open space, parks, and trails should be used whenever possible.**

POLICY 2 - Parcels should develop without encouraging neighborhood assemblages. **It is desirable to unite undeveloped, individually owned parcels into a common development.**

GOAL – ENCOURAGE SITE PLANNING WHICH IS SENSITIVE TO ENVIRONMENTAL FEATURES

INTENT: Existing city policies provided for strong environmental protection and should be followed and actively enforced.

POLICY 1 - **Open space should be provided to link neighborhoods with trails and recreational areas, act as buffers between major streets and adjacent land uses,** provide for drainage, and protect significant habitat corridors, and to visually enhance the character of the area.

GOAL – PROVIDE FOR AN EFFICIENT ROAD NETWORK AND PROMOTE ALTERNATIVE MODES OF TRAVEL

INTENT: **Shea Boulevard should be built according to anticipated traffic demands. Limit site access, median breaks, and traffic signal locations** in accordance with the Shea Boulevard Transportation/Access Policy to be approved within six months of the Shea Area Plan.

POLICY 2 - The **trail system should be maximized as an alternative transportation route.**

GOAL – A VARIETY OF RESIDENTIAL HOUSING CHOICES SHOULD BE PROVIDED

INTENT: Create housing opportunities that will allow residents to live near schools and employment areas.

POLICY 1 - Enhance and protect the existing residential areas while allowing flexibility in residential parcels having Shea frontage.

GUIDELINES:

...

5) For **parcels at the intersection of Shea and an arterial or greater street, consider multi-family residential projects on any developable corner of the intersection.**

Response: The surrounding area is approved for or has been developed with 1, 2, 3, and 4 story buildings, with which the proposed 4-story apartment development would be consistent, albeit a bit higher, than some of these developments. However, the property is in the rear and behind an existing 2 story office/retail building which provides a nice buffer and visibility to Shea Boulevard. More importantly this area was envisioned to have the most intense developments within the McCormick Ranch community (i.e., the “core”). As properties develop/redevelop height will be important as the area is becoming built out. It is worth noting, the hospital has height of 4-5 stories. Homogenous heights are not ideal, and diversity of heights provides an interest to an area as well as assists in making projects economically sound/viable (i.e., in this case the number of units/people living within the area to support the ancillary uses). Thus, by adding the proposed compatible apartment development to this existing office/retail center will enforce, adhere to, and provide a more sustainable environment envisioned by the Shea Area Plan. And by providing buffers to the existing developments in the area, pedestrian connectivity points on-site and beyond (i.e., to the trail system, employment, retail, etc.) will create a less impactful environment, which is envisioned by the Shea Area Plan.

VII. PUD Criteria

Section 5.5003 of the Zoning Ordinance states that the development proposals shall comply with the following criteria:

A. PUD Zoning District Approval Criteria,

1. As part of the approval or modified approval of an application for a PUD district, the Planning Commission shall recommend and the City Council shall find that the following criteria have been met:

A. The proposed development promotes revitalization, the goals, policies and guidelines of the General Plan, Area Plans and Design Guidelines.

Response: The proposed addition of the apartment development to this Site accomplishes a range of goals including the public benefit of developing and using this hidden vacant lot into use. In addition, the high quality, vibrant architectural and site planning design as well as creating pedestrian synergy will complement the surrounding area. The proposed development meets and furthers the goals and policies of the General Plan and Shea Area Plan as discussed in this narrative. For example, the development of a mix of uses; specifically, residential (apartments) and providing pedestrian connections/pathways thus encouraging less dependency on the auto for the Site and the “core” area (i.e., McCormick Ranch Center).

B. The proposed development’s uses, densities, or development standards would not otherwise be permitted by the property’s existing zoning.

Response: The proposed apartment development would not be permitted under the existing C-O zoning designation on the vacant property and as such the request to PUD to allow for said use as an integrated development. There is a tremendous amount of existing office, potential redevelopment of office, and the potential for future office space that are more ideally located than this current location hidden behind and “sandwiched” between existing developments.

C. The proposed development will be compatible with adjacent land uses and promotes the stability and integrity of abutting or adjacent residential neighborhoods.

Response: The proposed apartment development is compatible with adjacent land uses, heights, and maintains the integrity of the Shea Area Plan and McCormick Ranch Center’s “core” area by providing a balance between residential and employment/retail type uses. Current multi-family residential projects in the area are compatible and similar character, but this location is hidden from view and a difficult property to develop into something other than residential units.

D. That there is adequate infrastructure and City services to serve the development.

Response: There are adequate infrastructure and City services to serve the development.

E. That the proposal meets the following location criteria:

i. The proposed development is not located within any areas zoned environmentally sensitive lands ordinance (ESL) nor within the boundaries of the Downtown Plan.

Response: The Site is not located within the ESL area or within the boundaries of the Downtown Plan.

ii. The proposed development fronts onto a major or minor arterial and/or major collector street as designated in the City's transportation master plan.

Response: The Site fronts Shea Boulevard, a major arterial street.

VIII. Traffic Issues

As noted previously, 94 Hundred Shea consisting of both The Shops and The Village has full access to Shea Boulevard. As part of this Minor General Plan Amendment and Rezoning request is a Traffic Report dated July 11, 2022, prepared by Jamie Blakeman, PE, PTOE, principal of the Lokahi Group. Importantly, this Traffic Report confirms the Shea Boulevard can handle the traffic contemplated to be produced by the additional 219 multi-family proposed as part of 94 Hundred Shea – The Village.

Indeed, as this Report makes clear, the multi-family site is currently approved for a medical office complex. The medical office complex would generate 1,445 trips per weekday, while the multi-family will produce 994 per weekday.

Traffic Report Table 6

| Land Use | ITE Code | Qty | Unit | Weekday | AM Peak Hour | | | PM Peak Hour | | |
|---|----------|------|-------------------|--------------|--------------|--------------|------------|--------------|------------|--------------|
| | | | | Total | Total | In | Out | Total | In | Out |
| General Office Building (Potential - Same FAR (0.35) as Approved Use) | 710 | 27.4 | 1000 SF GFA | 376 | 55 | 48 | 7 | 57 | 10 | 47 |
| Medical-Dental Office Building (Potential - Same FAR (0.35) as Approved Use) | 720 | 27.4 | 1000 SF GFA | 1,069 | 75 | 59 | 16 | 108 | 32 | 76 |
| Total | | | | 1,445 | 130 | 107 | 23 | 165 | 42 | 123 |
| Proposed Development | 221 | 219 | Dwelling Units | 994 | 81 | 19 | 62 | 85 | 52 | 33 |
| Difference | | | | -451 | -49 | -88 | 39 | -80 | 10 | -90 |
| % Increase | | | | -45% | -60% | -463% | 63% | -94% | 19% | -273% |

The build out of the proposed development is anticipated to generate 451 (45%) fewer weekday trips, with 49 (60%) fewer trips during the AM peak hour, and 80 (94%) fewer trips during the PM peak hour than the build out of medical office at a 0.35 FAR. Thus, there will be a substantial reduction in traffic on Shea Boulevard if the multi-family is developed.

There is a valid existing legal access easement permitting traffic to go from the PUD site through the Ironwood medical condominium project immediately adjacent and to the south. While there are no constraints on the use of this access, the developer is willing to make substantial concessions in favor of the medical condominium complex. These concessions include the following:

1. Accessing the easement will not be permitted between the hours of 9 and 3 o'clock.
2. No construction traffic will use the easement.

At the request of the City of Scottsdale Transportation Department, the Traffic Report assigns approximately 20% of the outbound trips generated by the proposed development through the medical condominium project to utilize the intersection of 92nd Street and Ironwood Lane.

Ironwood 92 Partners LLC owns the property to be developed as “Caliber” between the subject property and 92nd Street. Caliber has recorded an access easement through the Caliber property to 92nd Street, as required by the McCormick Ranch Association. This easement provides access to 92nd Street for the 94 Hundred Shea project. This access easement is also dependent on the execution of an agreement between 94 Hundred Shea and Caliber. We intend to sign an acceptable agreement and to use the access easement to 92nd Street when it is available. When this easement comes to fruition, 94 Hundred Shea will terminate its access through the Ironwood medical office condominiums to the south and limit its legal use of that access easement for emergency ingress and egress only.

The referenced Traffic Report also empirically demonstrates that there will be far less traffic generated from the apartment complex than would be generated by a medical office building currently allowed by the existing zoning. This fact combined with the above restrictions and limitation on travel through the existing easement lessen any potential negative effects on the medical condominium project.

The bottom line is that the project as proposed will produce significantly less traffic than will be produced by the currently approved 4-story medical office building.

IX. Conclusion

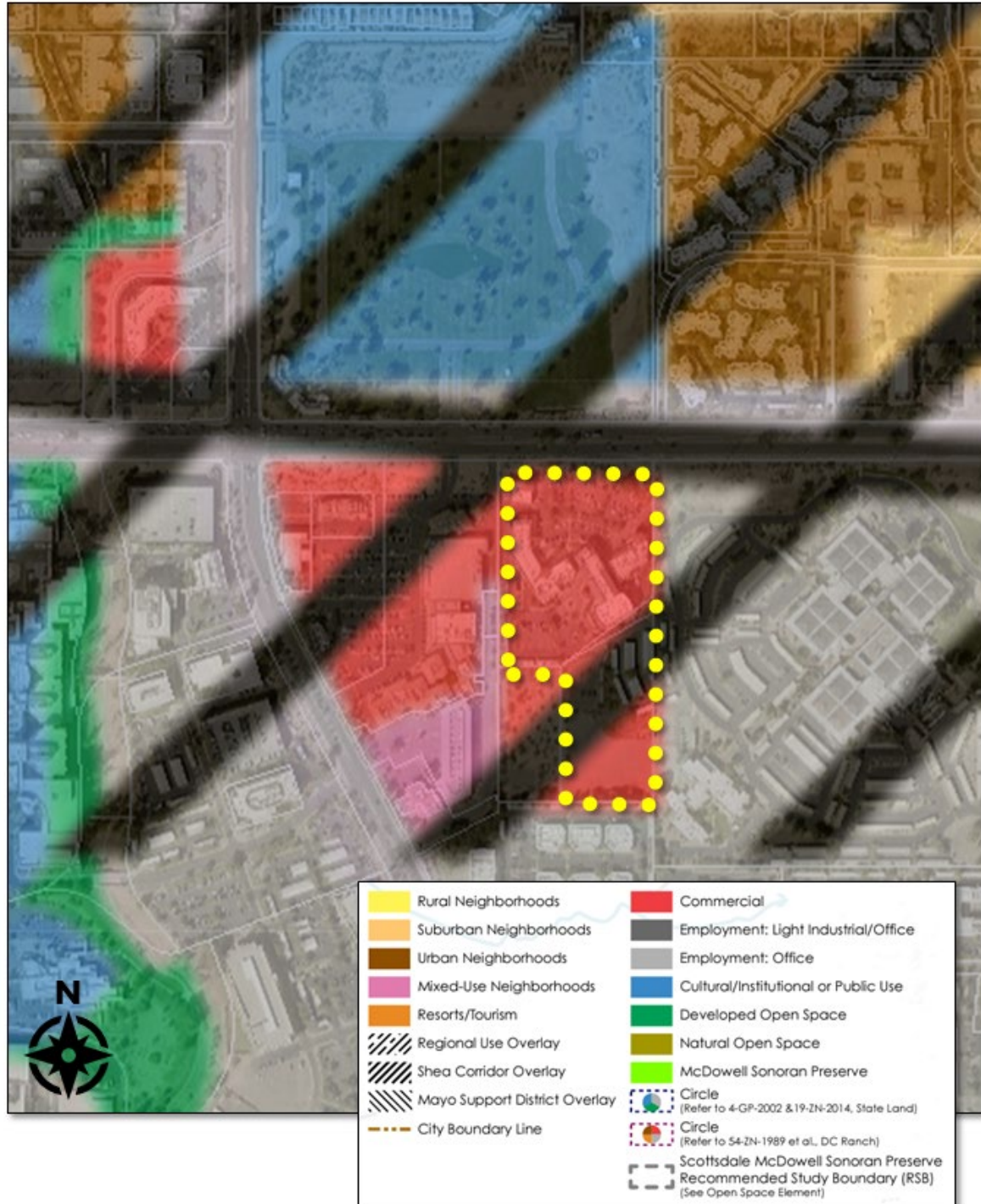
In summary, the applicant is seeking a Non-Major General Plan Amendment and rezoning on an approximately 10.62+/- gross acre site located at 9375 East Shea Boulevard to create and add a unique luxury multi-family residential development to an existing retail/office center in order to create a mixed-use development with 219 residential units. These residential units will enhance upon the work, live, and play environment encouraged by the McCormick Ranch Center “core” area, the Shea Area Plan, and General Plan as well as the trend in development patterns (i.e., areas more urban and with amenities) currently occurring in Scottsdale and beyond.

Workers, millennials, and professionals alike desire a work/live lifestyle option that is different than a traditional workplace and household environment. One that affords them a flexible schedule to work and play and thus creating a more active (24-hour) environment of live, work, and play. As such; a development that promotes a mix of land uses, walkability/bike riding, reduced auto trip generation, environmental responsibility, amenities, and professional synergy/contact are important and revered by society today.

The proposed mix of uses envisioned on this 10.62+/- gross acre site will not only enhance the local area, but Scottsdale in general by providing a unique living experience not available in many areas or cities. As stated, the 10.62+/- gross acre site is surrounded by a variety of employment, recreation, entertainment, office, and service-related business and as such is perfect for this unique mixed-use concept.

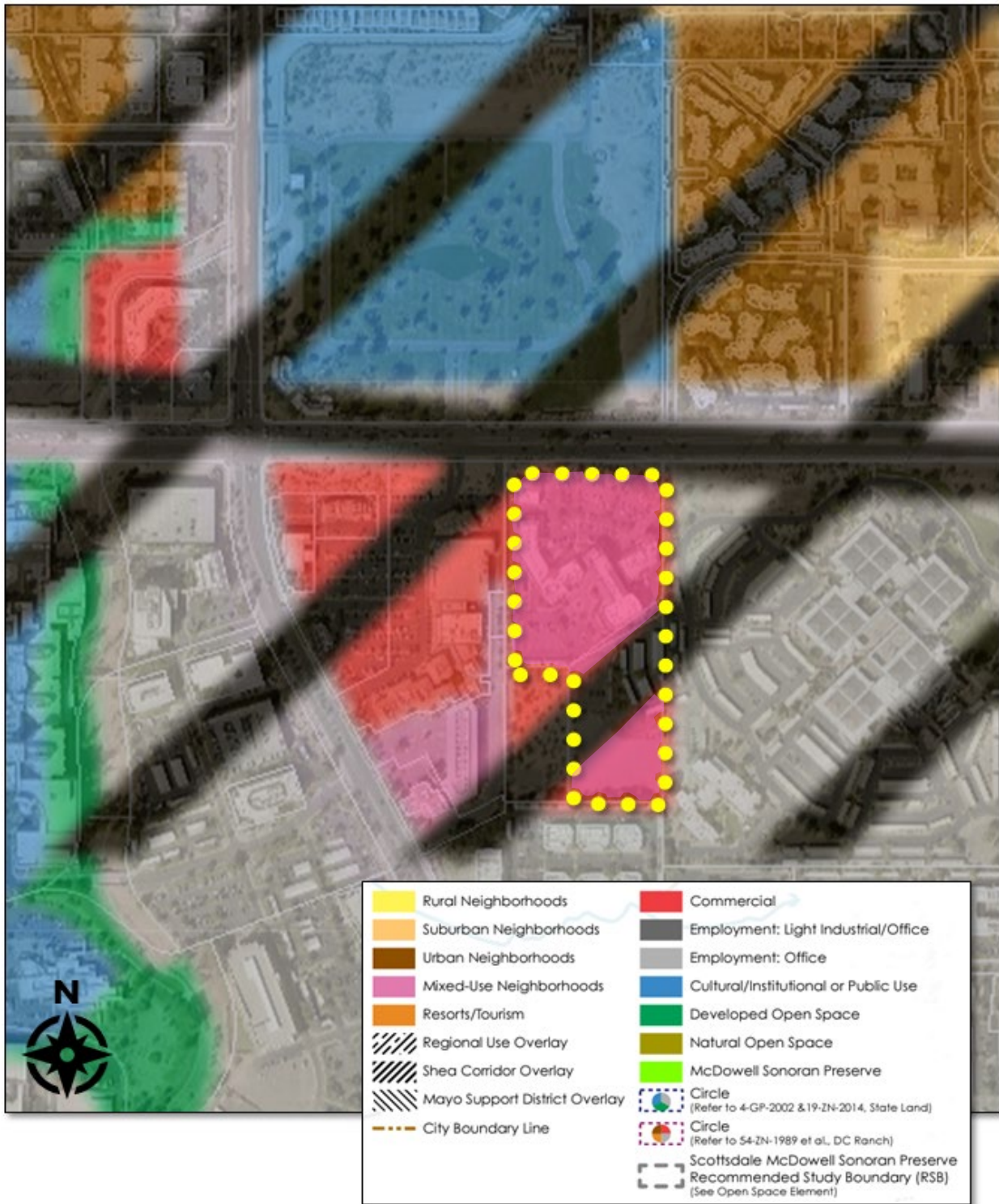
This is a unique and exciting mixed-use project that will not only be a success but will exemplify the vision that the city of Scottsdale, the employers, and the residents had hoped, and hope, to achieve in the area.

Exhibit A: Existing General Plan Land Use Map



9400 East Shea Boulevard
Rezoning & Minor GPA

Exhibit B: Proposed General Plan Land Use Map

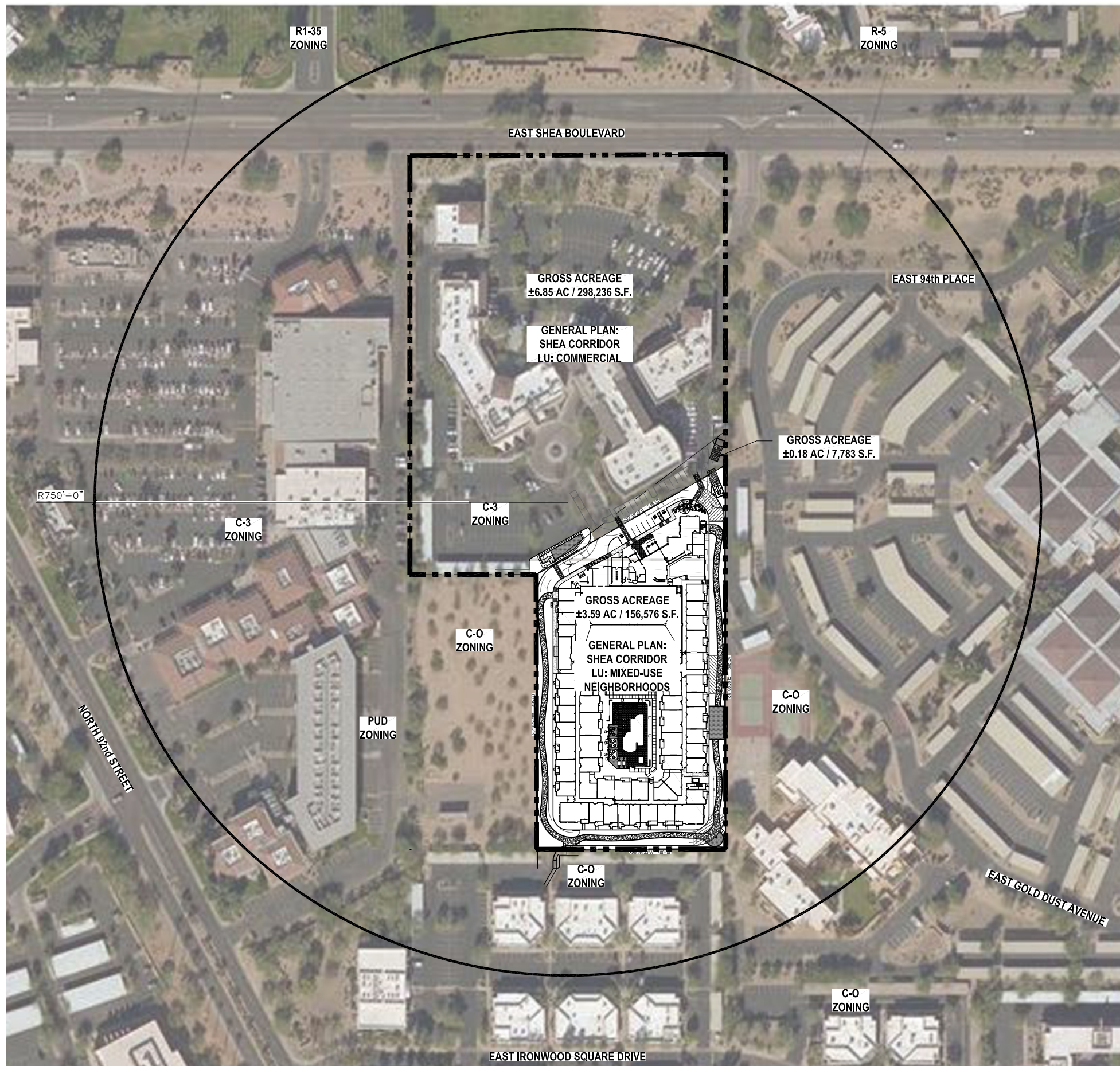


9400 East Shea Boulevard
Rezoning & Minor GPA

Exhibit C: Current Zoning Map



9400 East Shea Boulevard
Rezoning & Minor GPA

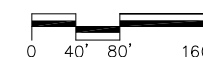


94 HUNDRED SHEA - THE VILLAGE

94 HUNDRED SHEA LLLP



CONTEXT AERIAL



SCALE: 1" = 80'-0"

A1.2

10-07-22

- SHEET NOTES:
- (a) UNOBSTRUCTED VERTICAL CLEARANCE MIN. 13'-6" (ORD. 4045, 503.2.1)
 - (b) KEY SWITCH / PRE-EMPTION SENSOR REQUIRED (ORD. 4045, 503.6.1)
 - (c) FIRE LANE SURFACE WILL SUPPORT 83,000 LBS GW (DS AND PM, 2-1.802(5))
 - (d) NO FENCE / WALL OVER 6" IN HEIGHT
 - (e) SPRINKLER SYSTEM TO BE INSTALLED IN ACCORDANCE WITH NFPA 13
 - (f) EASEMENTS FOR UTILITIES, DRAINAGE, SCENIC CORRIDOR, EMERGENCY AND SERVICE (REFUSE), MAINTENANCE AND PUBLIC ACCESS (VEHICULAR AND PEDESTRIAN), TO, THROUGH AND FROM THE SITE, SUBJECT TO RECORDED EASEMENT NO. 20030450937
 - (g) ALL EASEMENTS TO, THROUGH AND FROM THE SITE, INCLUDING, ACCESS (VEHICULAR AND PEDESTRIAN), FIRE/SAFETY, REFUSE, DRAINAGE, AND SIGNS, ARE FURTHER UPDATED AND MODIFIED BY RECORDED EASEMENT NO. 20030450937 (EASEMENT TO BE RECORDED UPON CLOSE OF ESCROW)
 - (h) FIRE APPARATUS ACCESS ROADS SHALL NOT BE OBSTRUCTED IN ANY MANNER, INCLUDING THE PARKING OF VEHICLES PER FIRE ORD. 4283 SEC. 503.4.

PROJECT DATA

OVERALL SITE DATA:

SITE AREA: ±11.00 GROSS / ±10.36 NET ACRES
 ZONING: EXISTING: C-O, C-3 PROPOSED: PUD
 APN NUMBERS: 217-36-001P, 217-36-001M AND 217-36-001N
 PROPOSED USE: MULTI-FAMILY / RETAIL-OFFICE
 MAXIMUM DENSITY ALLOWED: N/A
 PROPOSED DENSITY: 219 D.U./10.36 AC = 21.14 DU PER ACRE
 EXISTING RETAIL: 38,971 S.F.
 EXISTING OFFICE: 35,000 S.F.
 BUILDING FOOTPRINT + GARAGE: 85,187 S.F. (10.36 AC (451,281 S.F.) = 18.9%

COMMON OPEN SPACE:

OPEN SPACE REQUIRED: (OFFICE/RETAIL) = 32,259 S.F. (322,591 x .10)
 OPEN SPACE PROVIDED: = 71,022 S.F. (156,569 x .10)
 OPEN SPACE REQUIRED: (MULTI-FAMILY) = 15,657 S.F. (156,569 x .10)
 OPEN SPACE PROVIDED: = 48,582 S.F.
 TOTAL OPEN SPACE REQUIRED: 47,916 S.F.
 TOTAL OPEN SPACE PROVIDED: 119,604 S.F.

TOTAL AREA: (MULTI-FAMILY)

MAXIMUM BUILDING HEIGHT: 48' / 58' TO MECHANICAL
 PROPOSED BUILDING HEIGHT: 48' (4 STORIES) / 58' TO MECHANICAL
 TOTAL GROSS BUILDING AREA: 387,454 S.F.
 TOTAL GROSS LIVABLE AREA (RESIDENTIAL): 191,023 S.F.
 TOTAL GROSS COMMERCIAL AREA (CLUBHOUSE, OFFICE, FITNESS CENTER, LUX, DOG SPA, BIKE STORE, MAINTENANCE AND TRASH): 13,784 S.F. = 7.2% OF LIVABLE AREA
 TOTAL GROSS GARAGE AREA: 144,087 S.F.

UNIT MIX:

STUDIO UNITS: 8 (3.65%)
 ONE BEDROOM UNITS: 148 (67.58%)
 TWO BEDROOM UNITS: 63 (28.77%)
 TOTAL: 219 D.U.

| UNIT NAME | UNIT TYPE | GROSS LIVABLE AREA | PATIO/BALC. AREA | ROOF TOP DECK | # OF UNITS | GROSS AREA |
|-------------|------------|--------------------|------------------|---------------|------------|-----------------------|
| UNIT A5 | STUDIO | 562 S.F. | 54 S.F. | | 8 | 4,496 S.F. |
| UNIT A1 | 1 BED/1 BA | 651 S.F. | 68 S.F. | | 32 | 20,832 S.F. |
| | 1 BED/1 BA | 737 S.F. | 39 S.F. | 11 | 15 | 10,530 S.F. |
| UNIT A2 | 1 BED/1 BA | 702 S.F. | 80 S.F. | | 2 | 1,404 S.F. |
| | 1 BED/1 BA | 826 S.F. | 196 S.F. | | 2 | 1,652 S.F. |
| UNIT A2 ALT | 1 BED/1 BA | 1,121 S.F. | 226 S.F. | | 1 | 1,204 S.F. |
| UNIT A3 | 1 BED/1 BA | 749 S.F. | 90 S.F. | | 16 | 11,984 S.F. |
| UNIT A4 | 1 BED/1 BA | 914 S.F. | 320 S.F. | | 4 | 3,656 S.F. |
| | 1 BED/1 BA | 831 S.F. | 78 S.F. | | 6 | 4,986 S.F. |
| UNIT A5 | 1 BED/1 BA | 989 S.F. | 260 S.F. | | 4 | 3,956 S.F. |
| UNIT A6 | 1 BED/1 BA | 755 S.F. | 114 S.F. | | 24 | 18,120 S.F. |
| UNIT A7 | 1 BED/1 BA | 765 S.F. | 69 S.F. | | 6 | 4,590 S.F. |
| | 1 BED/1 BA | 839 S.F. | 290 S.F. | | 3 | 2,517 S.F. |
| UNIT A7 | 1 BED/1 BA | 971 S.F. | 129 S.F. | | 4 | 3,884 S.F. |
| UNIT B1 | 2 BED/2 BA | 1,060 S.F. | 60 S.F. | | 17 | 18,020 S.F. |
| UNIT B2 | 2 BED/2 BA | 1,173 S.F. | 370 S.F. | | 6 | 7,038 S.F. |
| UNIT B3 | 2 BED/2 BA | 1,130 S.F. | 82 S.F. | | 24 | 27,120 S.F. |
| UNIT B2 | 2 BED/2 BA | 1,234 S.F. | 377 S.F. | | 1 | 1,234 S.F. |
| UNIT B5 | 2 BED/2 BA | 1,099 S.F. | 68 S.F. | | 3 | 3,297 S.F. |
| | 2 BED/2 BA | 1,204 S.F. | 326 S.F. | | 1 | 1,204 S.F. |
| | 2 BED/2 BA | 1,377 S.F. | 76 S.F. | | 8 | 11,016 S.F. |
| | 2 BED/2 BA | 1,460 S.F. | 280 S.F. | | 3 | 4,380 S.F. |
| TOTAL: | | | | | 36 | 219 D.U. 191,023 S.F. |
| AVG. S.F.: | | | | | | 872 S.F. |

TOTAL PARKING: (MULTI-FAMILY)

REQUIRED: TABLE 9.103
 1 BEDROOM / STUDIO: 156 x 1.3 = 203
 2 BEDROOMS: 63 x 1.7 = 107
 OFFICE / FLEX: 1 SPACE PER 325 S.F. 8,014 S.F./325 = 24
 FITNESS CENTER (30%) 1 SPACE PER 325 S.F. 2,401 S.F./325 = 8
 TOTAL REQUIRED: 342 P.S.

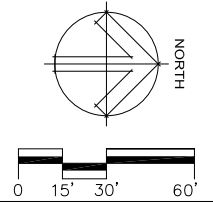
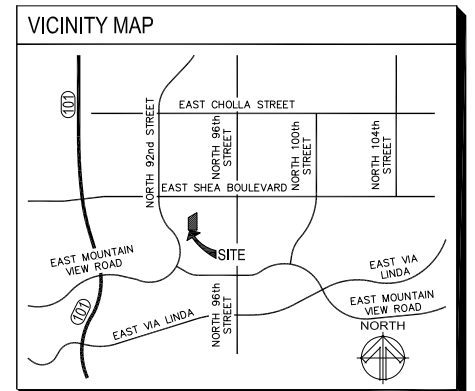
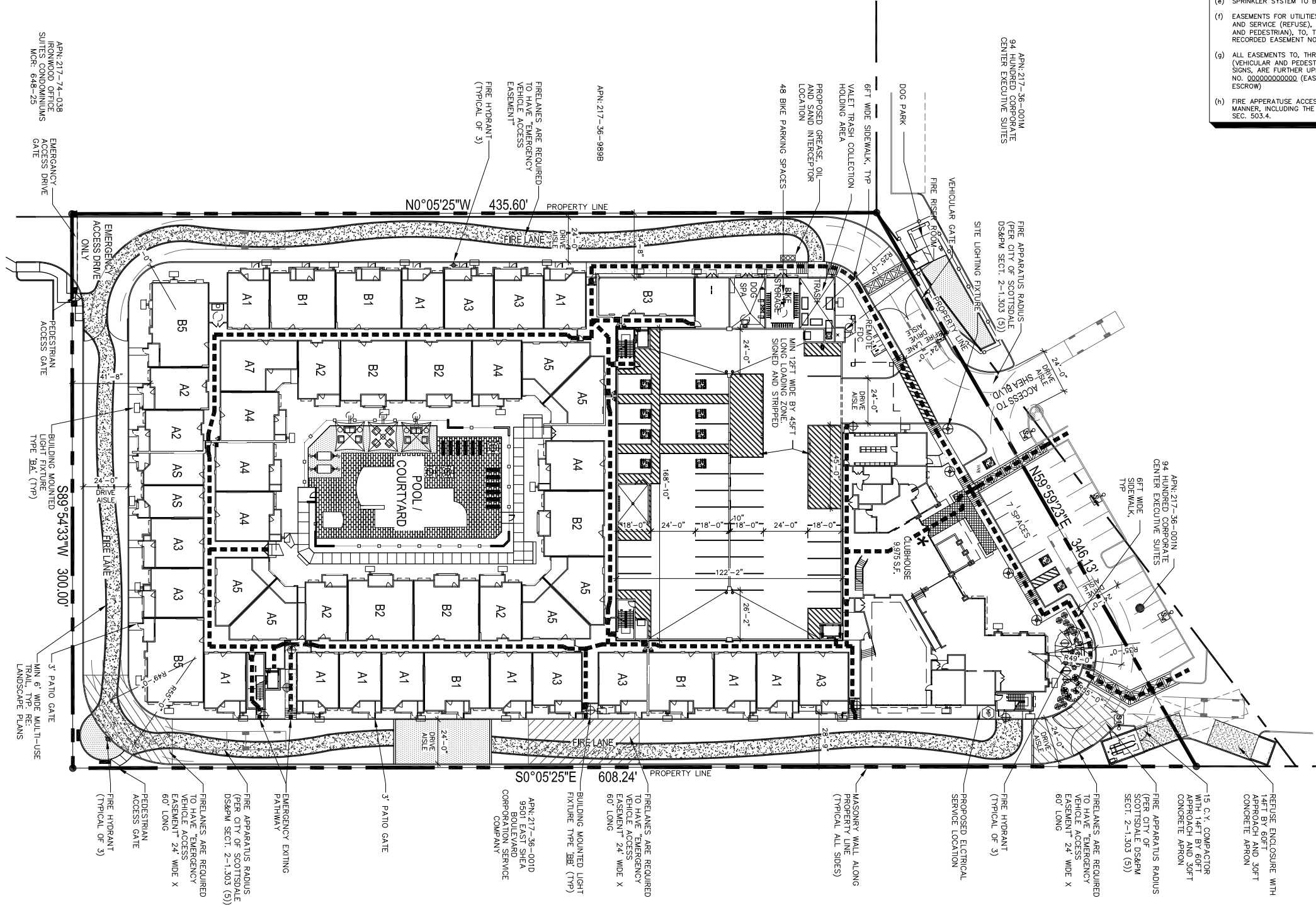
PROVIDED:
 GARAGE PARKING: 365 P.S.
 SURFACE PARKING: 10 P.S.
 TOTAL PROVIDED: (1.7 SPACES PER UNIT) 375 P.S.

TOTAL PARKING: (OFFICE - RETAIL)

PROVIDED:
 COVERED PARKING: 42 P.S.
 SURFACE PARKING: 315 P.S.
 TOTAL PROVIDED: 357 P.S.

ACCESSIBLE PARKING REQUIRED: 4% x 375 P.S. = 15 P.S.
 ACCESSIBLE PARKING PROVIDED: (3 VAN = 1:6 SPACES) = 15 P.S.

BICYCLE PARKING: SEC.9.103
 (1) SPACES PER 10 VEHICLE REQ'D (342 x 0.1 = 34.2)
 TOTAL PROVIDED: 34 SPACES

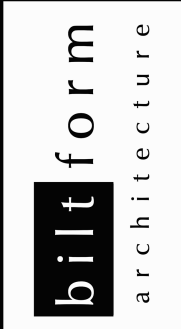


94 HUNDRED SHEA - THE VILLAGE

94 HUNDRED SHEA LLLP

ENLARGED SITE PLAN
 SCALE: 1" = 30'-0"

A1.3
 10-07-22



- SHEET NOTES:**
- (a) UNOBSTRUCTED VERTICAL CLEARANCE MIN. 13'-6" (ORD. 4045, 503.2.1)
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PROJECT DATA

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 PROPOSED: PUD
 APN NUMBERS: 217-36-001M AND 217-36-001N
 MULTI-FAMILY / RETAIL-OFFICE

PROPOSED USE: MULTI-FAMILY / RETAIL-OFFICE

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| | 1 BED/1 BA | 702 S.F. | 80 S.F. | | | 10,530 S.F. |
| | 1 BED/1 BA | 826 S.F. | 196 S.F. | 2 | 2 | 1,652 S.F. |
| UNIT A2 ALT | 1 BED/1 BA | 1,121 S.F. | 68 S.F. | | 1 | 2,242 S.F. |
| | 1 BED/1 BA | 1,204 S.F. | 224 S.F. | 1 | 1 | 1,204 S.F. |
| UNIT A3 | 1 BED/1 BA | 749 S.F. | 90 S.F. | | 16 | 11,984 S.F. |
| UNIT A4 | 1 BED/1 BA | 914 S.F. | 320 S.F. | 4 | 24 | 3,656 S.F. |
| | 1 BED/1 BA | 831 S.F. | 76 S.F. | | | 19,944 S.F. |
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| | 1 BED/1 BA | 839 S.F. | 290 S.F. | 3 | 4 | 2,517 S.F. |
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| UNIT B2 | 2 BED/2 BA | 1,130 S.F. | 87 S.F. | | 24 | 27,120 S.F. |
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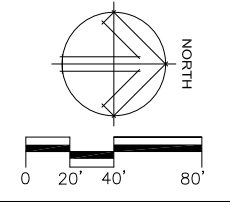
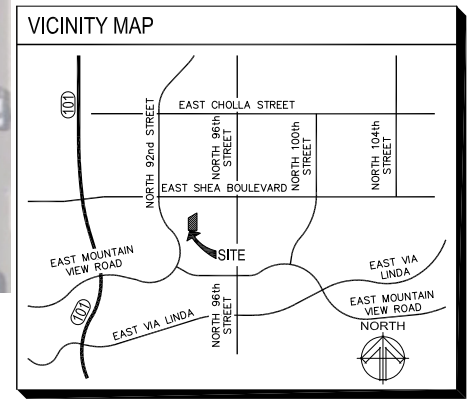
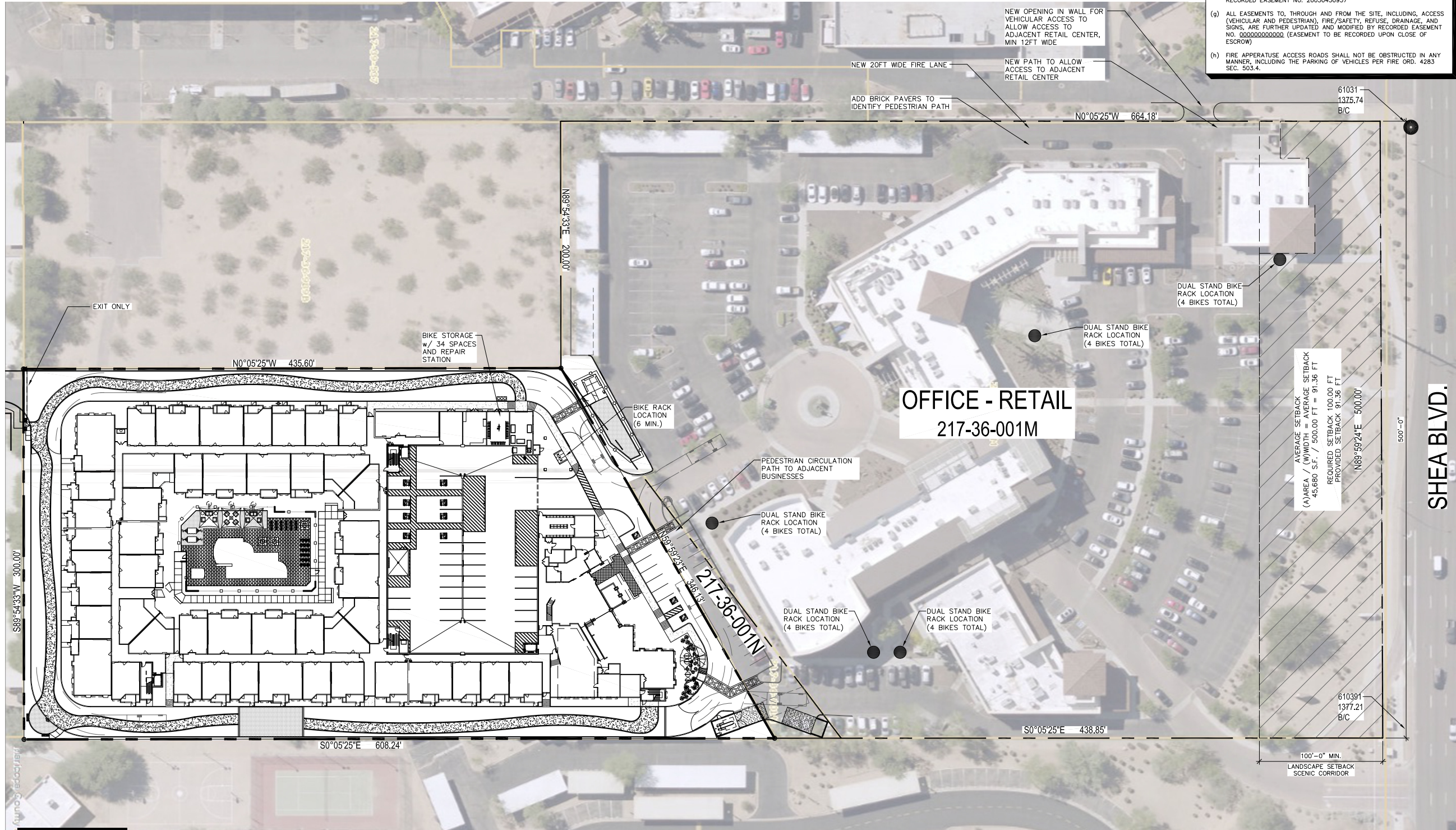
PROVIDED:
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 TOTAL PROVIDED: (1.7 SPACES PER UNIT) 375 P.S.

TOTAL PARKING: (OFFICE - RETAIL)

PROVIDED:
 COVERED PARKING: 42 P.S.
 SURFACE PARKING: 315 P.S.
 TOTAL PROVIDED: 357 P.S.

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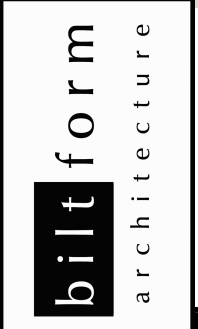
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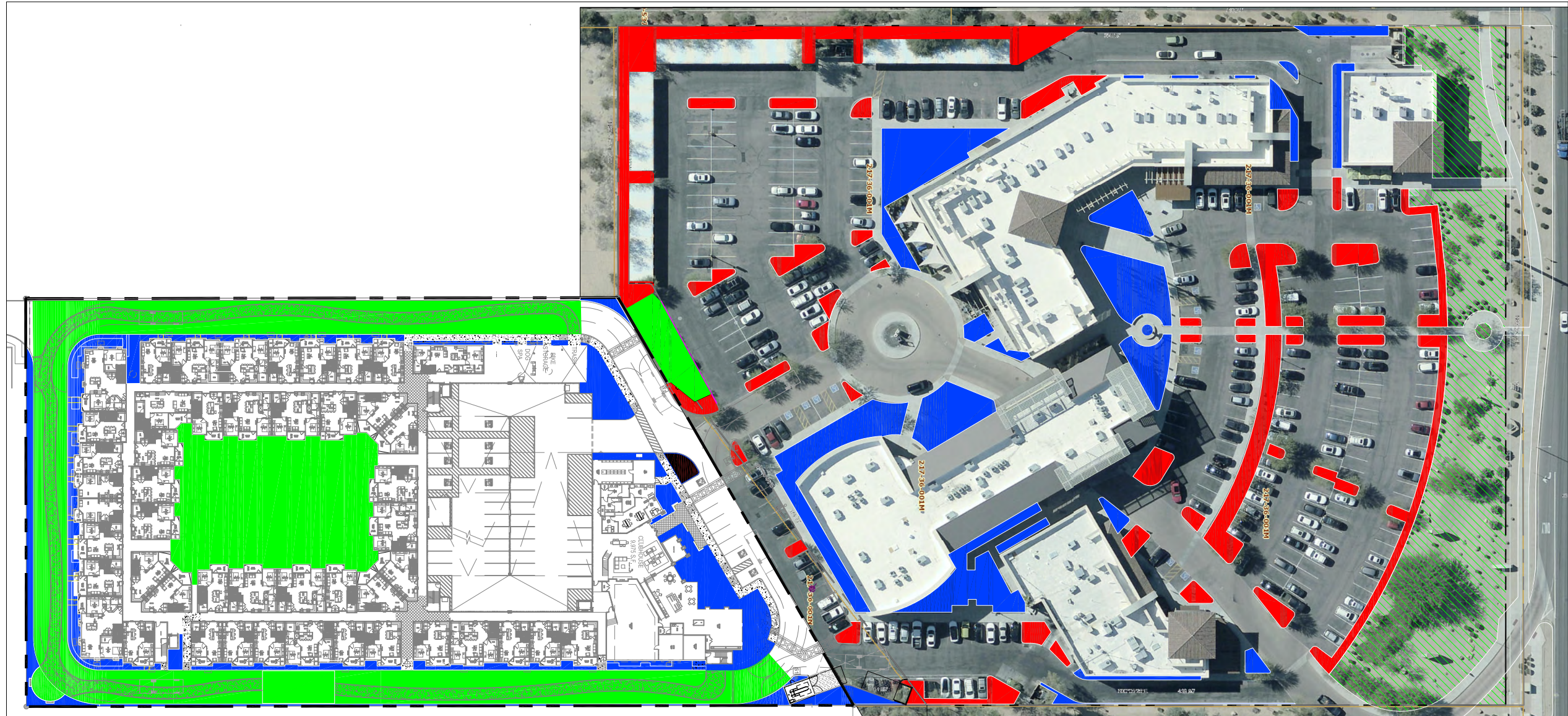


94 HUNDRED SHEA - THE VILLAGE

94 HUNDRED SHEA LLLP

OVERALL SITE PLAN **A1.3.1**
 SCALE: 1" = 40'-0"
 10-07-22





SITE DATA

| | |
|------------------|--------------|
| GROSS SITE AREA: | 479,160 SQFT |
| NET SITE AREA: | 451,281 SQFT |
| ZONING: | C-3 |
| PROPOSED ZONING: | PUD |





COMMON OPEN SPACE RETAIL SITE

| | |
|-------------------------------|--------------------------------|
| GROSS SITE AREA: | 322,591 SQFT |
| OPEN SPACE FACTOR: | 0.10 |
| REQ. OPEN SPACE CALCULATIONS: | - 322,591 X .10 = 32,259 SQ.FT |
| TOTAL OPEN SPACE REQUIRED: | 32,259 SQ.FT |
| TOTAL OPEN SPACE PROVIDED: | 71,022 SQ.FT |

COMMON OPEN SPACE MF SITE

| | |
|-------------------------------|--------------------------------|
| GROSS SITE AREA: | 156,569 SQFT |
| OPEN SPACE FACTOR: | 0.10 |
| REQ. OPEN SPACE CALCULATIONS: | - 156,569 X .10 = 15,657 SQ.FT |
| TOTAL OPEN SPACE REQUIRED: | 15,657 SQ.FT |
| TOTAL OPEN SPACE PROVIDED: | 55,663 SQ.FT |

TOTAL COMMON OPEN SPACE

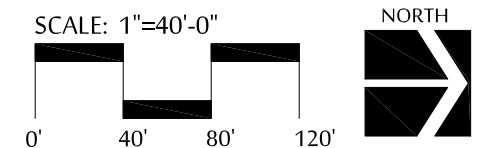
| | |
|---|--|
|  | FRONT AREA OPEN SPACE - 29,696 SQFT |
|  | USABLE OPEN SPACE - 42,440 SQFT |
|  | PARKING LOT LANDSCAPING - 22,857 SQFT |
|  | OTHER OPEN SPACE AREA - 31,692 SQFT |
| TOTAL OPEN SPACE REQUIRED: 47,916 SQ.FT | |
| TOTAL OPEN SPACE PROVIDED: 126,685 SQ.FT | |

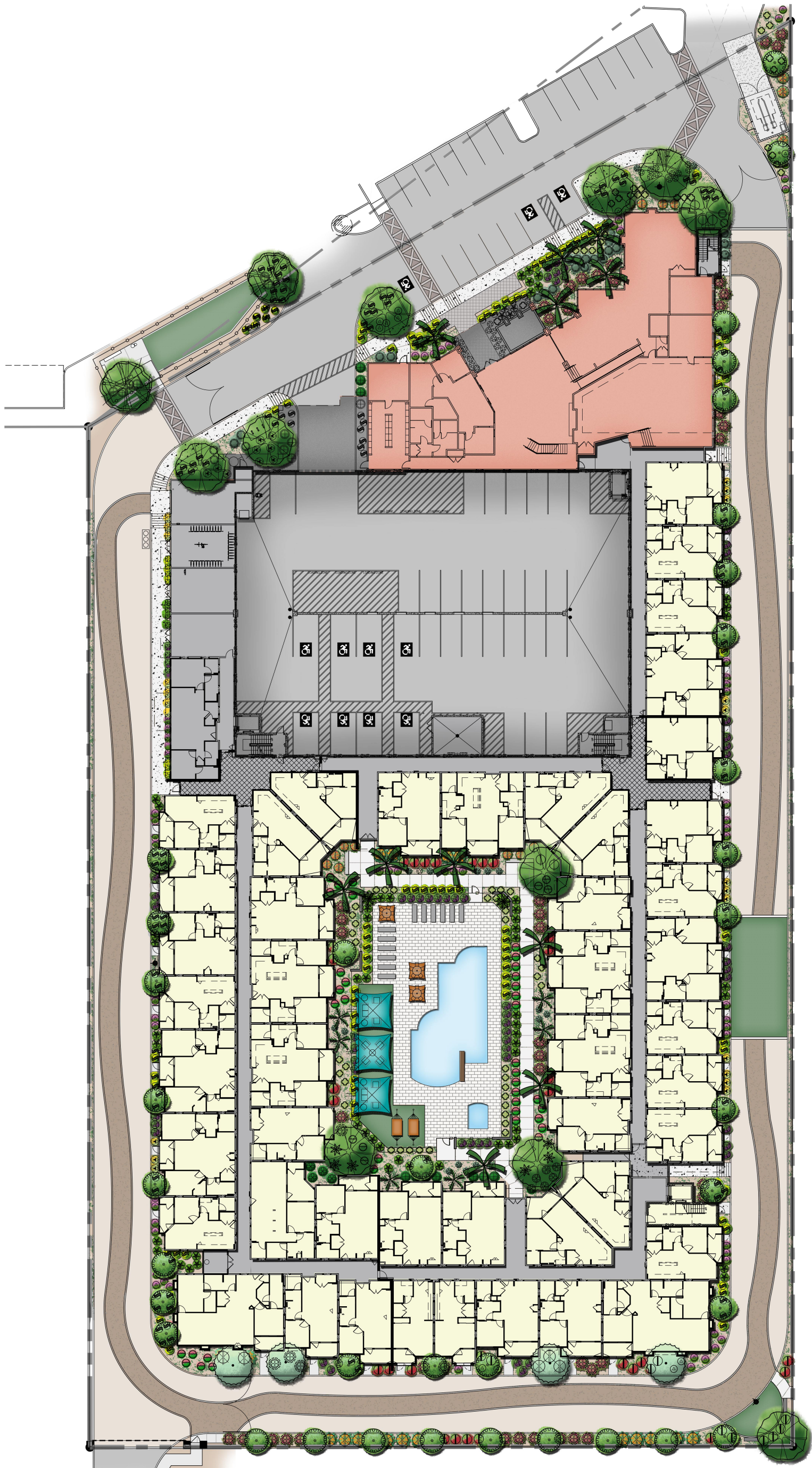


94 HUNDRED SHEA - THE VILLAGE

OVERALL OPEN SPACE EXHIBIT

9374 E. SHEA BOULEVARD, SCOTTSDALE, AZ 85260
OCTOBER 6, 2022



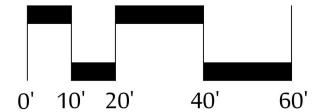


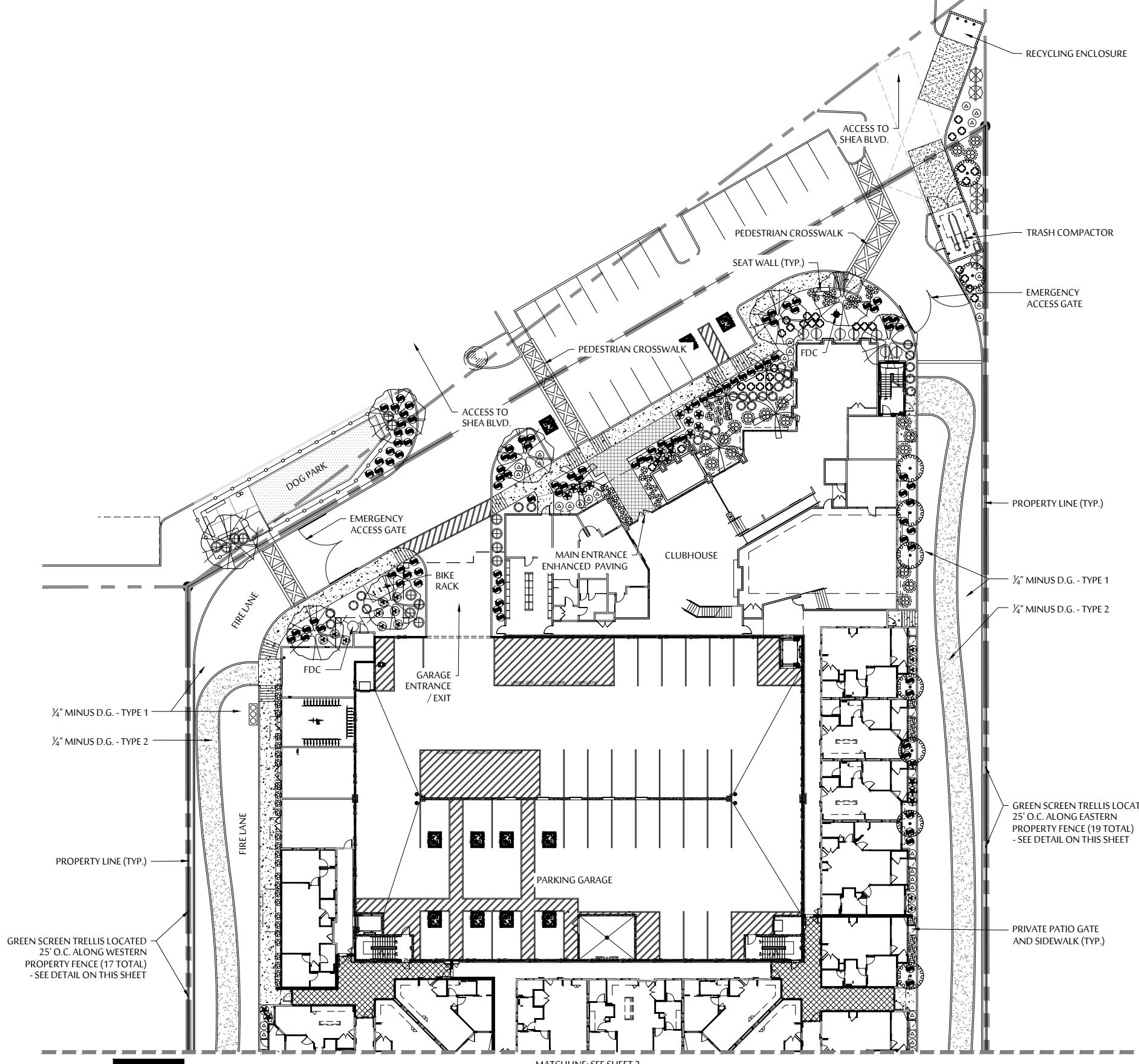
94 HUNDRED SHEA - THE VILLAGE

CONCEPTUAL PLANTING PLAN

9375 E. SHEA BOULEVARD, SCOTTSDALE, AZ 85260
OCTOBER 6, 2022

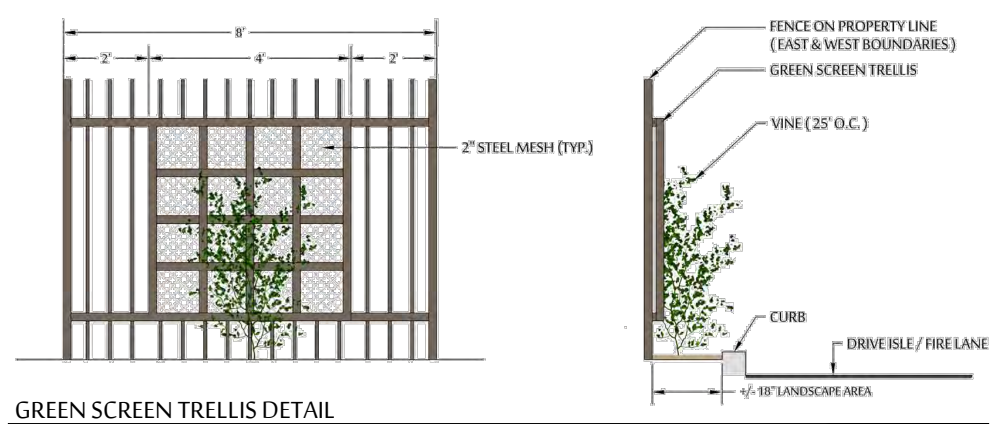
SCALE: 1"=20'-0"





PLANT LEGEND

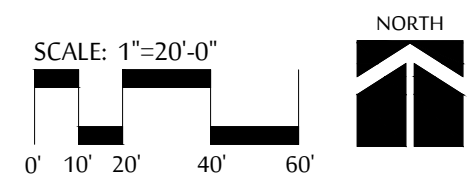
| SYMBOL | BOTANICAL NAME - COMMON NAME | CALIPER | QTY. | SIZE | COMMENTS |
|--|--|---------|------|-----------------|-------------|
| TREES | | | | | |
| | PHOENIX DACTYLIFERA - DATE PALM | - | 11 | 16" BROWN TRUNK | DIAMOND CUT |
| | QUERCUS VIRGINIANA - CATHEDRAL OAK | 3" MIN. | 10 | 48" BOX | STANDARD |
| | PISTACIA LENTISCUS - MASTIC | 1" MIN. | 36 | 24" BOX | STANDARD |
| | ACACIA ANEURA - MULGA ACACIA | 3" MIN. | 4 | 48" BOX | STANDARD |
| | CHAMPAEROPS HUMILIS - MEDITERRANEAN FAN PALM | - | 2 | 20 GAL | UNIFORM |
| | CHAMPAEROPS HUMILIS - MEDITERRANEAN FAN PALM | - | 6 | 48" BOX | UNIFORM |
| SHRUBS / ACCENTS / GROUNDCOVERS | | | | | |
| | RUPELLIA PENINSULARIS - BAJA RUELLIA | | 58 | 5 GAL | CAN FULL |
| | RUSSELLIA EQUISETIFORMIS - CORAL FOUNTAIN GRASS | | 63 | 5 GAL | CAN FULL |
| | OLEA EUROPAEA 'MONTRA' - LITTLE OLLIE DWARF OLIVE | | 44 | 5 GAL | CAN FULL |
| | MUHLENBERGIA RIGIDA - DEER GRASS | | 24 | 5 GAL | CAN FULL |
| | LEUCOPHYLLUM FRUTESCENS - HEAVENLY CLOUD SAGE | | 50 | 5 GAL | CAN FULL |
| | BOUTELOUA GRACILIS - BLONDE AMBITION | | 64 | 5 GAL | CAN FULL |
| | EREMOPHILA HYGROPHANA - BLUE BELLS | | 67 | 5 GAL | CAN FULL |
| | EREMOPHILA GLABRA SSP. CARNOSA - WINTER BLAZE | | 38 | 5 GAL | CAN FULL |
| | GENISTA LYDIA - LYDIA | | 17 | 5 GAL | CAN FULL |
| | DODONAEA VISCOSA - HOPBUSH | | 23 | 5 GAL | CAN FULL |
| | XYLOSMA CONGESTUM - SHINY XYLOSMA | | 10 | 5 GAL | CAN FULL |
| | LANTANA X 'NEW GOLD' - NEW GOLD LANTANA | | 167 | 5 GAL | CAN FULL |
| | ALOE HYBRID - TOPAZ | | 73 | 5 GAL | CAN FULL |
| | CYCAS REVOLUTA - SAGO PALM | | 6 | 5 GAL | CAN FULL |
| | PITOSPORUM TOBIRA - TURNER'S VARIEGATED DWARF | | 15 | 5 GAL | CAN FULL |
| | MYRTUS COMMUNIS 'COMPACTA' - DWARF MYRTLE | | 27 | 5 GAL | CAN FULL |
| VINES | | | | | |
| | BIGNONIA CAPREOLATA - 'TANGERINE BEAUTY' CROSSVINE | | 37 | 5 GAL | CAN FULL |



94 HUNDRED SHEA - THE VILLAGE

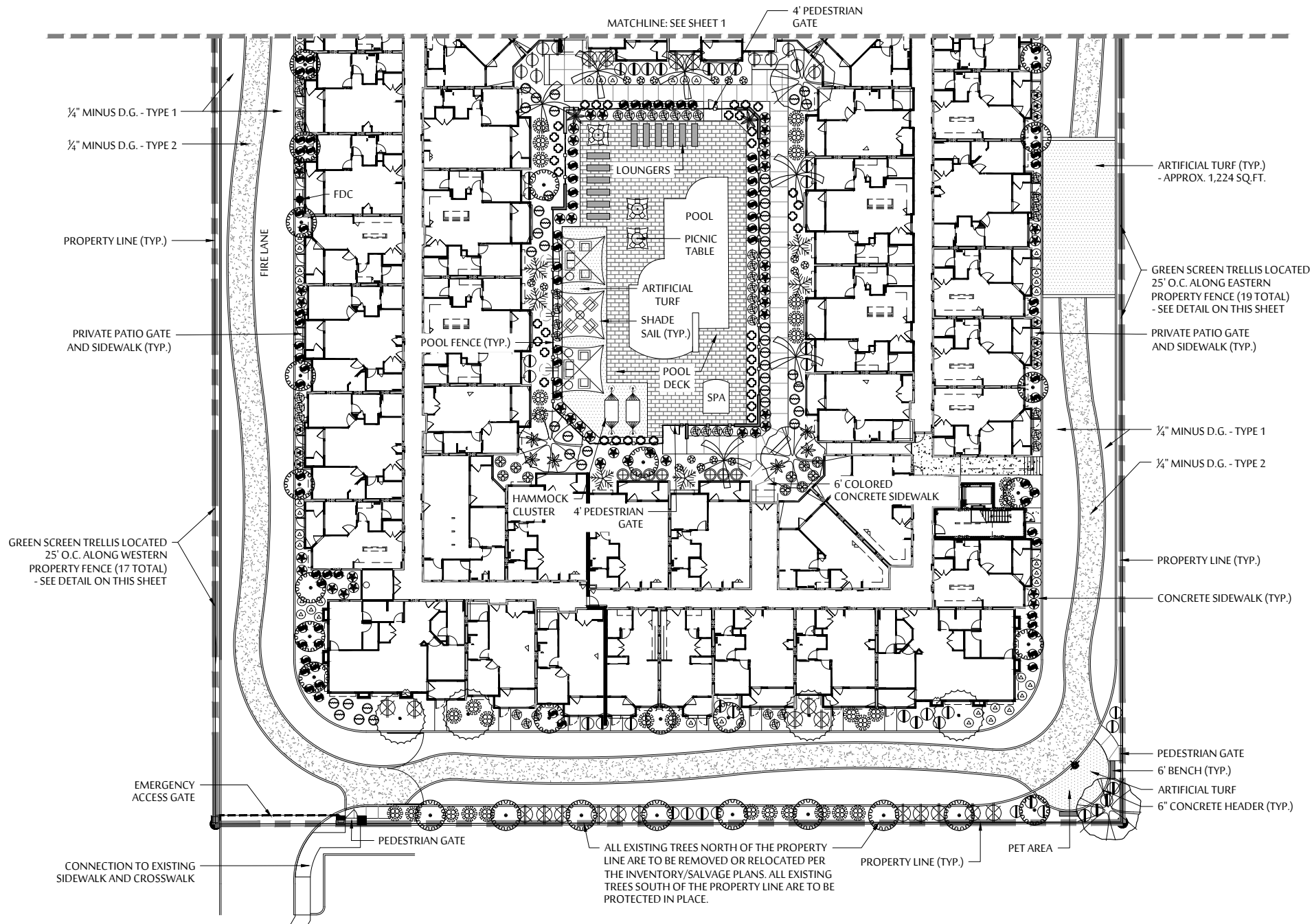
PRELIMINARY PLANTING PLAN

9374 E. SHEA BOULEVARD, SCOTTSDALE, AZ 85260
OCTOBER 6, 2022



PLANT LEGEND

| SYMBOL | BOTANICAL NAME - COMMON NAME | CALIPER | QTY. | SIZE | COMMENTS |
|--|--|---------|------|-----------------|-------------|
| TREES | | | | | |
| | PHOENIX DACTYLIFERA - DATE PALM | - | 11 | 16" BROWN TRUNK | DIAMOND CUT |
| | QUERCUS VIRGINIANA - CATHEDRAL OAK | 3" MIN. | 10 | 48" BOX | STANDARD |
| | PISTACIA LENTISCUS - MASTIC | 1" MIN. | 36 | 24" BOX | STANDARD |
| | ACACIA ANEURA - MULGA ACACIA | 3" MIN. | 4 | 48" BOX | STANDARD |
| | CHAMPAEROPS HUMILIS - MEDITERRANEAN FAN PALM | - | 2 | 20 GAL | UNIFORM |
| | CHAMPAEROPS HUMILIS - MEDITERRANEAN FAN PALM | - | 6 | 48" BOX | UNIFORM |
| SHRUBS / ACCENTS / GROUNDCOVERS | | | | | |
| | RUELLIA PENINSULARIS - BAJA RUELLIA | | 58 | 5 GAL | CAN FULL |
| | RUSSELLIA EQUISETIFORMIS - CORAL FOUNTAIN GRASS | | 63 | 5 GAL | CAN FULL |
| | OLEA EUROPAEA 'MONTRA' - LITTLE OLLIE DWARF OLIVE | | 44 | 5 GAL | CAN FULL |
| | MUHLENBERGIA RIGIDA - DEER GRASS | | 24 | 5 GAL | CAN FULL |
| | LEUCOPHYLLUM FRUTESCENS - HEAVENLY CLOUD SAGE | | 50 | 5 GAL | CAN FULL |
| | BOUTELOUA GRACILIS - BLONDE AMBITION | | 64 | 5 GAL | CAN FULL |
| | EREMOPHILA HYGROPHANA - BLUE BELLS | | 67 | 5 GAL | CAN FULL |
| | EREMOPHILA GLABRA SSP. CARNOSA - WINTER BLAZE | | 38 | 5 GAL | CAN FULL |
| | GENISTA LYDIA - LYDIA | | 17 | 5 GAL | CAN FULL |
| | DODONAEA VISCOSA - HOPBUSH | | 23 | 5 GAL | CAN FULL |
| | XYLOSMA CONGESTUM - SHINY XYLOSMA | | 10 | 5 GAL | CAN FULL |
| | LANTANA 'NEW GOLD' - NEW GOLD LANTANA | | 167 | 5 GAL | CAN FULL |
| | ALOE HYBRID - TOPAZ | | 73 | 5 GAL | CAN FULL |
| | CYCAS REVOLUTA - SAGO PALM | | 6 | 5 GAL | CAN FULL |
| | PITTOSPORUM TOBIRA - TURNER'S VARIEGATED DWARF | | 15 | 5 GAL | CAN FULL |
| | MYRTUS COMMUNIS 'COMPACTA' - DWARF MYRTLE | | 27 | 5 GAL | CAN FULL |
| VINES | | | | | |
| | BIGNONIA CAPREOLATA - 'TANGERINE BEAUTY' CROSSVINE | | 37 | 5 GAL | CAN FULL |



GREEN SCREEN TRELLIS DETAIL

NOT TO SCALE



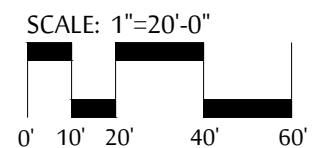
94 HUNDRED SHEA - THE VILLAGE

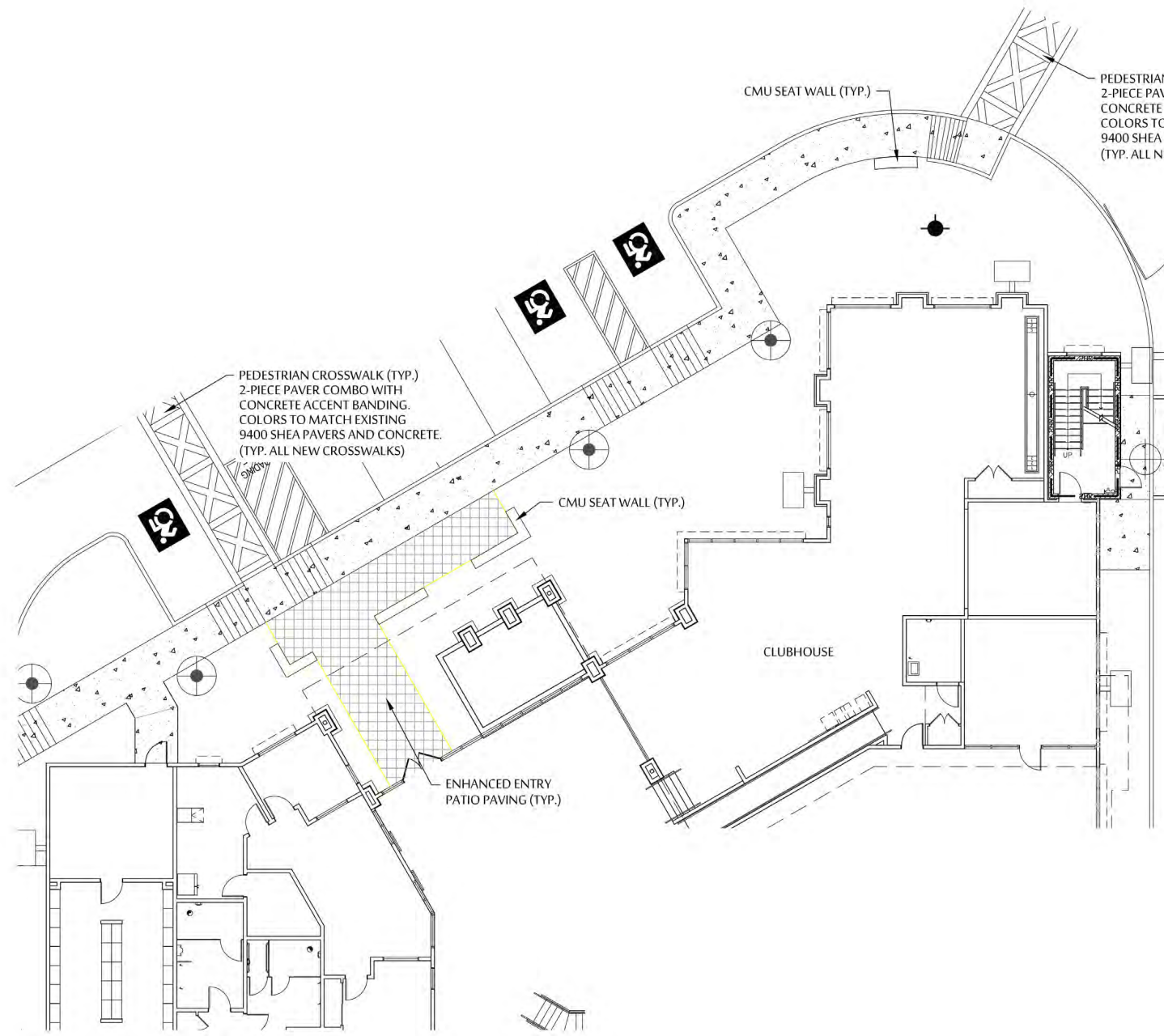
PRELIMINARY PLANTING PLAN

9374 E. SHEA BOULEVARD, SCOTTSDALE, AZ 85260

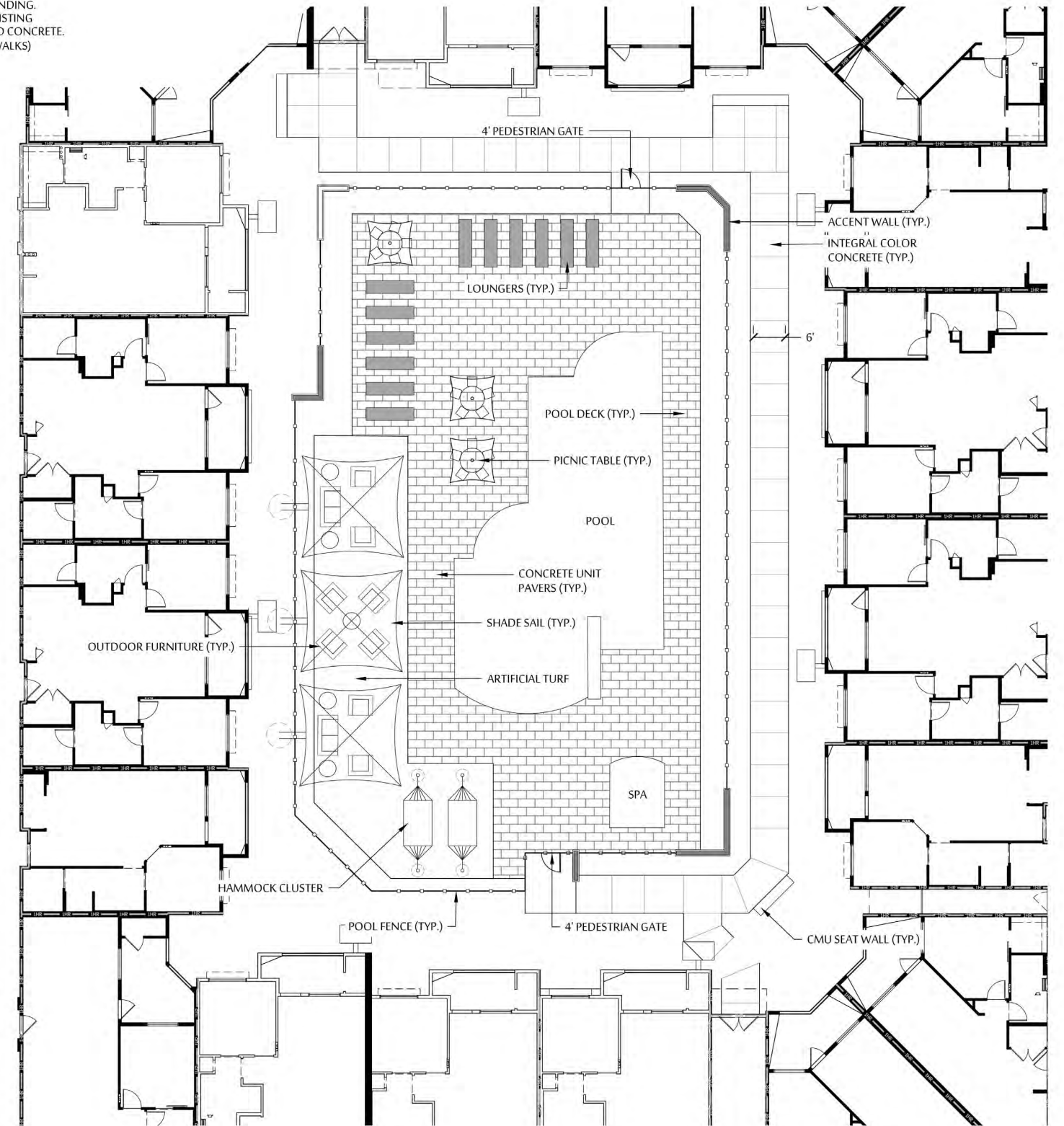
OCTOBER 6, 2022

SHEET 2





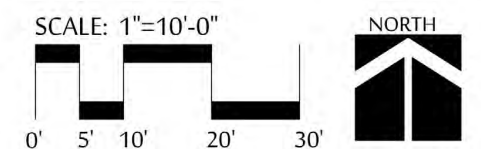
PEDESTRIAN CROSSWALK (TYP.)
2-PIECE PAVER COMBO WITH
CONCRETE ACCENT BANDING.
COLORS TO MATCH EXISTING
9400 SHEA PAVERS AND CONCRETE.
(TYP. ALL NEW CROSSWALKS)

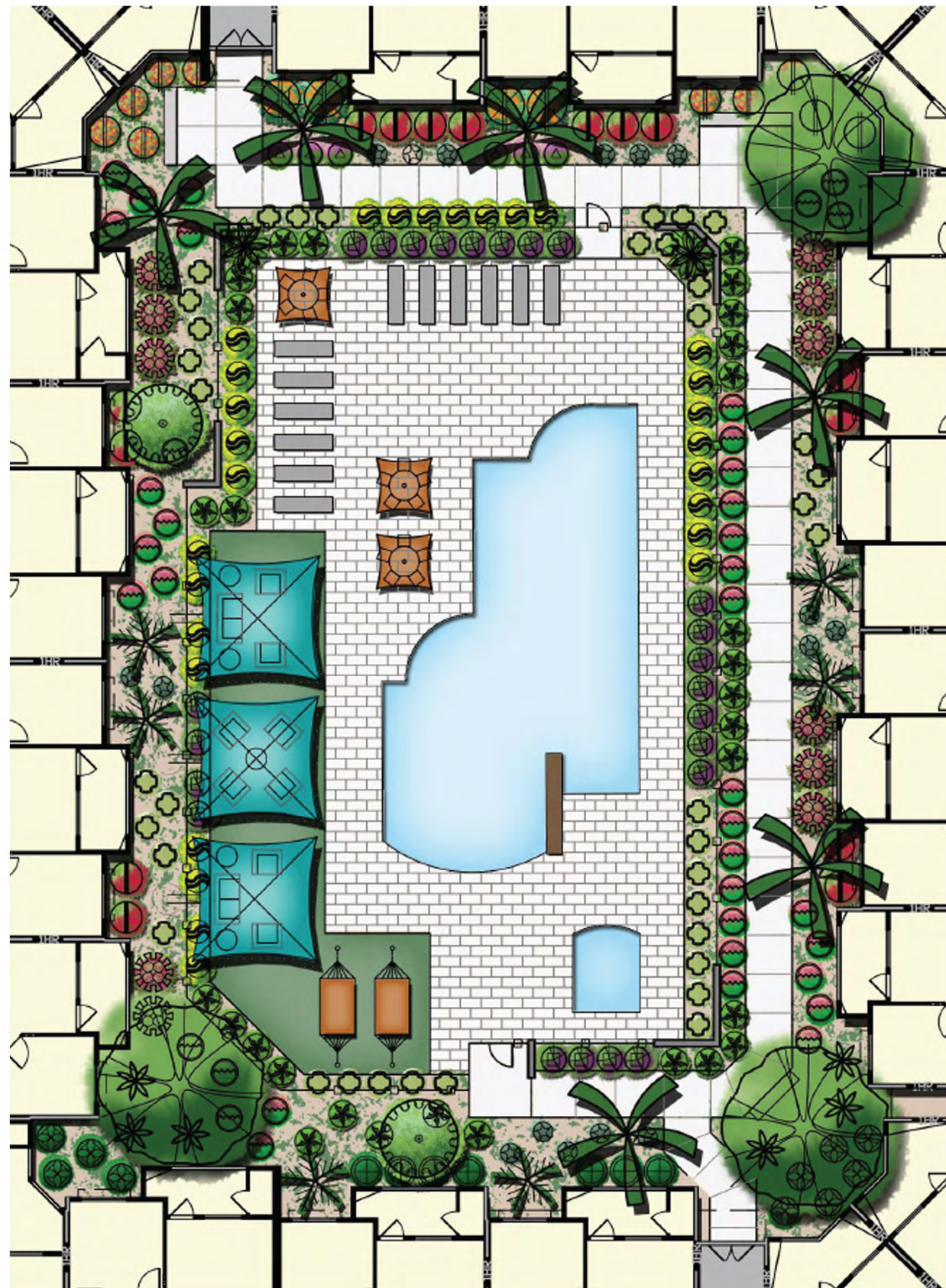


94 HUNDRED SHEA - THE VILLAGE

CONCEPTUAL HARDSCAPE PLAN

9374 E. SHEA BOULEVARD, SCOTTSDALE, AZ 85260
OCTOBER 6, 2022





POOL AREA REFERENCE IMAGE



FIRE PIT REFERENCE IMAGE



OUTDOOR KITCHEN REFERENCE IMAGE

94 HUNDRED SHEA - THE VILLAGE

AMENITIES ENLARGEMENT

9374 E. SHEA BOULEVARD, SCOTTSDALE, AZ 85260
OCTOBER 6, 2022

| Native Plant Inventory | | | | Inventory Destination | | | Plant Condition | | Intended Designation |
|--|----------------------|--------------------|-------------|-----------------------|--------------|------------|-----------------|-----------|-----------------------------------|
| Project Name: DISTRICT AT 9400 SHEA | | | | S = Salvageable | | | Good | | R or P = Remain/Protect in Place |
| Address: 9375 E. SHEA BLVD, SCOTTSDALE, AZ | | | | NS = Non-Salvageable | | | Fair | | S = Salvage |
| Prepared for: CITY OF SCOTTSDALE | | | | | | | Poor | | D = Destroy |
| Tag # | Species | Common Name | Height (ft) | Width (ft) | Caliper (in) | Inv. Dest. | Int. Des. | Condition | Comments |
| 1 | Parkinsonia aculeata | Mexican Palo Verde | 18 | 18 | 14 | NS | D | poor | trunk & root condition |
| 2 | Parkinsonia aculeata | Mexican Palo Verde | 18 | 14 | 13 | NS | D | poor | health - beetle infestation |
| 3 | Parkinsonia aculeata | Mexican Palo Verde | 22 | 20 | 18 | NS | D | poor | health - beetle infestation |
| 4 | Parkinsonia aculeata | Mexican Palo Verde | 22 | 20 | 16 | NS | D | poor | health |
| 5 | Parkinsonia aculeata | Mexican Palo Verde | 22 | 22 | 16 | NS | D | poor | trunk condition |
| 6 | Parkinsonia aculeata | Mexican Palo Verde | 26 | 22 | 17 | NS | D | poor | root condition, in wash |
| 7 | Parkinsonia aculeata | Mexican Palo Verde | 20 | 18 | 16 | NS | D | poor | root & trunk condition |
| 8 | Parkinsonia florida | Blue Palo Verde | 17 | 16 | 9 | S | S | good | |
| 9 | Parkinsonia florida | Blue Palo Verde | 18 | 16 | 9 | NS | D | poor | trunk condition |
| 10 | Parkinsonia florida | Blue Palo Verde | 10 | 10 | 6 | S | S | good | |
| 11 | Parkinsonia florida | Blue Palo Verde | 14 | 14 | 6 | NS | D | poor | trunk condition |
| 12 | Parkinsonia florida | Blue Palo Verde | 14 | 14 | 6 | S | S | good | |
| 13 | Parkinsonia florida | Blue Palo Verde | 16 | 16 | 10 | S | S | good | |
| 14 | Parkinsonia florida | Blue Palo Verde | 14 | 14 | 9 | S | S | good | |
| 15 | Parkinsonia florida | Blue Palo Verde | 12 | 12 | 7 | NS | D | poor | trunk condition, split trunk |
| 16 | Parkinsonia florida | Blue Palo Verde | 14 | 14 | 7 | S | S | good | |
| 17 | Parkinsonia florida | Blue Palo Verde | 14 | 16 | 8 | S | S | good | |
| 18 | Parkinsonia florida | Blue Palo Verde | 14 | 12 | 8 | NS | D | poor | root & trunk condition, broken |
| 19 | Parkinsonia florida | Blue Palo Verde | 14 | 14 | 10 | NS | D | poor | root condition |
| 20 | Not Used | | | | | | | | |
| 21 | Not Used | | | | | | | | |
| 22 | Not Used | | | | | | | | |
| 23 | Not Used | | | | | | | | |
| 24 | Not Used | | | | | | | | |
| 25 | Not Used | | | | | | | | |
| 26 | Parkinsonia florida | Blue Palo Verde | 20 | 20 | 16 | NS | D | poor | trunk condition |
| 27 | Prosopis species | Mesquite | 30 | 25 | 28 | NS | D | poor | root & trunk condition |
| 28 | Prosopis species | Mesquite | 30 | 25 | 28 | NS | D | poor | root & trunk condition |
| 29 | Parkinsonia florida | Blue Palo Verde | 18 | 18 | 13 | NS | D | poor | in wash |
| 30 | Prosopis species | Mesquite | 25 | 20 | 22 | NS | D | poor | root condition, in wash |
| 31 | Prosopis species | Mesquite | 25 | 20 | 22 | NS | D | poor | root condition, in wash |
| 32 | Prosopis species | Mesquite | 30 | 24 | 28 | NS | D | poor | root condition, in wash |
| 33 | Prosopis species | Mesquite | 22 | 22 | 19 | NS | D | poor | root condition, in wash |
| 34 | Prosopis species | Mesquite | 28 | 26 | 24 | NS | D | poor | root condition, in wash |
| 35 | Parkinsonia florida | Blue Palo Verde | 12 | 14 | 8 | S | S | good | |
| 36 | Parkinsonia florida | Blue Palo Verde | 10 | 12 | 8 | NS | D | poor | root condition, in wash |
| 37 | Parkinsonia florida | Blue Palo Verde | 18 | 20 | 18 | NS | D | poor | half dead |
| 38 | Parkinsonia aculeata | Mexican Palo Verde | 18 | 20 | 10 | NS | D | poor | health, beetles, root condition |
| 39 | Parkinsonia florida | Blue Palo Verde | 18 | 18 | 16 | NS | D | poor | trunk condition |
| 40 | Parkinsonia florida | Blue Palo Verde | 16 | 16 | 12 | NS | D | poor | root & trunk condition |
| 41 | Parkinsonia florida | Blue Palo Verde | 18 | 18 | 17 | NS | D | poor | root condition, broken |
| 42 | Prosopis species | Mesquite | 16 | 16 | 13 | NS | D | poor | trunk condition |
| 43 | Prosopis species | Mesquite | 17 | 18 | 14 | NS | D | poor | root condition |
| 44 | Prosopis chilensis | Chilean Mesquite | 30 | 26 | 36 | NS | D | poor | root condition |
| 45 | Tamarix | Saltcedar | 17 | 14 | 12 | NS | D | poor | root & trunk condition |
| 46 | Rhus lancea | African Sumac | 18 | 18 | 16 | NS | D | poor | bee hive, species not salvageable |
| 47 | Parkinsonia aculeata | Mexican Palo Verde | 16 | 16 | 18 | NS | D | poor | root & trunk condition |

CITY OF SCOTTSDALE NOTES

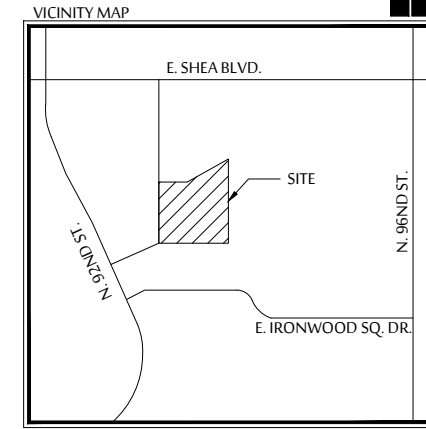
- PLANT MATERIAL MUST BE INDIVIDUALLY TAGGED IN THE FIELD AT THE TIME THE INVENTORY PLANS ARE SUBMITTED. TAGGED MATERIALS MUST BE CLEARLY MARKED WITH WATERPROOF INK AND INCLUDE THE NUMBER WHICH CORRESPONDS TO THE NUMBER SHOWN ON THE PLANS. A FIELD REVIEW WILL NOT OCCUR UNTIL TAGS ARE MARKED WITH WATERPROOF INK AND SHOWN ON THE INVENTORY.
- TAGS MUST BE ATTACHED SO THAT THEY WILL REMAIN ON THE PLANT FOR THE DURATION OF THE SALVAGE AND NURSERY STORAGE PERIOD. PLANT MATERIALS WITHOUT NUMBERED TAGS IN THE NURSERY ARE SUBJECT TO NOT BEING COUNTED TOWARD THE TOTAL REQUIREMENT FOR THE PROJECT.

SPECIAL NOTE: ANY TREES LISTED AS 'DEMOLISH' MAY BE SALVAGED AND REUSED ON ANOTHER SITE AT THE CONTRACTORS' DISCRETION AND EXPENSE.

SALVAGE CONTRACTOR

ARBOR CARE EXPERTS
 CONTACT: CAMERON VAUGHAN
 PHONE: 602-568-8139
 EMAIL: camvaughan.ace@gmail.com

CONTRACTOR TO SALVAGE WITHIN LIMIT OF DISTURBANCE ONLY.



DEVELOPER

94 HUNDRED SHEA LLLP
 9374 E. SHEA BOULEVARD
 SCOTTSDALE, AZ 85260
 (713)977-5699
 CONTACT: JERRY DAVIS
 jdavis@kapcorp.com

LANDSCAPE ARCHITECT

MCGOUGH ADAMSON
 535 E. MCKELLIPS ROAD, SUITE 131
 MESA, AZ 85203
 (602) 997-9093
 CONTACT: NICK ADAMSON, RLA
 nicka@mg-az.com

SHEET INDEX

| | |
|---------|--------------------------|
| INV 1.0 | COVER SHEET |
| INV 1.1 | EXISTING PLANT INVENTORY |



535 E. MCKELLIPS RD. SUITE 131
 MESA, ARIZONA 85203
 PHONE: (602) 997-9093



Expires: 03-31-2023

COVER SHEET
94 HUNDRED SHEA - THE VILLAGE
 9374 E. SHEA BOULEVARD
 SCOTTSDALE, ARIZONA 85260

These drawings, as legal instruments of professional services are, and shall remain the property of the landscape architect.

These drawings shall not be used on other projects or for additions to this project except by written agreement from the landscape architect.

JOB NO. 19-70
 DATE: 10-06-2022
 DRAWN BY: BD, TV
 CHECKED BY: NA

REVISIONS: _____

SHEET NO.
INV 1.0

PLANT INVENTORY APPROVAL _____

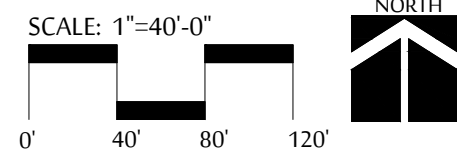
DATE _____





| PLANT MATERIAL | |
|----------------|----------------------|
| # | TREE TO BE DESTROYED |
| # | TREE TO BE SALVAGED |

NOTE: TEMPORARY SALVAGE NURSERY TO BE HAND-WATERED BY TRUCK.



535 E. MCKELUPS RD, SUITE 131
 MESA, ARIZONA 85203
 PHONE: (602) 997-9093



EXISTING PLANT INVENTORY
94 HUNDRED SHEA - THE VILLAGE
 9374 E. SHEA BOULEVARD
 SCOTTSDALE, ARIZONA 85260

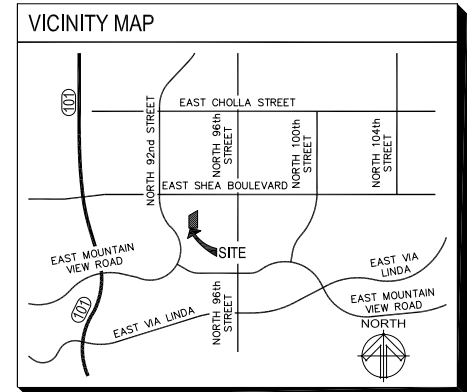
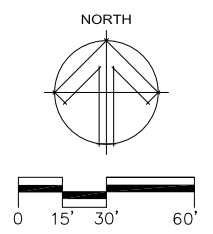
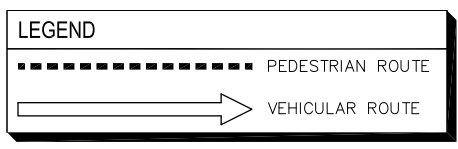
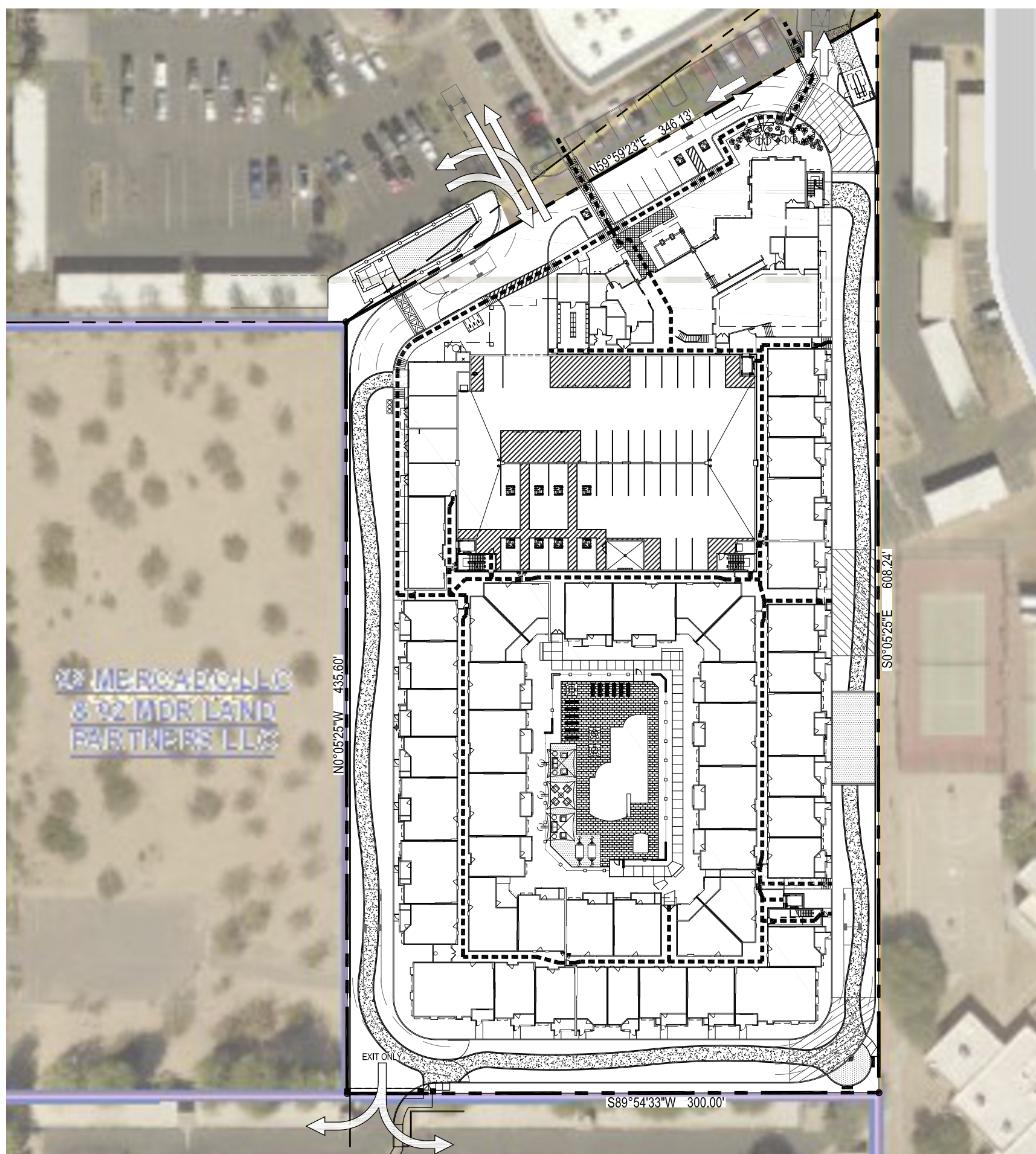
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JOB NO. 19-70
 DATE: 10-06-2022
 DRAWN BY: BD, TV
 CHECKED BY: NA

REVISIONS: _____

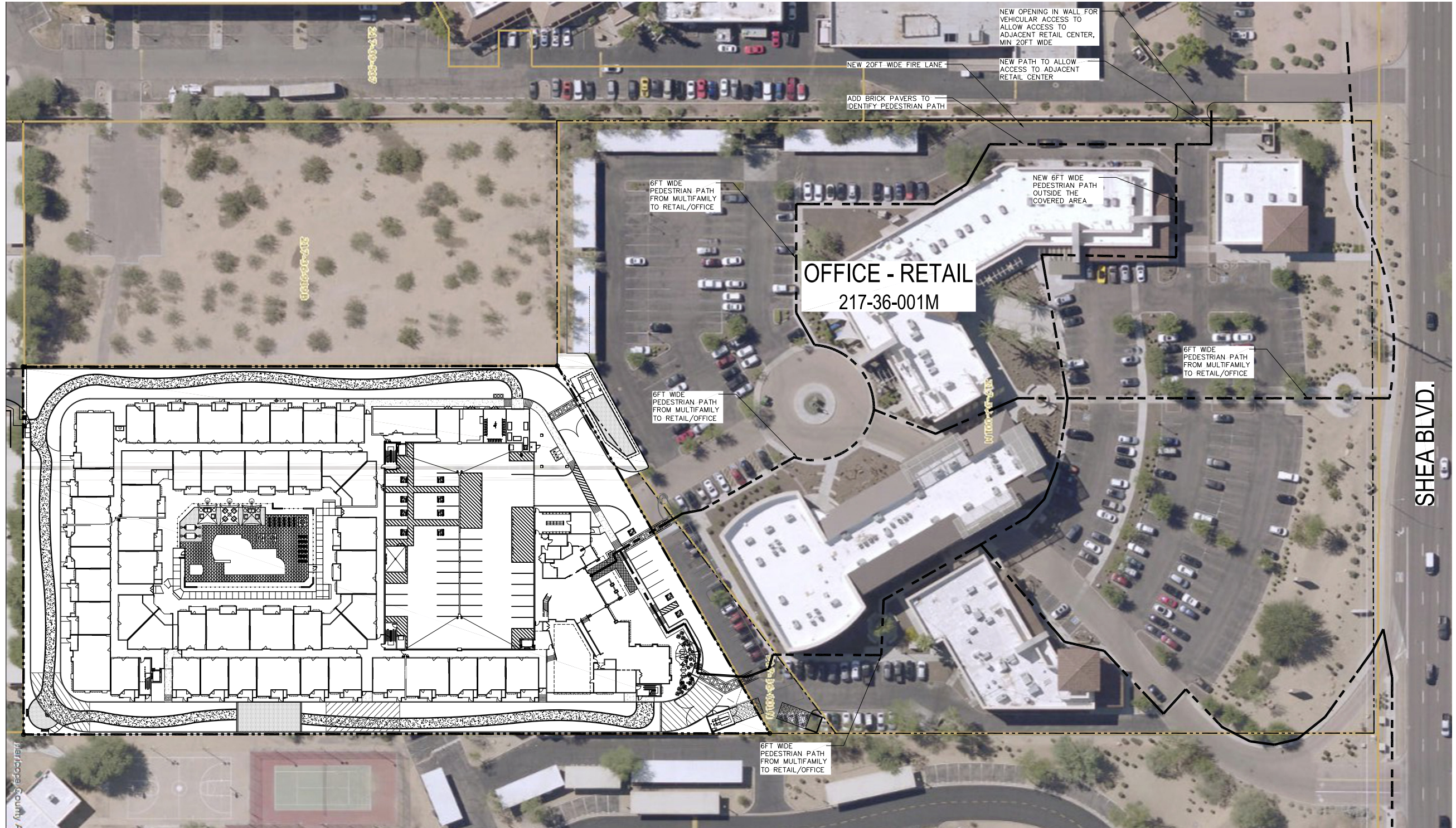
SHEET NO.
INV 1.1



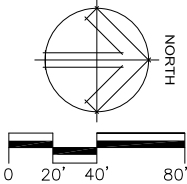
94 HUNDRED SHEA - THE VILLAGE
94 HUNDRED SHEA LLLP

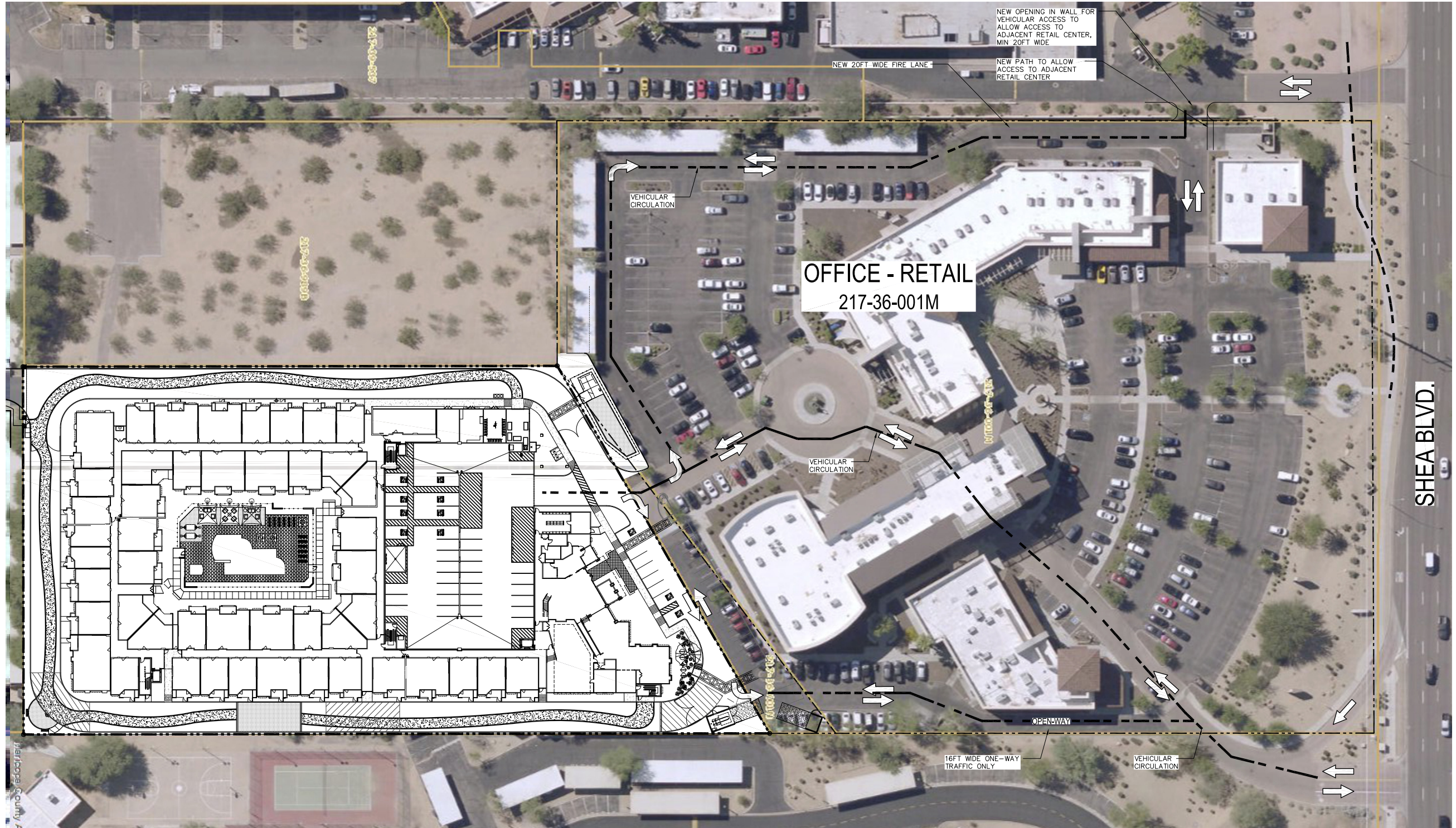
**PEDESTRIAN AND VEHICULAR
CIRCULATION PLAN**
SCALE: 1" = 30'-0"

A1.6
10-07-22



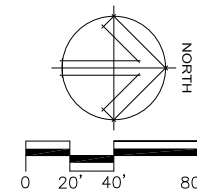
94 HUNDRED SHEA - THE VILLAGE
94 HUNDRED SHEA LLLP

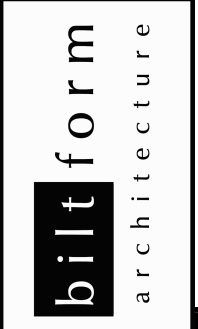




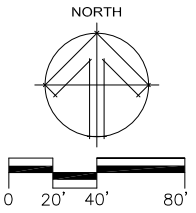
94 HUNDRED SHEA - THE VILLAGE

94 HUNDRED SHEA LLLP

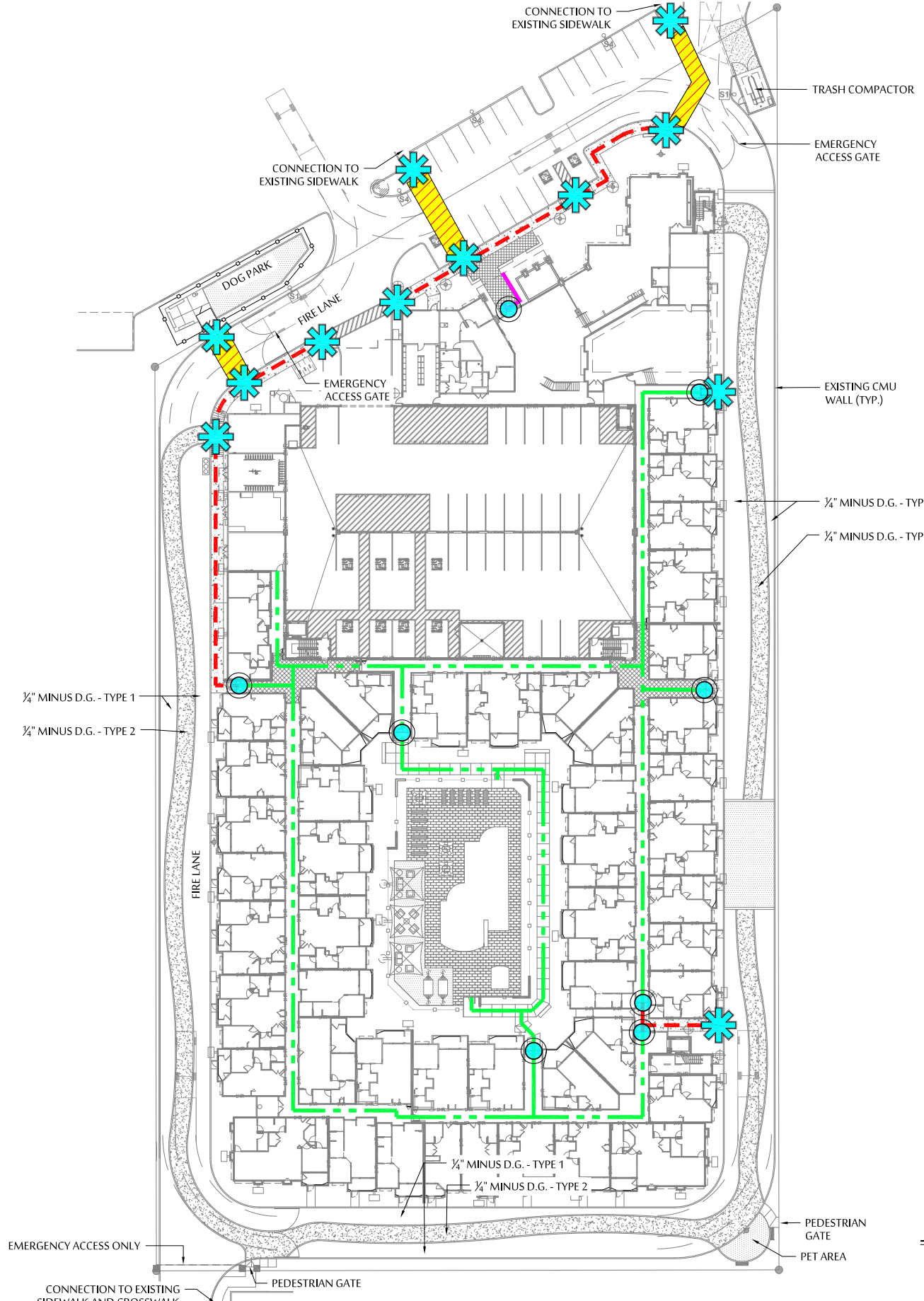




94 HUNDRED SHEA - THE VILLAGE
 94 HUNDRED SHEA LLLP

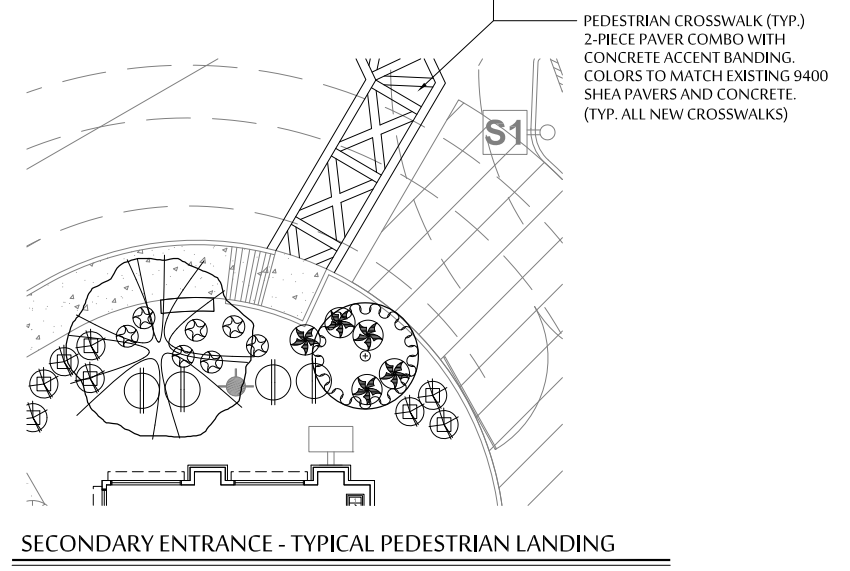


92ND STREET CONNECTION | **A1.6.3**
 SCALE: 1" = 40'-0" 05-19-22



PEDESTRIAN CIRCULATION LEGEND

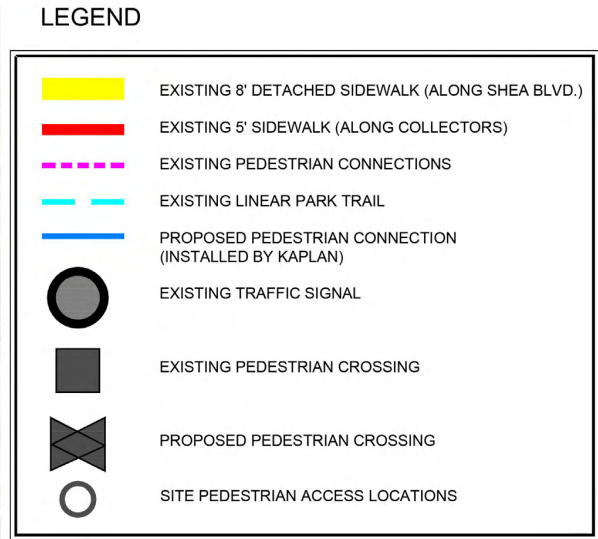
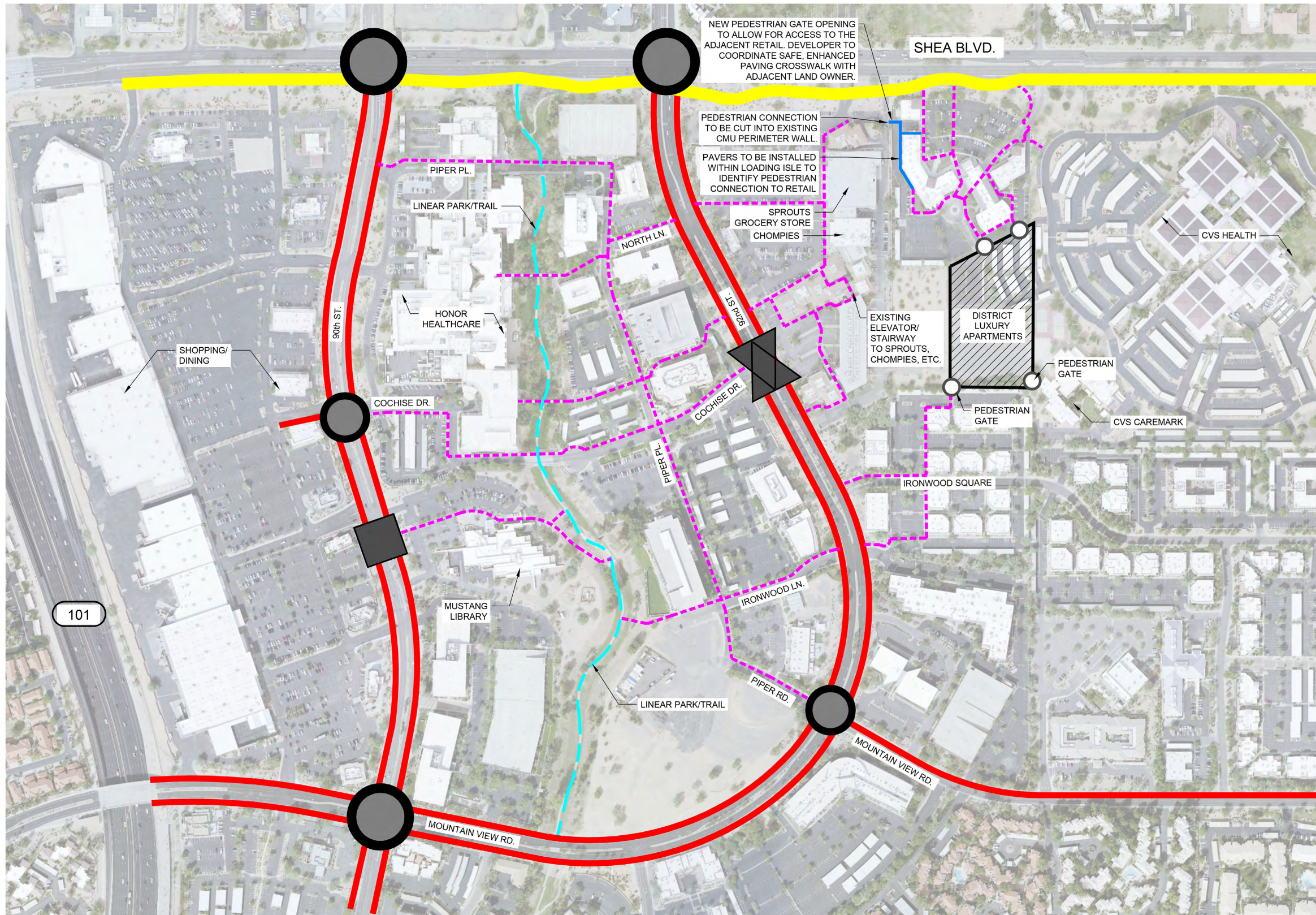
| | |
|--|--|
| | 6' WIDE PUBLIC PEDESTRIAN CIRCULATION |
| | 6' PRIVATE PEDESTRIAN CIRCULATION |
| | 8' WIDE ENHANCED CROSSWALK DEFINES AND REINFORCES PEDESTRIAN ACCESSWAY |
| | A.D.A. ACCESSIBLE RAMP |
| | INTERIOR/EXTERIOR TRANSITION |



94 HUNDRED SHEA - THE VILLAGE

PEDESTRIAN CIRCULATION PLAN

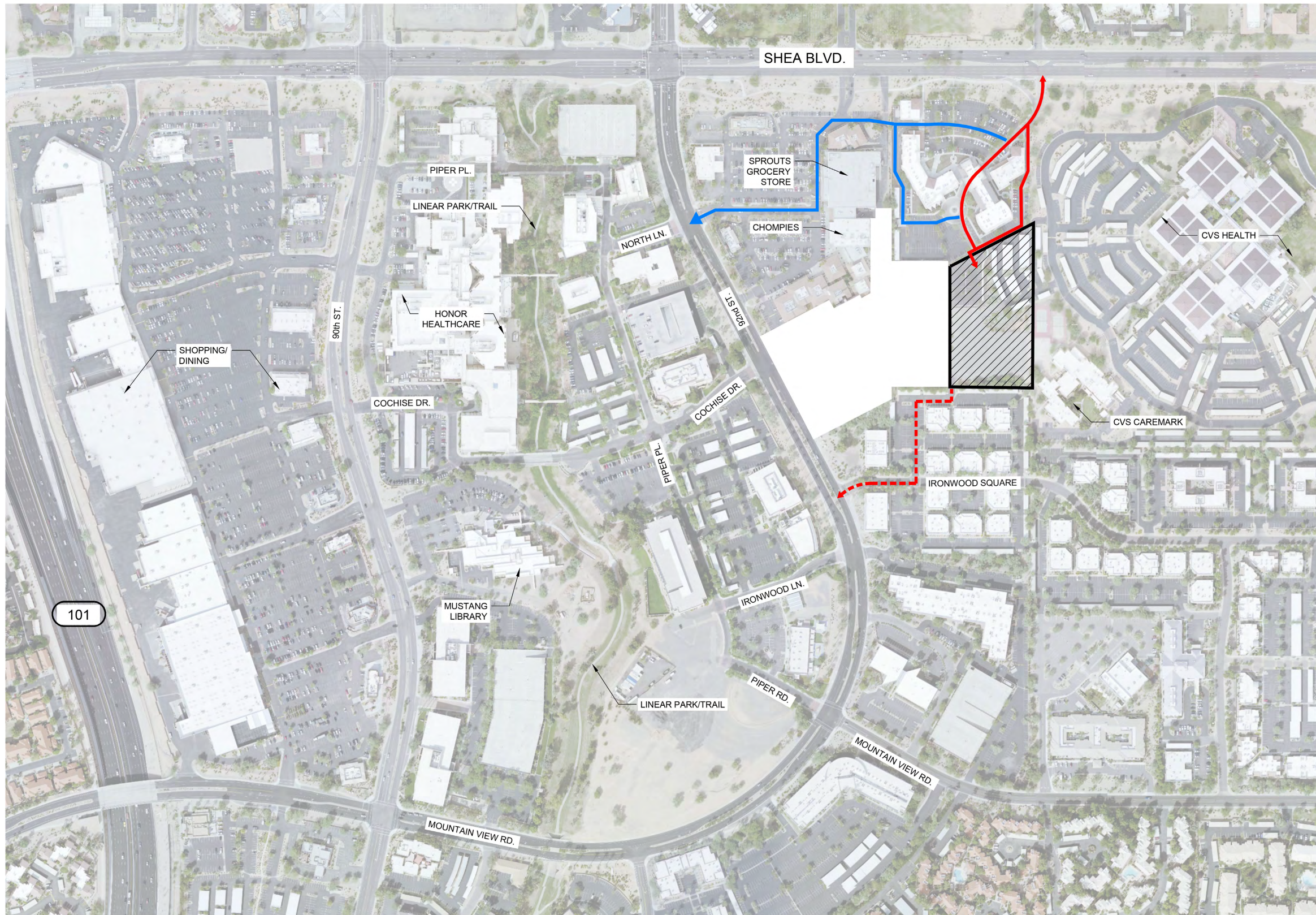
9374 E. SHEA BOULEVARD, SCOTTSDALE, AZ 85260
OCTOBER 6, 2022



94 HUNDRED SHEA - THE VILLAGE

PEDESTRIAN NEIGHBORHOOD CONNECTION EXHIBIT

9374 E. SHEA BOULEVARD, SCOTTSDALE, AZ 85260
OCTOBER 6, 2022



LEGEND

| | |
|--|--|
| | VEHICULAR ACCESS TO SHEA BLVD. |
| | EMERGENCY ACCESS TO 92ND ST. |
| | VEHICULAR ACCESS FROM 9400 SHEA TO SPROUTS SHOPPING CENTER |



94 HUNDRED SHEA - THE VILLAGE

VEHICULAR SITE ACCESS PLAN

9374 E. SHEA BOULEVARD, SCOTTSDALE, AZ 85260
OCTOBER 6, 2022



PROPOSED SIDEWALK CONNECTION TO SPROUTS CENTER

94 HUNDRED SHEA - THE VILLAGE

CROSS ACCESS PLAN

9374 E. SHEA BOULEVARD, SCOTTSDALE, AZ 85260
 OCTOBER 6, 2022



- SHEET NOTES:
- (a) UNOBSTRUCTED VERTICAL CLEARANCE MIN. 13'-6" (ORD. 4045, 503.2.1)
 - (b) KEY SWITCH / PRE-EMPTION SENSOR REQUIRED (ORD. 4045, 503.6.1)
 - (c) FIRE LANE SURFACE WILL SUPPORT 83,000 LBS GW (DS AND PM, 2-1.802(5))
 - (d) NO FENCE / WALL OVER 6" IN HEIGHT
 - (e) SPRINKLER SYSTEM TO BE INSTALLED IN ACCORDANCE WITH NFPA 13
 - (f) EASEMENTS FOR UTILITIES, DRAINAGE, SCENIC CORRIDOR, EMERGENCY AND SERVICE (REFUSE), MAINTENANCE AND PUBLIC ACCESS (VEHICULAR AND PEDESTRIAN), TO, THROUGH AND FROM THE SITE, SUBJECT TO RECORDED EASEMENT NO. 20030450937
 - (g) ALL EASEMENTS TO, THROUGH AND FROM THE SITE, INCLUDING, ACCESS (VEHICULAR AND PEDESTRIAN), FIRE/SAFETY, REFUSE, DRAINAGE, AND SIGNS, ARE FURTHER UPDATED AND MODIFIED BY RECORDED EASEMENT NO. 20030450937 (EASEMENT TO BE RECORDED UPON CLOSE OF ESCROW)
 - (h) FIRE APPARATUS ACCESS ROADS SHALL NOT BE OBSTRUCTED IN ANY MANNER, INCLUDING THE PARKING OF VEHICLES PER FIRE ORD. 4283 SEC. 503.4.

PROJECT DATA

OVERALL SITE DATA:

SITE AREA: ±11.00 GROSS / ±10.36 NET ACRES
 ZONING: EXISTING: C-O, C-3 PROPOSED: PUD
 APN NUMBERS: 217-36-001P, 217-36-001P, 217-36-001M AND 217-36-001N
 PROPOSED USE: MULTI-FAMILY / RETAIL-OFFICE
 MAXIMUM DENSITY ALLOWED: N/A
 PROPOSED DENSITY: 219 D.U./10.36 AC = 21.14 DU PER ACRE
 EXISTING RETAIL: 38,971 S.F.
 EXISTING OFFICE: 35,000 S.F.
 BUILDING FOOTPRINT + GARAGE: 85,187 S.F./10.36 AC (451,281 S.F.) = 18.9%
 TOTAL LOT COVERAGE: 85,187 S.F./10.36 AC (451,281 S.F.) = 18.9%

COMMON OPEN SPACE:

OPEN SPACE REQUIRED: (OFFICE/RETAIL) = 32,259 S.F. (322,591 x .10)
 OPEN SPACE PROVIDED: = 71,022 S.F. (156,569 x .10)
 OPEN SPACE REQUIRED: (MULTI-FAMILY) = 15,657 S.F. (156,569 x .10)
 OPEN SPACE PROVIDED: = 48,582 S.F. (156,569 x .10)
 TOTAL OPEN SPACE REQUIRED: 47,916 S.F.
 TOTAL OPEN SPACE PROVIDED: 119,604 S.F.

TOTAL AREA: (MULTI-FAMILY)

MAXIMUM BUILDING HEIGHT: 48' / 58' TO MECHANICAL
 PROPOSED BUILDING HEIGHT: 48' (4 STORIES) / 58' TO MECHANICAL
 TOTAL GROSS BUILDING AREA: 387,454 S.F.
 TOTAL GROSS LIVABLE AREA (RESIDENTIAL): 191,023 S.F.
 TOTAL GROSS COMMERCIAL AREA (CLUBHOUSE, OFFICE, FITNESS CENTER, LUX, DOG SPA, BIKE STORE, MAINTENANCE AND TRASH): 13,784 S.F. = 7.2% OF LIVABLE AREA
 TOTAL GROSS GARAGE AREA: 144,087 S.F.

UNIT MIX:

STUDIO UNITS: 8 (3.65%)
 ONE BEDROOM UNITS: 148 (67.58%)
 TWO BEDROOM UNITS: 63 (28.77%)
 TOTAL: 219 D.U.

| UNIT NAME | UNIT TYPE | GROSS LIVABLE AREA | PATIO/BALC. AREA | ROOF TOP DECK | # OF UNITS | GROSS AREA |
|-------------|------------|--------------------|------------------|---------------|------------|-----------------------|
| UNIT A5 | STUDIO | 562 S.F. | 54 S.F. | | 8 | 4,496 S.F. |
| UNIT A1 | 1 BED/1 BA | 651 S.F. | 68 S.F. | | 32 | 20,832 S.F. |
| UNIT A2 | 1 BED/1 BA | 737 S.F. | 39 S.F. | 11 | 15 | 10,530 S.F. |
| UNIT A2 ALT | 1 BED/1 BA | 826 S.F. | 196 S.F. | 2 | 2 | 1,652 S.F. |
| UNIT A3 | 1 BED/1 BA | 1,204 S.F. | 224 S.F. | 1 | 1 | 1,204 S.F. |
| UNIT A4 | 1 BED/1 BA | 749 S.F. | 90 S.F. | | 16 | 11,984 S.F. |
| UNIT A3 | 1 BED/1 BA | 914 S.F. | 320 S.F. | 4 | 24 | 3,656 S.F. |
| UNIT A6 | 1 BED/1 BA | 831 S.F. | 78 S.F. | | 6 | 4,994 S.F. |
| UNIT A5 | 1 BED/1 BA | 989 S.F. | 260 S.F. | 4 | 24 | 3,956 S.F. |
| UNIT A6 | 1 BED/1 BA | 755 S.F. | 114 S.F. | | 6 | 4,530 S.F. |
| UNIT A7 | 1 BED/1 BA | 765 S.F. | 69 S.F. | | 3 | 2,317 S.F. |
| UNIT A7 | 1 BED/1 BA | 971 S.F. | 129 S.F. | | 4 | 3,884 S.F. |
| UNIT B1 | 2 BED/2 BA | 1,060 S.F. | 60 S.F. | | 17 | 18,020 S.F. |
| UNIT B2 | 2 BED/2 BA | 1,173 S.F. | 370 S.F. | 6 | 24 | 7,038 S.F. |
| UNIT B3 | 2 BED/2 BA | 1,130 S.F. | 82 S.F. | | 24 | 27,120 S.F. |
| UNIT B2 | 2 BED/2 BA | 1,234 S.F. | 377 S.F. | 1 | 3 | 3,707 S.F. |
| UNIT B3 | 2 BED/2 BA | 1,099 S.F. | 68 S.F. | | 1 | 1,204 S.F. |
| UNIT B5 | 2 BED/2 BA | 1,377 S.F. | 76 S.F. | | 8 | 11,016 S.F. |
| UNIT B5 | 2 BED/2 BA | 1,460 S.F. | 280 S.F. | 3 | 3 | 4,380 S.F. |
| TOTAL: | | | | | 36 | 219 D.U. 191,023 S.F. |
| AVG. S.F.: | | | | | | 872 S.F. |

TOTAL PARKING: (MULTI-FAMILY)

REQUIRED: TABLE 9.103
 1 BEDROOM / STUDIO: 156 x 1.3 = 203
 2 BEDROOMS: 63 x 1.7 = 107
 OFFICE / FLEX: 1 SPACE PER 325 S.F. = 8,014 S.F./325 = 24
 FITNESS CENTER (30%) 1 SPACE PER 325 S.F. = 2,401 S.F./325 = 8
 TOTAL REQUIRED: 342 P.S.

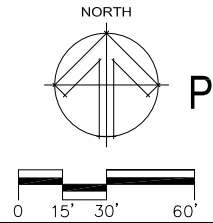
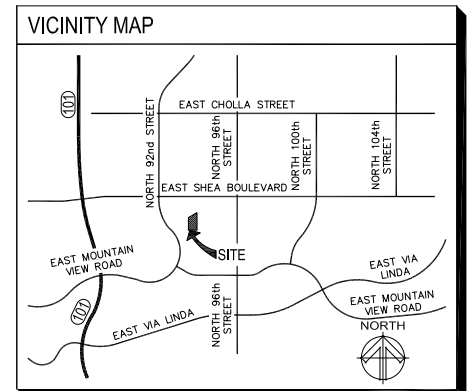
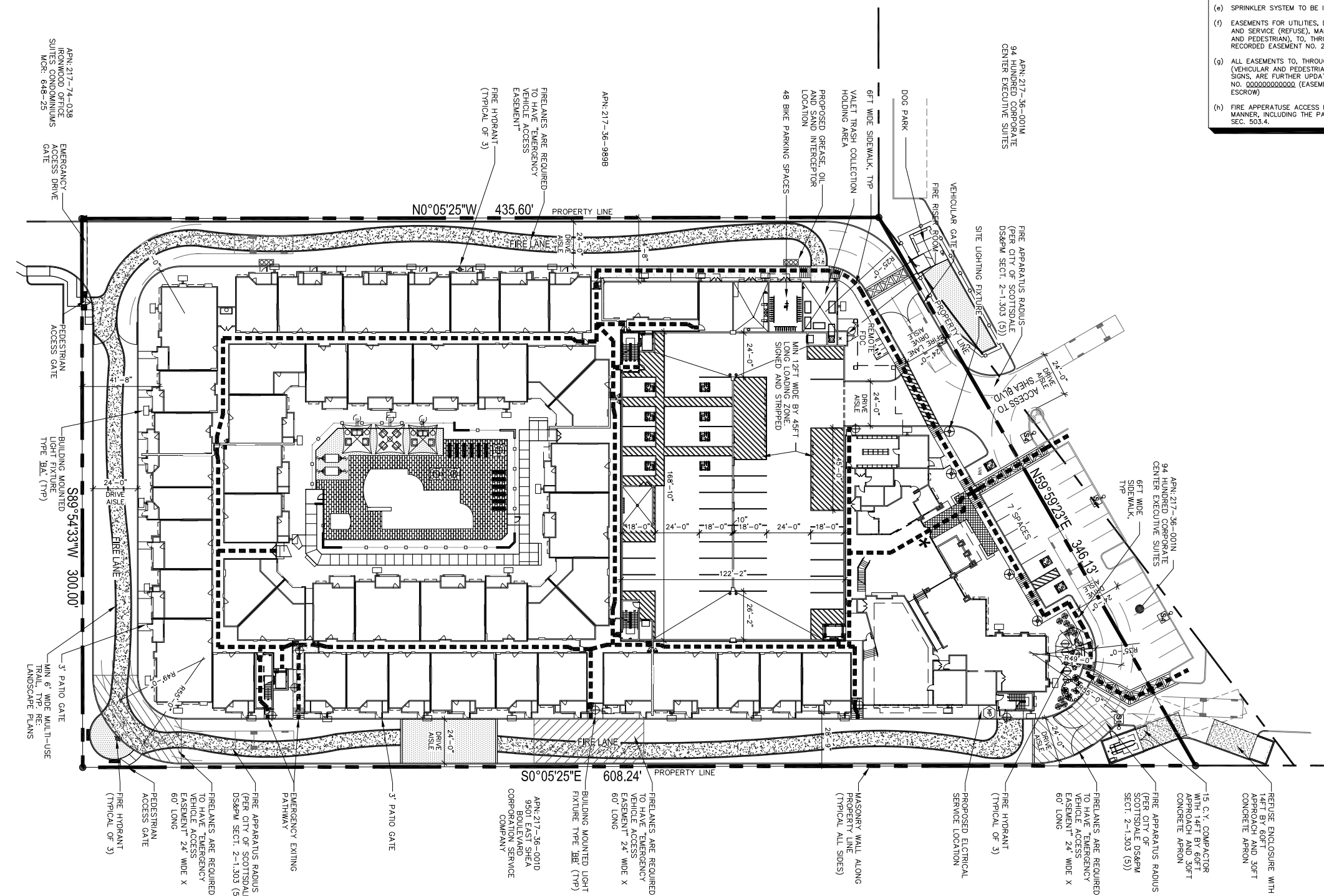
PROVIDED:
 GARAGE PARKING: 365 P.S.
 SURFACE PARKING: 10 P.S.
 TOTAL PROVIDED: (1.7 SPACES PER UNIT) 375 P.S.

TOTAL PARKING: (OFFICE - RETAIL)

PROVIDED:
 COVERED PARKING: 42 P.S.
 SURFACE PARKING: 315 P.S.
 TOTAL PROVIDED: 357 P.S.

ACCESSIBLE PARKING REQUIRED: 4% x 375 P.S. = 15 P.S.
 ACCESSIBLE PARKING PROVIDED: (3 VAN = 1:6 SPACES) = 15 P.S.

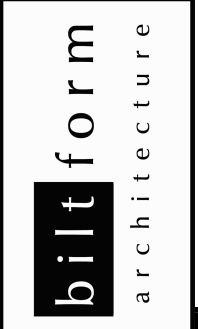
BICYCLE PARKING: SEC.9.103
 (1) SPACES PER 10 VEHICLE REQ'D (342 x 0.1 = 34.2)
 TOTAL PROVIDED: 34 SPACES



PRE-EMERGENCY PLAN (P.E.P)
 SCALE: 1" = 30'-0"
A1.8
 10-07-22

94 HUNDRED SHEA - THE VILLAGE

94 HUNDRED SHEA LLLP



EAST SHEA BOULEVARD

EAST 94th PLACE

EXISTING EMERGENCY ACCESS ROUTE

C-3 ZONING

C-3 ZONING

C-O ZONING

C-O ZONING

NORTH 92nd STREET

PUD ZONING

EMERGENCY ACCESS GATE

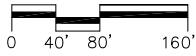
C-O ZONING

EAST GOLD DUST AVENUE

C-O ZONING

EAST IRONWOOD SQUARE DRIVE

NORTH 94th PLACE



EMERGENCY ACCESS
SCALE: 1" = 80'-0"

A1.9
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94 HUNDRED SHEA - THE VILLAGE

94 HUNDRED SHEA LLLP

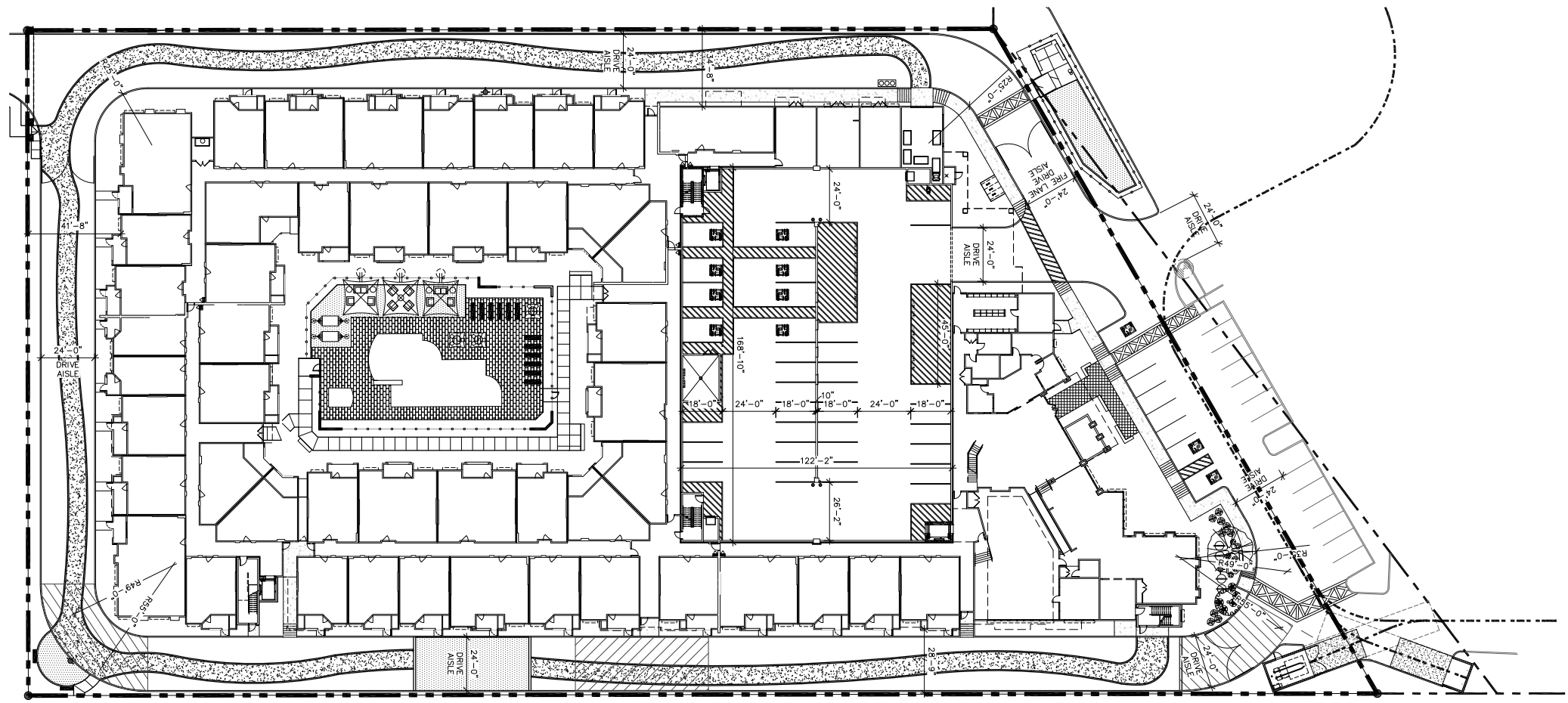
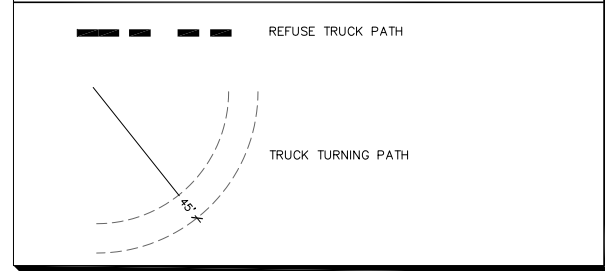
COLLECTION REQUIREMENTS

MULTI FAMILY UNITS:
 220 UNITS / 20 UNITS PER ENCLOSURE = 11 ENCLOSURES (44 CUBIC YARDS)
 COMPACTION RATIO OF 3:1 = 15 CUBIC YARDS OF COMPACTED WASTE REQUIRED

COLLECTION NOTE

ON COLLECTION DAY THE TRUCK WILL PULL UP TO THE COMPACTOR/REFUSE ENCLOSURE. COMPACTOR/CONTAINERS WILL BE EMPTIED/PICKED UP BY REFUSE TRUCK. THIS WILL CONSIST OF A TWO PERSON TEAM; ONE WILL OPERATE THE TRUCK WHILE THE OTHER WILL MANUEVER THE CONTAINERS INTO POSITION FOR THE OPERATOR TO EMPTY EACH CONTAINER. MAINTENANCE STAFF WILL BE ON HAND TO CLEAN THE AREA AS NECESSARY AND CLOSE GATES.
 FROM TRASH ROOM REFUSE WILL BE COLLECTED FROM TRASH CHUTE AND TRANSPORTED TO REFUSE ENCLOSURE/COMPACTOR AREA. REFUSE WILL BE DISPOSED INTO APPROPRIATE CONTAINERS/COMPACTOR BY MAINTENANCE STAFF

SYMBOL LEGEND



SELF-CONTAINED COMPACTORS

RJ-250SC & RJ-250SC Ultra

Dimensions & Specifications

| Specifications | RJ-250SC | A | B | C | D | E | Class Weight | Unit Weight |
|------------------------------------|-------------------------------|-----------------|---|---|---|---|--------------|-------------|
| Clear-Top Opening (L x W) | 41' x 53' | 1041mm x 1473mm | | | | | | |
| Compactor Capacity | 1.31 cu yd | 1.00 cu yd | | | | | | |
| Bin Face Size (W x H) | 60' x 24 1/2' | 1524mm x 622mm | | | | | | |
| Performance Characteristics | | | | | | | | |
| Cycle Time | 33 sec | | | | | | | |
| Total Normal Force | 39,900 lbf | 177 kN | | | | | | |
| Total Maximum Force | 49,500 lbf | 220 kN | | | | | | |
| Normal Ram-Face Pressure | 27.3 psi | 187 kPa | | | | | | |
| Maximum Ram-Face Pressure | 33.7 psi | 232 kPa | | | | | | |
| Bin Penetration | 6" | 152mm | | | | | | |
| Electrical Equipment | | | | | | | | |
| Electric Motor 3/PH/230-480 | 10 hp | 7.5 kW | | | | | | |
| Electric Control Voltage | 120 VAC | | | | | | | |
| Standard Controls include | 3-Phase Substation Controller | | | | | | | |
| Hydraulic Equipment | | | | | | | | |
| Hydraulic Pump | 9 gpm | 33 L/min | | | | | | |
| Normal Pressure | 1,800 psi | 125 bar | | | | | | |
| Maximum Pressure | 2,300 psi | 159 bar | | | | | | |
| Hydraulic Cylinders | 2 | | | | | | | |
| Bore | 4" | 102mm | | | | | | |
| Rod | 2 1/2" | 64mm | | | | | | |
| Stroke | 28 1/2" | 800mm | | | | | | |

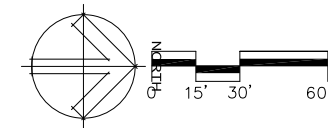
We're Here To Help!
 For detailed specifications, recommendations, or to request a site survey comparing various systems, contact the Marathon Sales Team at MarathonSales@MarathonEquipment.com

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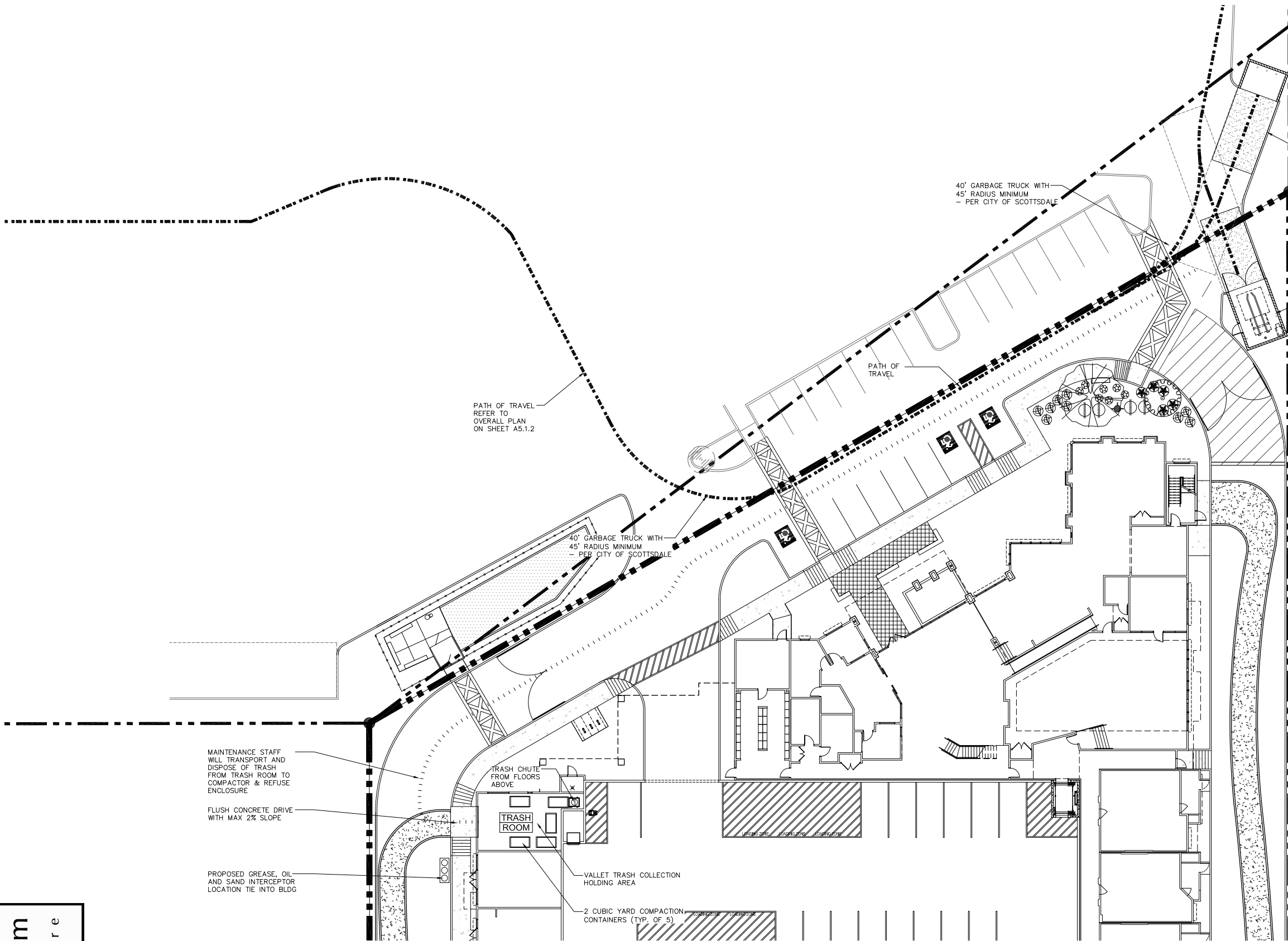
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 94 HUNDRED SHEA LLLP



SITE PLAN
 REFUSE COLLECTION
 SCALE: AS NOTED
A1.5
 10-07-22



40' GARBAGE TRUCK WITH
45' RADIUS MINIMUM
- PER CITY OF SCOTTSDALE

REFUSE ENCLOSURE WITH
60FT APPROACH AND 30FT
CONCRETE APRON

TRUCK WILL PULL IN, DUMP
CONTAINER. MINIMAL BACK
OUT AND LEAVE

15 C.Y. COMPACTOR WITH
60FT APPROACH AND 30FT
CONCRETE APRON

TRUCK WILL BACK IN FRONT
OF COMPACTOR, REMOVE IT
AND PULL OUT

NO VERTICAL OBSTRUCTIONS

60FT LONG x 14FT WIDE
APPROACH PROVIDED

2% MAX SLOPE AT
APPROACH AND ENCLOSURE
SURFACES

PATH OF TRAVEL
REFER TO
OVERALL PLAN
ON SHEET A5.1.2

PATH OF
TRAVEL

40' GARBAGE TRUCK WITH
45' RADIUS MINIMUM
- PER CITY OF SCOTTSDALE

MAINTENANCE STAFF
WILL TRANSPORT AND
DISPOSE OF TRASH
FROM TRASH ROOM TO
COMPACTOR & REFUSE
ENCLOSURE

FLUSH CONCRETE DRIVE
WITH MAX 2% SLOPE

PROPOSED GREASE, OIL
AND SAND INTERCEPTOR
LOCATION TIE INTO BLDG

TRASH CHUTE
FROM FLOORS
ABOVE

TRASH
ROOM

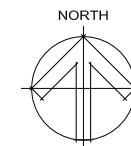
VALLET TRASH COLLECTION
HOLDING AREA

2 CUBIC YARD COMPACTION
CONTAINERS (TYP. OF 5)

PARTIAL SITE PLAN

94 HUNDRED SHEA - THE VILLAGE

94 HUNDRED SHEA LLLP



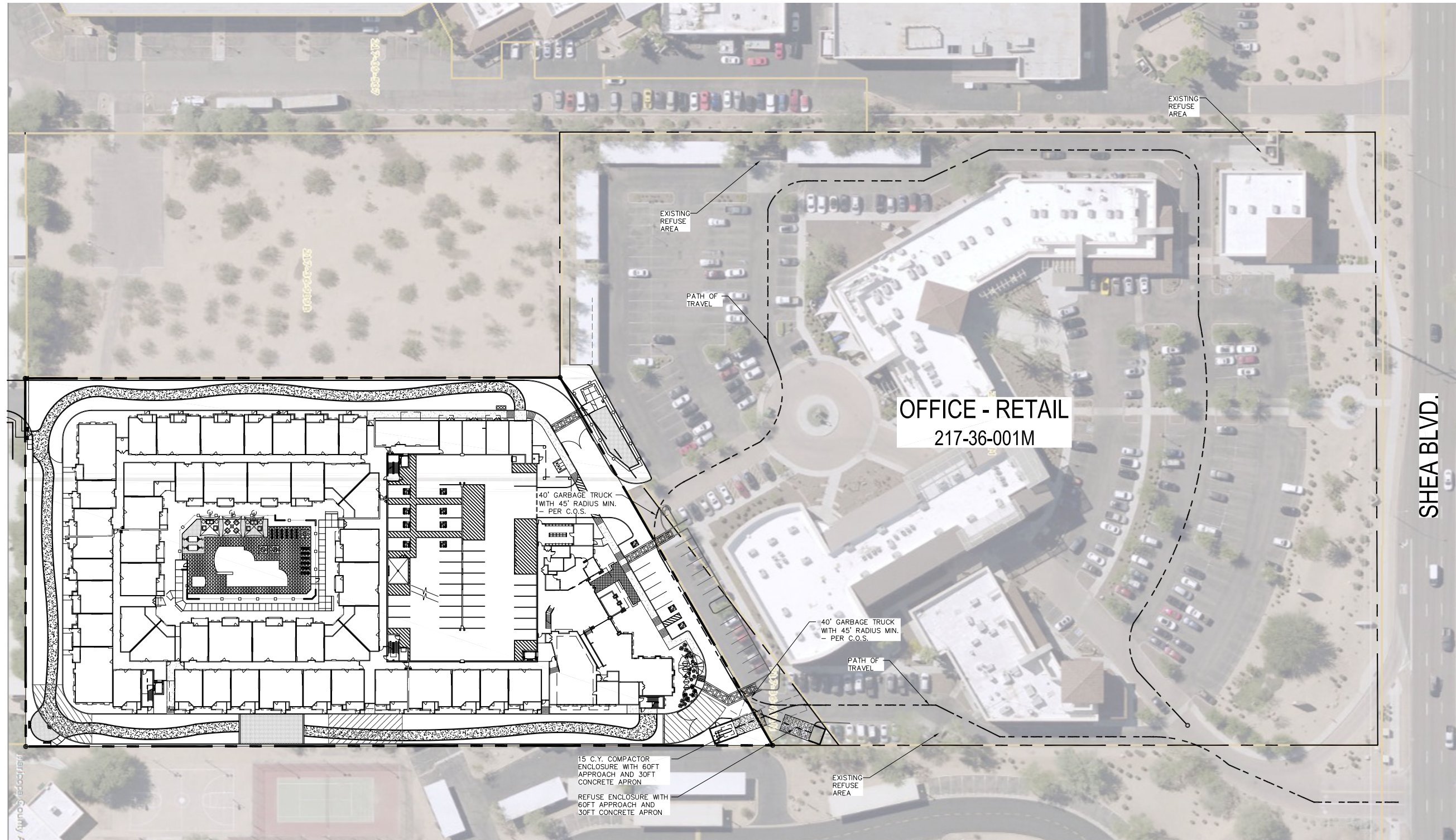
PARTIAL SITE PLAN
REFUSE COLLECTION

A1.5.1

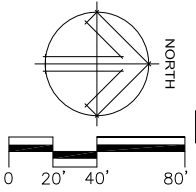
SCALE: NTS

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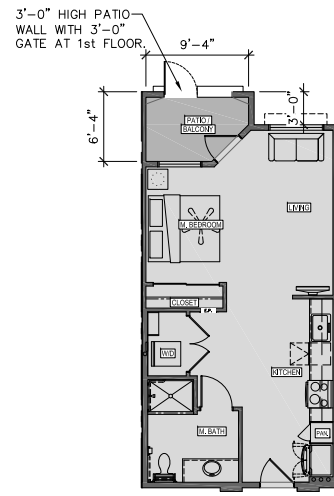


94 HUNDRED SHEA - THE VILLAGE
94 HUNDRED SHEA LLLP

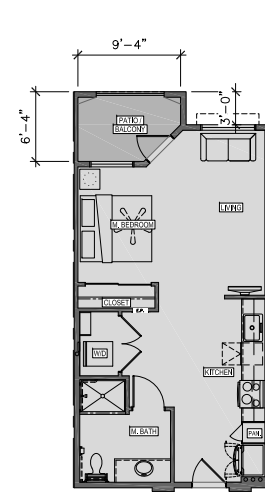


REFUSE PATH OF TRAVEL
SCALE: 1" = 40'-0"

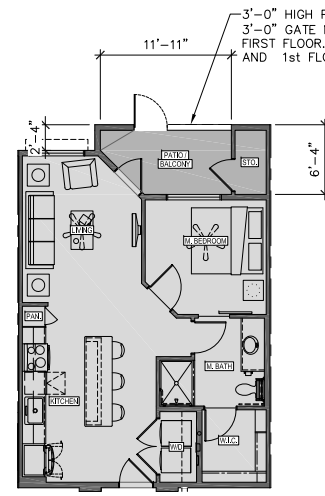
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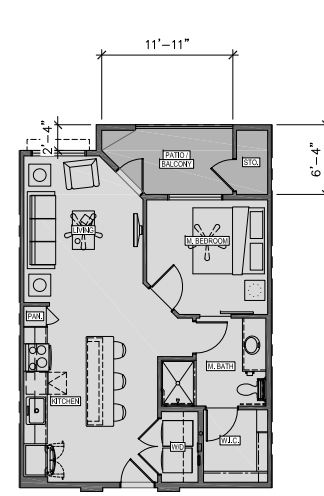
UNIT A5
1st FLOOR
GROSS LIVABLE AREA: 562 S.F.
PATIO OR BALCONY AREA: 54 S.F.



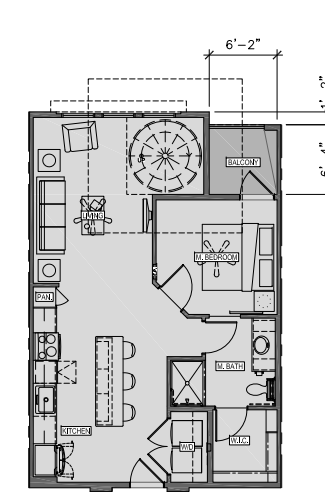
UNIT A5
2nd - 4th FLOORS
GROSS LIVABLE AREA: 562 S.F.
PATIO OR BALCONY AREA: 54 S.F.



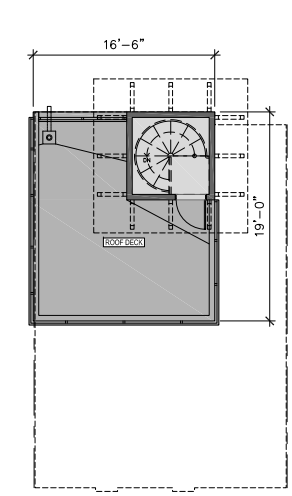
UNIT A1
1st FLOOR
GROSS LIVABLE AREA: 651 S.F.
PATIO OR BALCONY AREA: 68 S.F.



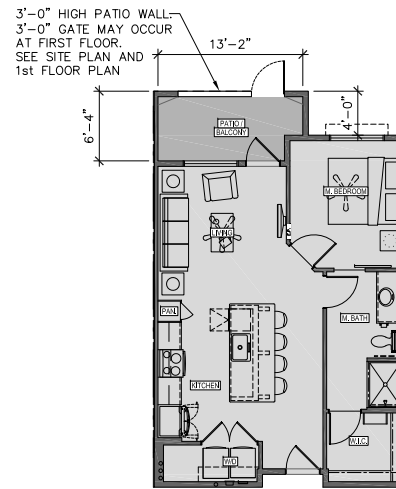
UNIT A1
2nd - 4th FLOORS
GROSS LIVABLE AREA: 651 S.F.
PATIO OR BALCONY AREA: 68 S.F.



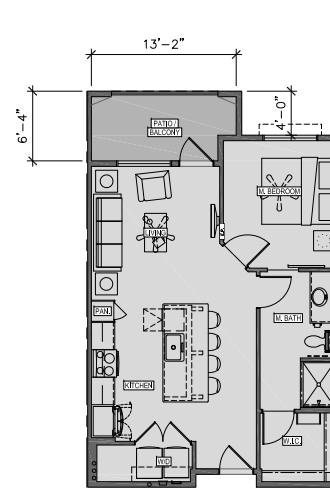
UNIT A1 ROOF DECK UNIT
4th FLOOR
GROSS LIVABLE AREA: 737 S.F.
PATIO OR BALCONY AREA: 39 S.F.



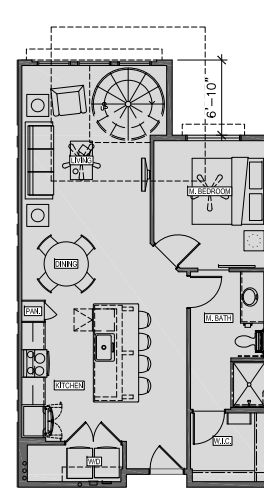
UNIT A1 ROOF DECK
ROOF
PATIO AREA: 250 S.F.



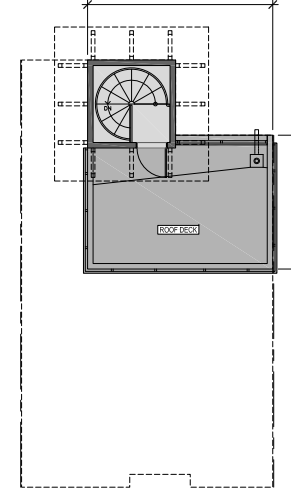
UNIT A2
1st FLOOR
GROSS LIVABLE AREA: 702 S.F.
PATIO OR BALCONY AREA: 80 S.F.



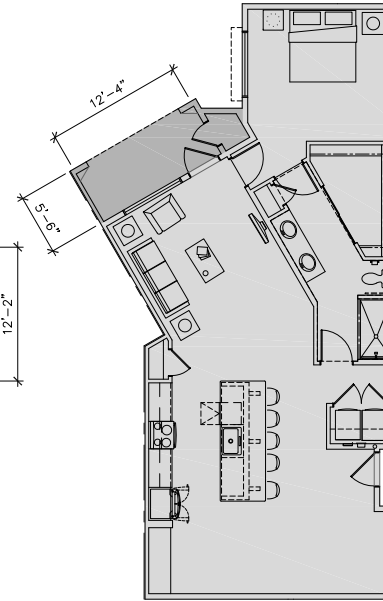
UNIT A2
2nd - 4th FLOORS
GROSS LIVABLE AREA: 702 S.F.
PATIO OR BALCONY AREA: 80 S.F.



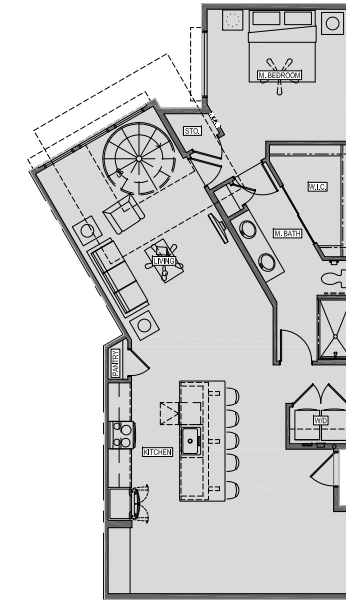
UNIT A2 ROOF DECK UNIT
4th FLOOR
GROSS LIVABLE AREA: 826 S.F.



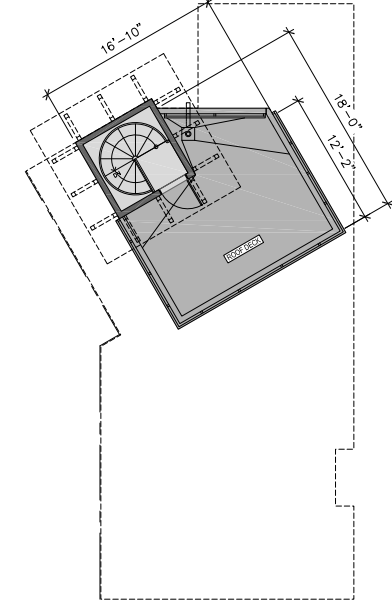
UNIT A2 ROOF DECK
ROOF
PATIO AREA: 196 S.F.



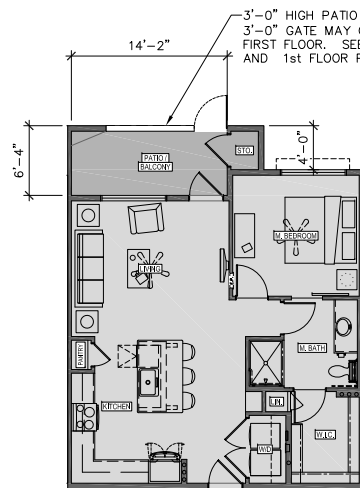
UNIT A2 ALT
2nd - 3rd FLOORS
GROSS LIVABLE AREA: 1,702 S.F.
PATIO OR BALCONY AREA: 88 S.F.



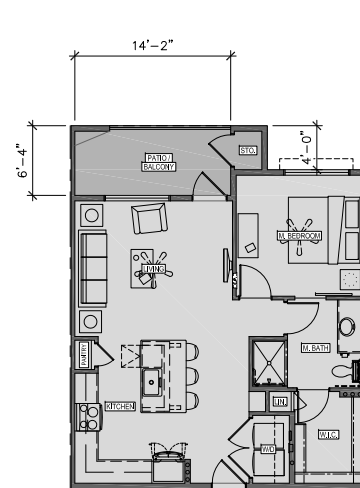
UNIT A2 ALT ROOF DECK UNIT
4th FLOOR
GROSS LIVABLE AREA: 1,806 S.F.



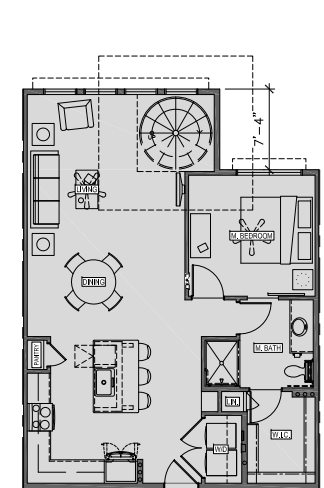
UNIT A2 ALT ROOF DECK
ROOF
PATIO AREA: 226 S.F.



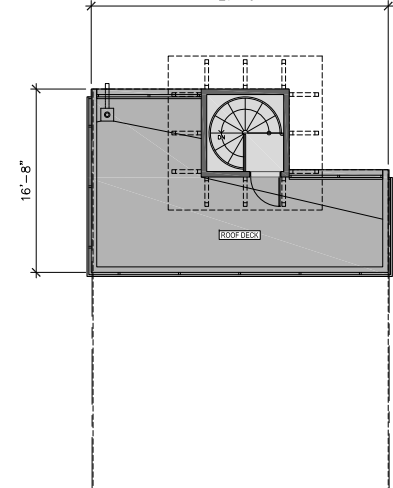
UNIT A3
1st FLOOR
GROSS LIVABLE AREA: 749 S.F.
PATIO OR BALCONY AREA: 90 S.F.



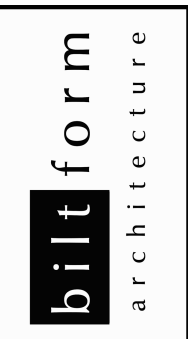
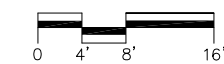
UNIT A3
2nd - 4th FLOORS
GROSS LIVABLE AREA: 749 S.F.
PATIO OR BALCONY AREA: 90 S.F.



UNIT A3 ROOF DECK UNIT
4th FLOOR
GROSS LIVABLE AREA: 914 S.F.



UNIT A3 ROOF DECK
ROOF
PATIO AREA: 320 S.F.

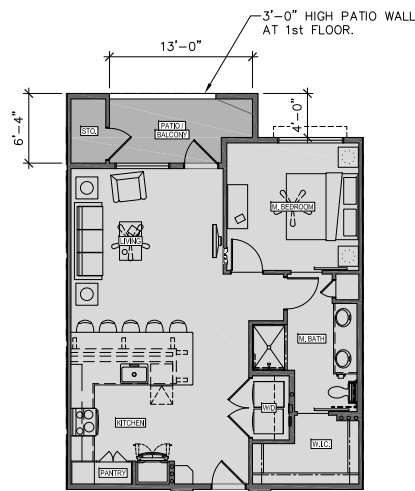


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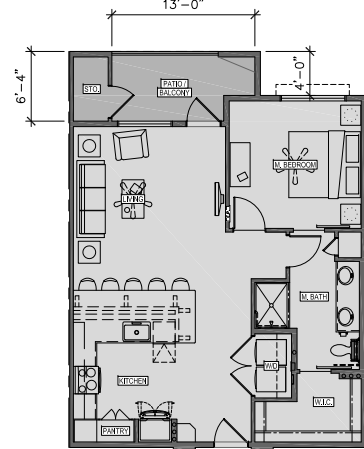
94 HUNDRED SHEA LLLP

FLOOR PLAN
WORKSHEET
UNIT PLANS
SCALE: 1/8" = 1'-0"

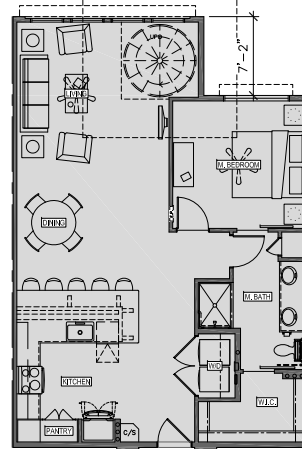
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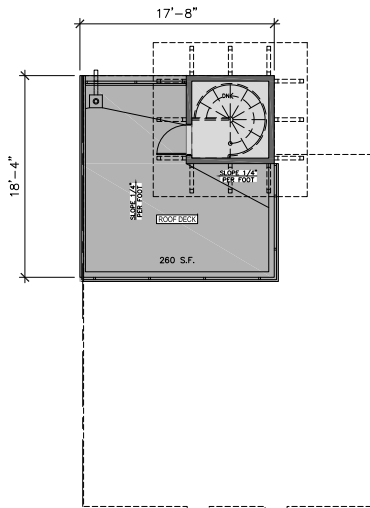
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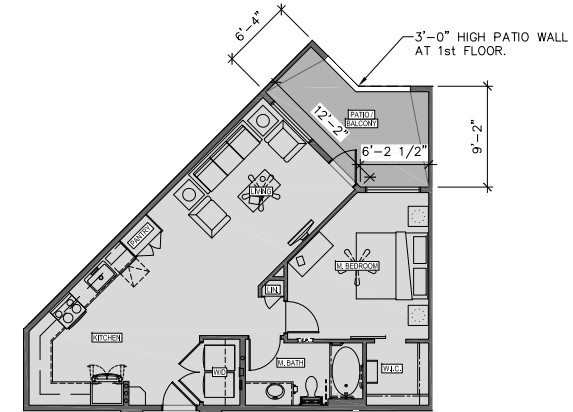
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PATIO OR BALCONY AREA: 76 S.F.



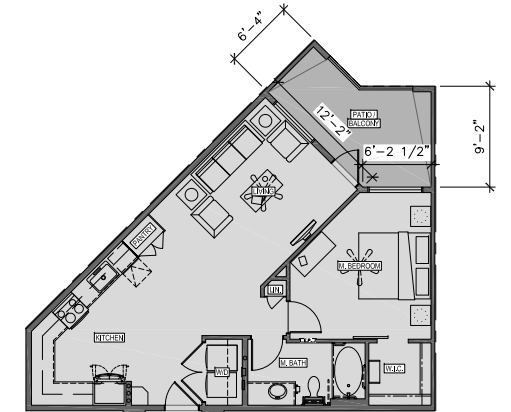
UNIT A4 ROOF DECK UNIT
4th FLOOR
GROSS LIVABLE AREA: 989 S.F.



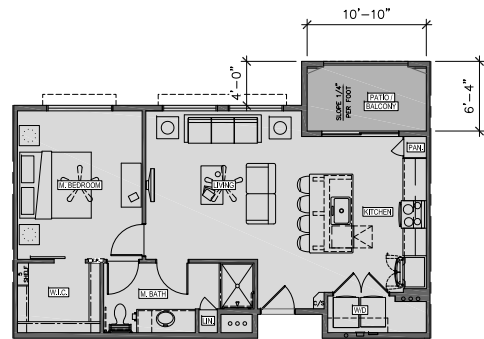
UNIT A4 ROOF DECK
ROOF
PATIO AREA: 260 S.F.



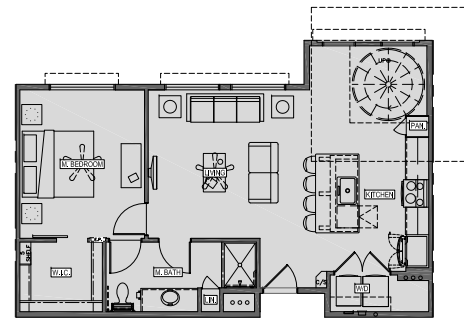
UNIT A5
1st FLOOR
GROSS LIVABLE AREA: 755 S.F.
PATIO OR BALCONY AREA: 114 S.F.



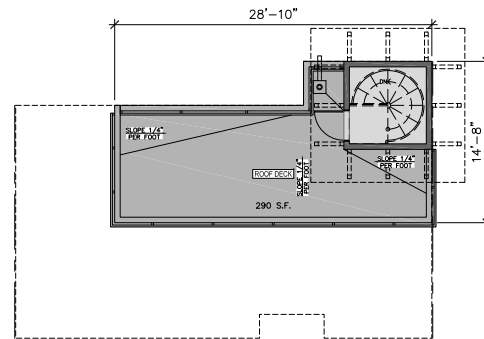
UNIT A5
2nd - 4th FLOORS
GROSS LIVABLE AREA: 755 S.F.
PATIO OR BALCONY AREA: 114 S.F.



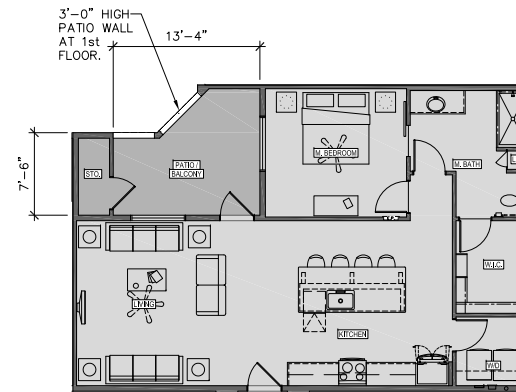
UNIT A6
2nd - 3rd FLOORS
GROSS LIVABLE AREA: 765 S.F.
PATIO OR BALCONY AREA: 69 S.F.



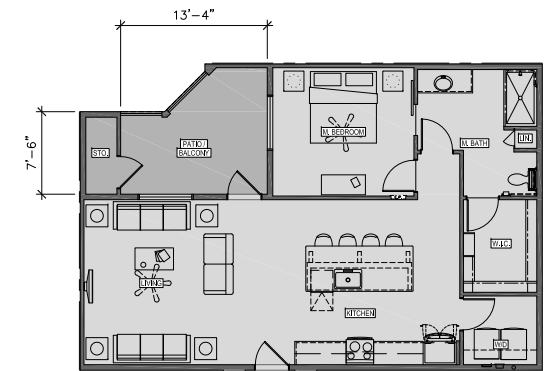
UNIT A6 ROOF DECK UNIT
4th FLOOR
GROSS LIVABLE AREA: 839 S.F.



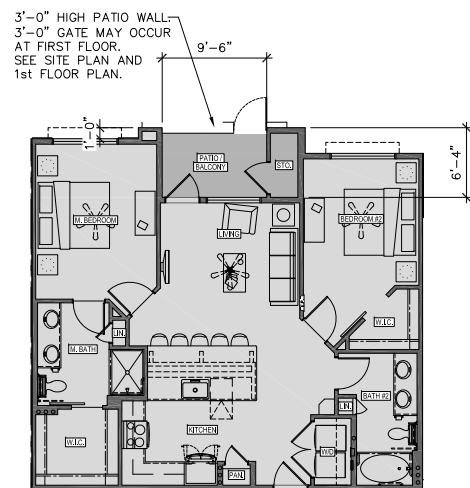
UNIT A6 ROOF DECK
ROOF
PATIO AREA: 290 S.F.



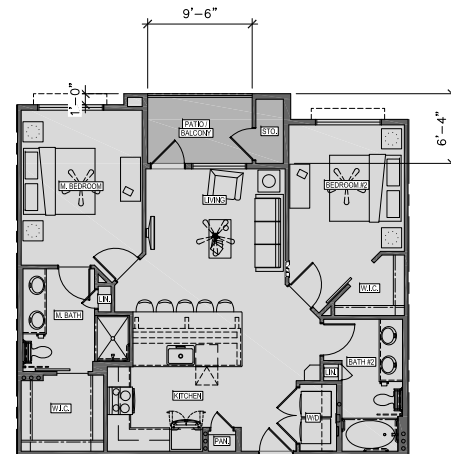
UNIT A7
1st FLOOR
GROSS LIVABLE AREA: 971 S.F.
PATIO OR BALCONY AREA: 129 S.F.



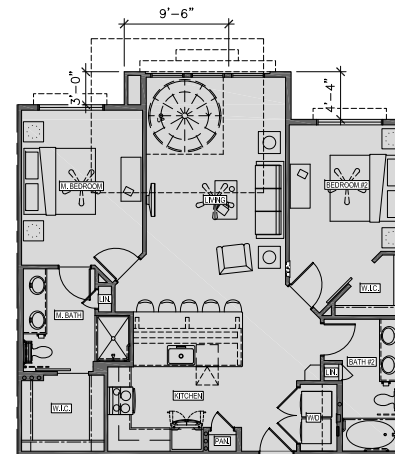
UNIT A7
2nd - 4th FLOORS
GROSS LIVABLE AREA: 971 S.F.
PATIO OR BALCONY AREA: 129 S.F.



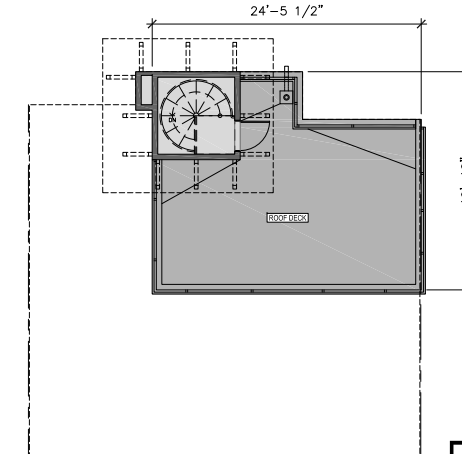
UNIT B1
1st FLOOR
GROSS LIVABLE AREA: 1,060 S.F.
PATIO OR BALCONY AREA: 60 S.F.



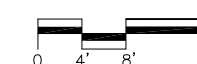
UNIT B1
2nd - 4th FLOORS
GROSS LIVABLE AREA: 1,060 S.F.
PATIO OR BALCONY AREA: 60 S.F.



UNIT B1 ROOF DECK UNIT
4th FLOOR
GROSS LIVABLE AREA: 1,173 S.F.

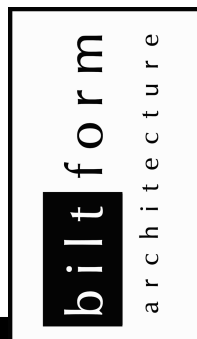


UNIT B1 ROOF DECK
ROOF
PATIO AREA: 370 S.F.

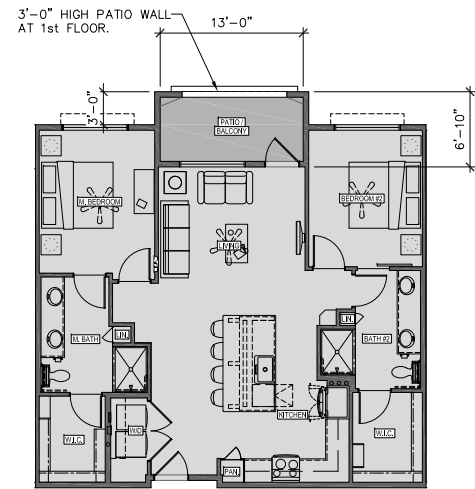


**FLOOR PLAN
WORKSHEET**
UNIT PLANS
SCALE: 1/8" = 1'-0"

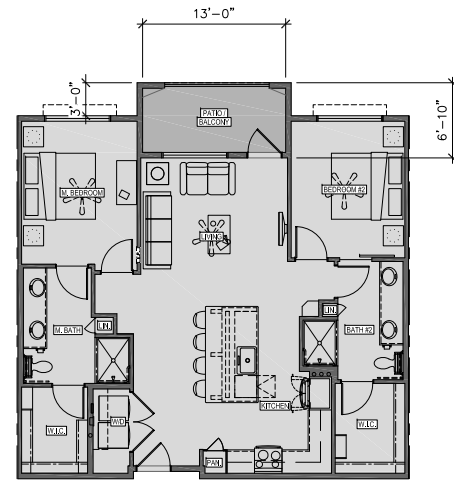
A5.2
05-19-22



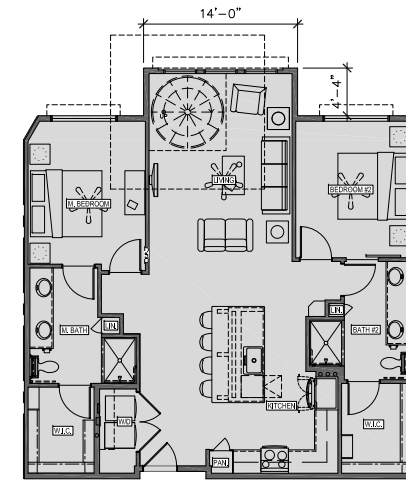
94 HUNDRED SHEA - THE VILLAGE
94 HUNDRED SHEA LLLP



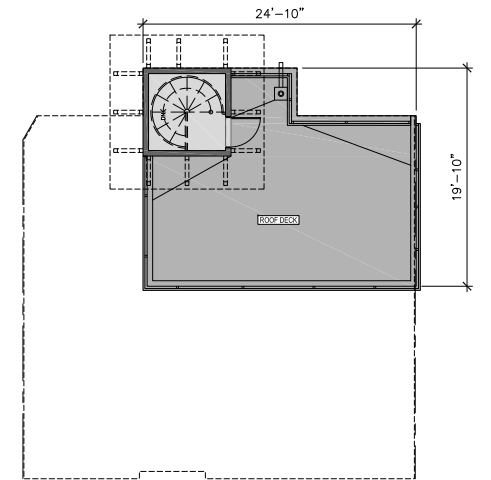
UNIT B2
1st FLOOR
GROSS LIVABLE AREA: 1,130 S.F.
PATIO OR BALCONY AREA: 82 S.F.



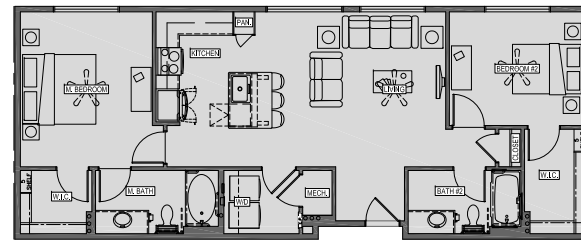
UNIT B2
2nd - 4th FLOORS
GROSS LIVABLE AREA: 1,130 S.F.
PATIO OR BALCONY AREA: 82 S.F.



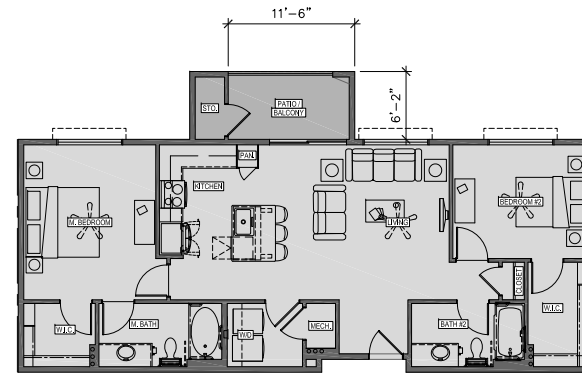
UNIT B2 ROOF DECK UNIT
4th FLOOR
GROSS LIVABLE AREA: 1,234 S.F.



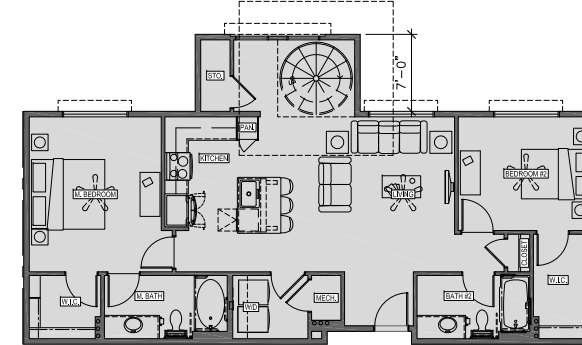
UNIT B2 ROOF DECK
ROOF
PATIO AREA: 377 S.F.



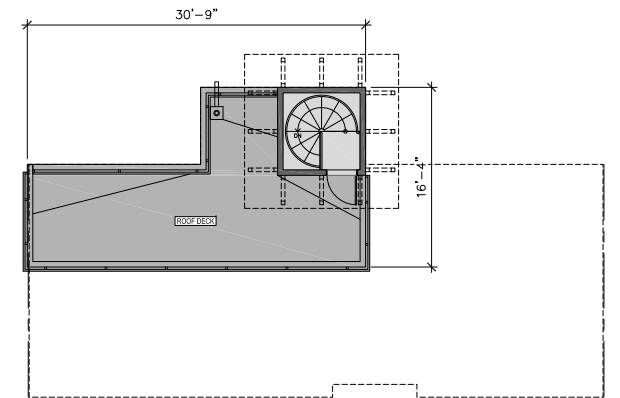
UNIT B3
1st FLOOR
GROSS LIVABLE AREA: 1,099 S.F.



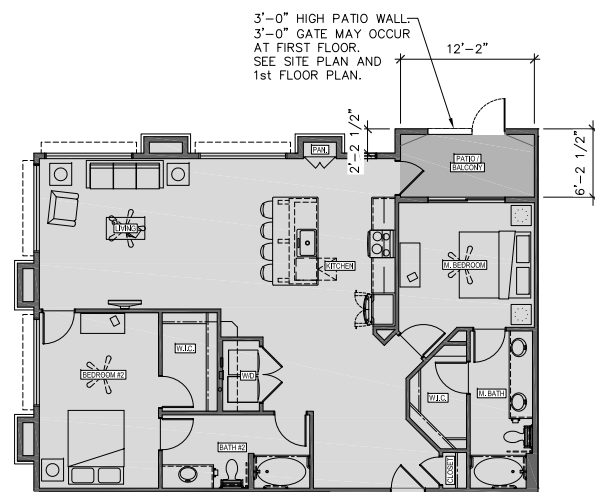
UNIT B3
2nd - 3rd FLOORS
GROSS LIVABLE AREA: 1,099 S.F.
PATIO OR BALCONY AREA: 68 S.F.



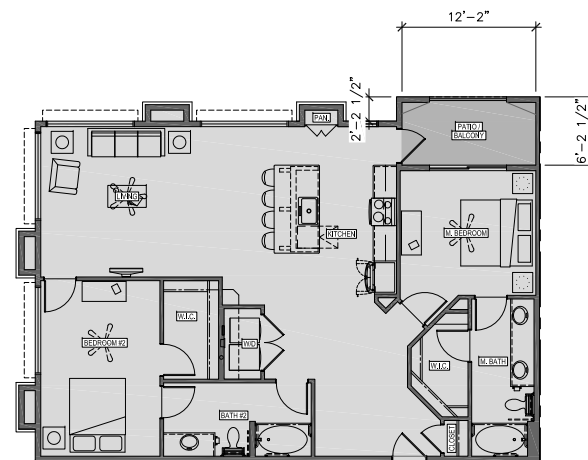
UNIT B3 ROOF DECK UNIT
4th FLOOR
GROSS LIVABLE AREA: 1,204 S.F.



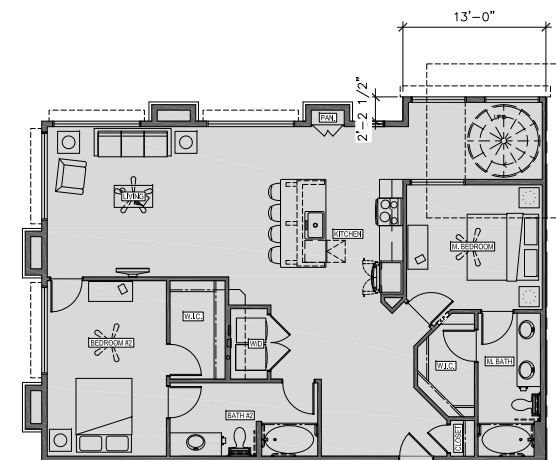
UNIT B3 ROOF DECK
ROOF
PATIO AREA: 328 S.F.



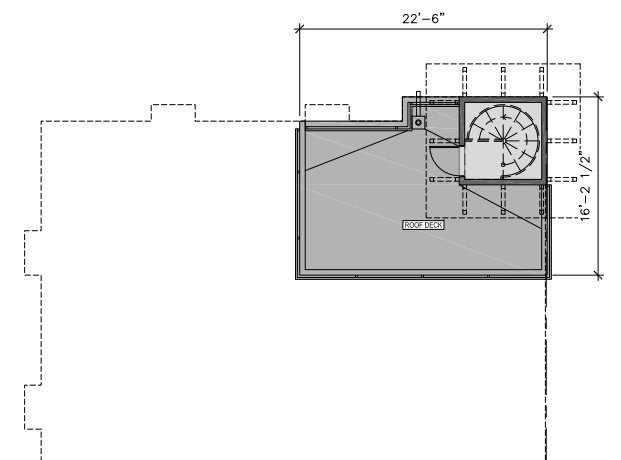
UNIT B5
1st FLOOR
GROSS LIVABLE AREA: 1,377 S.F.
PATIO OR BALCONY AREA: 76 S.F.



UNIT B5
2nd - 4th FLOORS
GROSS LIVABLE AREA: 1,377 S.F.
PATIO OR BALCONY AREA: 76 S.F.



UNIT B5 ROOF DECK UNIT
4th FLOOR
GROSS LIVABLE AREA: 1,460 S.F.



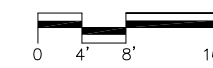
UNIT B5 ROOF DECK
ROOF
PATIO AREA: 280 S.F.

bilt form
architecture

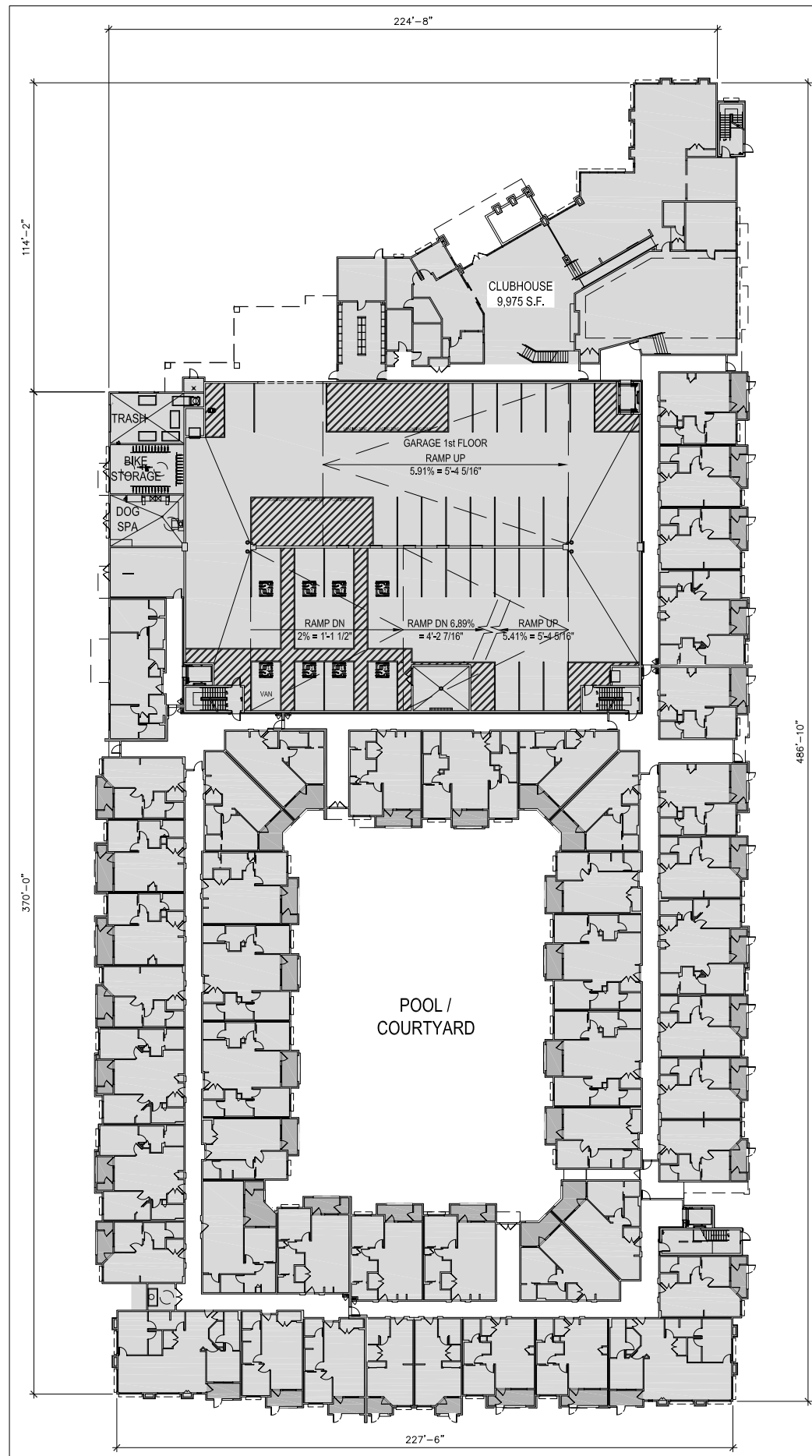
94 HUNDRED SHEA - THE VILLAGE

94 HUNDRED SHEA LLLP

FLOOR PLAN WORKSHEET
UNIT PLANS
SCALE: 1/8" = 1'-0"



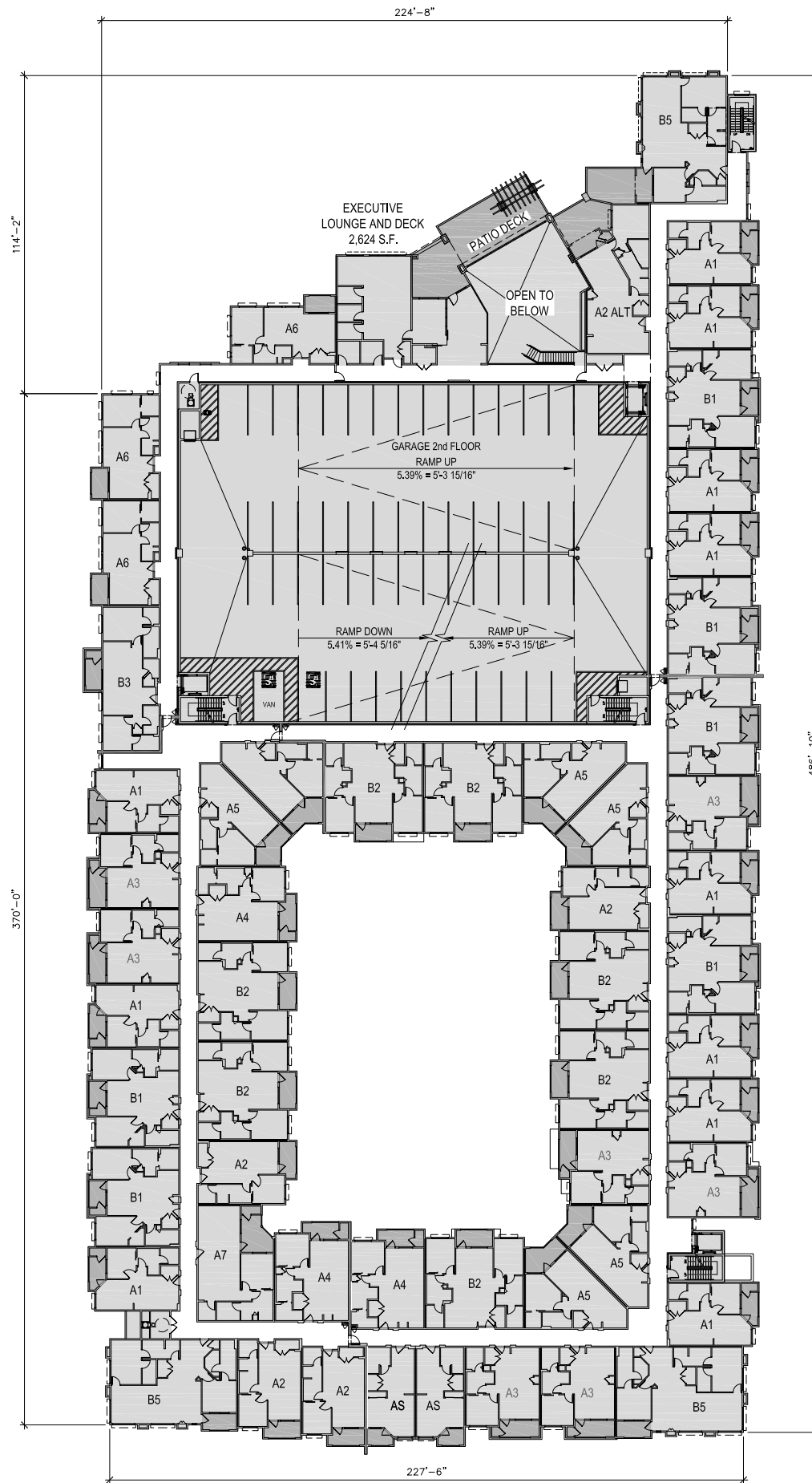
A5.3
05-19-22



94 HUNDRED SHEA - THE VILLAGE
94 HUNDRED SHEA LLLP

FLOOR PLAN WORKSHEET
BUILDING 1st FLOOR
SCALE: N.T.S.

A5.4
10-07-22

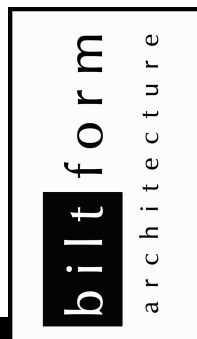


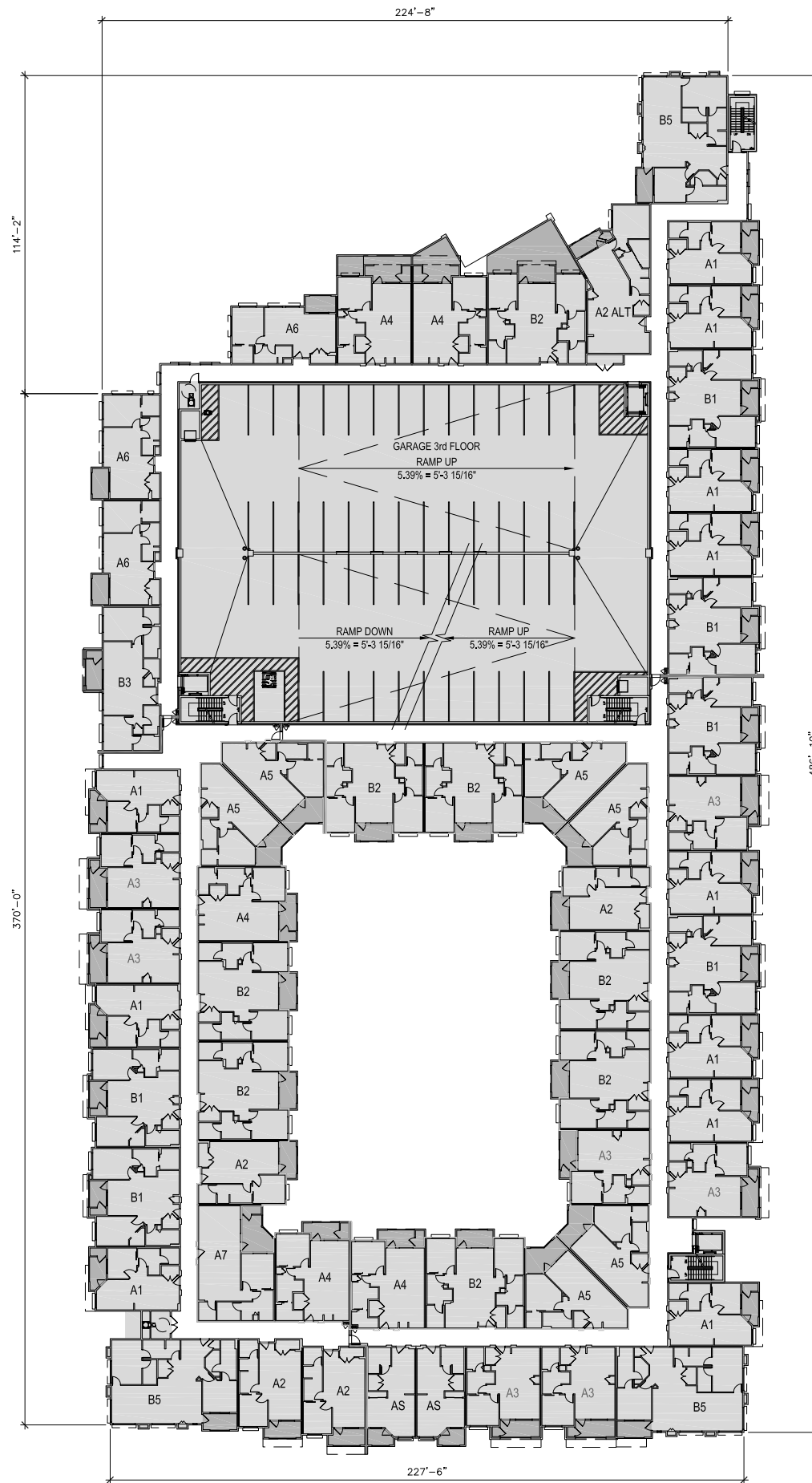
94 HUNDRED SHEA - THE VILLAGE

94 HUNDRED SHEA LLLP

FLOOR PLAN WORKSHEET
 BUILDING 2nd FLOOR
 SCALE: N.T.S.

A5.5
 05-19-22



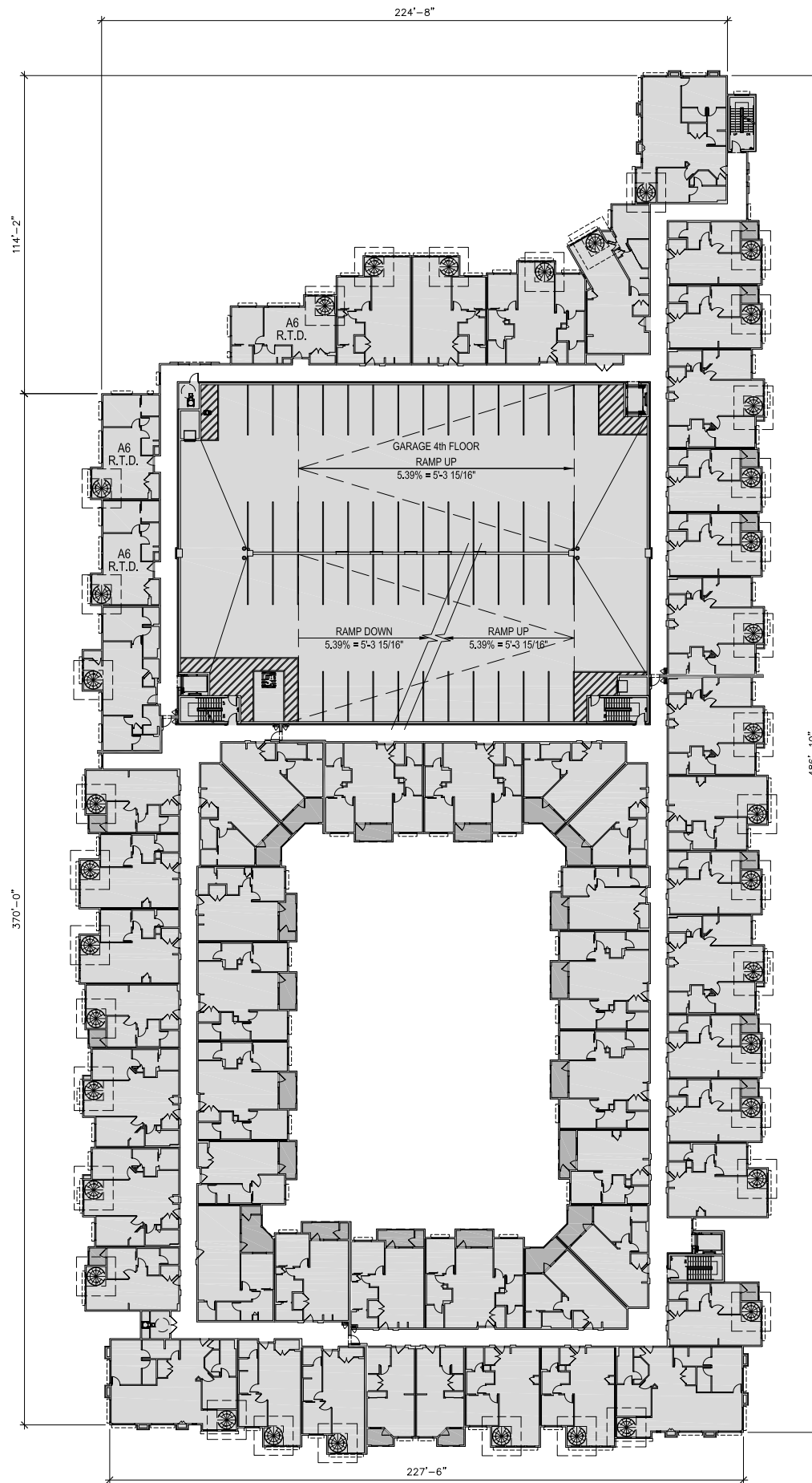


94 HUNDRED SHEA - THE VILLAGE

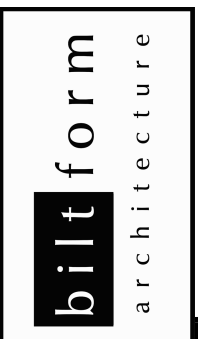
94 HUNDRED SHEA LLLP

FLOOR PLAN WORKSHEET
BUILDING 3rd FLOOR
SCALE: N.T.S.

A5.6
05-19-22



*NOTE:
R.T.D. = ROOFTOP DECK

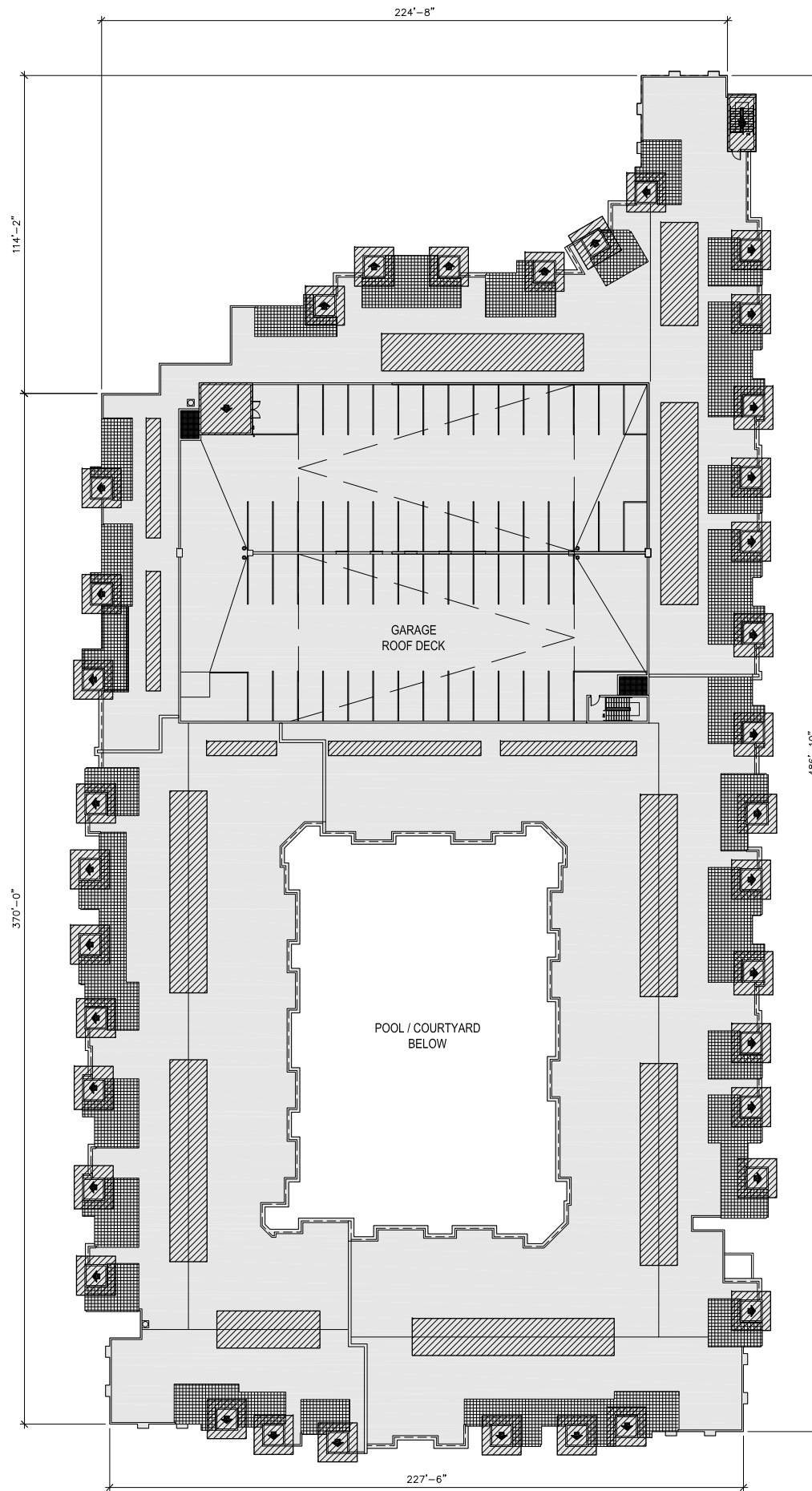





94 HUNDRED SHEA - THE VILLAGE

94 HUNDRED SHEA LLLP

FLOOR PLAN WORKSHEET
BUILDING 4th FLOOR
SCALE: N.T.S.

A5.7
05-19-22



| | | |
|--|---|-------------|
| ROOFTOP DECK ENCLOSURE AREA |  | 10,917 S.F. |
| AREA ABOVE AVERAGE ROOF HEIGHT OF 48'-0" |  | 7,752 S.F. |
| TOTAL ROOF AREA |  | 89,777 S.F. |

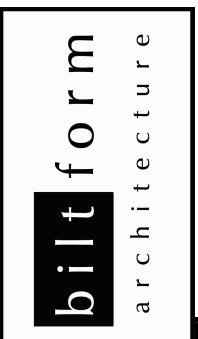
ROOF AREA % ABOVE AVERAGE ROOF HEIGHT OF 48'-0" = 18,669 S.F. / 89,777 S.F. = 20.8%

ROOF AREA CALCULATION, 30% MAXIMUM PER 5.5005.D

ROOF TOP DECK UNITS:

- A1 = 11
- A2 = 2
- A2 ALT = 1
- A3 = 6
- A4 = 2
- A6 = 3
- B1 = 6
- B2 = 1
- B3 = 1
- B5 = 3

36 TOTAL ROOF TOP DECK UNITS

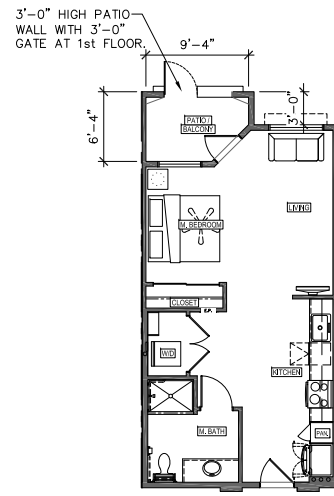


94 HUNDRED SHEA - THE VILLAGE

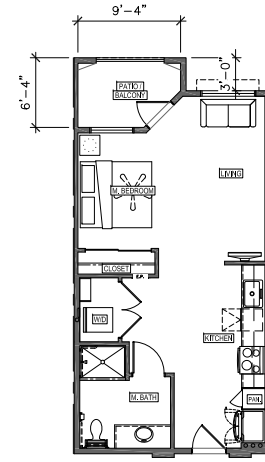
94 HUNDRED SHEA LLLP

FLOOR PLAN WORKSHEET
 BUILDING ROOF
 SCALE: N.T.S.

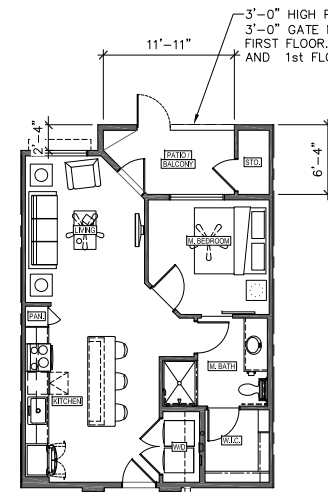
A5.8
 05-19-22



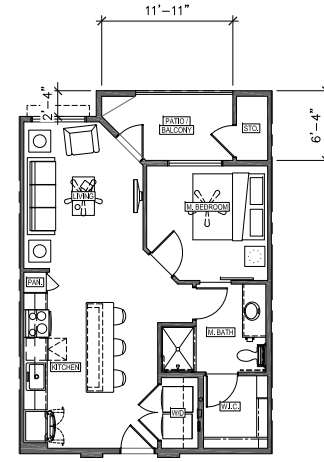
UNIT A5
1st FLOOR
GROSS LIVABLE AREA: 562 S.F.
PATIO OR BALCONY AREA: 54 S.F.



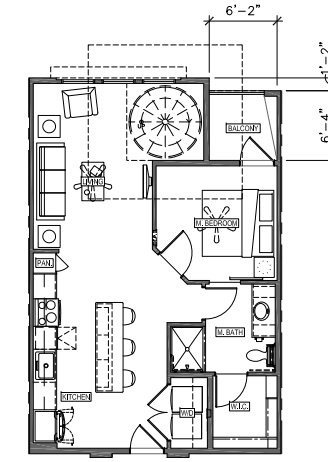
UNIT A5
2nd - 4th FLOORS
GROSS LIVABLE AREA: 562 S.F.
PATIO OR BALCONY AREA: 54 S.F.



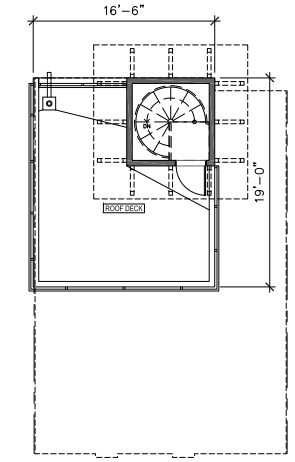
UNIT A1
1st FLOOR
GROSS LIVABLE AREA: 651 S.F.
PATIO OR BALCONY AREA: 68 S.F.



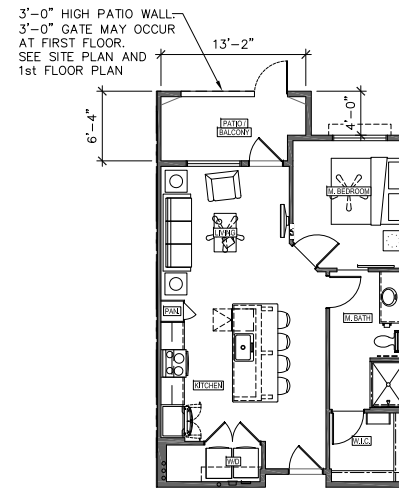
UNIT A1
2nd - 4th FLOORS
GROSS LIVABLE AREA: 651 S.F.
PATIO OR BALCONY AREA: 68 S.F.



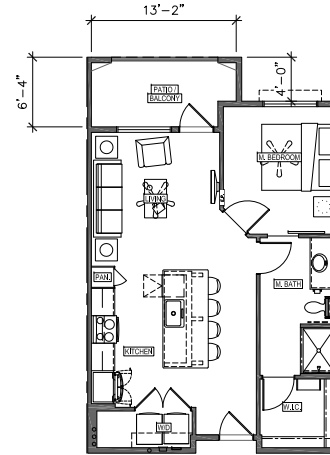
UNIT A1 ROOF DECK UNIT
4th FLOOR
GROSS LIVABLE AREA: 737 S.F.
PATIO OR BALCONY AREA: 39 S.F.



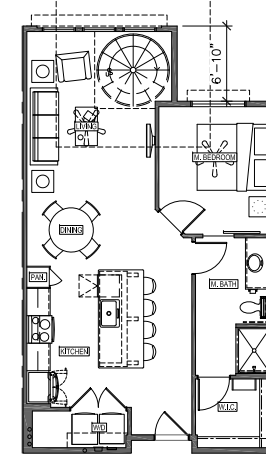
UNIT A1 ROOF DECK
ROOF
PATIO AREA: 250 S.F.



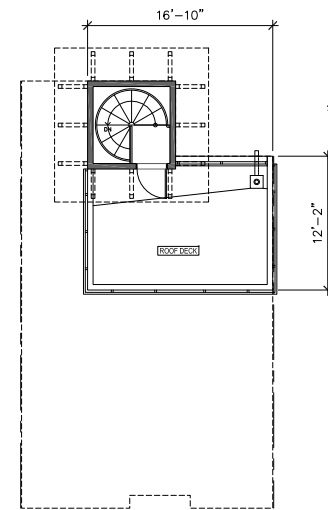
UNIT A2
1st FLOOR
GROSS LIVABLE AREA: 702 S.F.
PATIO OR BALCONY AREA: 80 S.F.



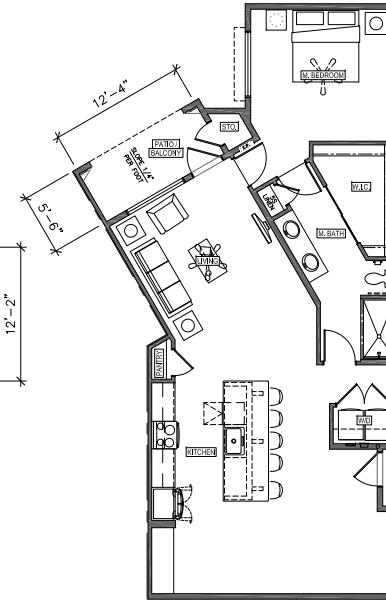
UNIT A2
2nd - 4th FLOORS
GROSS LIVABLE AREA: 702 S.F.
PATIO OR BALCONY AREA: 80 S.F.



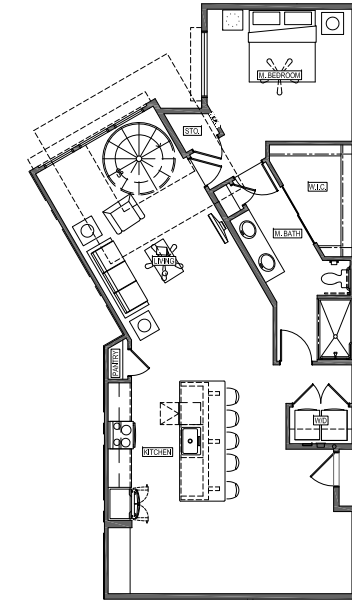
UNIT A2 ROOF DECK UNIT
4th FLOOR
GROSS LIVABLE AREA: 826 S.F.



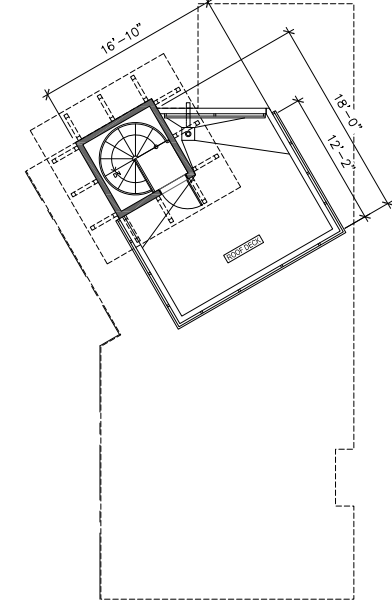
UNIT A2 ROOF DECK
ROOF
PATIO AREA: 196 S.F.



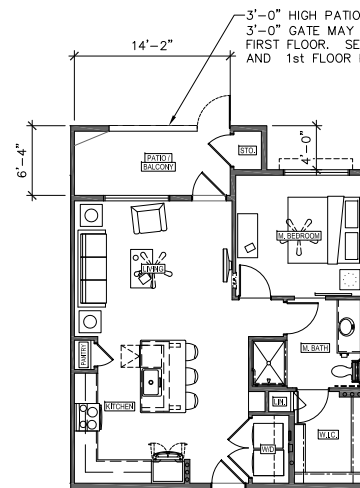
UNIT A2 ALT
2nd - 3rd FLOORS
GROSS LIVABLE AREA: 1,121 S.F.
PATIO OR BALCONY AREA: 68 S.F.



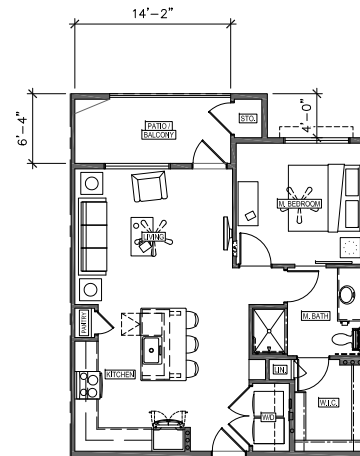
UNIT A2 ALT ROOF DECK UNIT
4th FLOOR
GROSS LIVABLE AREA: 1,204 S.F.



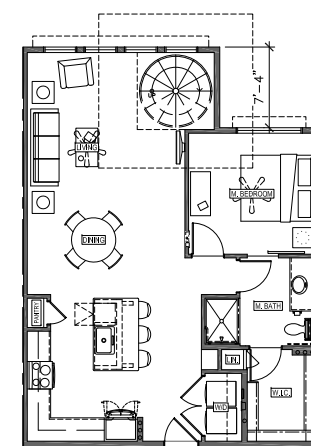
UNIT A2 ALT ROOF DECK
ROOF
PATIO AREA: 224 S.F.



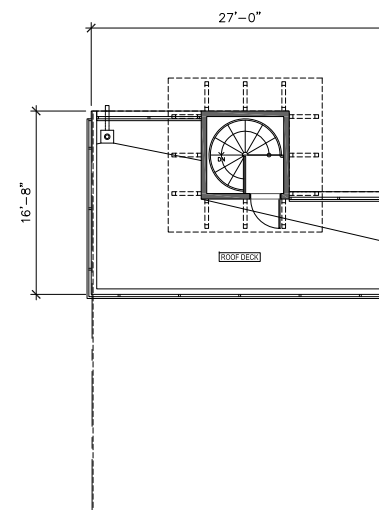
UNIT A3
1st FLOOR
GROSS LIVABLE AREA: 749 S.F.
PATIO OR BALCONY AREA: 90 S.F.



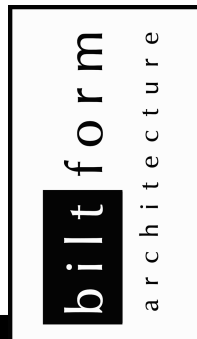
UNIT A3
2nd - 4th FLOORS
GROSS LIVABLE AREA: 749 S.F.
PATIO OR BALCONY AREA: 90 S.F.



UNIT A3 ROOF DECK UNIT
4th FLOOR
GROSS LIVABLE AREA: 914 S.F.

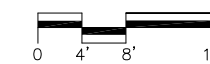


UNIT A3 ROOF DECK
ROOF
PATIO AREA: 320 S.F.



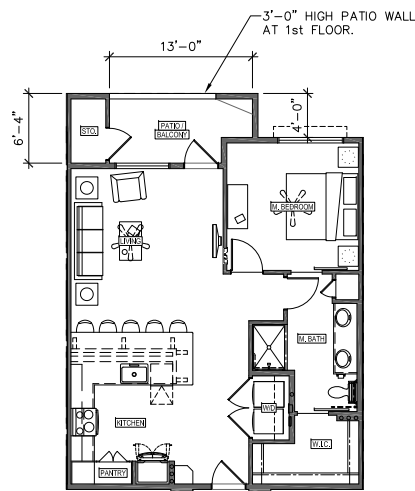
94 HUNDRED SHEA - THE VILLAGE

94 HUNDRED SHEA LLLP

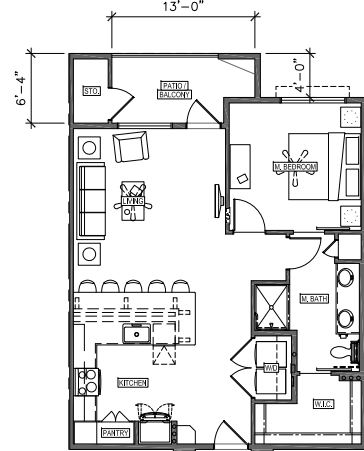


FLOOR PLAN
UNIT PLANS
SCALE: 1/8" = 1'-0"

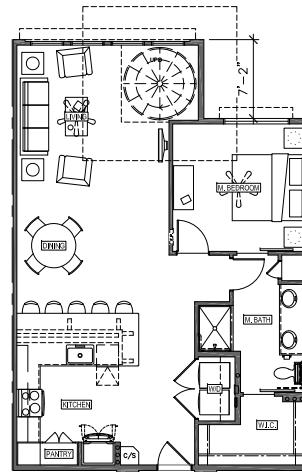
A4.1
05-19-22



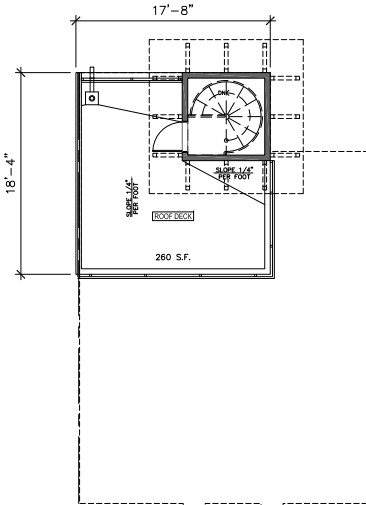
UNIT A4
1st FLOOR
GROSS LIVABLE AREA: 831 S.F.
PATIO OR BALCONY AREA: 76 S.F.



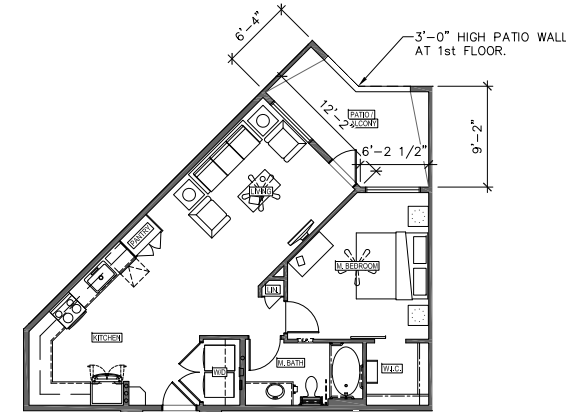
UNIT A4
2nd - 4th FLOORS
GROSS LIVABLE AREA: 831 S.F.
PATIO OR BALCONY AREA: 76 S.F.



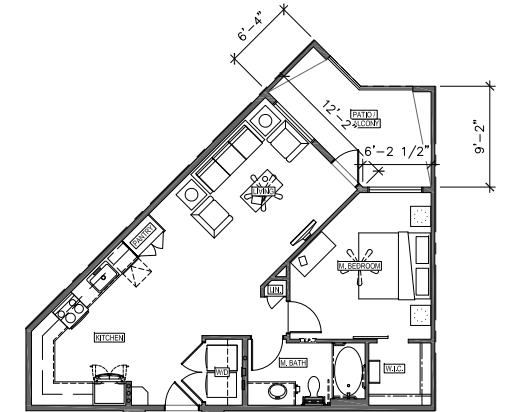
UNIT A4 ROOF DECK UNIT
4th FLOOR
GROSS LIVABLE AREA: 989 S.F.



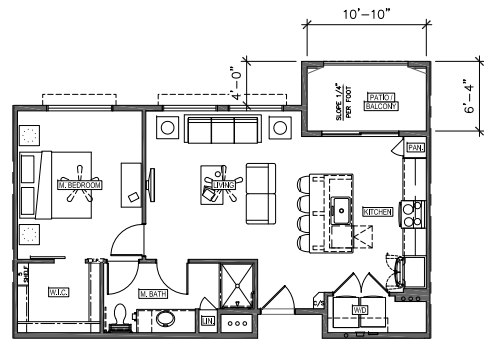
UNIT A4 ROOF DECK
ROOF
PATIO AREA: 260 S.F.



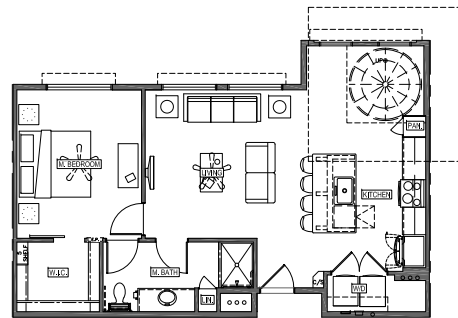
UNIT A5
1st FLOOR
GROSS LIVABLE AREA: 755 S.F.
PATIO OR BALCONY AREA: 114 S.F.



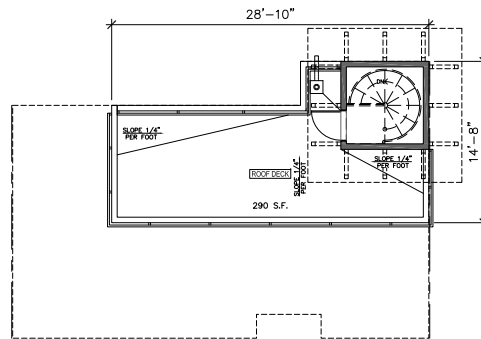
UNIT A5
2nd - 4th FLOORS
GROSS LIVABLE AREA: 755 S.F.
PATIO OR BALCONY AREA: 114 S.F.



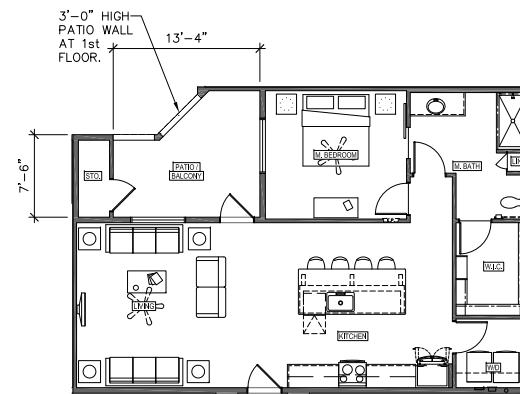
UNIT A6
2nd - 3rd FLOORS
GROSS LIVABLE AREA: 765 S.F.
PATIO OR BALCONY AREA: 69 S.F.



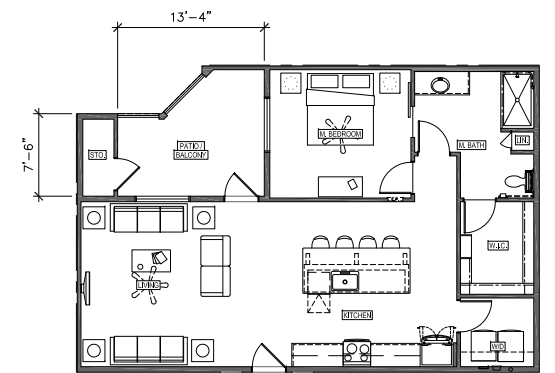
UNIT A6 ROOF DECK UNIT
4th FLOOR
GROSS LIVABLE AREA: 839 S.F.



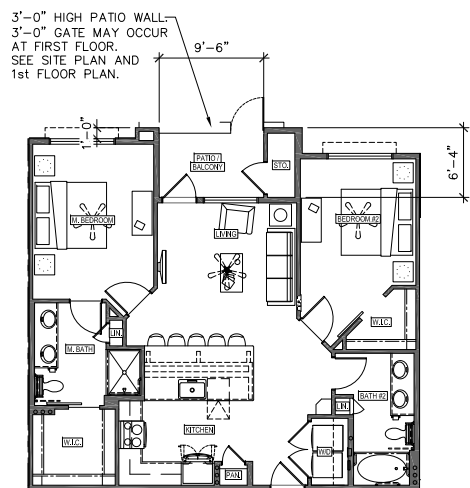
UNIT A6 ROOF DECK
ROOF
PATIO AREA: 290 S.F.



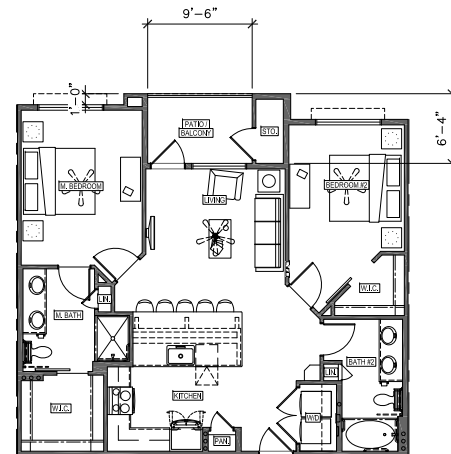
UNIT A7
1st FLOOR
GROSS LIVABLE AREA: 971 S.F.
PATIO OR BALCONY AREA: 129 S.F.



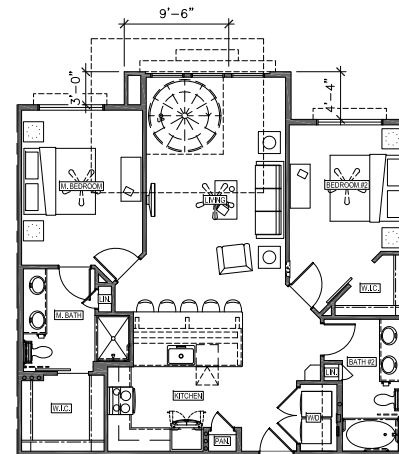
UNIT A7
2nd - 4th FLOORS
GROSS LIVABLE AREA: 971 S.F.
PATIO OR BALCONY AREA: 129 S.F.



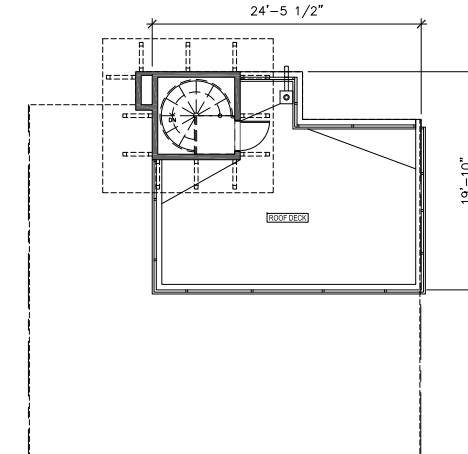
UNIT B1
1st FLOOR
GROSS LIVABLE AREA: 1,060 S.F.
PATIO OR BALCONY AREA: 60 S.F.



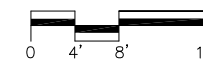
UNIT B1
2nd - 4th FLOORS
GROSS LIVABLE AREA: 1,060 S.F.
PATIO OR BALCONY AREA: 60 S.F.



UNIT B1 ROOF DECK UNIT
4th FLOOR
GROSS LIVABLE AREA: 1,173 S.F.

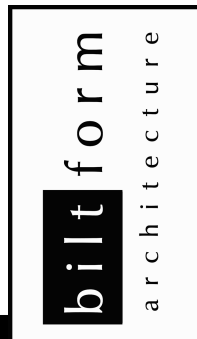


UNIT B1 ROOF DECK
ROOF
PATIO AREA: 370 S.F.

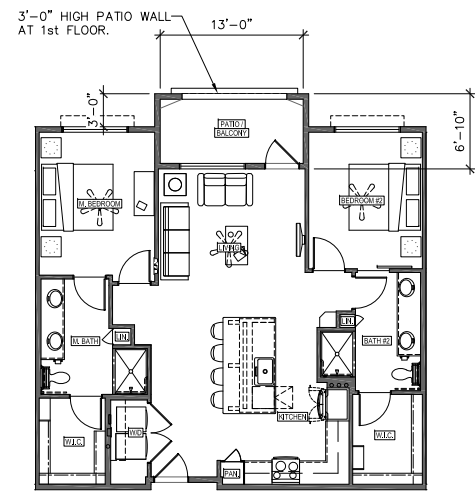


FLOOR PLAN
UNIT PLANS
SCALE: 1/8" = 1'-0"

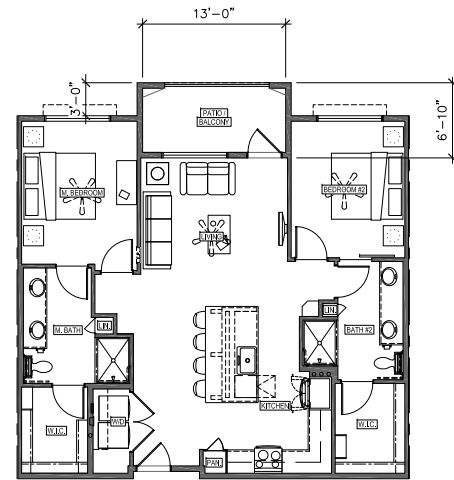
A4.2
05-19-22



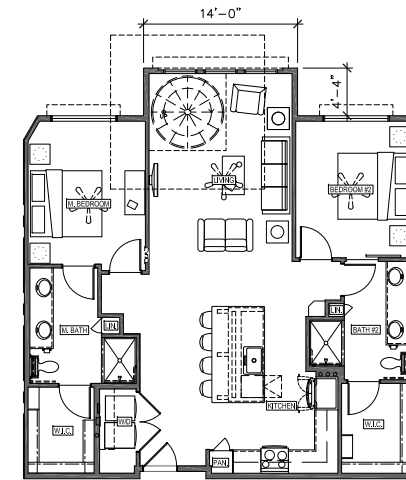
94 HUNDRED SHEA - THE VILLAGE
94 HUNDRED SHEA LLLP



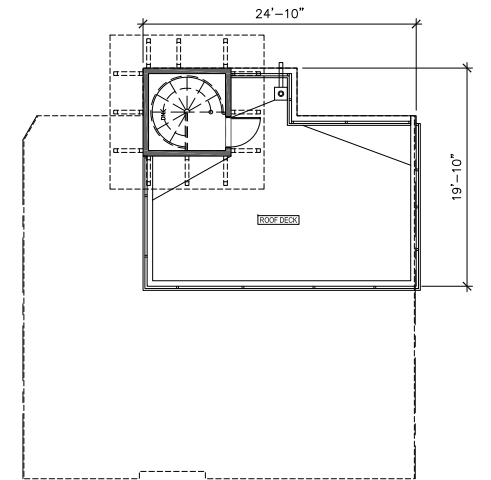
UNIT B2
1st FLOOR
GROSS LIVABLE AREA: 1,130 S.F.
PATIO OR BALCONY AREA: 82 S.F.



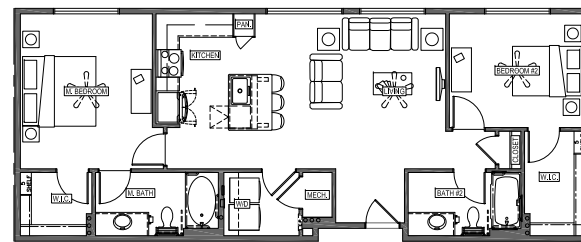
UNIT B2
2nd - 4th FLOORS
GROSS LIVABLE AREA: 1,130 S.F.
PATIO OR BALCONY AREA: 82 S.F.



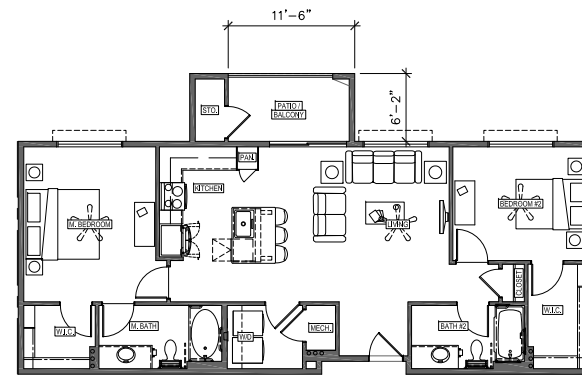
UNIT B2 ROOF DECK UNIT
4th FLOOR
GROSS LIVABLE AREA: 1,234 S.F.



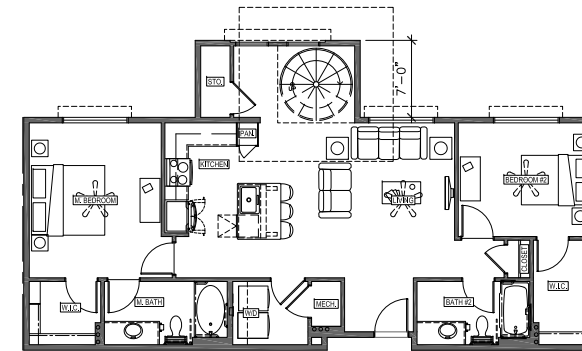
UNIT B2 ROOF DECK
ROOF
PATIO AREA: 377 S.F.



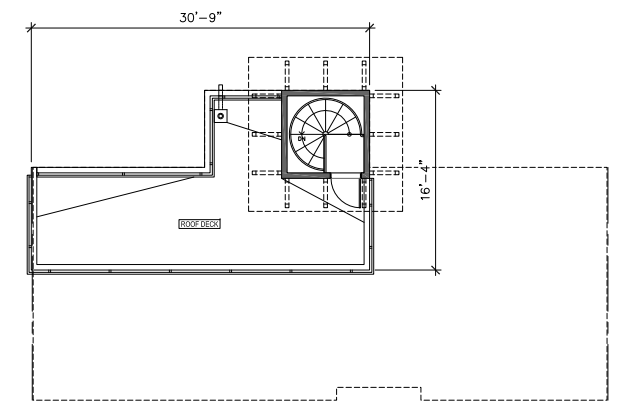
UNIT B3
1st FLOOR
GROSS LIVABLE AREA: 1,099 S.F.



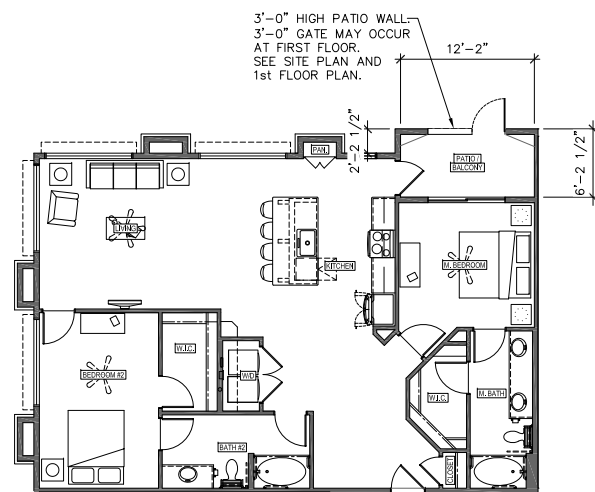
UNIT B3
2nd - 3rd FLOORS
GROSS LIVABLE AREA: 1,099 S.F.
PATIO OR BALCONY AREA: 68 S.F.



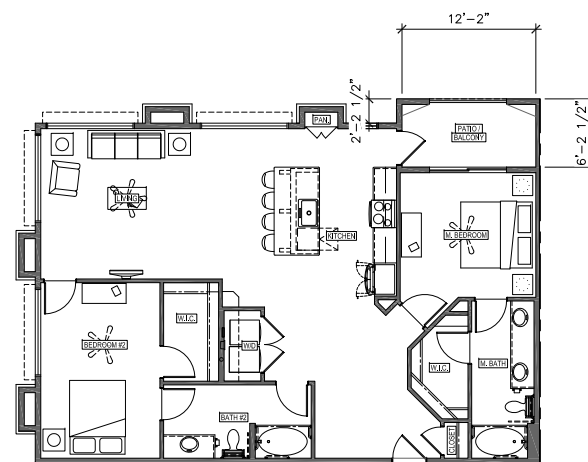
UNIT B3 ROOF DECK UNIT
4th FLOOR
GROSS LIVABLE AREA: 1,204 S.F.



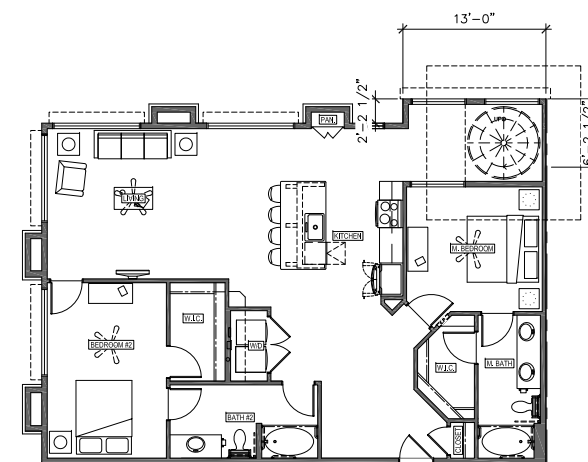
UNIT B3 ROOF DECK
ROOF
PATIO AREA: 328 S.F.



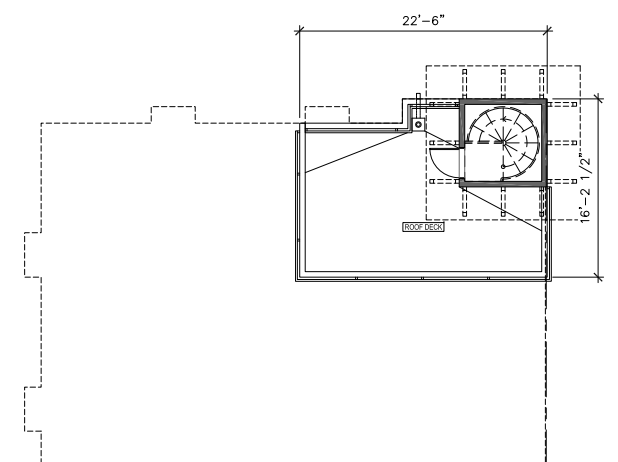
UNIT B5
1st FLOOR
GROSS LIVABLE AREA: 1,377 S.F.
PATIO OR BALCONY AREA: 76 S.F.



UNIT B5
2nd - 4th FLOORS
GROSS LIVABLE AREA: 1,377 S.F.
PATIO OR BALCONY AREA: 76 S.F.



UNIT B5 ROOF DECK UNIT
4th FLOOR
GROSS LIVABLE AREA: 1,460 S.F.

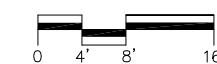


UNIT B5 ROOF DECK
ROOF
PATIO AREA: 280 S.F.

bilt form
architecture

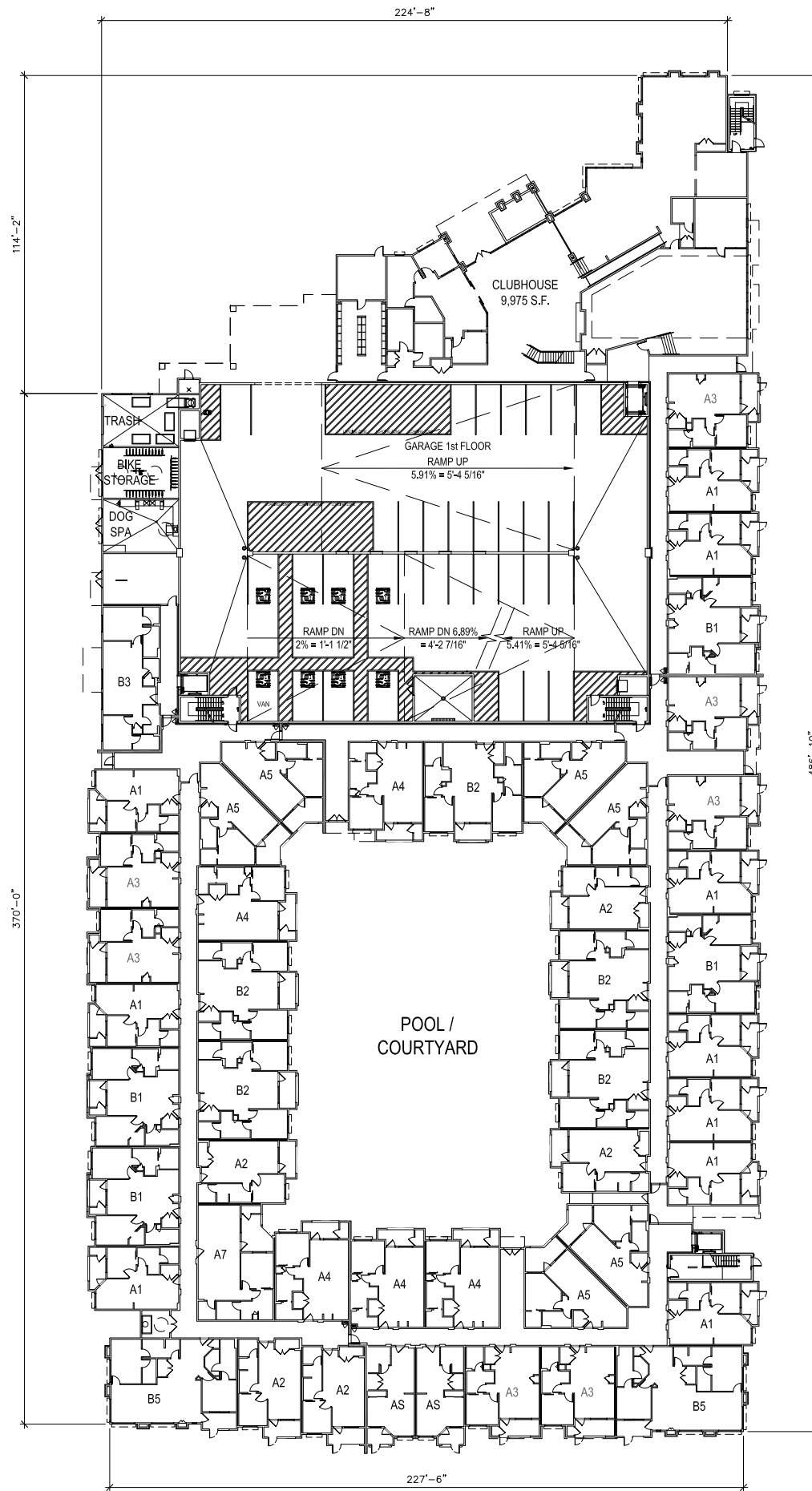
94 HUNDRED SHEA - THE VILLAGE

94 HUNDRED SHEA LLLP



FLOOR PLAN
UNIT PLANS
SCALE: 1/8" = 1'-0"

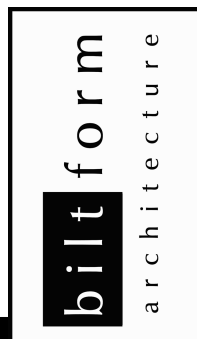
A4.3
05-19-22

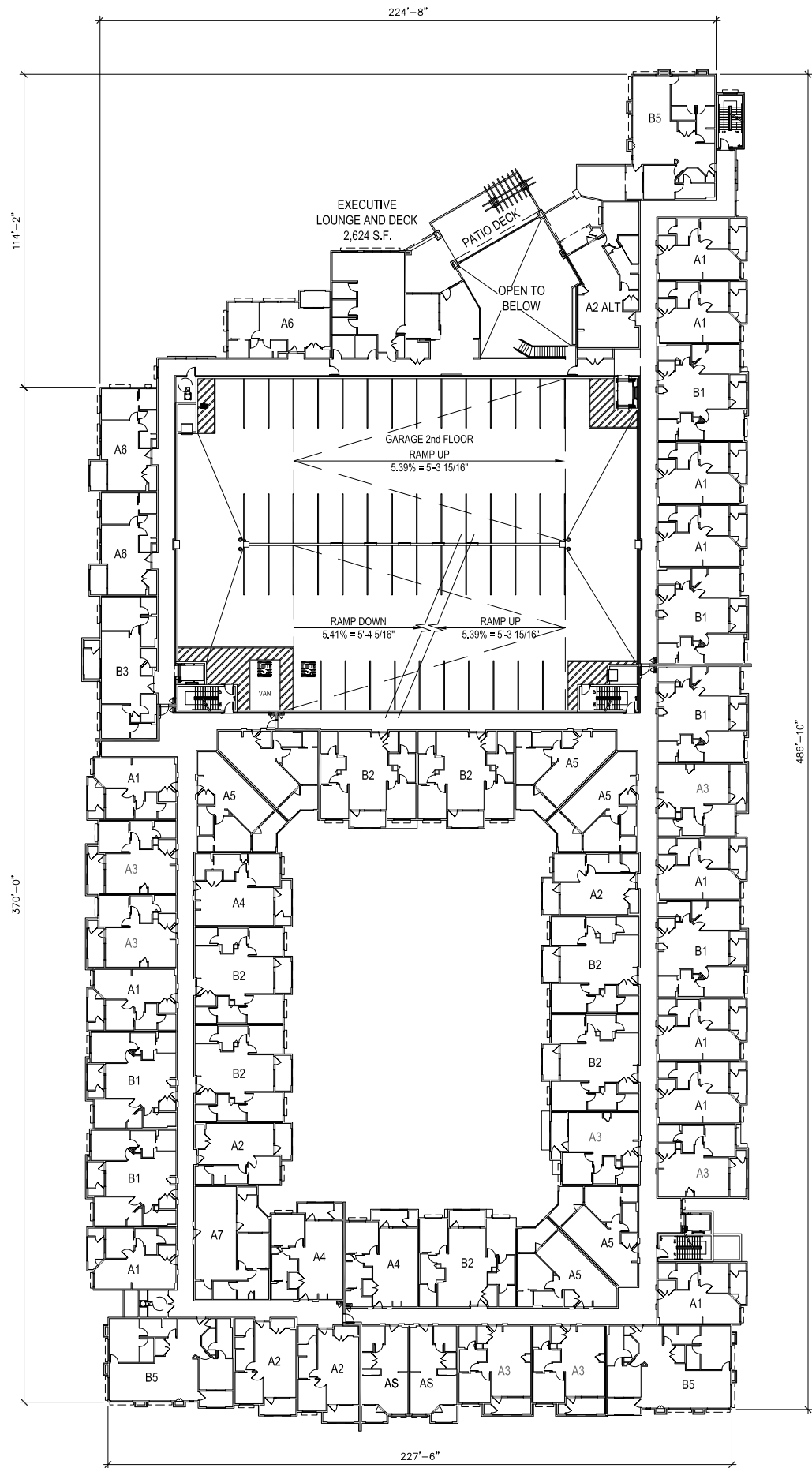
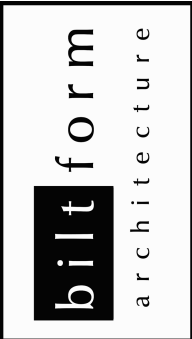


94 HUNDRED SHEA - THE VILLAGE
 94 HUNDRED SHEA LLLP

FLOOR PLAN
 BUILDING 1st FLOOR
 SCALE: N.T.S.

A4.4
 10-07-22



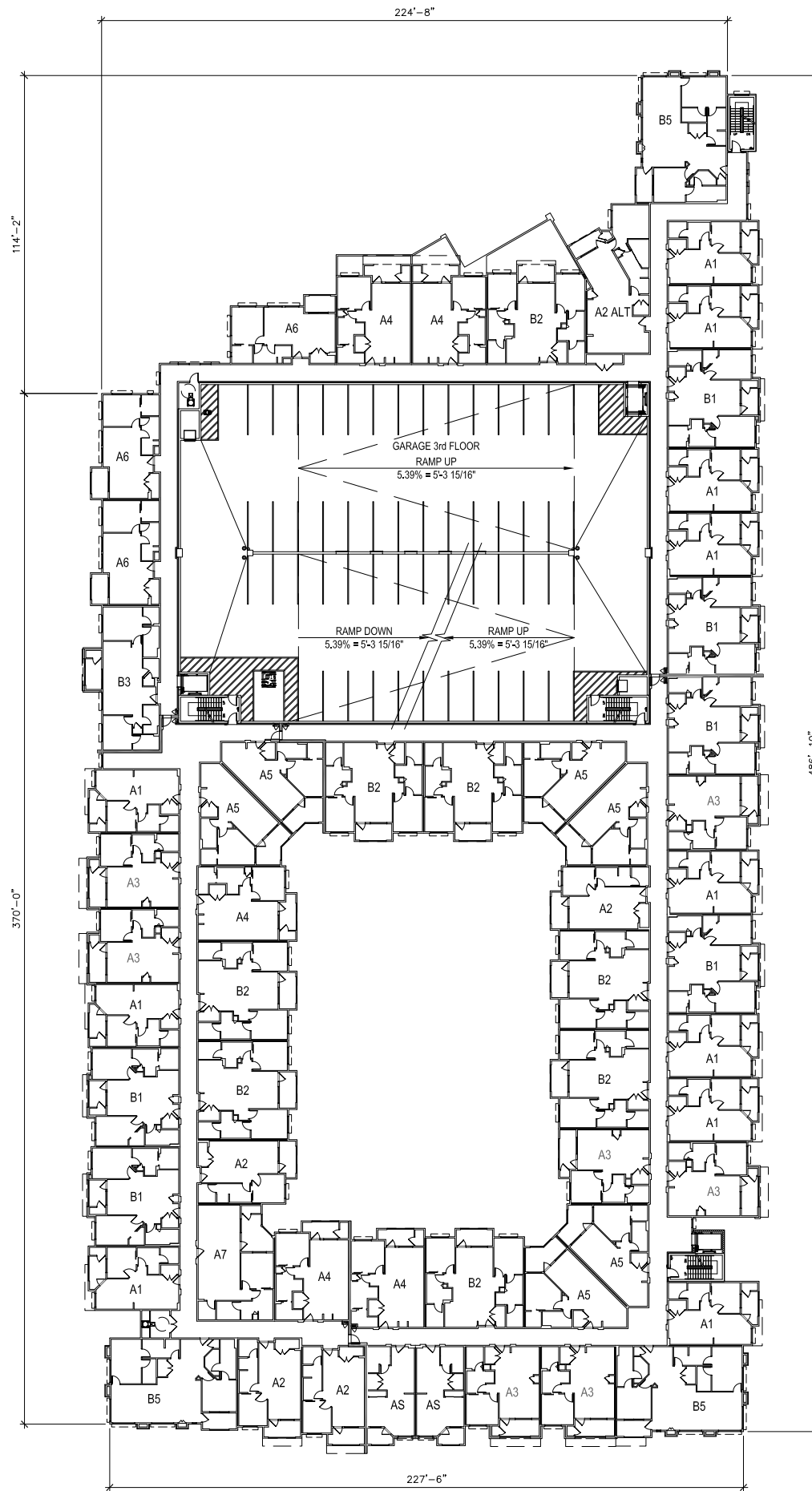


94 HUNDRED SHEA - THE VILLAGE

94 HUNDRED SHEA LLLP

FLOOR PLAN
BUILDING 2nd FLOOR
SCALE: N.T.S.

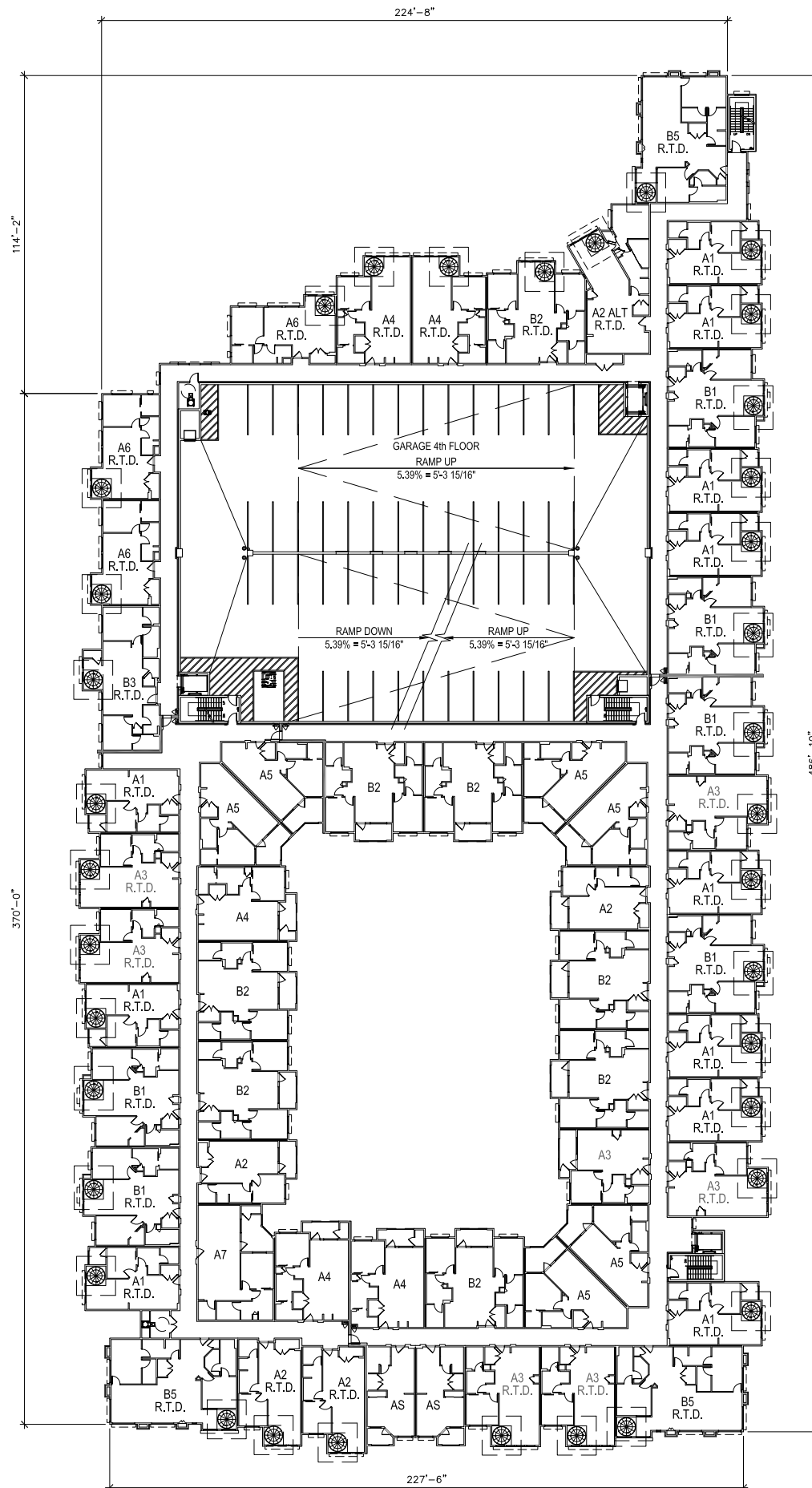
A4.5
05-19-22



94 HUNDRED SHEA - THE VILLAGE
94 HUNDRED SHEA LLLP

FLOOR PLAN
BUILDING 3rd FLOOR
SCALE: N.T.S.

A4.6
05-19-22



*NOTE:
R.T.D. = ROOFTOP DECK

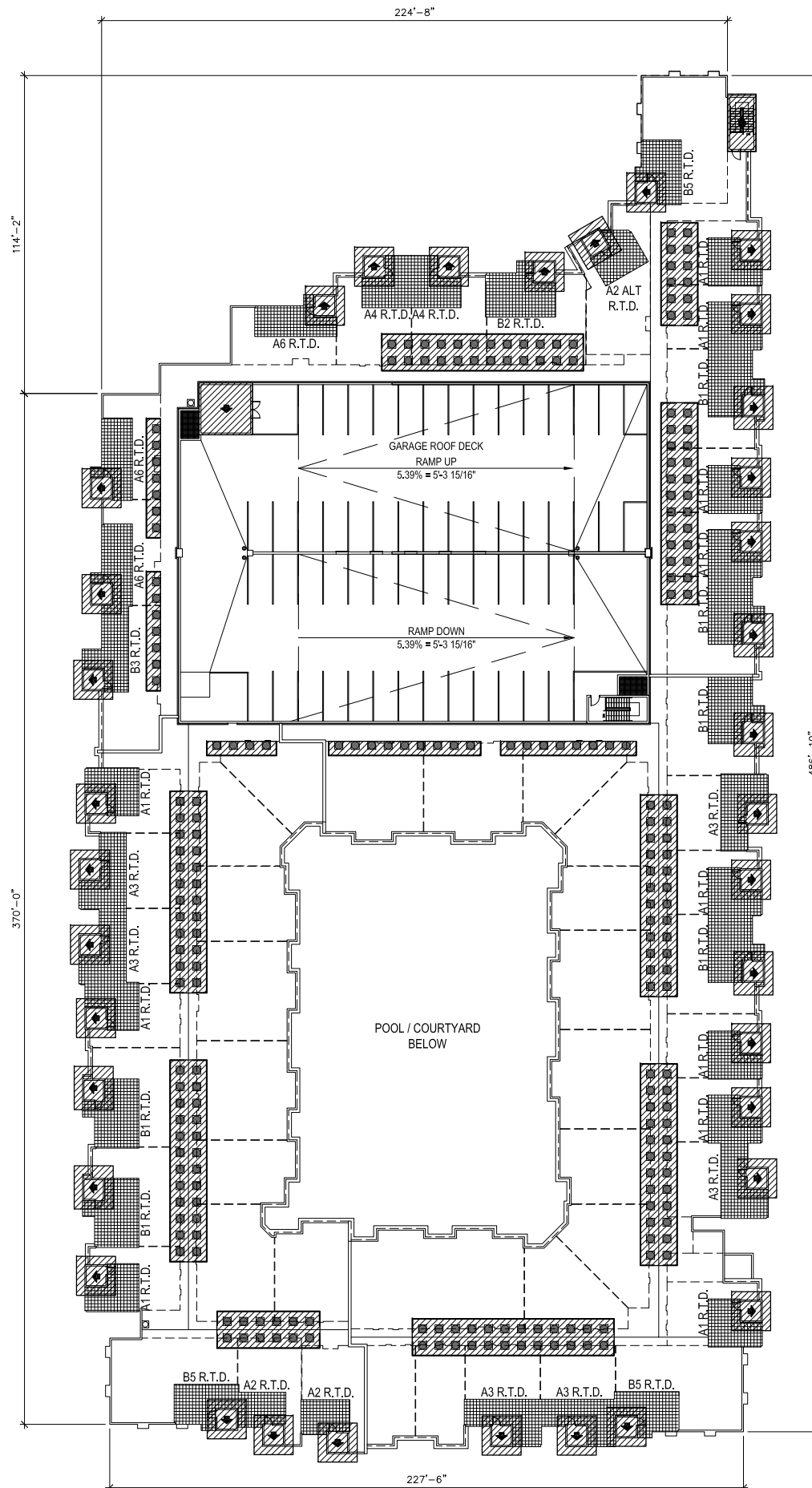


94 HUNDRED SHEA - THE VILLAGE

94 HUNDRED SHEA LLLP

FLOOR PLAN
BUILDING 4th FLOOR
SCALE: N.T.S.

A4.7
05-19-22



| SYMBOL LEGEND | |
|---------------|--|
| | DIRECTION OF ROOF SLOPE AT 1/4" PER FOOT MINIMUM |
| | MECHANICAL CONDENSING UNIT ON REDWOOD SLEEPERS |
| | INDICATES ROOFTOP DECK LOCATIONS |
| | INDICATES AREA ABOVE 48'-0" |

- ROOF PLAN GENERAL NOTES**
- ALL PENETRATIONS OF FIRE-RESISTIVE ROOF OR WALLS SHALL BE PROTECTED BY MATERIALS AND INSTALLATION DETAILS THAT CONFORM TO UNDERWRITER'S LABORATORIES LISTINGS FOR "THROUGH-PENETRATION FIRE STOP SYSTEMS." CONTRACTOR SHALL SUBMIT SHOP DRAWING DETAILS, FURNISHED BY THE MANUFACTURER OF THE FIRE STOP MATERIAL, WHICH SHOW COMPLETE CONFORMANCE TO THE U.L. LISTING TO THE ARCHITECT, AND SUCH DRAWINGS SHALL BE AVAILABLE TO THE CITY OF SCOTTSDALE. THE DRAWINGS SHALL BE SPECIFIC FOR EACH PENETRATION, WITH APPROPRIATE U.L.# PROVIDED WITH ALL VARIABLES DEFINED.
 - DRAFTSTOPS ARE NOT REQUIRED PER 2015 I.B.C. SECTION 718.3.2 EXCEPTION 1.
 - ROOFING SHALL BE INSTALLED IN ACCORDANCE WITH SPECIFICATIONS AND MANUFACTURER'S RECOMMENDATIONS.
 - SEE BUILDING SECTIONS AND EXTERIOR ELEVATIONS FOR ADDITIONAL HEIGHTS.
 - TYPICAL ROOF SLOPE IS 1/4" PER FOOT. ALL CRICKETS TO HAVE A MINIMUM SLOPE OF 1/4" PER FOOT.
 - ALL ROOFS MUST BE A MINIMUM OF CLASS "B" RATING.
 - ALL MECHANICAL EQUIPMENT SHALL NOT BE PLACED WITHIN 10' OF PERIMETER PARAPET.
 - OPTIONAL FOAM ROOF SYSTEM - CLASS "A" SPRAYED POLYURETHANE FOAM A MINIMUM OF 1" THICK.
 - MINIMUM 24" OF SEPARATION TO ADJACENT PENETRATIONS, CANT STRIP, SCUPPERS, ETC.
 - NO PITCH POCKETS. USE STANDARD ROUND ROOF FLASHING AS AN ALTERNATIVE.
 - NO USE OF 'L' OR SQUARE IRON ATTACHED TO ROOF FRAMING AND SEALED IN A PITCH POCKET. USE ROUND PIPE ATTACHED TO FRAMING AND SEALED WITH STANDARD ROOF FLASHING.
 - DRAINAGE COLLECTED FROM A ROOF, AWNING OR CONDENSATE FROM MECHANICAL EQUIPMENT SHALL NOT FLOW OVER A PUBLIC WALKING SURFACE PER 2015 I.B.C. 3201.4.

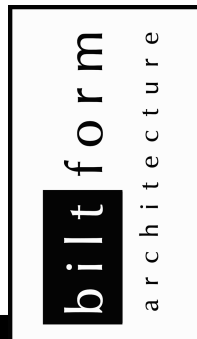
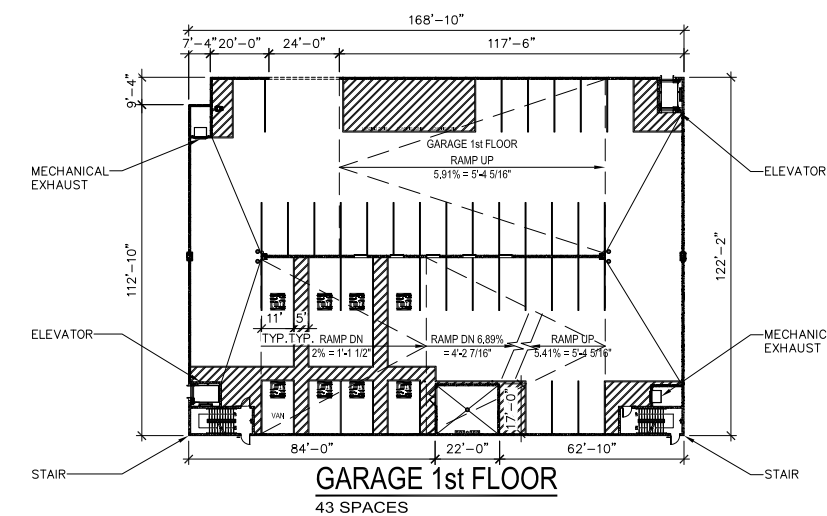
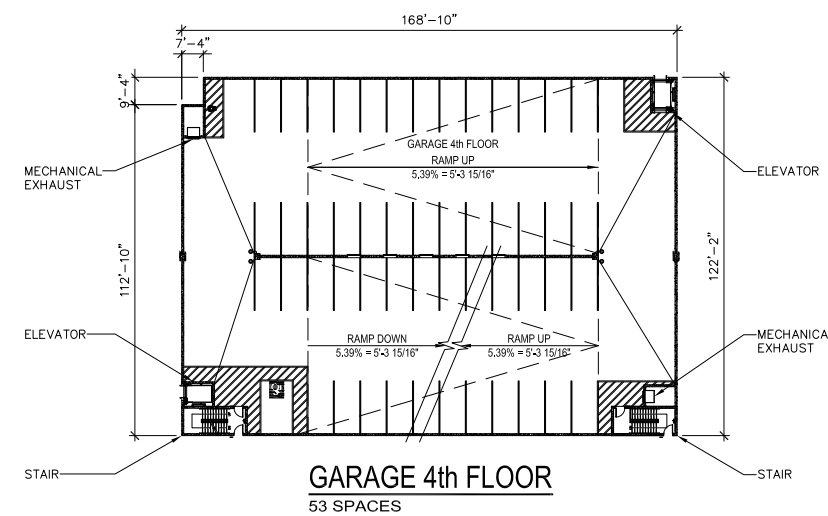
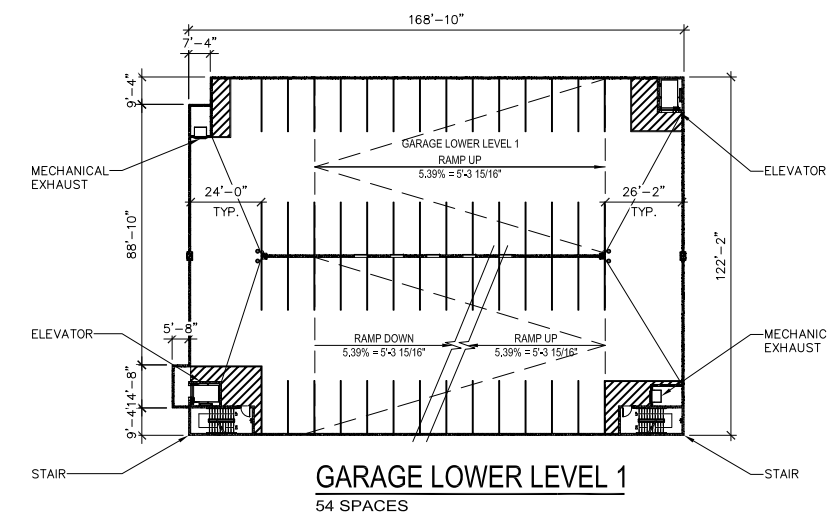
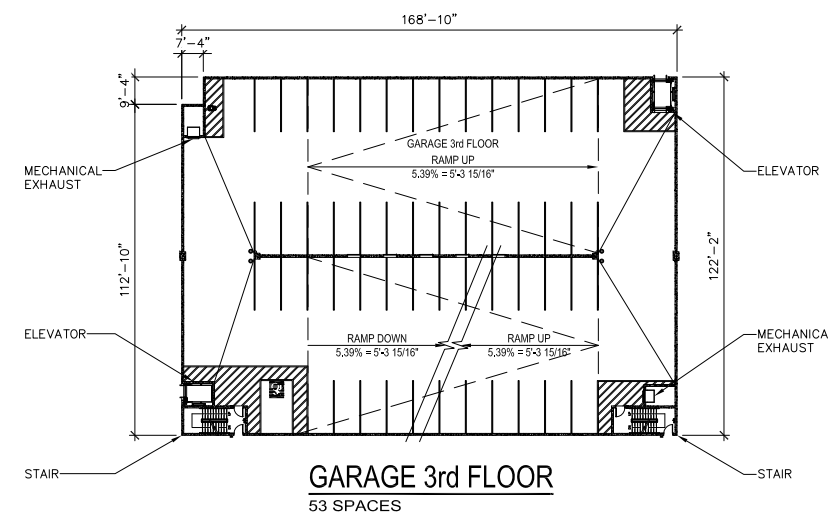
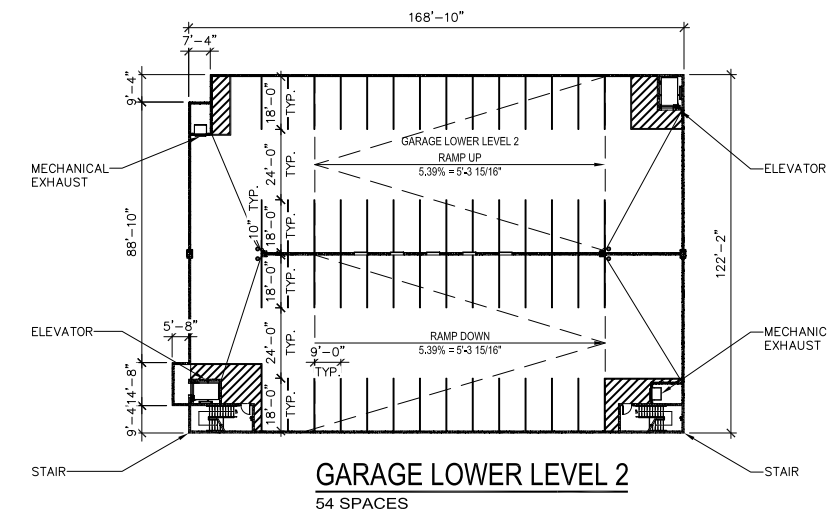
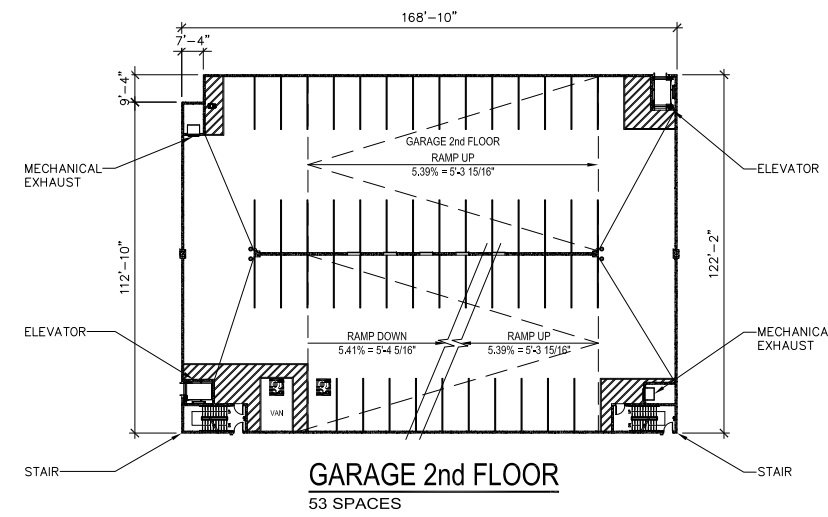
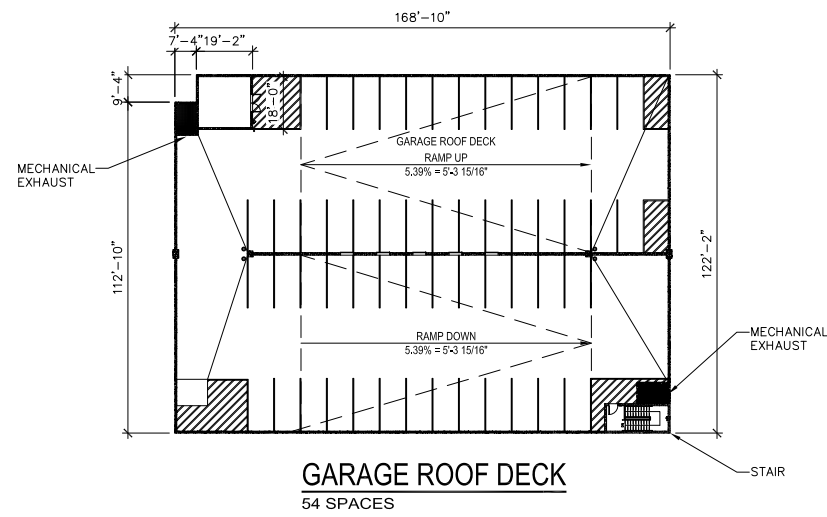
94 HUNDRED SHEA - THE VILLAGE
94 HUNDRED SHEA LLLP

FLOOR PLAN
BUILDING ROOF
SCALE: N.T.S.

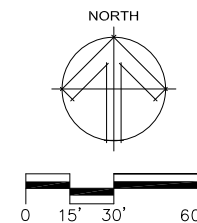
A4.8
05-19-22

PARKING SUMMARY - (MULTI-FAMILY)

| | |
|---|---------------------|
| TOTAL PARKING: (MULTI-FAMILY) | |
| REQUIRED: TABLE 9.103 | |
| 1 BEDROOM / STUDIO | 156 x 1.3 = 203 |
| 2 BEDROOMS | 63 x 1.7 = 107 |
| OFFICE / FLEX: 1 SPACE PER 325 S.F. | X,XXX S.F./325 = XX |
| FITNESS CENTER (30%) 1 SPACE PER 325 S.F. | X,XXX S.F./325 = X |
| TOTAL REQUIRED: | XXX P.S. |
| PROVIDED: | |
| GARAGE PARKING | 364 P.S. |
| SURFACE PARKING | 11 P.S. |
| TOTAL PROVIDED: (1.7 SPACES PER UNIT) | 375 P.S. |
| ACCESSIBLE PARKING REQUIRED: | |
| 4% x 375 P.S. = 15 P.S. | |
| ACCESSIBLE PARKING PROVIDED: (3 VAN = 1.6 SPACES) | = 15 P.S. |
| BICYCLE PARKING: SEC. 9.103 | |
| (1) SPACES PER 10 VEHICLE REQ'D | (342 x 0.1 = 34.2) |
| TOTAL PROVIDED | 34 SPACES |

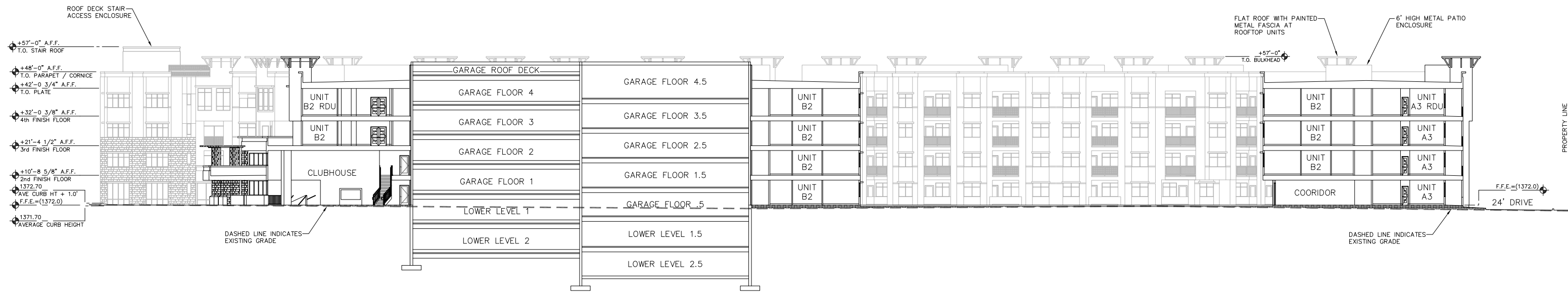


94 HUNDRED SHEA - THE VILLAGE
94 HUNDRED SHEA LLLP

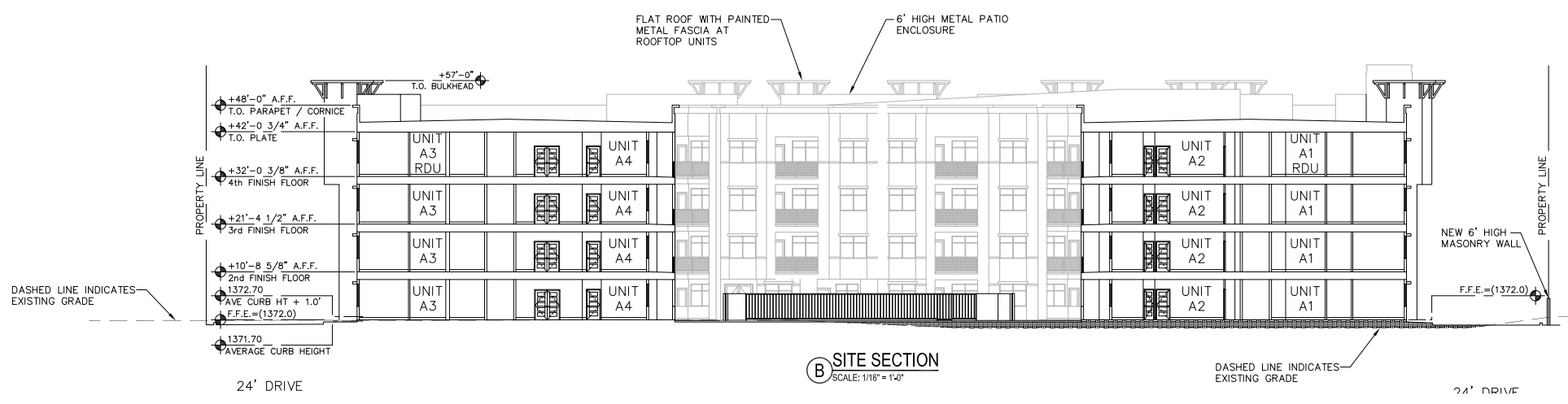


FLOOR PLAN
BUILDING GARAGE
SCALE: 1" = 30'-0"

A4.9
05-19-22

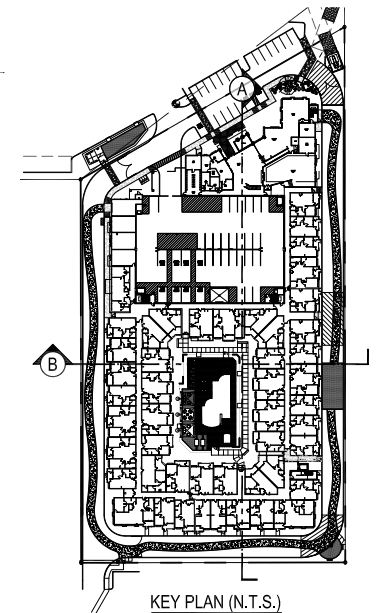


A SITE SECTION
SCALE: 1/16" = 1'-0"

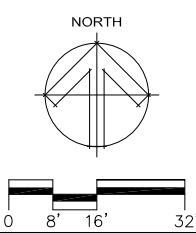


B SITE SECTION
SCALE: 1/16" = 1'-0"

AVERAGE TOP OF CURB (TOC) ALONG SHEA BLVD = 1371.70
 AVERAGE TOP OF CURB +1FT = 1372.70
 STRUCTURE FFE = 1372.00



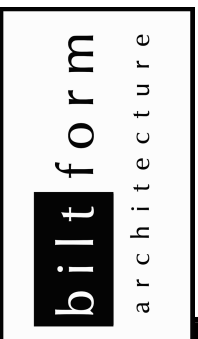
KEY PLAN (N.T.S.)



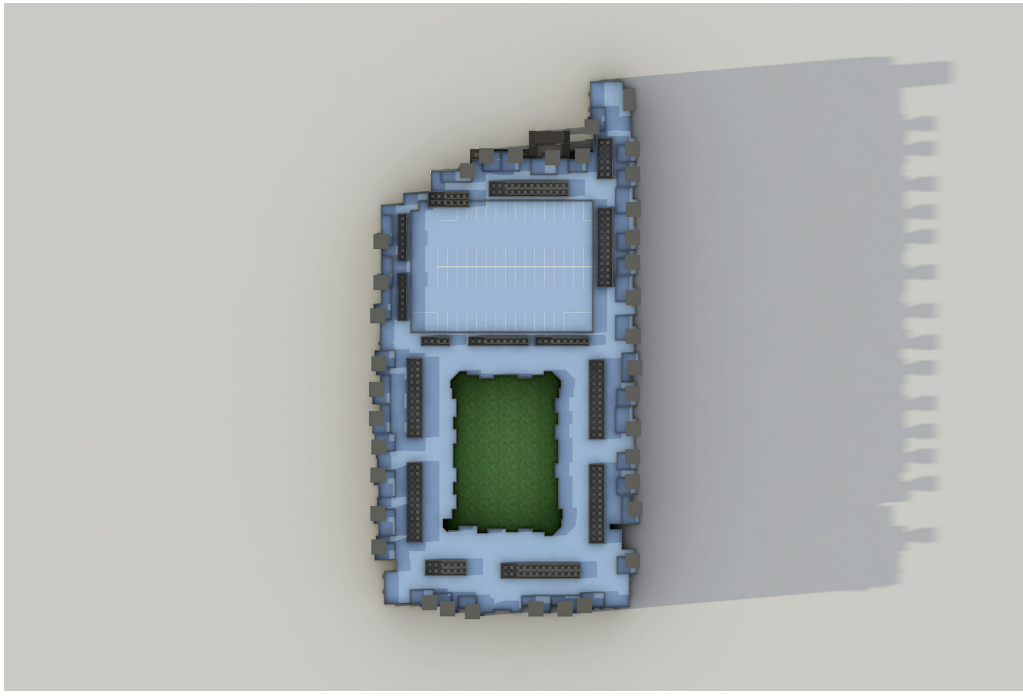
SITE SECTIONS

SCALE: 1/16" = 1'-0"

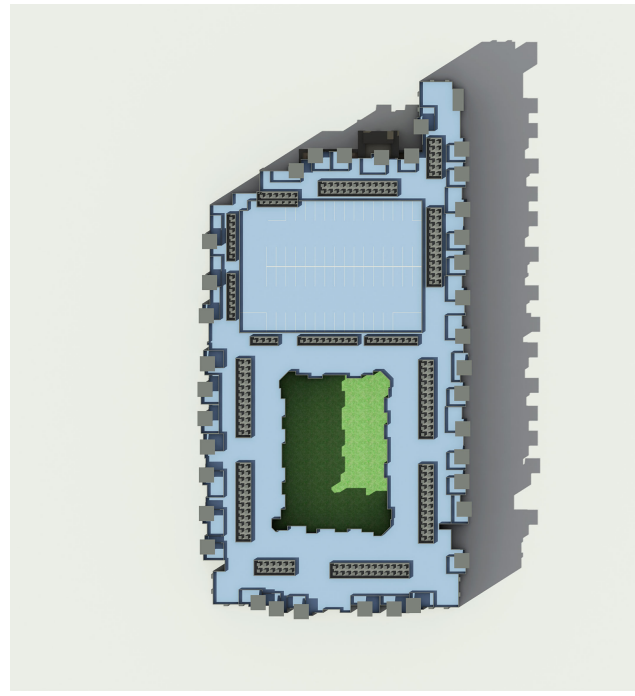
A1.4
10-07-22



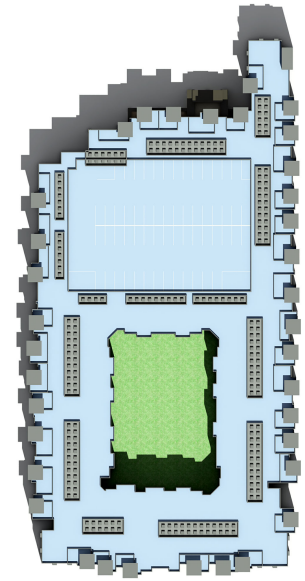
94 HUNDRED SHEA - THE VILLAGE
94 HUNDRED SHEA LLLP



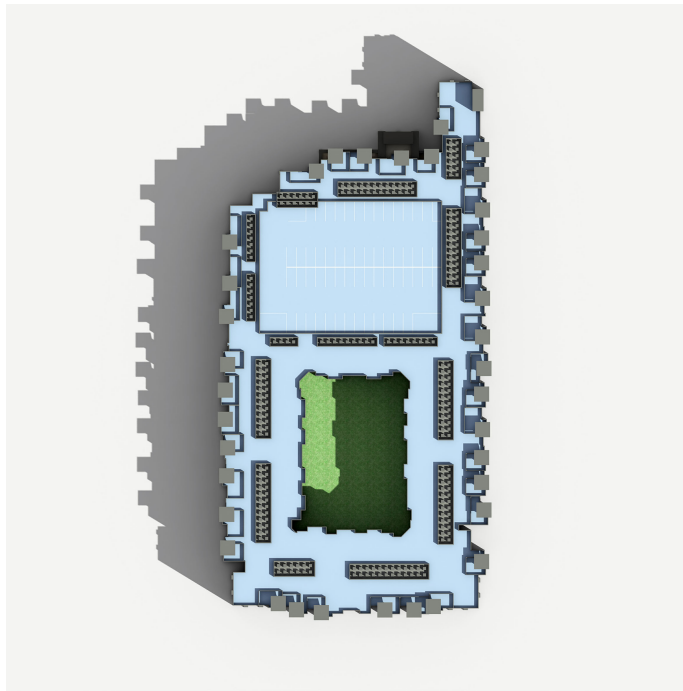
MARCH 21st - 6PM



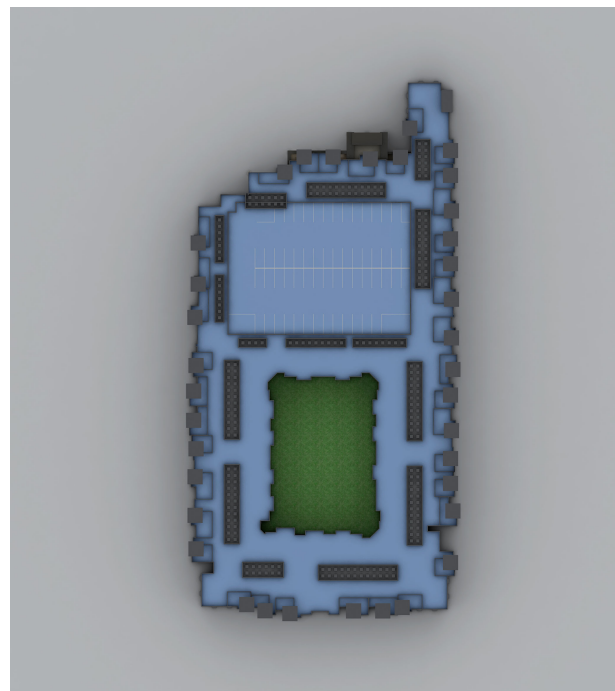
MARCH 21st - 3PM



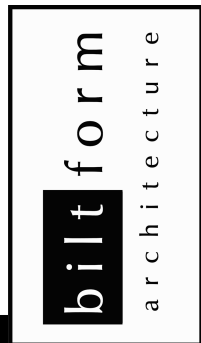
MARCH 21st - 12PM



MARCH 21st - 9AM

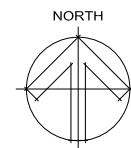


MARCH 21st - 6AM



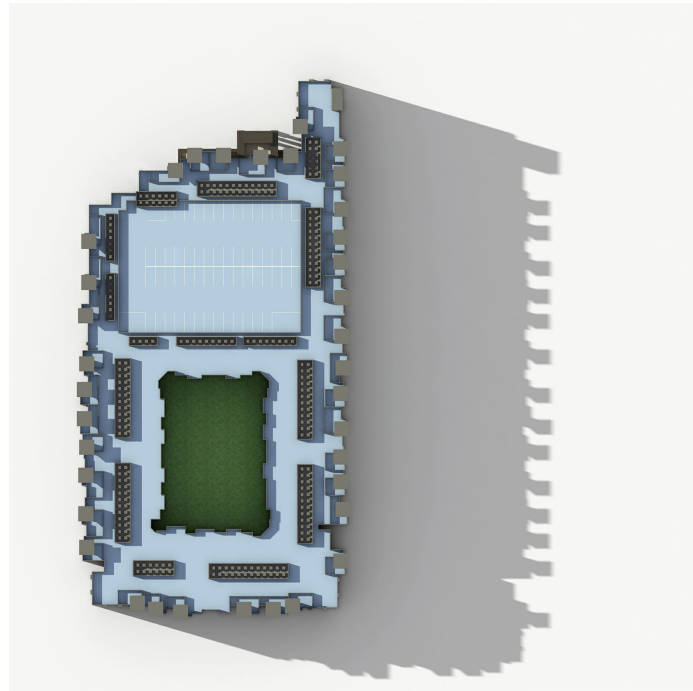
94 HUNDRED SHEA - THE VILLAGE

94 HUNDRED SHEA LLLP

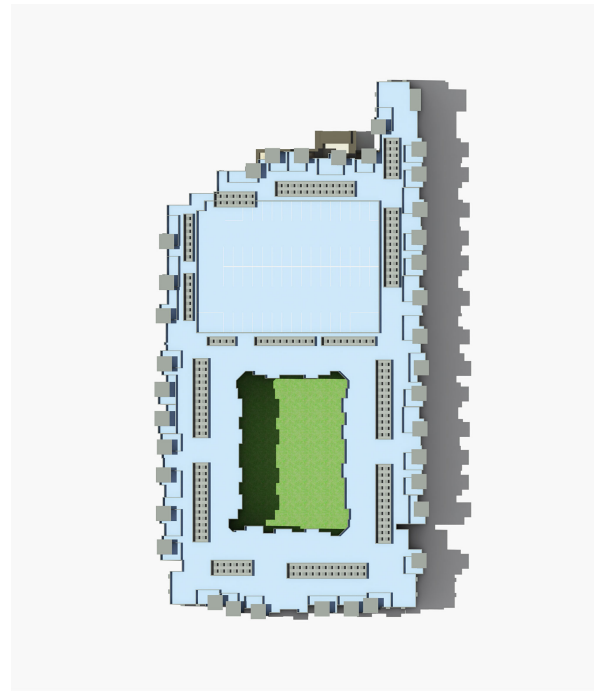


SOLAR ANALYSIS
MARCH
SCALE: N.T.S.

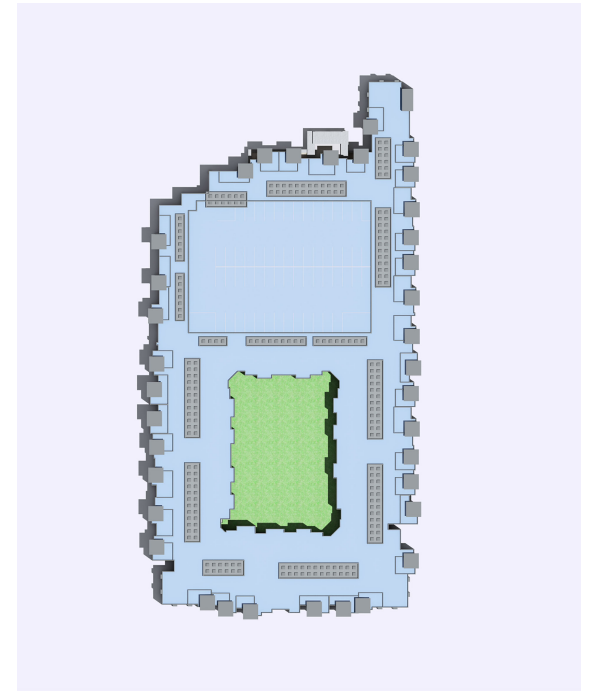
A6.1
05-19-22



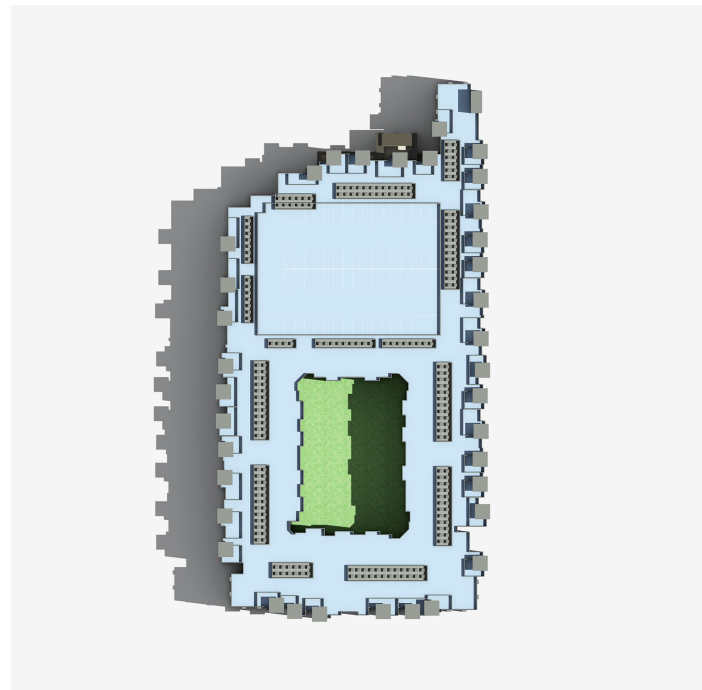
JUNE 21st - 6PM



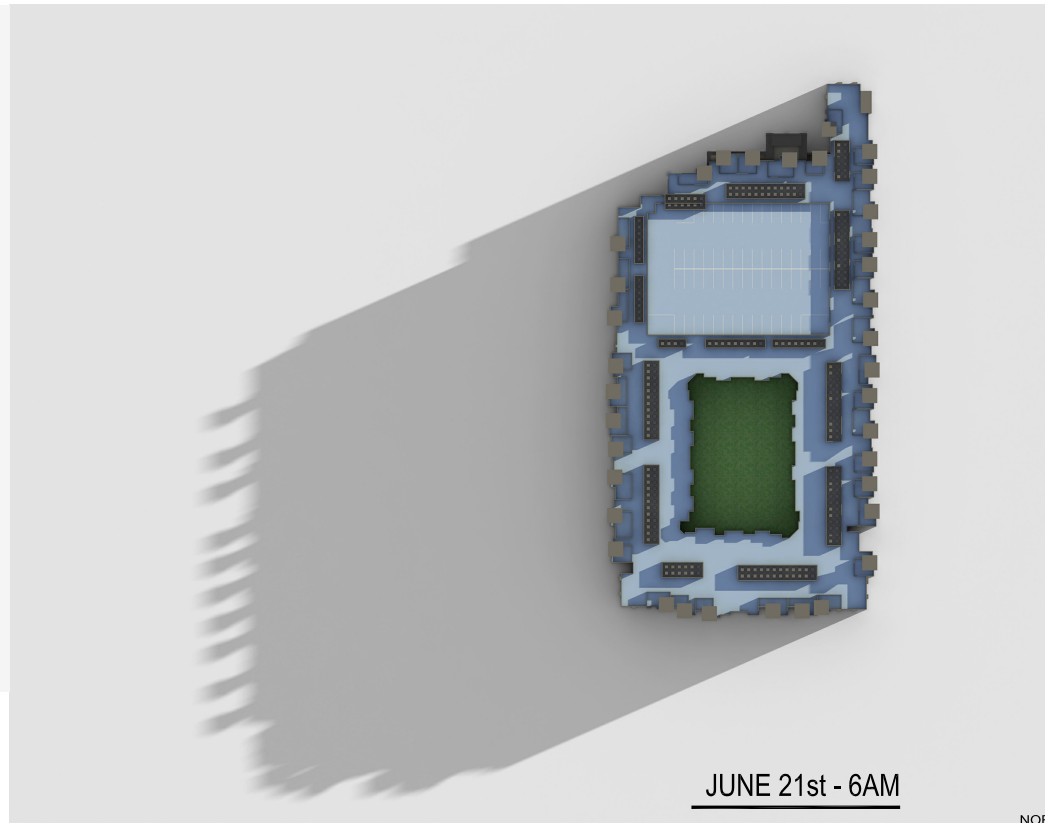
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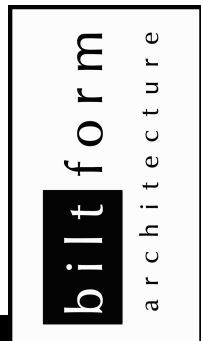
JUNE 21st - 12PM



JUNE 21st - 9AM

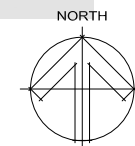


JUNE 21st - 6AM



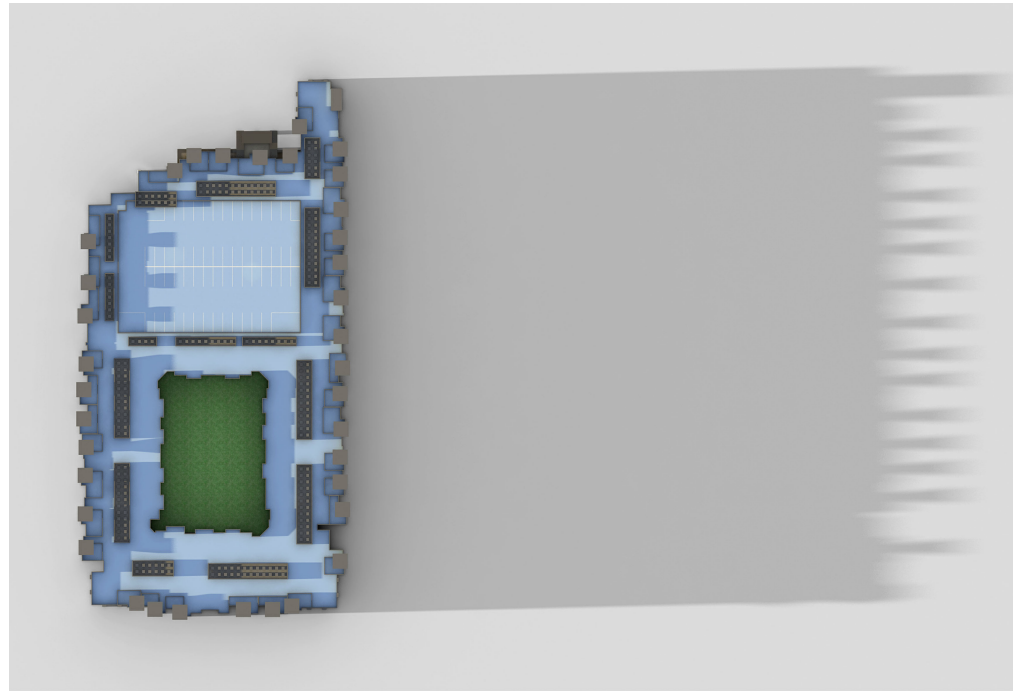
94 HUNDRED SHEA - THE VILLAGE

94 HUNDRED SHEA LLLP

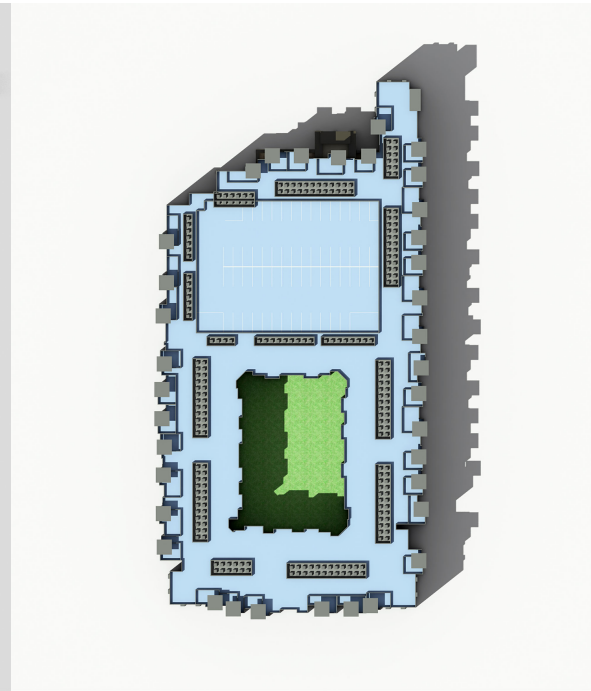


SOLAR ANALYSIS
JUNE
SCALE: N.T.S.

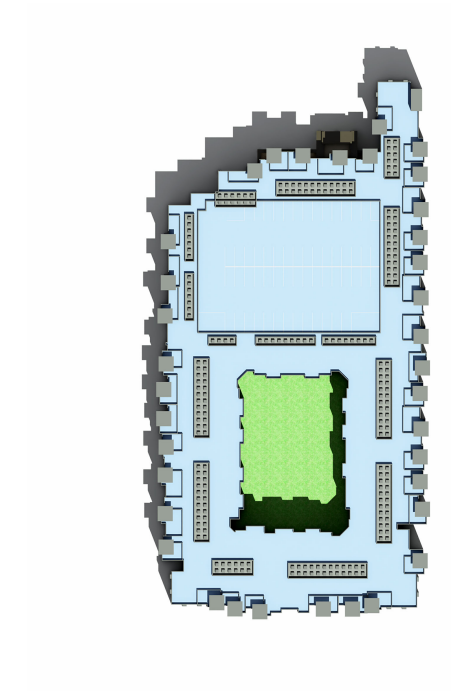
A6.2
05-19-22



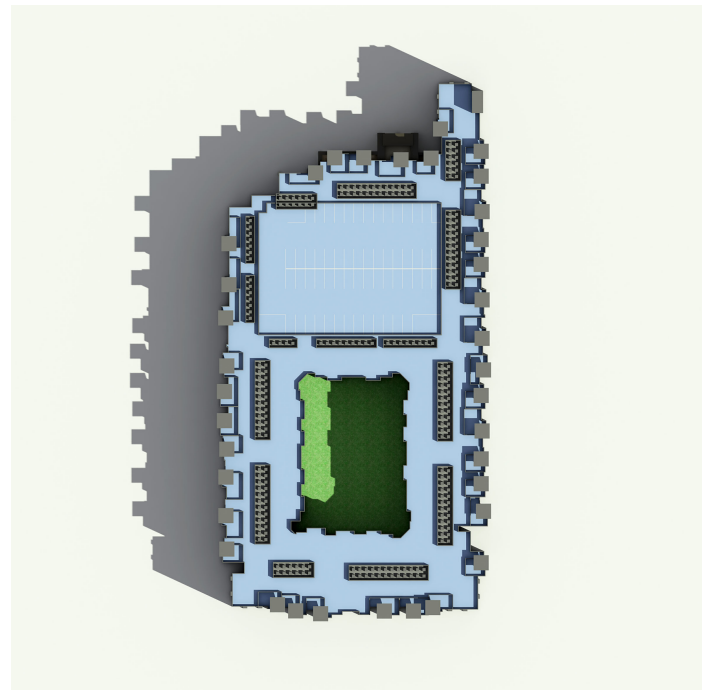
SEPTEMBER 21st - 6PM



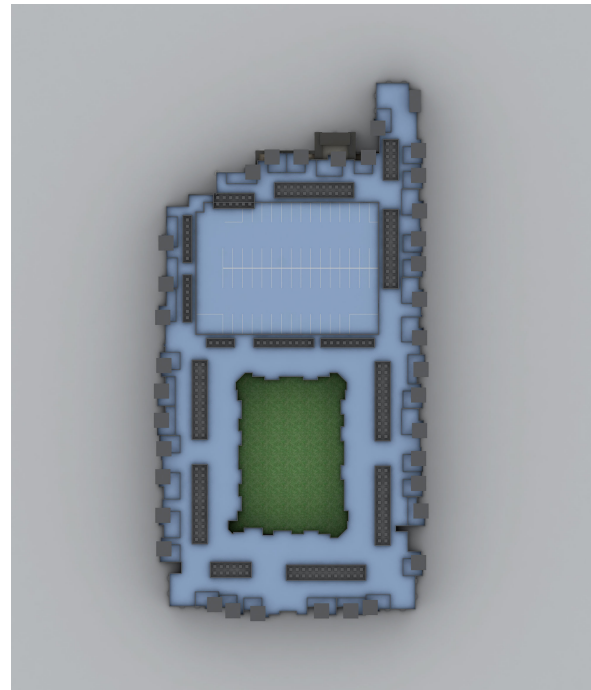
SEPTEMBER 21st - 3PM



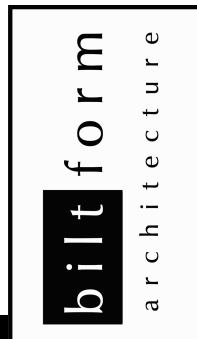
SEPTEMBER 21st - 12PM



SEPTEMBER 21st - 9AM



SEPTEMBER 21st - 6AM



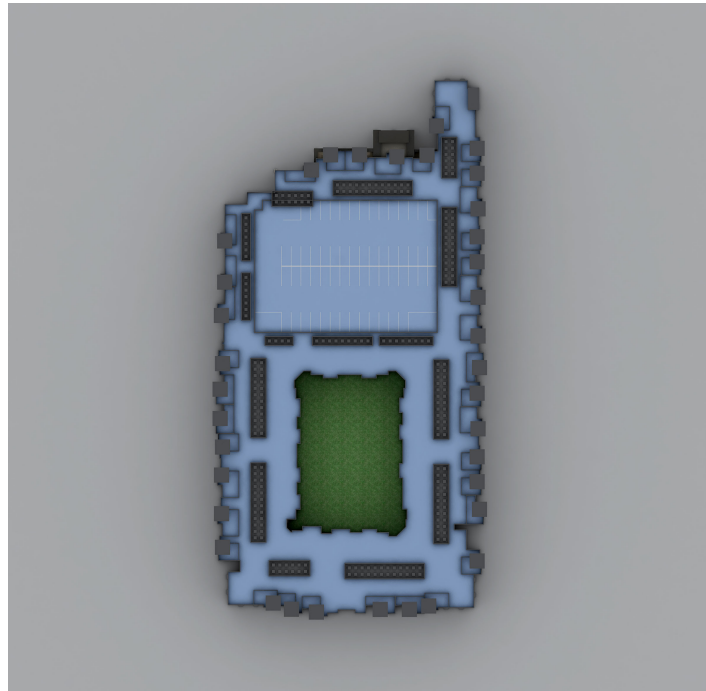
94 HUNDRED SHEA - THE VILLAGE

94 HUNDRED SHEA LLLP

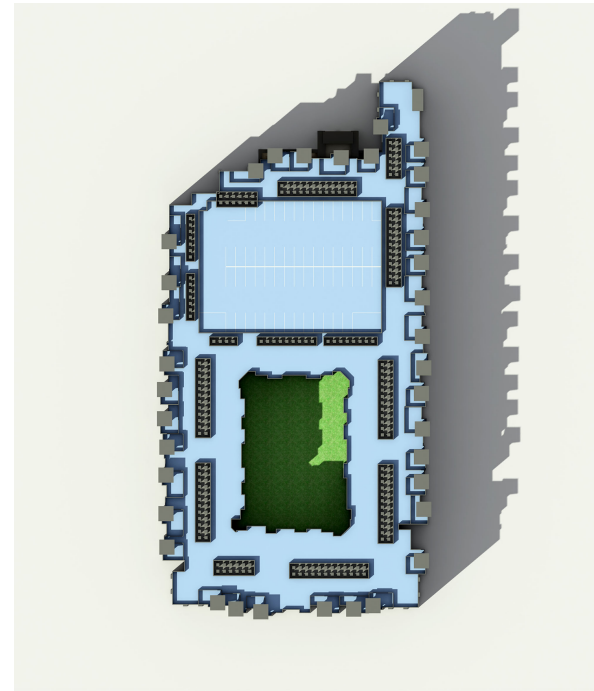


SOLAR ANALYSIS
SEPTEMBER
SCALE: N.T.S.

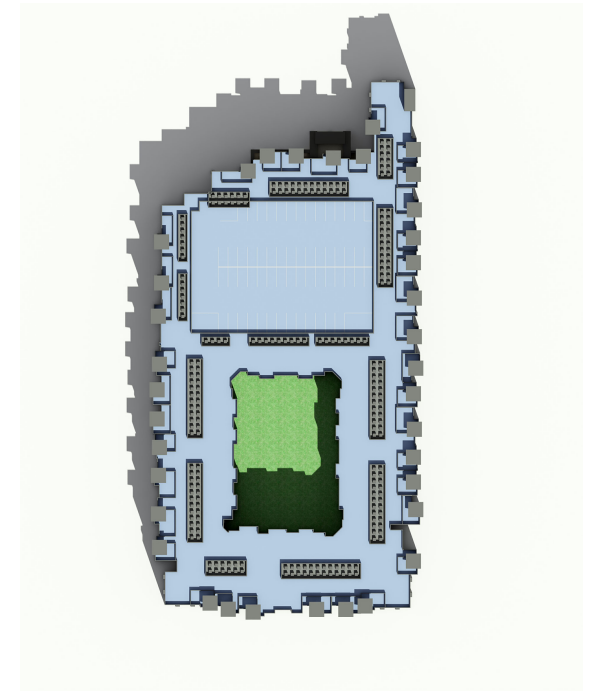
A6.3
05-19-22



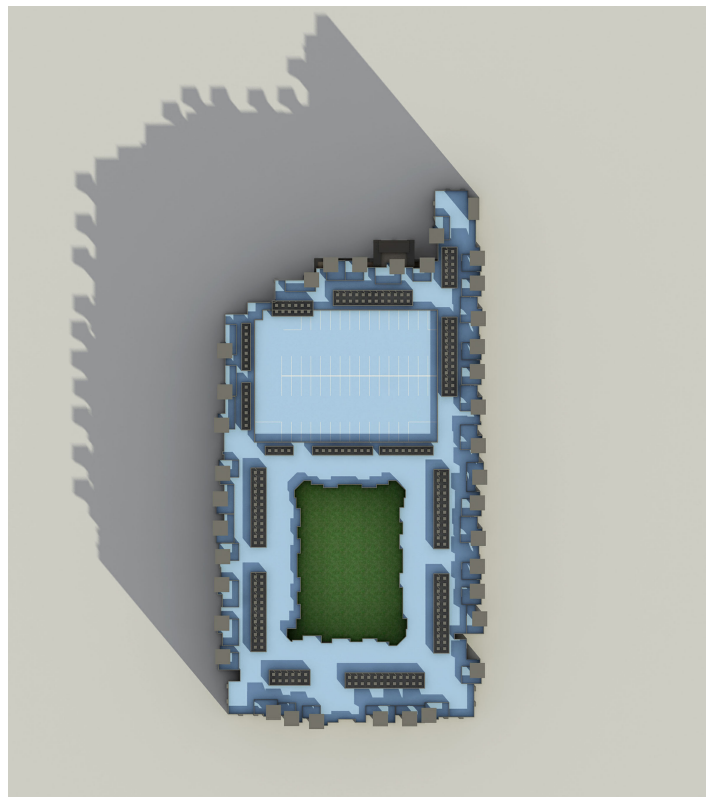
DECEMBER 21st - 6PM



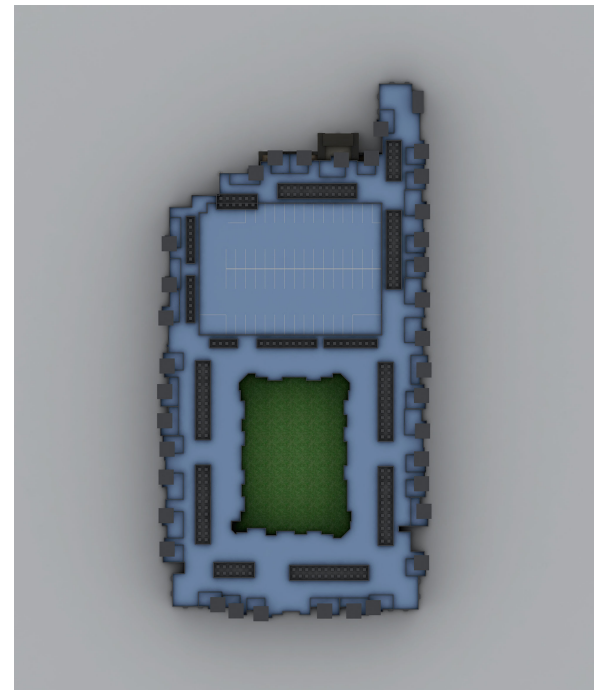
DECEMBER 21st - 3PM



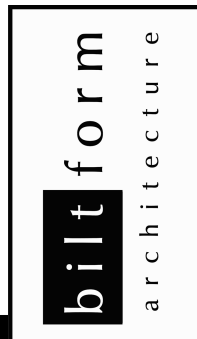
DECEMBER 21st - 12PM



DECEMBER 21st - 9AM



DECEMBER 21st - 6AM



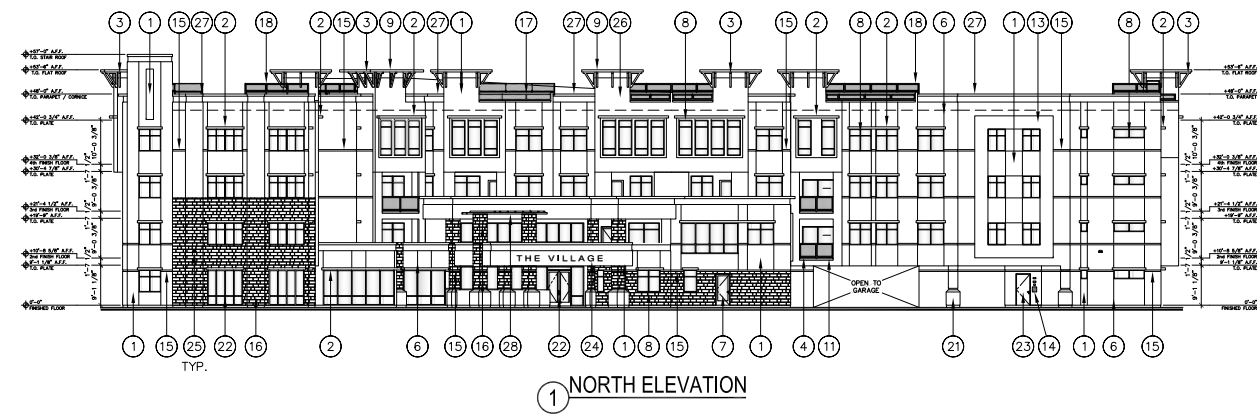
94 HUNDRED SHEA - THE VILLAGE

94 HUNDRED SHEA LLLP

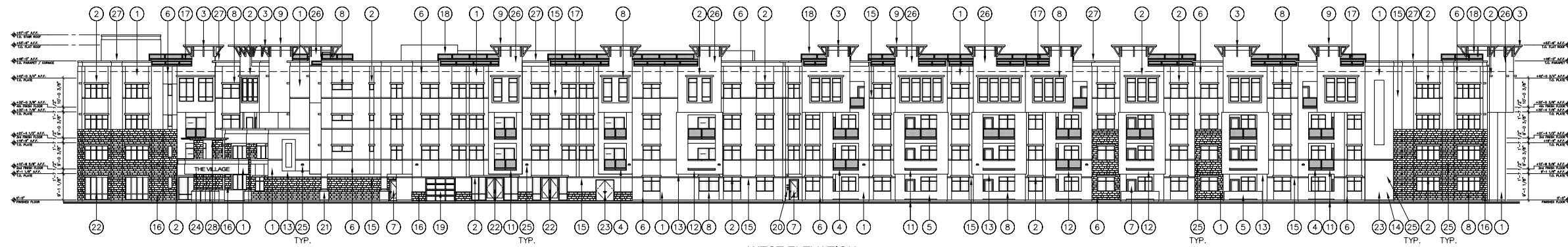


SOLAR ANALYSIS
DECEMBER
SCALE: N.T.S.

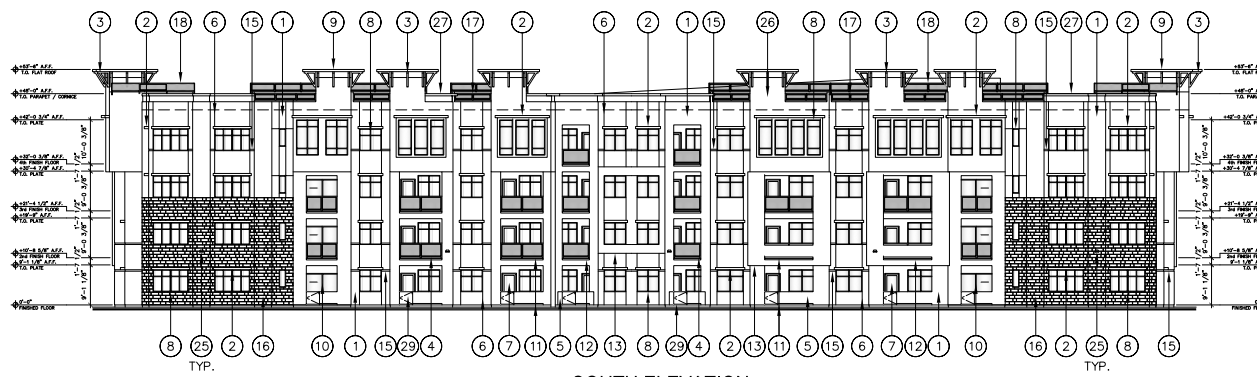
A6.4
05-19-22



1 NORTH ELEVATION



2 WEST ELEVATION



3 SOUTH ELEVATION

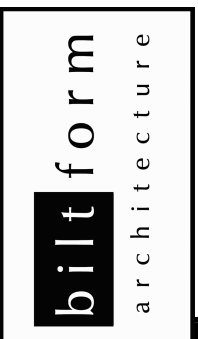


4 EAST ELEVATION

- EXTERIOR ELEVATIONS KEYED NOTES**
- EXTERIOR STUCCO SYSTEM
 - 12" DEEP EYEBROW WITH STUCCO FINISH - SHADING DEVICE
 - TUBE STEEL CORBEL AT STAIR BULKHEAD - PAINTED
 - TUBE STEEL RAILING WITH MESH INFILL +42" A.F.F. - PAINTED
 - 36" HIGH PATIO WALL WITH STUCCO FINISH
 - STUCCO CONTROL JOINT
 - EXTERIOR FRENCH DOOR - PAINTED
 - BRONZE ANODIZED ALUMINUM WINDOW SYSTEM
 - FLAT ROOF WITH PAINTED METAL FASCIA AT ROOF DECKS
 - BRONZE ANODIZED ALUMINUM SLIDING GLASS PATIO / BALCONY DOOR
 - 4" HIGH OPENING FOR PATIO / BALCONY DRAINAGE
 - GALVANIZED DRIP EDGE - PAINTED TO MATCH ADJACENT COLOR
 - 6" DEEP FRAMED WALL ELEMENT WITH STUCCO FINISH
 - FIRE DEPARTMENT ACCESS SIGN, WET STANDPIPE SIGN, KNOX BOX AND KNOX BOX KEY
 - 4" METAL REGLET - PAINTED
 - STONE VENEER - SEE COLOR CHART FOR SPECIFICATIONS
 - METAL PATIO GUARDRAIL SYSTEM, 18" ABOVE PARAPET TO A MINIMUM OF 42" A.F.F.
 - METAL PATIO RAILING ENCLOSURE, 24" ABOVE ENCLOSURE WALL TO 6" A.F.F.
 - OVERHEAD ROLL UP DOOR - PAINTED
 - FIRE DEPARTMENT ACCESS SIGN, KNOX BOX AND KNOX BOX KEY
 - EXTERIOR STUCCO SYSTEM OVER FRAMED COLUMN BASE
 - BRONZE ANODIZED ALUMINUM STOREFRONT SYSTEM
 - HOLLOW METAL DOOR AND FRAME - PAINTED
 - BUILDING SIGNAGE (UNDER SEPARATE SUBMITTAL AND PERMIT)
 - EXTERIOR LIGHT - SEE ELECTRICAL FOR SPECIFICATIONS
 - ROOF DECK STAIR ACCESS ENCLOSURE
 - PARAPET / CORNICE WITH CAP - PAINTED
 - DECORATIVE TUBE STEEL TRELLIS - PAINTED
 - 3' METAL PATIO GATE (TYP.) - PAINTED

EXTERIOR COLOR SCHEME

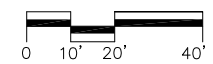
| | |
|--|--|
| LIGHT BODY COLOR | GREEK VILLA SHERWIN WILLIAMS - SW7551 |
| MEDIUM BODY COLOR | WOOL SKEIN SHERWIN WILLIAMS - SW6148 |
| DARK BODY COLOR | QUIVER TAN SHERWIN WILLIAMS - SW6151 |
| ACCENT COLOR | THUNDER GRAY SHERWIN WILLIAMS - SW7645 |
| CORNICE / FRY REGLET / RAILINGS / DOOR / CANOPIES / TRIM COLOR | CELLULOID DUNN EDWARDS - DET619 |
| WINDOWS / STOREFRONT | BRONZE |
| STONE VENEER | SAHARA BEIGE 8" CLASSIC JERUSALEM CORONADO STONE |



94 HUNDRED SHEA - THE VILLAGE

94 HUNDRED SHEA LLLP

BUILDING ELEVATIONS
BLACK AND WHITE
SCALE: 1" = 20'-0"



A2.1
08-26-22



1 NORTH ELEVATION



2 WEST ELEVATION



3 SOUTH ELEVATION



4 EAST ELEVATION

EXTERIOR ELEVATIONS KEYED NOTES #

1. EXTERIOR STUCCO SYSTEM
2. 12" DEEP EYEBROW WITH STUCCO FINISH - SHADING DEVICE
3. TUBE STEEL CORBEL AT STAIR BULKHEAD - PAINTED
4. TUBE STEEL RAILING WITH MESH INFILL +42" A.F.F. - PAINTED
5. 36" HIGH PATIO WALL WITH STUCCO FINISH
6. STUCCO CONTROL JOINT
7. EXTERIOR FRENCH DOOR - PAINTED
8. BRONZE ANODIZED ALUMINUM WINDOW SYSTEM
9. FLAT ROOF WITH PAINTED METAL FASCIA AT ROOF DECKS
10. BRONZE ANODIZED ALUMINUM SLIDING GLASS PATIO / BALCONY DOOR
11. 4" HIGH OPENING FOR PATIO / BALCONY DRAINAGE
12. GALVANIZED DRIP EDGE - PAINTED TO MATCH ADJACENT COLOR
13. 6" DEEP FRAMED WALL ELEMENT WITH STUCCO FINISH
14. FIRE DEPARTMENT ACCESS SIGN, WET STANDPIPE SIGN, KNOX BOX AND KNOX BOX KEY
15. 4" METAL REGLET - PAINTED
16. STONE VENEER - SEE COLOR CHART FOR SPECIFICATIONS
17. METAL PATIO GUARDRAIL SYSTEM, 18" ABOVE PARAPET TO A MINIMUM OF 42" A.F.F.
18. METAL PATIO RAILING ENCLOSURE, 24" ABOVE ENCLOSURE WALL TO 6" A.F.F.
19. OVERHEAD ROLL UP DOOR - PAINTED
20. FIRE DEPARTMENT ACCESS SIGN, KNOX BOX AND KNOX BOX KEY
21. EXTERIOR STUCCO SYSTEM OVER FRAMED COLUMN BASE
22. BRONZE ANODIZED ALUMINUM STOREFRONT SYSTEM
23. HOLLOW METAL DOOR AND FRAME - PAINTED
24. BUILDING SIGNAGE (UNDER SEPARATE SUBMITTAL AND PERMIT)
25. EXTERIOR LIGHT - SEE ELECTRICAL FOR SPECIFICATIONS
26. ROOF DECK STAIR ACCESS ENCLOSURE
27. PARAPET / CORNICE WITH CAP - PAINTED
28. DECORATIVE TUBE STEEL TRELLIS - PAINTED
29. 3' METAL PATIO GATE (TYP.) - PAINTED

EXTERIOR COLOR SCHEME

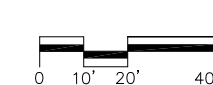
| | | |
|--|--|--|
| | LIGHT BODY COLOR | GREEK VILLA SHERWIN WILLIAMS - SW7551 |
| | MEDIUM BODY COLOR | WOOL SKEIN SHERWIN WILLIAMS - SW6148 |
| | DARK BODY COLOR | QUIVER TAN SHERWIN WILLIAMS - SW6151 |
| | ACCENT COLOR | THUNDER GRAY SHERWIN WILLIAMS - SW7645 |
| | CORNICE / FRY REGLET / RAILINGS / DOOR / CANOPIES / TRIM COLOR | CELLULOID DUNN EDWARDS - DET619 |
| | WINDOWS / STOREFRONT | BRONZE |
| | STONE VENEER | SAHARA BEIGE 8" CLASSIC JERUSALEM CORONADO STONE |

bilt form
architecture

94 HUNDRED SHEA - THE VILLAGE

94 HUNDRED SHEA LLLP

BUILDING ELEVATIONS



COLOR
SCALE: 1" = 20'-0"

A2.2
08-26-22



bilt form
architecture

94 HUNDRED SHEA - THE VILLAGE

94 HUNDRED SHEA LLLP

TYPICAL ELEVATION WORKSHEET

SCALE: N.T.S.

A2.3
08-26-22



bilt form
architecture

94 HUNDRED SHEA - THE VILLAGE

94 HUNDRED SHEA LLLP

PERSPECTIVE

SCALE: N.T.S.

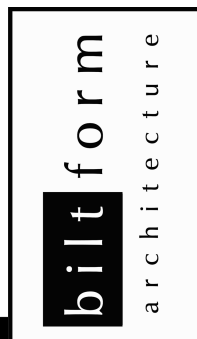
A3.1
08-26-22



WEST ELEVATION



EAST ELEVATION



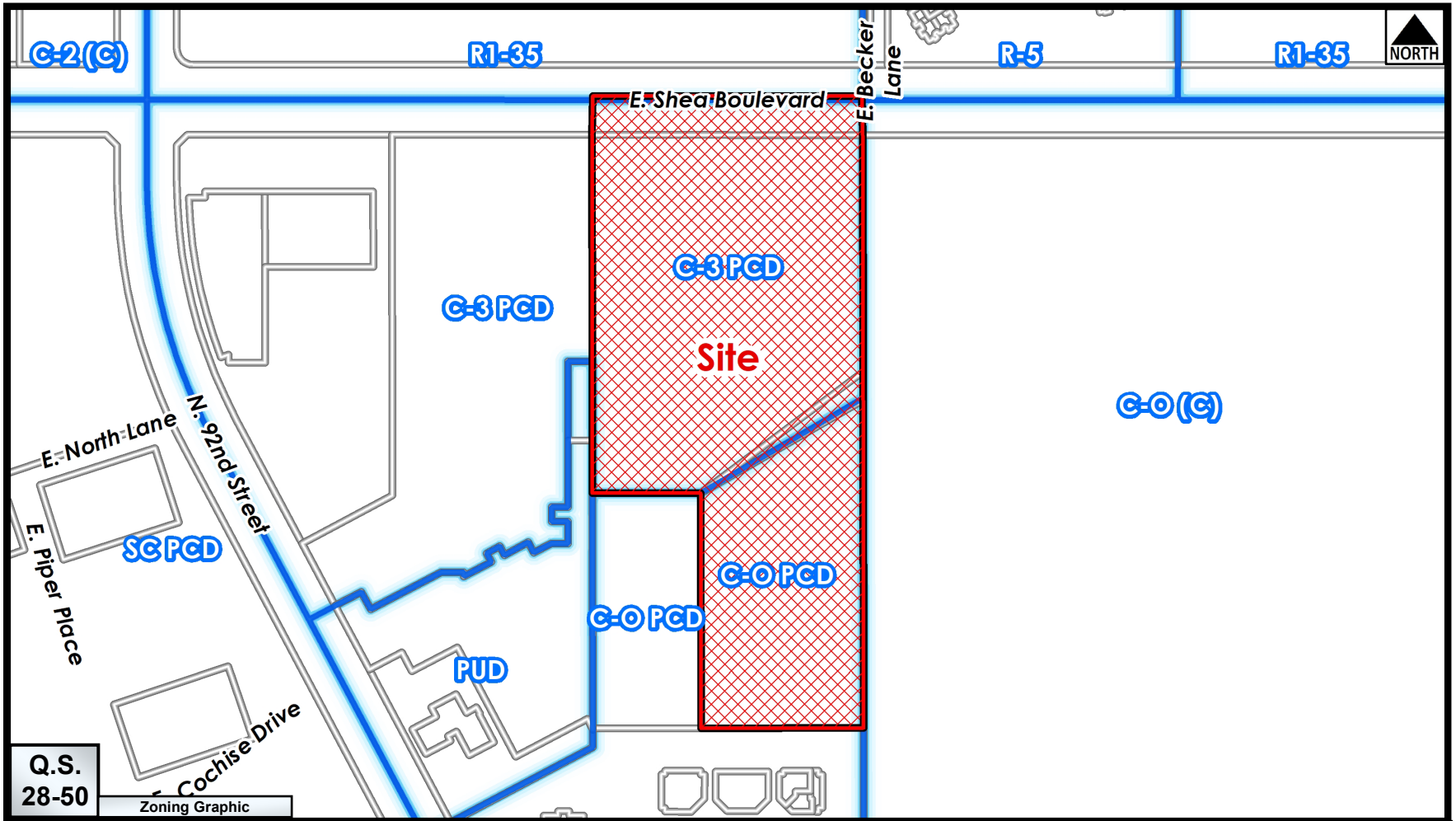
94 HUNDRED SHEA - THE VILLAGE

94 HUNDRED SHEA LLLP

PERSPECTIVE

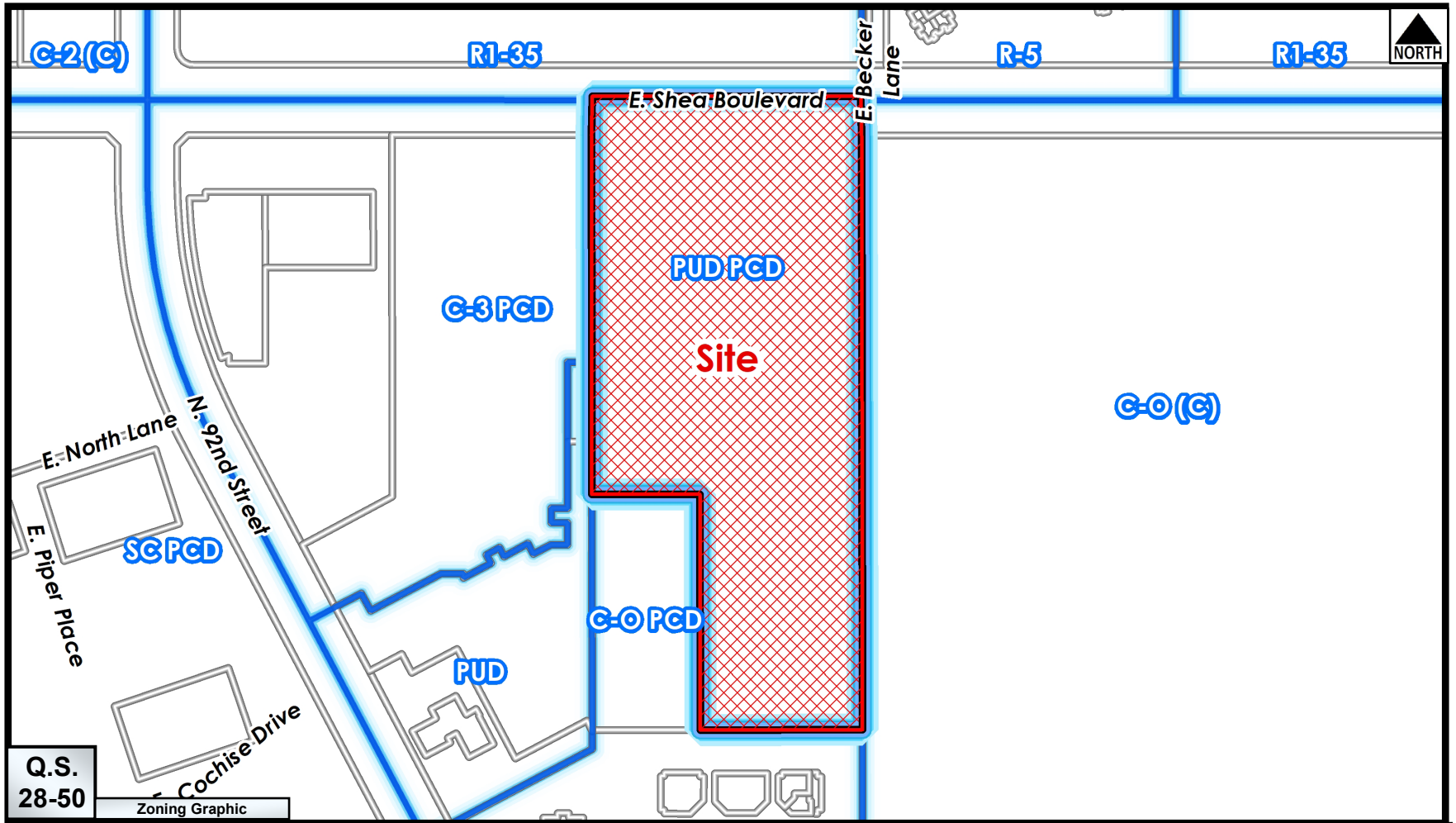
SCALE: N.T.S.

A3.2
08-26-22



Existing Zoning

8-ZN-2022



Q.S.
28-50
Zoning Graphic

Zoning

8-ZN-2022



CITIZEN REVIEW & NEIGHBORHOOD INVOLVEMENT REPORT

9400 Shea

July 7, 2022

Overview

This Citizen Review Report is being performed in association with a request for a Zoning District Map Amendment from C-3 PCD/C-O PCD to PUD PCD and a Non-major General Plan Amendment from Commercial to Mixed-Use Neighborhoods of an approximately 11+/- acre site located at 9375 E. Shea Blvd. The proposed project would result in a mixed-use development that would include new residential combined with the existing retail/office uses. This Citizen Review Report will be updated throughout the process.

The entire project team is sensitive to the importance of neighborhood involvement and creating a positive relationship with property owners, residents, business owners, homeowners associations, and other interested parties. Communication with these parties will be ongoing throughout the process. Work on compiling a list of impacted and interested stakeholders and neighborhood outreach began prior to the application filing and will also continue throughout the process. Communication with impacted and interested parties has taken place with verbal, written, electronic, and door-to-door contact.

Community Involvement

The outreach team has been communicating with neighboring property owners, HOA's, and community members by telephone, one-on-one meetings, and door-to-door outreach about a project on this site since July 2019. This early outreach included visiting **over 110 residential neighbors** to get their feedback on the project. A majority of this feedback was either neutral or favorable to the initial proposal. However, given ongoing community input to the initial proposal, the project team revisited the proposal and is now submitting a new proposal.

ATTACHMENT #8

Surrounding property owners, HOAs and other interested parties were noticed via first class mail regarding the project. The distribution of this notification met the City's 750' radius mailing requirements as specified in the Citizen Review Checklist. This notification contained information about the project, as well as contact information. This contact person will continue to provide, as needed, additional information and the opportunity to give feedback. The notification also contained information regarding a neighborhood Open Houses that was held on June 22, 2022 for those who wished to learn more about the project. The site and time were posted on an Early Notification Sign on the property.

Approximately 30 people attended the Open House, including four members of the Scottsdale City Council and a member of the Scottsdale City Planning Staff. (see attached sign-in sheets, some attendees chose not to sign in). Attendees had questions regarding vehicular access, traffic and the need for rental housing in the area. All questions were addressed at the Open House to the best of our ability and knowledge. Subsequent to the Open House, a number of neighboring retail property owners provided comment cards regarding the proposal. (see attached comment cards)

The outreach team will continue to be available to respond to any neighbors who have questions or comments. A vital part of the outreach process is to allow people to express their concerns and understand issues and attempt to address them in a professional and timely matter. Again, the entire team realizes the importance of the neighborhood involvement process and is committed to communication and outreach for the project.

ATTACHMENTS:

- Notification Letter
- Notification List
- Affidavit of Posting
- Sign-in sheets
- Comment Cards

BEUS GILBERT MCGRODER

PLLC

ATTORNEYS AT LAW

701 NORTH 44TH STREET
PHOENIX, ARIZONA 85008-6504
FAX (480) 429-3100

Andy Jochums
DIRECT (480) 429-3063
E-Mail Address: ajochums@beusgilbert.com

FILE NUMBER

052042-000009

June 10, 2022

Early Notification of Project Under Consideration

NOTICE OF INVITATION TO AN IN-PERSON NEIGHBORHOOD MEETING

Dear Neighbors and Neighborhood Associations:

We are pleased to inform you of an upcoming request by the owner of 94 Hundred Shea – Shops and Offices located east of the southeast corner of 92nd Street & Shea Boulevard to expand his existing commercial retail and office development to create a mixed-use project. This project would incorporate 219 new residential units to this 10.62+/- acre property. The property is located within an Urban Character Area of the General Plan which emphasizes higher-density residential and mixed-use neighborhoods where employment centers such as Honor Health Care (located west of this property) exist. Our proposal also conforms to the McCormick Ranch Master Plan and the McCormick Ranch Center Plan for higher intensity uses. Plus, our architectural plans have been approved by the McCormick Ranch POA.

The Pre-Application Meeting was held on April 6, 2022 (City Case No. 286-PA-2022) where it was confirmed that we must file a Minor General Plan Amendment (GPA) application and a companion Rezoning application. The proposed General Plan Amendment would change the current Commercial land use designation to Mixed-Use Neighborhoods, and the rezoning would be from C-3 PCD and C-O PCD McCormick Ranch to Planned Unit Development Planned Community District – McCormick Ranch (PUD PCD).

You are invited to attend a come and go open house to discuss this proposal. The open house will be held on Wednesday, June 22, 2022 from 5:00 to 6:00 p.m, on the subject property (9375 E. Shea Blvd on the vacant parcel). Please see the attached Meeting Location map.

CONTACT INFORMATION

If you are unable to attend the meeting or have questions about the project, please contact Technical Solutions at 602.957.3434 or info@technicalolutionsaz.com or Andy Jochums at Beus Gilbert McGroder PLLC, 480.429.3063 or ajochums@beusgilbert.com and we will be happy to

provide you information about the proposal. The City of Scottsdale Project Coordinator for this project is Jeff Barnes, who can be reached at 480.312.2376 or jbarnes@scottsdaleaz.gov.

We look forward to an open and productive dialogue throughout this process. Thank you for your time and consideration. We look forward to meeting with you.

Sincerely,

BEUS GILBERT McGRODER PLLC

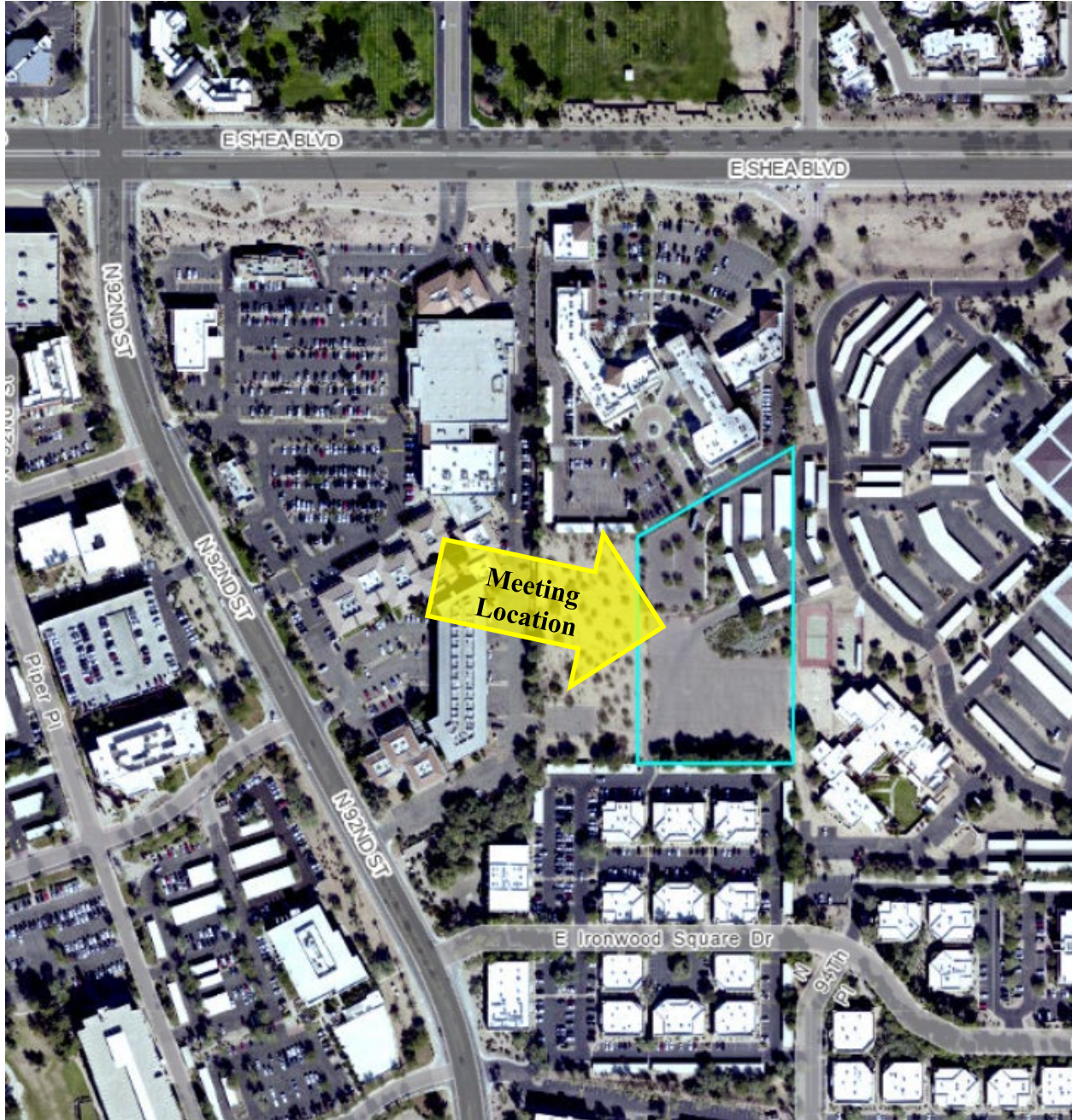
A handwritten signature in black ink, appearing to read 'Andy Jochums', with a horizontal line extending to the right.

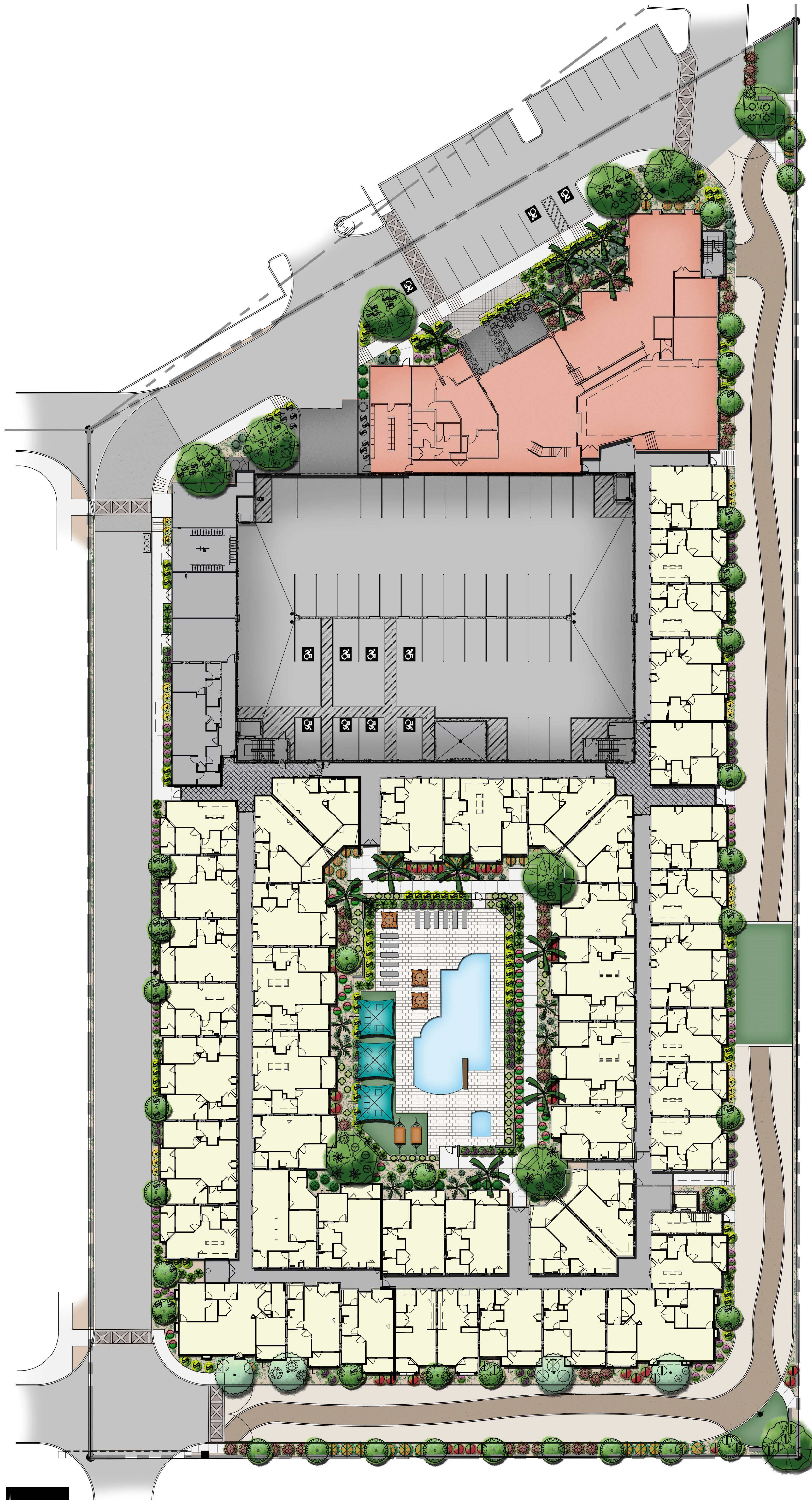
Andy Jochums, AICP

Attachments: Meeting Location Map
Conceptual Site Plan

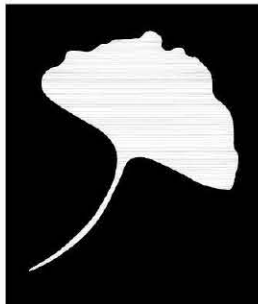
MEETING LOCATION

“come and go” open house
Wednesday, June 22, 2022 from 5:00 to 6:00 p.m,





MCGOUGH
ADAMSON



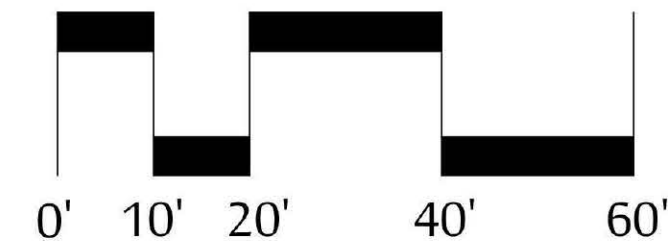
Landscape
Architects
Land
Planning
Irrigation

94 HUNDRED SHEA - THE VILLAGE CONCEPTUAL PLANTING PLAN

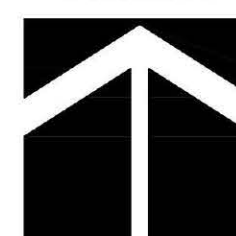
9375 E. SHEA BOULEVARD, SCOTTSDALE, AZ 85260

MARCH 10, 2022

SCALE: 1"=20'-0"



NORTH



City Notification List

Jeff Barnes, Project Coordinator, City of
Scottsdale

7447 E Indian School Road, Suite #105

Scottsdale, AZ 85251

Paradise Valley School District

15002 N 32nd Street

Phoenix, AZ 85032

Maricopa County Planning & Development

501 N 44th Street, Suite #200

Phoenix, AZ 85008

Salt River Project, Bill Santistevan, Mail Stop
XCT330

P.O. Box 52025

Phoenix, AZ 85072-2025

Cave Creek School District

P.O. Box 426

Cave Creek, AZ 85327

Scottsdale School District

7575 E Main Street

Scottsdale, AZ 85251

Maricopa County Environmental Services

1001 N Central Avenue, Suite #201

Phoenix, AZ 85004

Salt River Project, Susana Ortega, Mail Stop
PAB106

P.O. Box 52025

Phoenix, AZ 85072-2025

Central Az Water Conservation District, Bureau
of Reclamation

P.O. Box 43020

Phoenix, AZ 85080-3020

Southwest Gas Corporation

1600 E Northern Ave

Phoenix, AZ 85020-3982

AZ Department of ADOT Transportation, Right-
of-Way Group

205 S 17th Avenue

Phoenix, AZ 85007

Scottsdale Postmaster

1776 N Scottsdale Road

Scottsdale, AZ 85257-2115

Maricopa County Flood Control

2801 W Durango Street

Phoenix, AZ 85009

Arizona Public Service

P.O. Box 53933

Phoenix, AZ 85072-3933

Century Link

135 W Orion Street

Tempe, AZ 85283

General Plan Notification List

Commissioner, Renee J. Higgs

City of Scottsdale Planning Commission

15192 N. 104th Way

Scottsdale, AZ 85255

Commissioner, George Ertel

City of Scottsdale Planning Commission

11725 N. 129th Way

Scottsdale, AZ 85259

Annette Petrillo

1169 E. Clovefield Street

Gilbert, AZ 85298

David G. Gulino

7525 E. Camelback Road, Suite 104

Scottsdale, AZ 85251

Edwin Bull

Burch & Cracchiolo PA

P.O. Box 16882

Phoenix, AZ 85011

Jim Haxby

7336 E. Sunnyside Dr.

Scottsdale, AZ 85260

Kathy Littlefield

City of Scottsdale City Council

3939 N. Drinkwater Blvd.

Scottsdale, AZ 85251

Maricopa County Superintendent of Schools

4041 N. Central Avenue Suite 1200

Phoenix, AZ 85012

ADOT Central District - Red Letter

Arizona Department of Transportation

2140 W. Hilton Avenue, Mail Drop PM00

Phoenix, AZ 85009

Ryan Levesque, Deputy Community Development
Director - Planning

City of Tempe

31 East Fifth Street

Commissioner, William Scarbrough

City of Scottsdale Planning Commission

5639 E. Edgemont Ave.

Scottsdale, AZ 85257

Commissioner, Christian Serena

City of Scottsdale Planning Commission

6929 N. Hayden Rd., Suite C4194

Scottsdale, AZ 85250

Chris Schaffner

7346 E. Sunnyside Dr.

Scottsdale, AZ 85260

Dr. Sonnie Kirtley

COGS

8507 East Highland Avenue

Scottsdale, AZ 0

Guy Phillips

7131 E. Cholla St.

Scottsdale, AZ 85254

John Berry/Michele Hammond

Berry Riddell, LLC

6750 E Camelback Rd, Ste 100

Scottsdale, AZ 85251

Linda Whitehead

9681 E Chuckwagon Lane

Scottsdale, AZ 85262

Mike McNeal, Supervisor

AT&T

1231 W. University Drive

Mesa, AZ 85201

Randall P. Brown

Spring Creek Development

7134 E. Stetson Drive; Suite 400

Scottsdale, AZ 85251

Sherry Wagner/Right-of-Way Technician, SR.

Mail Station PAB348

P.O. Box 52025

Phoenix, AZ 0

Commissioner Joe Young

City of Scottsdale Planning Commission

7234 E. Shoeman Lane, Suite #8

Scottsdale, AZ 85251

Commissioner, Barney Gonzales

City of Scottsdale Planning Commission

6349 N. Cattletrack Rd.

Scottsdale, AZ 85250

Dan Sommer

12005 N 84th Street

Scottsdale, AZ 85260

Ed Toschik, President

7657 E Mariposa Grande Dr

Scottsdale, AZ 85255

Jim Funk

Gainey Ranch Community Association

7720 Gainey Ranch Road

Scottsdale, AZ 85258

John Washington

3518 N Cambers Court

Scottsdale, AZ 85251

Lori Haye

P.O. Box 426

Cave Creek, AZ 85327

Planning & Engineering Section Manager

Arizona State Land Department

1616 W. Adams Street

Phoenix, AZ 85007

Planning & Zoning Division

Town of Fountain Hills

16705 E. Avenue of the Fountains

Fountain Hills, AZ 85268

Tom Durham

City of Scottsdale City Council

3939 N. Drinkwater Blvd.

Scottsdale, AZ 85251

General Plan Notification List

Dave Ortega - Mayor

City of Scottsdale City Council

3939 N. Drinkwater Blvd.

Scottsdale, AZ 85251

Southwest Gas Corporation

2200 N. Central Avenue Ste 101

Phoenix, AZ 85004

Earl, Curley & Lagarde, P.C.

3101 N. Central Avenue, Ste. 1000

Phoenix, AZ 85012

Granite Reef Neighborhood Resource Center

1700 N Granite Reef Road

Scottsdale, AZ 85257

Withey Morris, PLC

2525 E. Arizona Biltmore Circle; Suite A-212

Phoenix, AZ 85016

Director

Arizona Department of Water Resources

1110 West Washington Street Suite 310

Phoenix, AZ 85007

Gammage & Burnham, PLC

2 N. Central Avenue, 15th Floor

Phoenix, AZ 85004

Paradise Valley Unified School District

15002 N. 32nd Street

Phoenix, AZ 85032

HOA Notification List

Aventura Condo HOA

Mason Shawn, Property Manager

14988 N 78th Wy, Unit #220

Scottsdale, AZ 85260

McCormick Ranch POA

Uhrich Jaime, Executive Director

9248 N 94th St

Scottsdale, AZ 85258

Cactus Corridor

Brokaw Dawn, Resident

9909 E Paradise Dr

Scottsdale, AZ 85260

McCormick Ranch POA

Wood Dave, Board-Member

8455 E San Dido

Scottsdale, AZ 85258

Cactus Corridor

Wheeler Susan, Resident

9616 E Kalil Dr

Scottsdale, AZ 85260

McCormick Ranch POA

Campbell Chris, Executive Director

9248 N 94th St

Scottsdale, AZ 85258

Property Owner Notification List

FLEEK RAY F/MARILYN M
28150 N ALMA SCHOOL RD STE 103-179
SCOTTSDALE AZ 85262

ANDERSON NICHOLAS
9451 E BECKER LN UNIT B1031
SCOTTSDALE AZ 85260

FJHW INVESTMENTS LLP
35 VALENCIA ST
OTTAWA ON CANADA K2G6T1

PILATO THEODORE/BETH
9451 E BECKER LN UNIT 1037B
SCOTTSDALE AZ 85260

SANCHEZ EZIO A
9451 E BECKER LN
SCOTTSDALE AZ 85260

AHMAD SARFRAZ/KAREN A
4107 E MOLLY LN
CAVE CREEK AZ 85331

GLICA JONATHAN
9451 E BECKER LN UNIT 2029B
SCOTTSDALE AZ 85260

ARIZONA VALLEYWIDE PROPERTIES LLC
9451 E BECKER LN UNIT 2032
SCOTTSDALE AZ USA 85260

BURGGRAF CHRIS
1200 GOUGH ST 19D
SAN FRANCISCO CA 94109

ZACHMAN MARGARET/DANIEL
26596 WOODLANDS PKWY
ZIMMERMAN MN 55398

MOSIER RICHARD D/BEVERLY M TR
9451 E BECKER LN UNIT 1029
SCOTTSDALE AZ 85260

RUBENS STEVEN
3778 FILLMORE ST
SAN FRANCISCO CA 94123

PANEK LEE J III
9451 E BECKER LN UNIT 1035
SCOTTSDALE AZ 85260

KOSKI VINCENT
9451 E BECKER LN APT B1038
SCOTTSDALE AZ 85260-6706

PARKER JACOB R/BEATY BROOKE M
9451 E BECKER LN APT 1041
SCOTTSDALE AZ 85260

DONOFRIO RAYNAH
9451 E BECKER LN APT 1044
SCOTTSDALE AZ 85260

WORKMAN LAURA LYNNE
2770 E SANTAN ST
CHANDLER AZ UNITED STATES OF AMERICA
85225

NELSON MICHAEL R
9451 E BECKER LANE APT 2033
SCOTTSDALE AZ 85260

NYCAZCO27-7 LLC
9451 E BECKER LN UNIT B2036
SCOTTSDALE AZ 85260

VASQUEZ PATRICIA
9451 E BECKER LN UNIT 2041B
SCOTTSDALE AZ 85260

JOVANOVIC OLIVERA
4303 E CACTUS RD # 243
PHOENIX AZ 85032

DF ROGERS LIVING TRUST
9451 E BECKER LN NO B1033
SCOTTSDALE AZ 85260

MUDRA ROBERTA ANN
9451 E BECKER LN UNIT B1036
SCOTTSDALE AZ 85260

ONG MARY ANNE
9451 E BECKER LN APT 1039
SCOTTSDALE AZ USA 85260

ANNETTE HUDNALL LIVING TRUST
9451 E BECKER LN UNIT 1042
SCOTTSDALE AZ 85260

HAUGEN LESLIE C F
945 E BECKER LN UNIT 202B
SCOTTSDALE AZ 85260

MSL HOLDINGS LLC
32433 N 23RD AVE
PHOENIX AZ 85085

RUIZ JULIE
9451 E BECKER LN NO 2034B
SCOTTSDALE AZ 85260

COLLINS PROPERTIES LLLP
10601 N HAYDEN RD SUITE 1-10
SCOTTSDALE AZ 85255

ITKOV PHILIP
9451 E BECKER LN NO 2042
SCOTTSDALE AZ 85260

Property Owner Notification List

| | | |
|---|---|---|
| TAYLOR DEE ADELE 9451 E BECKER LN UNIT 2043B SCOTTSDALE AZ 85260 | 9450 E BECKER LN 2048 LLC 9005 E LUPINE AVE SCOTTSDALE AZ USA 85260 | AVENTURA CONDOMINIUMS ASSOCIATION INC 13951 N SCOTTSDALE RD STE 122 SCOTTSDALE AZ 85254 |
| DRUG (AZ) QRS 14-42 INC 9501 E SHEA BLVD SCOTTSDALE AZ 85260 | 94 HUNDRED SHEA LLLP 700-688 W HASTINGS ST VANCOUVER BC CANADA V6B1P1 | 94 HUNDRED SHEA LLLP 700-688 W HASTINGS ST VANCOUVER BC CANADA V6B1P1 |
| 94 HUNDRED SHEA LLLP 700-688 W HASTINGS ST VANCOUVER BC CANADA V6B1P1 | MCDONALDS CORPORATION 002-0162 PO BOX 51657 PHOENIX AZ 85076 | SHEA AND 92ND OPCO LLC 1233 W LOOP S STE 1500 HOUSTON TX USA 77027 |
| SHEA AND 92ND OPCO LLC 1233 W LOOP S STE 1500 HOUSTON TX USA 77027 | IRONWOOD 92 PARTNERS LLC 7120 E KIERLAND BLVD NO 807 SCOTTSDALE AZ 85253 | IRONWOOD 92 PARTNERS LLC 7120 E KIERLAND BLVD NO 807 SCOTTSDALE AZ 85253 |
| IRONWOOD 92 PARTNERS LLC 7120 E KIERLAND BLVD NO 807 SCOTTSDALE AZ 85253 | IRONWOOD 92 PARTNERS LLC 7120 E KIERLAND BLVD NO 807 SCOTTSDALE AZ 85253 | IRONWOOD 92 PARTNERS LLC 7120 E KIERLAND BLVD NO 807 SCOTTSDALE AZ 85253 |
| PARADISE MEMORIAL GARDENS INC 7601 E INDIAN SCHOOL RD SCOTTSDALE AZ 85251 | IRONWOOD SQUARE INVESTORS LLC 9431 E IRONWOOD SQUARE DR STE 101 SCOTTSDALE AZ 85258 | S AND D OFFICE PROPERTIES LLC 10229 N 92ND ST STE 101 SCOTTSDALE AZ 85258 |
| JJW PROPERTIES LLC 10229 N 92ND ST UNIT 102 SCOTTSDALE AZ 85258 | WE THREE KINGS LLC 10229 N 92ND ST UNIT 103 SCOTTSDALE AZ 85258 | NEUROSPINE VENTURES LLC 10245 N 92ND ST SCOTTSDALE AZ 85258 |
| 10261 N 92ND STREET LLC 10261 N 92ND ST STE 101 SCOTTSDALE AZ USA 85258 | BRECKENRIDGE LLC 3101 N CENTRAL AVE STE 1600 PHOENIX AZ 85012 | SCOTTSDALE MEDICAL CENTER PLC 10117 N 92ND ST STE 101 SCOTTSDALE AZ 85258-4555 |
| LEVON PROPERTIES LLC 9969 N 107TH ST SCOTTSDALE AZ 85258 | DANO GROUP LLC 4702 E CARON ST PHOENIX AZ 85028 | JANICEK MIKE F/PATRICIA B 10197 N 92 ST STE 101 SCOTTSDALE AZ 85260 |
| SK IRONWOOD L L C 13601 N 85TH ST SCOTTSDALE AZ 85260 | SK IRONWOOD L L C 13601 N 85TH ST SCOTTSDALE AZ 85260 | SK IRONWOOD L L C 13601 N 85TH ST SCOTTSDALE AZ 85260 |

Property Owner Notification List

SK IRONWOOD L L C
13601 N 85TH ST
SCOTTSDALE AZ 85260

WERT FAMILY TRUST
237 VIA ITHICA NEWPORT
BEACH CA 92663

PJR HOLDINGS LLC
9201 E DAVENPORT DR
SCOTTSDALE AZ 85260

EXETER 92 MOUNTAIN VIEW LLC
5 RADNOR CORPORATE CENTER 100
MATSONFORD ROAD STE 250
RADNOR PA UNITED STATES OF AMERICA 19087

SCOTTSDALE HEALTHCARE REALTY CORP
2338 W ROYAL PALM RD STE J
PHOENIX AZ 85021

HCP MOB SCOTTSDALE LLC (LEASE)
1920 MAIN ST STE 1200
IRVINE CA 92614

SCOTTSDALE HEALTHCARE REALTY CORP
2338 W ROYAL PALM RD STE J
PHOENIX AZ 85021

SCOTTSDALE SHEA PROPERTY LLC
3414 E BARBARITA AVE
MESA AZ 85202

C & K INVESTMENT PROPERTIES LLC
9450 E IRONWOOD SQUARE DR
SCOTTSDALE AZ 85258

JFBB ENTERPRISES INC
12004 N SUNDOWN DR
SCOTTSDALE AZ USA 85258

WENTWELL LLC
PO BOX 223040 PRINCEVILLE
HI USA 96722-3040

J&R INVESTMENT ENTERPRISES LLC
4401 E MOCKINGBIRD LN
PARADISE VALLEY AZ 85253

J&R INVESTMENT ENTERPRISES LLC
4401 E MOCKINGBIRD LN
PARADISE VALLEY AZ 85253

J&R INVESTMENT ENTERPRISES LLC
4401 E MOCKINGBIRD LN
PARADISE VALLEY AZ 85253

J&R INVESTMENT ENTERPRISES LLC
4401 E MOCKINGBIRD LN
PARADISE VALLEY AZ 85253

SETH PROPERTIES LLC
11263 E APPALOOSA PL
SCOTTSDALE AZ 85259

LALANI FAMILY TRUST
11168 E IRONWOOD DR
SCOTTSDALE AZ 85259

IRONWOOD COURTYARD LLC
8787 E PINNACLE PEAK RD STE 200
SCOTTSDALE AZ 85255

J&R ASC INVESTMENT ENTERPRISES LLC
4401 E MOCKINGBIRD LN
PARADISE VALLEY AZ 85253

GROTTO REALTY LLC
8463 E SANDALWOOD DR
SCOTTSDALE AZ 85258

MTG IRONWOOD LLC
9431 E IRONWOOD SQUARE DR
SCOTTSDALE AZ 85258

WEISMAN PROPERTY MANAGEMENT LLC
9445 E IRONWOOD SQUARE DR STE 100
SCOTTSDALE AZ 85258

3TFM AZ SCOTTSDALE LLC
1425 S HIGLEY RD UNIT 106
GILBERT AZ 85296

DASILVA JUNE LOUISE/BOYNTON TIMOTHY E
9465 E IRONWOOD SQUARE DR BLDG U NO 102
SCOTTSDALE AZ 85260

CATALPA INDUSTRIAL PARK INC
6501 E EL MARO CIR
PARADISE VALLEY AZ 85253

WALL THOMAS J TR
9475 E IRONWOOD SQUARE DR BLDG V101
SCOTTSDALE AZ 85258

DABS OF ASIA LLC
10635 N 140TH WAY
SCOTTSDALE AZ 85259

DABS OF ASIA LLC
10635 N 140TH WAY
SCOTTSDALE AZ 85259

SWIERUPSKI HOLDINGS 1 LLC
9500 E IRONWOOD SQ UNITS B121-B122-B124
SCOTTSDALE AZ 85258

SWIERUPSKI HOLDINGS 1 LLC
9500 E IRONWOOD SQ UNITS B121-B122-B124
SCOTTSDALE AZ 85258

Property Owner Notification List

SWIERUPSKI HOLDINGS 1 LLC
9500 E IRONWOOD SQ UNITS B121-B122-B124
SCOTTSDALE AZ 85258

ROTELLA LOUIS J JR/KATHLEEN A
10117 N 92ND ST NO 101
SCOTTSDALE AZ 85258

ROTELLA LOUIS J JR/KATHLEEN A
6949 S 108TH ST
LAVISTA NE 68128

MJG HOLDING COMPANY LLC
15333 N PIMA RD STE 305
SCOTTSDALE AZ 85260

KUBER HOTELS LLC
1550 S 52ND ST
TEMPE AZ 85281

JOSEPH S PONGRATZ L L C
730 N 52ND ST STE 102
PHOENIX AZ USA 85088

IRONWOOD OFFICE INVESTORS LLC
P O BOX 4471
SCOTTSDALE AZ 85261

DENTAL HOLDINGS 10181 N 92ND LLC
1809 S HOLBROOK LN STE 101
TEMPE AZ 85281

SR BELL INVESTMENTS LLC
10181 N 92ND ST STE 103
SCOTTSDALE AZ 85258

JANICEK MIKE F/KRISTIN FAMILY TR
PO BOX 92129
SOUTHLAKE TX 76092

HANSEN THOMAS/DONNA/SCOTT/ZABEK
HANSEN NICOLE
10197 N 92ND ST STE 102
SCOTTSDALE AZ 85260

NEW ENERGY PROPERTIES LLC
2 GALLO ST
RANCH MISSION VIEJO CA 92694

PRODUCTWERX LLC
10149 N 92ND ST STE 102
SCOTTSDALE AZ 85258

LEHNERT HERBERT H/INGEBORG M TR
38 LAKEVIEW CIRCLE PALM SPRINGS
CA 92264

FIRESKY VENTURES LLC
10165 N 92ND ST STE 101
SCOTTSDALE AZ 85258-4558

GROH JOHN E/NANCY A TR
9844 E GELDING DR
SCOTTSDALE AZ 85260

103 IRONWOOD LLC
11542 VINTAGE OAKS DR
MONTGOMERY TX 77356



Affidavit of Posting

Required: Signed, Notarized originals.
Recommended: E-mail copy to your project coordinator.

Project Under Consideration Sign (White) **Public Hearing Notice Sign (Red)**

Case Number: 286-PA-2022

Project Name: _____

Location: 9375 E Shea Boulevard

Site Posting Date: 06/10/22

Applicant Name: Beus Gilbert PLLC

Sign Company Name: **Dynamite Signs**

Phone Number: **480-585-3031**

I confirm that the site has been posted as indicated by the Project Manager for the case as listed above.

Meghan Higgett
Applicant Signature

06/10/22
Date

Return completed original notarized affidavit AND pictures to the Current Planning Office no later than 14 days after your application submittal.

Acknowledged before me on 6/10/22



Marybeth Conrad
Notary Public

My commission expires: 10-25-24

City of Scottsdale -- Current Planning Division

7447 E Indian School Road, Suite 105, Scottsdale, AZ 85251 ♦ Phone: 480-312-7000 ♦ Fax: 480-312-7088

Early Notification of Project Under Consideration

Neighborhood Open House Meeting:

Date: June 22, 2022

Time: 5:00 - 6:00PM

Location: On the subject property (9375 E. Shea Blvd on the vacant parcel)

Site Address: 9375 E. Shea Blvd.

Project Overview:

- Request: A non-major General Plan amendment to change the land use designation from Commercial to Mixed-Use Neighborhoods and to rezone from C-3 PCD and C-O PCD to PUD PCD on an +/- 11 acre site to allow for a maximum of 219 new residential units with a development plan.

- Site Acreage: +/-11 Acres

- Site Zoning: C-3 PCD & C-O PCD

Applicant Contact:

Beus Gilbert McGroder PLLC
c/o Andy Jochums 480-429-3063
ajochums@beusgilbert.com

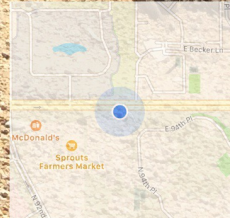
City Contact:

Jeff Barnes 480-312-2376
jbarnes@scottsdaleaz.gov

Pre-Application#: 286-PA-2022

Posting Date: 6/10/2022

- Penalty for removing or defacing sign prior to date of last hearing. Applicant Responsible for Sign Removal.



9400 SHEA
Community Input Card

PRINT NAME MARILYN TEPLITZ
ADDRESS 9625 E. CINNABAR CITY Scottsdale ZIP 85258
PHONE 480-221-5441 EMAIL mgteplitz@gmail.com

PLEASE TELL US YOUR THOUGHTS & SUGGESTIONS REGARDING THE PROPOSED PROJECT:

OPPOSED - increased density increases crime.
Even if office bldgs generate less traffic, it is spread
thruout Tuesday & is only 9-5, 5 days/wk. Residential
is 24/7. Shea Blvd is ~~down~~ already at near
Capacity - No to this & No to 9200 Ironwood.
Where will the extra water & energy come from?

Technical Solutions • 5111 N. Scottsdale Rd., Suite 260 Scottsdale, AZ 85250 • Phone: (602) 957-3434 • Fax: (602) 955-4505

9400 SHEA

JAMES & Community Input Card

PRINT NAME VIRGINIA A BERTONCINO
ADDRESS 1005 E MISSION LN CITY SCOTTSDALE ZIP 85258
PHONE _____ EMAIL _____

PLEASE TELL US YOUR THOUGHTS & SUGGESTIONS REGARDING THE PROPOSED PROJECT:

TOO LARGE, TOO HIGH, WILL CREATE TOO
MUCH CONGESTION IN THE SHEA CORRIDOR
& SURROUNDING AREA.

9400 SHEA
Community Input Card

PRINT NAME Thomas Kube
ADDRESS 17740 E. Sunnyside Dr CITY Scottsdale ZIP 85259
PHONE 480 451-7205 EMAIL Kubeandco@aol.com

PLEASE TELL US YOUR THOUGHTS & SUGGESTIONS REGARDING THE PROPOSED PROJECT:

- Traffic Study - Shea @ 92nd St + @ 9400 @ Shea
- Average Turnover in Apartments w/ Source

9400 SHEA
Community Input Card

PRINT NAME Dwight Spence
ADDRESS 10040 E. Happy Valley Rd. CITY Scottsdale ZIP AZ
PHONE 602 2302995 EMAIL daspence@cox.net

PLEASE TELL US YOUR THOUGHTS & SUGGESTIONS REGARDING THE PROPOSED PROJECT:

I think it would add to the community
and enhance the area.

Technical Solutions • 5111 N. Scottsdale Rd., Suite 260 Scottsdale, AZ 85250 • Phone: (602) 957-3434 • Fax: (602) 955-4505

9400 SHEA
Community Input Card

PRINT NAME Cyrus Mahboubi
ADDRESS 9375 E Shea Blvd ^{Ste 180} CITY Scottsdale ZIP 85260
PHONE 214 458-0209 EMAIL Cyrus@ASbwiHWA.com

PLEASE TELL US YOUR THOUGHTS & SUGGESTIONS REGARDING THE PROPOSED PROJECT:

Very good! Preferred Mixed use
Retail + Multi family. This will bring good
commerce to this Area.

Technical Solutions • 5111 N. Scottsdale Rd., Suite 260 Scottsdale, AZ 85250 • Phone: (602) 957-3434 • Fax: (602) 955-4505

9400 SHEA
Community Input Card

PRINT NAME Vlasta Duffy
ADDRESS 9343 E. Shea Blvd #145 CITY Scottsdale ZIP 85259
PHONE 480 218 6931 EMAIL Vlasta.duffy@9Round.com

PLEASE TELL US YOUR THOUGHTS & SUGGESTIONS REGARDING THE PROPOSED PROJECT:

I am very supportive of the project.
I am the owner of 9Round which
is a tenant on the neighboring
property.

Technical Solutions • 5111 N. Scottsdale Rd., Suite 260 Scottsdale, AZ 85250 • Phone: (602) 957-3434 • Fax: (602) 955-4505

9400 SHEA
Community Input Card

PRINT NAME CHANDLER DINH
ADDRESS 9397 E SHEA BLVD #105 CITY SCOTTSDALE ZIP 85260
PHONE 949.537.9965 EMAIL CHANDLERDINH@gmail.com

PLEASE TELL US YOUR THOUGHTS & SUGGESTIONS REGARDING THE PROPOSED PROJECT:

THE PROPOSED HOUSING DEVELOPMENT WOULD
GREATLY IMPROVE THE BUSINESS COMMUNITY
AT OUR PLAZA. AND HAVING ADDITIONAL
HOUSING AVAILABLE FOR OUR STAFF IS
A GREAT THING.

Technical Solutions • 5111 N. Scottsdale Rd., Suite 260 Scottsdale, AZ 85250 • Phone: (602) 957-3434 • Fax: (602) 955-4505

9400 SHEA
Community Input Card

PRINT NAME JOSEPA DONTI
ADDRESS 9375 E. SHEA BLVD ^{STE #120} CITY SCOTTDALE ZIP 85260
PHONE 480-214-9534 EMAIL JDE@SOLUTIONSFIRSTGROUP.COM

PLEASE TELL US YOUR THOUGHTS & SUGGESTIONS REGARDING THE PROPOSED PROJECT:

I'm in favor of this project.

Technical Solutions • 5111 N. Scottsdale Rd., Suite 260 Scottsdale, AZ 85250 • Phone: (602) 957-3434 • Fax: (602) 955-4505

9400 SHEA
Community Input Card

PRINT NAME Sandra E. Van Deraa
ADDRESS 9397 E Shea Blvd ^{#115} CITY Scottsdale ZIP 85260
PHONE 928.580.7230 EMAIL Sandra.SattandLime@gmail.com

PLEASE TELL US YOUR THOUGHTS & SUGGESTIONS REGARDING THE PROPOSED PROJECT:

As the owner of Salt & Lime I
feel this project will have
a positive impact on my business.

Technical Solutions • 5111 N. Scottsdale Rd., Suite 260 Scottsdale, AZ 85250 • Phone: (602) 957-3434 • Fax: (602) 955-4505

9400 SHEA
Community Input Card

PRINT NAME DAW Siddall
ADDRESS 9375 E Shea Blvd #112 CITY Scottsdale ZIP 85260
PHONE 480-300-4764 EMAIL Daws@Olympic1s.com

PLEASE TELL US YOUR THOUGHTS & SUGGESTIONS REGARDING THE PROPOSED PROJECT:

I think it would be great and is needed.

Technical Solutions • 5111 N. Scottsdale Rd., Suite 260 Scottsdale, AZ 85250 • Phone: (602) 957-3434 • Fax: (602) 955-4505

9400 SHEA
Community Input Card

PRINT NAME Ron Rome
ADDRESS 9375 E Shea Blvd #112 CITY Scottsdale ZIP 85260
PHONE 630 949 0122 EMAIL ronr@olympic1s.com

PLEASE TELL US YOUR THOUGHTS & SUGGESTIONS REGARDING THE PROPOSED PROJECT:

I Am in Support of the new project as
right now the empty lot is simply an
eye soar.

Technical Solutions • 5111 N. Scottsdale Rd., Suite 260 Scottsdale, AZ 85250 • Phone: (602) 957-3434 • Fax: (602) 955-4505

9400 SHEA
Community Input Card

PRINT NAME 21° DEGREES CIGAR
ADDRESS 9375 E. SHEA BLVD #175 CITY SCOTTSDALE ZIP 85260
PHONE 480 551 2121 EMAIL slam@rpmfactoryreps.com

PLEASE TELL US YOUR THOUGHTS & SUGGESTIONS REGARDING THE PROPOSED PROJECT:
WE WOULD BENEFIT FROM THE POTENTIAL
WALK IN CUSTOMERS. WE SUPPORT THE PROJECT!

Technical Solutions • 5111 N. Scottsdale Rd., Suite 260 Scottsdale, AZ 85250 • Phone: (602) 957-3434 • Fax: (602) 955-4505

9400 SHEA
Community Input Card

PRINT NAME DAVID PERLMAN / EMMA D STONOSP
ADDRESS 9343 E. SHEA BLVD B115 CITY Scottsdale ZIP 85260
PHONE 480 451 2557 EMAIL david@emma.dstonosp.com

PLEASE TELL US YOUR THOUGHTS & SUGGESTIONS REGARDING THE PROPOSED PROJECT:
I am in full support of this project. This
will be good for business owners.

Technical Solutions • 5111 N. Scottsdale Rd., Suite 260 Scottsdale, AZ 85250 • Phone: (602) 957-3434 • Fax: (602) 955-4505

9400 SHEA
Community Input Card

PRINT NAME Daniell Thompson
ADDRESS 9375 E. Shea Blvd. #100 CITY Scottsdale ZIP 85260
PHONE 480/214-9500 EMAIL danielle@9400shea.com

PLEASE TELL US YOUR THOUGHTS & SUGGESTIONS REGARDING THE PROPOSED PROJECT:

This project overall is a positive improvement
to the project and will benefit all
neighboring businesses.

From: [Kurth, Rebecca](#)
To: [Jim Bloch](#)
Cc: [Barnes, Jeff](#)
Subject: RE: 9400 Village and 92 Mercado Courtyards. Gold Dust, Optima
Date: Tuesday, October 18, 2022 10:29:16 AM

Good Morning Mr. Bloch,

Thank you for emailing Mayor Ortega and City Council with your input on the Mercado Courtyards case, 12-ZN-2022 and 6-GP-2022, and The Village case, 8-ZN-2022 and 3-GP-2022. I have copied Jeff Barnes the staff project coordinator on both projects and he will include your comments in the case files.

For more information on the Mercado Courtyards case, 12-ZN-2022, the case info sheet can be found here: <https://eservices.scottsdaleaz.gov/bldgresources/Cases/Details/53893>

For more information on The Village case, 8-ZN-2022, the case info sheet can be found here: <https://eservices.scottsdaleaz.gov/bldgresources/Cases/Details/53744>

Respectfully,

Rebecca Kurth

Rebecca Kurth | Management Assistant to Mayor & City Council

City of Scottsdale | Office of Mayor David D. Ortega
480.312.7977 | rkurth@scottsdaleaz.gov

From: Jim Bloch <jgbloch@gmail.com>
Sent: Tuesday, October 18, 2022 10:17 AM
To: City Council <CityCouncil@scottsdaleaz.gov>
Subject: 9400 Village and 92 Mercado Courtyards. Gold Dust, Optima

⚠ External Email: Please use caution if opening links or attachments!

We understand these projects are scheduled to go before the council in the next 2 months for approval. We urge you, our representatives to heed the words and the votes of your constituencies. The voters in August clearly spoke loudly that they do not want unbridled and excessive development, as the 3 pro growth at any cost candidates were the lowest vote gatherers. These projects are not good for our city, they are too large, they will create more traffic to areas already over trafficked, and do not help to solve the problem of affordable housing, so local employees can be local residents.

Jim Bloch

From: [Ruenger, Jeffrey](#)
To: [Barnes, Jeff](#)
Subject: RE: 92nd and Shea and 94th and Shea
Date: Monday, September 19, 2022 10:37:16 AM

lizabeth_congiusti@yahoo.com

From: NoReply <NoReply@Scottsdaleaz.gov>
Sent: Monday, September 19, 2022 3:49 AM
To: Projectinput <Projectinput@Scottsdaleaz.gov>
Subject: 92nd and Shea and 94th and Shea

[City of Scottsdale](#)



Please do not allow these projects to move forward! The area is currently a traffic nightmare, current water resources are challenging, please help us understand how bringing more people to a current highly populated area helps those of us to live here now! Vote No ! -- sent by Lizbeth Cong (case# 8-ZN-2022)

From: [Kurth, Rebecca](#)
To: [Charles Dozier](#); [City Council](#)
Cc: [Barnes, Jeff](#)
Subject: RE: Proposal for 92nd Street Shea Rezoning - 94 HUNDRED SHEA - THE VILLAGE Development 3-GP-2022 & 8-ZN-2022
Date: Thursday, July 28, 2022 9:27:11 AM

Good Morning Mr. Dozier,

Thank you for emailing City Council with your input prior to the discussion on this topic. Senior Planner Jeff Barnes is copied on this email and will include your comments in the case file.

Respectfully,

Rebecca Kurth
Management Assistant to the Mayor and City Council Office of Mayor David D. Ortega
3939 N. Drinkwater Blvd
Scottsdale, AZ 85251
Phone: 480.312.7977
Email: RKurth@ScottsdaleAZ.gov

From: Charles Dozier <cldozier@cox.net>
Sent: Thursday, July 28, 2022 8:47 AM
To: City Council <CityCouncil@scottsdaleaz.gov>
Subject: Proposal for 92nd Street Shea Rezoning - 94 HUNDRED SHEA - THE VILLAGE Development 3-GP-2022 & 8-ZN-2022

⚠ External Email: Please use caution if opening links or attachments!

Dear Sir or Madam,

Regarding the upcoming 3-GP-2022 & 8-ZN-2022, I want to express my opposition to the proposed amendment to the General Plan (Resolution No. 12210) and proposed re-zoning (Ordinance No. 4511) in the vicinity of Shea Blvd. and 92nd Street. **Please attach this e-mail to the report** associated with these proposals and upcoming Scottsdale City Council vote on February 22nd, 2021. Traffic congestion on Shea Blvd., and now Via Linda Road is some of the worst in Scottsdale – rivaling the traffic congestion seen on FLW. This has led to many accidents in this area, but also have made the area inhospitable to pedestrian and cycling traffic. As a resident who lives nearby these developments, this traffic congestion has already altered my behavior causing me to feel unsafe at times crossing these streets on foot or bicycle. Adding more congestion to this area will only make this worse and detract from the quality of life in this part of Scottsdale. Furthermore, I am shocked to learn that this particular corridor on Shea Blvd & 92nd Street is considered to be a “growth area” by the city of Scottsdale in the new proposed GP 2035, even calling it an “Urban Character Type” with no limits on density. This is nonsensical given the existing high traffic and congestion experienced in this area. Why is there no density limit and why is this region on

Shea considered an Urban Character Type Growth Area? Nearby residents do NOT want this area to be turned into an urban region with high density apartments. I have seen first-hand so many accidents here and it is horrific every time. Riding my bicycle has gotten more and more scary the past few years here because of the increased traffic congestion. Making this amendment to the general plan to change zoning here and building these apartments here will only make this worse. With regard to a lack of diversity of housing, to me this is a false argument. We live in the 5th largest city (Metro Phoenix and suburbs including Scottsdale) in the United States. Like any large city, there are more affordable places to live and more costly places to live. I don't buy the argument that workers need to live 1 mile from where they work. It just doesn't happen in practice. What I observe is that most workers in and around Phoenix can drive to work in 30 minutes or less (most in only 15-20 minutes). I sincerely doubt this is the case in other major cities in the top 5 as most of them have 1 hour commutes or more. We are lucky to live in a large, flat valley that makes it easy to commute to work. Also, these are luxury apartments that are being built and NOT affordable housing so how does allowing this development improve the diversity of housing options? In addition, given the recent worsening of the persistent 20+ year drought that we find ourselves in, I want to challenge Scottsdale's city council to seriously re-think the planning behind all developments to ensure they are smart at addressing the needs of the local community while also ensuring a long lasting future. I do question how a denser development like this makes sense given our present water situation. Please re-consider and listen to the residents nearby, like myself, who know this particular corner of Scottsdale and don't want this rezoning and development to occur on these parcels. I am not against growth and development, but I do strongly oppose this particular development that is under consideration as it significantly increases density in an already crowded and congested neighborhood. **Again please include my feedback above in the record related to "Proposal for 92nd Street Shea Rezoning - 94 HUNDRED SHEA - THE VILLAGE Development Requests".**

Sincerely,
Charles L. Dozier
9922 E. Doubletree Ranch Road
Scottsdale, AZ 85258

From: [Kurth, Rebecca](#)
To: [Chuckf814](#); [City Council](#)
Cc: [Barnes, Jeff](#)
Subject: RE: 9200 Village and 9400 Mercado Courtyard proposed apartments
Date: Tuesday, October 18, 2022 11:38:30 AM

Good Morning Mr. Ferrara,

Thank you for emailing Mayor Ortega and City Council with your input on the Mercado Courtyards case, 12-ZN-2022 and 6-GP-2022, and The Village case, 8-ZN-2022 and 3-GP-2022. I have copied Jeff Barnes the staff project coordinator on both projects and he will include your comments in the case files.

For more information on the Mercado Courtyards case, 12-ZN-2022, the case info sheet can be found here: <https://eservices.scottsdaleaz.gov/bldgresources/Cases/Details/53893>

For more information on The Village case, 8-ZN-2022, the case info sheet can be found here: <https://eservices.scottsdaleaz.gov/bldgresources/Cases/Details/53744>

Respectfully,

Rebecca Kurth

Rebecca Kurth | Management Assistant to Mayor & City Council
City of Scottsdale | Office of Mayor David D. Ortega
480.312.7977 | rkurth@scottsdaleaz.gov

From: Chuckf814 <chuckf814@gmail.com>
Sent: Tuesday, October 18, 2022 11:28 AM
To: City Council <CityCouncil@scottsdaleaz.gov>
Subject: 9200 Village and 9400 Mercado Courtyard proposed apartments

⚠ External Email: Please use caution if opening links or attachments!

Dear City Council:

Please reject these two apartment complexes. Our city cannot have the level of developer greed for these buildings in our city. It is saturated already. We do NOT want a highly congested urban setting in Scottsdale. Please vote NO

Thank you
Charles Ferrara

From: [Kurth, Rebecca](#)
To: [Cheryl Golden](#)
Cc: [Barnes, Jeff](#)
Subject: RE: 9400 Village and 92 Mercado Courtyards, etc.
Date: Tuesday, October 18, 2022 3:01:42 PM

Good Afternoon Ms. Golden,

Thank you for emailing Mayor Ortega and City Council with your input on the Mercado Courtyards case, 12-ZN-2022 and 6-GP-2022, and The Village case, 8-ZN-2022 and 3-GP-2022. I have copied Jeff Barnes the staff project coordinator on both projects and he will include your comments in the case files.

For more information on the Mercado Courtyards case, 12-ZN-2022, the case info sheet can be found here: <https://eservices.scottsdaleaz.gov/bldgresources/Cases/Details/53893>

For more information on The Village case, 8-ZN-2022, the case info sheet can be found here: <https://eservices.scottsdaleaz.gov/bldgresources/Cases/Details/53744>

Respectfully,

Rebecca Kurth

Rebecca Kurth | Management Assistant to Mayor & City Council

City of Scottsdale | Office of Mayor David D. Ortega
480.312.7977 | rkurth@scottsdaleaz.gov

From: Cheryl Golden <rougeg227@yahoo.com>
Sent: Tuesday, October 18, 2022 2:51 PM
To: City Council <CityCouncil@scottsdaleaz.gov>
Subject: 9400 Village and 92 Mercado Courtyards, etc.

⚠ External Email: Please use caution if opening links or attachments!

Dear Council Members,

I read an article about the water crisis in Rio Verde this morning. Can you imagine all residents being told their water will be turned off on December 31, 2022 and not having options? So who's to blame for this horrific turn of events?

Unfortunately there was no law stating it was a requirement to tell people moving or building in this unincorporated area what the water resources were that supplied that area. The only way someone would know was to ask and hopefully they were told the truth. Well, now they're in the worst position they could be in.

We, in Scottsdale, are asking the same question and we're not comfortable

with the responses we're hearing. There's a potential plight happening just North of us and here in Scottsdale we're just building and building and building like there's not a problem to consider with all this growth. Why not try and help save our neighbors and our City at the same time instead of adding horrible congestion, added crime and destruction to our once "Most Livable City" ...

You're not listening to your constituents and we're not comfortable to believe we have enough resources for the increased population you're planning. Maybe we're not being told everything because we don't know all the questions to ask. When I asked the question I was told we wouldn't be building unless we could guarantee at least 100 years of water access. I really don't know if that holds any weight today as it apparently did just recently in the minds of some serving on our City Council. How quickly things change!!

Respectfully,

Cheryl Golden

From: [Kurth, Rebecca](#)
To: [Jim Krimbill](#)
Cc: [Barnes, Jeff](#)
Subject: RE: 9400 Village & 92 Mercado Courtyards No
Date: Tuesday, October 18, 2022 10:29:52 AM
Attachments: [image018.png](#)

Good Morning Mr. Krimbill,

Thank you for emailing Mayor Ortega and City Council with your input on the Mercado Courtyards case, 12-ZN-2022 and 6-GP-2022, and The Village case, 8-ZN-2022 and 3-GP-2022. I have copied Jeff Barnes the staff project coordinator on both projects and he will include your comments in the case files.

For more information on the Mercado Courtyards case, 12-ZN-2022, the case info sheet can be found here: <https://eservices.scottsdaleaz.gov/bldgresources/Cases/Details/53893>

For more information on The Village case, 8-ZN-2022, the case info sheet can be found here: <https://eservices.scottsdaleaz.gov/bldgresources/Cases/Details/53744>

Respectfully,

Rebecca Kurth

Rebecca Kurth | Management Assistant to Mayor & City Council

City of Scottsdale | Office of Mayor David D. Ortega
480.312.7977 | rkurth@scottsdaleaz.gov

From: Jim Krimbill <JKrimbill@dmbclubs.com>
Sent: Tuesday, October 18, 2022 10:13 AM
To: City Council <CityCouncil@scottsdaleaz.gov>
Subject: 9400 Village & 92 Mercado Courtyards No

⚠ External Email: Please use caution if opening links or attachments!

Dear City Council,

Please shut down and say no to the proposed apartments in the Shea Road Corridor. The apartments will increase traffic, strain resources, increase crime, and will bring down property value. Having green areas, space, and appropriate population density is a balance. Please vote no on allowing apartments to be built.

Jim Krimbill | General Manager | USPTA Master Professional & Pickleball Certified
DC Ranch Village Health Clubs & Spas | P 480.502.8844



From: [Kurth, Rebecca](#)
To: [Barnes, Jeff](#)
Subject: FW: 9400 Village and 92 Mercado Courtyards - Scottsdale does not need Urbanization
Date: Tuesday, October 18, 2022 9:07:44 AM

From: Kurth, Rebecca <RKurth@Scottsdaleaz.gov>
Sent: Tuesday, October 18, 2022 9:07 AM
To: Thomas Kube <tkube@kubeco.com>; City Council <CityCouncil@scottsdaleaz.gov>
Cc: Whitehead, Solange <SWhitehead@Scottsdaleaz.gov>; Littlefield, Kathy <KLittlefield@Scottsdaleaz.gov>
Subject: RE: 9400 Village and 92 Mercado Courtyards - Scottsdale does not need Urbanization

Good Morning Mr. Kube,

Thank you for emailing Mayor Ortega and City Council with your input on the Mercado Courtyards case, 12-ZN-2022 and 6-GP-2022, and The Village case, 8-ZN-2022 and 3-GP-2022. I have copied Jeff Barnes the staff project coordinator on both projects and he will include your comments in the case files.

For more information on the Mercado Courtyards case, 12-ZN-2022, the case info sheet can be found here: <https://eservices.scottsdaleaz.gov/bldgresources/Cases/Details/53893>

For more information on The Village case, 8-ZN-2022, the case info sheet can be found here: <https://eservices.scottsdaleaz.gov/bldgresources/Cases/Details/53744>

Respectfully,

Rebecca Kurth

Rebecca Kurth | Management Assistant to Mayor & City Council

City of Scottsdale | Office of Mayor David D. Ortega
480.312.7977 | rkurth@scottsdaleaz.gov

From: Thomas Kube <tkube@kubeco.com>
Sent: Tuesday, October 18, 2022 8:59 AM
To: City Council <CityCouncil@scottsdaleaz.gov>
Cc: Whitehead, Solange <SWhitehead@Scottsdaleaz.gov>; Littlefield, Kathy <KLittlefield@Scottsdaleaz.gov>
Subject: 9400 Village and 92 Mercado Courtyards - Scottsdale does not need Urbanization

⚠ External Email: Please use caution if opening links or attachments!

To the Members of the Scottsdale City Council,

I write to you, as many other have done so, to oppose these massive apartment complexes and to ask each of you to vote to deny these rezoning application Please do not permit either of these projects to move forward.

I have now attended several of the recent open houses, sponsored by the owners and developers of the properties for the 9400 Village and the 92 Mercado Courtyard Units, and was aghast that nearly 500 “Luxury” and “Affordable” housing units were planned for development and construction between these two projects. At each community meeting, the opposition to these projects and what they mean for Scottsdale was overwhelming. Many of the City Council members were in attendance and observed this first-hand.

At each meeting, and consistently, the hosts of the projects were evasive and were not willing to provide adequate answers to the questions and concerns of those in attendance. One has to ask, “In this real estate market, what developer is going to build apartments that are not priced at rates that offer the highest return?” Thus the illusion of affordability will vanish once these are constructed. And, the narrative that these are for medical workers at Honor Health and first responders so as they can live and work in Scottsdale is a falsehood.

Why should Scottsdale sacrifice its quality of life and the enjoyment that its residents currently experience for something that will bring traffic, congestion, increased crime and other ill effects for the profit of the developer. The current owners acquired this property as Commercially Zoned Land and it should remain so. Why do we need to cram this project into a corridor that is already a busy east-west thoroughfare?

Furthermore, the recent disclosure of the joint ASU/Scottsdale Study reveals [*and yet the city is not disseminating this information*] that that these large apartment projects significantly contribute the “Heat Island Effect” seems to be ignored. In this time of both drought and “Climate Change” crises it seems counter intuitive to allow these projects to continually be brought forward as if to grind the City Council down until an approval is granted. How many times can the residents say no and the City Council hear that message and take action to deny these applications?

Scottsdale is a community that was touted for its desert vistas and being the “*West’s Most Western Town*”, and until recent years had kept height and urban sprawl to a minimum. We do not need the Shea Blvd corridor to resemble the West side of Scottsdale Road that falls in the boundaries of Phoenix. Just drive Scottsdale Road a short distance north from Cactus Road to FLW Blvd to see how the character of the area changed from Suburban neighborhood to urban canyon sprawl. Apparently, Phoenix has approved yet another huge apartment project adjacent to Kierland Commons. Why can’t Scottsdale stay a residential suburban community as it was intended.

At the very least, this project will significantly contribute to added traffic in an already busy and congested corridor. Please keep Scottsdale the community that its residents elected you maintain. Many of you campaigned on maintaining the character and lifestyle that Scottsdale affords its residents. Please keep your promise to do so.

I do not need to repeat the arguments that many others will offer in opposition to this project. Simply put, this is not congruent with what Scottsdale needs as it plans for the future.

Thank you for the opportunity to have my views on this matter considered.

Sincerely,

Thomas A. Kube
12740 East Sunnyside Drive, Suite 100
Scottsdale, AZ 85259
(480) 227-6025

From: [Ruenger, Jeffrey](#)
To: [Barnes, Jeff](#)
Subject: FW: 92nd street, 8-zn -2022
Date: Monday, July 25, 2022 9:32:02 AM

-----Original Message-----

From: rohns@rohnaz.com <rohns@rohnaz.com>
Sent: Friday, July 22, 2022 7:48 PM
To: Planning Customer Relations <PlanningInfo@scottsdaleaz.gov>
Subject: 92nd street, 8-zn -2022

External Email: Please use caution if opening links or attachments!

I am opposed, again, to what appears to be a perpetual barrage of rezoning requests for this property.

It has already been declined, why does the city have to put up with this constant rezoning request?

I really don't care what the developer's issue is, they bought commercial property and it's zoned for what they bought it for, not some get rich quick scheme at the expense of everyone else.

The escalating traffic issues in this area should be enough to say no to further development.

What really should happen is that a moratorium on high density housing be declared citywide for a couple years until the water issue can be resolved

Jim Rohn
8601 East Sutton Drive
85260

From: [Kurth, Rebecca](#)
To: jsuliere1@gmail.com
Cc: [Barnes, Jeff](#)
Subject: RE: 9200 Village and 9400 Mercado Courtyard proposed apartments
Date: Tuesday, October 18, 2022 9:07:34 AM

Good Morning Ms. Suliere,

Thank you for emailing Mayor Ortega and City Council with your input on the Mercado Courtyards case, 12-ZN-2022 and 6-GP-2022, and The Village case, 8-ZN-2022 and 3-GP-2022. I have copied Jeff Barnes the staff project coordinator on both projects and he will include your comments in the case files.

For more information on the Mercado Courtyards case, 12-ZN-2022, the case info sheet can be found here: <https://eservices.scottsdaleaz.gov/bldgresources/Cases/Details/53893>

For more information on The Village case, 8-ZN-2022, the case info sheet can be found here: <https://eservices.scottsdaleaz.gov/bldgresources/Cases/Details/53744>

Respectfully,

Rebecca Kurth

Rebecca Kurth | Management Assistant to Mayor & City Council

City of Scottsdale | Office of Mayor David D. Ortega
480.312.7977 | rkurth@scottsdaleaz.gov

From: jsuliere1@gmail.com <jsuliere1@gmail.com>
Sent: Tuesday, October 18, 2022 8:32 AM
To: City Council <CityCouncil@scottsdaleaz.gov>
Subject: 9200 Village and 9400 Mercado Courtyard proposed apartments

⚠ External Email: Please use caution if opening links or attachments!

Dear City Council: Please reject these two apartment complexes. Our city cannot have the level of developer greed for these buildings in our city. It is saturated already. We do NOT want a highly congested urban setting in Scottsdale.

We have water shortage issues and traffic issues, not to mention the residential communities throughout Scottsdale are being squeezed it by these MONSTROUS buildings.

Please vote NO.

Jeanne Suliere

A concerned citizen and homeowner

Sent from App for Gmail

From: [Kurth, Rebecca](#)
To: [David R Bornemann](#)
Cc: [Barnes, Jeff](#)
Subject: RE: Scottsdale is under attack by developers
Date: Wednesday, October 19, 2022 1:28:54 PM

Good Afternoon Mr and Mrs. Bornemann,

Thank you for emailing Mayor Ortega and City Council with your input on the Mercado Courtyards case, 12-ZN-2022 and 6-GP-2022, and The Village case, 8-ZN-2022 and 3-GP-2022. I have copied Jeff Barnes the staff project coordinator on both projects and he will include your comments in the case files.

For more information on the Mercado Courtyards case, 12-ZN-2022, the case info sheet can be found here: <https://eservices.scottsdaleaz.gov/bldgresources/Cases/Details/53893>

For more information on The Village case, 8-ZN-2022, the case info sheet can be found here: <https://eservices.scottsdaleaz.gov/bldgresources/Cases/Details/53744>

Respectfully,

Rebecca Kurth

Rebecca Kurth | Management Assistant to Mayor & City Council

City of Scottsdale | Office of Mayor David D. Ortega
480.312.7977 | rkurth@scottsdaleaz.gov

From: David R Bornemann <dbornemann@earthlink.net>
Sent: Wednesday, October 19, 2022 11:31 AM
To: City Council <CityCouncil@scottsdaleaz.gov>
Subject: Scottsdale is under attack by developers

⚠ External Email: Please use caution if opening links or attachments!

We are writing because we **DO NOT SUPPORT** the proposed apartments slated in Scottsdale, especially along the Shea corridor and for the following reason:

- The increased demand for water that is already in short supply for the current residents of Scottsdale. Why should current Scottsdale residents be forced to face water rations, just so developers can make money?

- The increased traffic on Shea Blvd, especially the 101/Shea. The increase in traffic will increase the risk of car accidents, increase the cost for road maintenance and ultimately tax increases for Scottsdale residents.
- Cramming so many apartment units into one small area, is dangerous, irresponsible and shows lack of respect for the homeowners in the affected Scottsdale neighborhoods.
- Scottsdale is known for its open space and low-rise buildings. Having multi-story apartment units will obscure homeowner views, some of which paid premium prices for and will increase the risk for low flying aircraft that fly in/out of the Scottsdale Airpark.
- Scottsdale's charm will be forever changed with tall and dense "concrete jungles" amongst the single-family homes and quiet neighborhoods.
- "Concrete Jungle's" will only add to the already scorching summer heat temperatures.

We ask that the Scottsdale City Council listen to the residents of Scottsdale and **STOP** the developers from changing the charm of Scottsdale forever and allowing it to become another Los Angeles.

--

Sincerely, Vita and David Bornemann, 5555 E McDonald Drive 85253

From: [Kurth, Rebecca](#)
To: [Juli Feinberg](#)
Cc: [Barnes, Jeff](#); [Cluff, Bryan](#)
Subject: RE: Gold Dust Apartments, 9400 Village, 92 Mercado Courtyard
Date: Wednesday, October 19, 2022 2:46:15 PM

Good Afternoon Ms. Feinberg,

Thank you for emailing Mayor Ortega and City Council with your input on the Mercado Courtyards case, 12-ZN-2022 and 6-GP-2022, The Village case, 8-ZN-2022 and 3-GP-2022, and The High Street Residential case, 4-ZN-2022 and 2-GP-2022. I have copied Jeff Barnes and Bryan Cluff the staff project coordinators on these projects and they will include your comments in the case files.

For more information on the Mercado Courtyards case, 12-ZN-2022, the case info sheet can be found here: <https://eservices.scottsdaleaz.gov/bldgresources/Cases/Details/53893>

For more information on The Village case, 8-ZN-2022, the case info sheet can be found here: <https://eservices.scottsdaleaz.gov/bldgresources/Cases/Details/53744>

For more information on The High Street Residential case, 4-ZN-2022, the case info sheet can be found here:

<https://eservices.scottsdaleaz.gov/bldgresources/Cases/Details/53367>

Respectfully,

Rebecca Kurth

Rebecca Kurth | Management Assistant to Mayor & City Council

City of Scottsdale | Office of Mayor David D. Ortega
480.312.7977 | rkurth@scottsdaleaz.gov

From: Juli Feinberg <julif@jclam.com>
Sent: Wednesday, October 19, 2022 2:29 PM
To: City Council <CityCouncil@scottsdaleaz.gov>
Subject: Gold Dust Apartments, 9400 Village, 92 Mercado Courtyard

⚠ External Email: Please use caution if opening links or attachments!

Dear City Council,

I am writing you to make sure you vote a resounding NO for these projects

Gold Dust apartments
9400 Village
92 Mercado Courtyards

They will only increase the already impacted traffic that is very evident and will only increase traffic

accidents. Right now the Shea corridor is like a freeway as no one pays attention and drives to fast. This additional traffic and cars will impact the streets and we will have serious backups on Shea, Mountainview, 92nd, 90th st . Residents are against this additional and unnecessary traffic that would be deriving from these units.

Water is a very serious issue and I am surprised that a city council would even think of approving additional units when we are in a serious 20 year drought and one that is only going to get worse in terms of water usage by residents in Scottsdale. We are in a level 2 and the water department is speaking we could be at level 3 which would cause major restrictions in water usage. We certainly do not need over 700 + new users added to the already endangered water issue.

The residents of Scottsdale want the Shea corridor to remain with the suburban character we moved here for and love. We do not want this area turned into a cement city and will also increase the level of heat generated off of these buildings and cause additional high temps

You were voted in by the residents to protect the residents of Scottsdale and NOT support the developers. The developers only have one thing in mind, developers, get their money and move on . The residents will be left with the mess.

You are very aware that the residents do not want these developments. As elected by us you should do your job and vote no for these units. Anyone who votes for these units we will insure you are not re-elected.

Juli Feinberg
PC Dist 3
concerned resident

From: [Kurth, Rebecca](mailto:Kurth.Rebecca)
To: Gailgolecusa@gmail.com
Cc: [Barnes, Jeff](#); [Cluff, Bryan](#)
Subject: RE: :Please do not approve the zoning applications for these 3 projects (Gold Dust, Mercado Courtyards and Village at 9400).
Date: Wednesday, October 19, 2022 1:44:12 PM

Good Afternoon Ms. Golec,

Thank you for emailing Mayor Ortega and City Council with your input on the Mercado Courtyards case, 12-ZN-2022 and 6-GP-2022, The Village case, 8-ZN-2022 and 3-GP-2022, and The High Street Residential case, 4-ZN-2022 and 2-GP-2022. I have copied Jeff Barnes and Bryan Cluff the staff project coordinators on these projects and they will include your comments in the case files.

For more information on the Mercado Courtyards case, 12-ZN-2022, the case info sheet can be found here: <https://eservices.scottsdaleaz.gov/bldgresources/Cases/Details/53893>

For more information on The Village case, 8-ZN-2022, the case info sheet can be found here: <https://eservices.scottsdaleaz.gov/bldgresources/Cases/Details/53744>

For more information on The High Street Residential case, 4-ZN-2022, the case info sheet can be found here:

<https://eservices.scottsdaleaz.gov/bldgresources/Cases/Details/53367>

Respectfully,

Rebecca Kurth

Rebecca Kurth | Management Assistant to Mayor & City Council

City of Scottsdale | Office of Mayor David D. Ortega

480.312.7977 | rkurth@scottsdaleaz.gov

From: gailgolecusa@gmail.com <gailgolecusa@gmail.com>

Sent: Wednesday, October 19, 2022 1:40 PM

To: City Council <CityCouncil@scottsdaleaz.gov>

Subject: :Please do not approve the zoning applications for these 3 projects (Gold Dust, Mercado Courtyards and Village at 9400).

⚠ External Email: Please use caution if opening links or attachments!

Dear City Council members,

I am asking you to reject the zoning applications for the 3 proposed apartment projects (Gold Dust apts, Mercado Courtyards, Village 9400) along the Shea corridor. If they are approved, this will set a dangerous precedent and will lead to the ruining of our suburban lifestyle.

Shea Blvd and Scottsdale Road are already over crowded and what about the looming water shortage.

Please listen to the residents and stop adding high density apartments along the Shea corridor.

Thank you,

Gail Golec
Precinct Committeewoman

From: [Kurth, Rebecca](#)
To: [sheri lopez](#)
Cc: [Barnes, Jeff](#)
Subject: RE: Gold Dust Apts, 9400 Village, and Mercado Courtyards.
Date: Wednesday, October 19, 2022 1:24:55 PM

Good Afternoon,

Thank you for emailing Mayor Ortega and City Council with your input on the Mercado Courtyards case, 12-ZN-2022 and 6-GP-2022, and The Village case, 8-ZN-2022 and 3-GP-2022. I have copied Jeff Barnes the staff project coordinator on both projects and he will include your comments in the case files.

For more information on the Mercado Courtyards case, 12-ZN-2022, the case info sheet can be found here: <https://eservices.scottsdaleaz.gov/bldgresources/Cases/Details/53893>

For more information on The Village case, 8-ZN-2022, the case info sheet can be found here: <https://eservices.scottsdaleaz.gov/bldgresources/Cases/Details/53744>

Respectfully,

Rebecca Kurth

Rebecca Kurth | Management Assistant to Mayor & City Council

City of Scottsdale | Office of Mayor David D. Ortega
480.312.7977 | rkurth@scottsdaleaz.gov

From: sheri lopez <phxlasden@yahoo.com>
Sent: Wednesday, October 19, 2022 8:44 AM
To: City Council <CityCouncil@scottsdaleaz.gov>
Subject: Gold Dust Apts, 9400 Village, and Mercado Courtyards.

⚠ External Email: Please use caution if opening links or attachments!

I am writing because I **DO NOT SUPPORT** the proposed apartments slated in Scottsdale, especially along the Shae corridor and for the following reason:

- The increased demand for water that is already in short supply for the current residents of Scottsdale. Why should current Scottsdale residents be forced to face water rations, just so developers can make money?
- The increased traffic on Shae Blvd, especially the 101/Shae. The increase in traffic will increase the risk of car accidents, increase the cost for road maintenance and ultimately tax increases for Scottsdale residents.
- Cramming so many apartment units into one small area is dangerous, irresponsible and shows lack of respect for the homeowners in the affected Scottsdale neighborhoods.

- Scottsdale is known for its open space and low-rise buildings. Having multi-story apartment units will obscure homeowner views, some of which paid premium prices for and will increase the risk for low flying aircraft that fly in/out of the Scottsdale Airpark.
- Scottsdale's charm will be forever changed with tall and dense "concrete jungles" amongst the single-family homes and quiet neighborhoods.
- "Concrete Jungle's" will only add to the already scorching summer heat temperatures.

I ask that the Scottsdale City Council listen to the residents of Scottsdale and **STOP** the developers from changing the charm of Scottsdale forever and allowing it to become another Los Angeles.

From: [Kurth, Rebecca](#)
To: [carol rose](#)
Cc: [Barnes, Jeff](#)
Subject: RE: Apartments in the Shea corridor
Date: Wednesday, October 19, 2022 1:25:14 PM

Good Afternoon,

Thank you for emailing Mayor Ortega and City Council with your input on the Mercado Courtyards case, 12-ZN-2022 and 6-GP-2022, and The Village case, 8-ZN-2022 and 3-GP-2022. I have copied Jeff Barnes the staff project coordinator on both projects and he will include your comments in the case files.

For more information on the Mercado Courtyards case, 12-ZN-2022, the case info sheet can be found here:

<https://eservices.scottsdaleaz.gov/bldgresources/Cases/Details/53893>

For more information on The Village case, 8-ZN-2022, the case info sheet can be found here:

<https://eservices.scottsdaleaz.gov/bldgresources/Cases/Details/53744>

Respectfully,

Rebecca Kurth

Rebecca Kurth | Management Assistant to Mayor & City Council
City of Scottsdale | Office of Mayor David D. Ortega
480.312.7977 | rkurth@scottsdaleaz.gov

-----Original Message-----

From: carol rose <desertrose8891@yahoo.com>
Sent: Tuesday, October 18, 2022 7:38 PM
To: City Council <CityCouncil@scottsdaleaz.gov>
Subject: Apartments in the Shea corridor

External Email: Please use caution if opening links or attachments!

I am sending this email as my opposition to the construction of a 715 unit apartment complex in the Shea corridor. The area is already overly congested with traffic and it will only get worse. I am also concerned about the infrastructure and water supply. There is way too much building going on in Scottsdale. I don't understand why running out of water isn't a concern. I believe if there was a vote on this project residents of this area would vote it down. You need to listen to us.

This needs to stop

Sent from my iPad

From: [Kurth, Rebecca](#)
To: [Dena Rugel](#)
Cc: [Barnes, Jeff](#)
Subject: RE: NO to the Gold Dust Apts, 9400 Village, and Mercado Courtyards.
Date: Wednesday, October 19, 2022 1:26:29 PM

Good Afternoon Mr. and Mrs. Rugel,

Thank you for emailing Mayor Ortega and City Council with your input on the Mercado Courtyards case, 12-ZN-2022 and 6-GP-2022, and The Village case, 8-ZN-2022 and 3-GP-2022. I have copied Jeff Barnes the staff project coordinator on both projects and he will include your comments in the case files.

For more information on the Mercado Courtyards case, 12-ZN-2022, the case info sheet can be found here: <https://eservices.scottsdaleaz.gov/bldgresources/Cases/Details/53893>

For more information on The Village case, 8-ZN-2022, the case info sheet can be found here: <https://eservices.scottsdaleaz.gov/bldgresources/Cases/Details/53744>

Respectfully,

Rebecca Kurth

Rebecca Kurth | Management Assistant to Mayor & City Council

City of Scottsdale | Office of Mayor David D. Ortega
480.312.7977 | rkurth@scottsdaleaz.gov

From: Dena Rugel <dmrugel@aol.com>
Sent: Wednesday, October 19, 2022 10:06 AM
To: City Council <CityCouncil@scottsdaleaz.gov>
Subject: NO to the Gold Dust Apts, 9400 Village, and Mercado Courtyards.

⚠ External Email: Please use caution if opening links or attachments!

Scottsdale City Council,

I am writing because I **DO NOT SUPPORT** the proposed apartments slated in Scottsdale, especially along the Shea corridor for the following reasons:

- The increased demand for water that is already in short supply for the current residents of Scottsdale. Why should current Scottsdale residents be forced to face water rations, just so developers can make money?
- The increased traffic on Shea Blvd, especially the 101/Shea. The increase in traffic will increase the risk of car accidents, increase the cost for road

maintenance and ultimately tax increases for Scottsdale residents.

- Cramming so many apartment units into one small area, is dangerous, irresponsible and shows lack of respect for the homeowners in the affected Scottsdale neighborhoods.
- Scottsdale is known for its open space and low-rise buildings. Having multi-story apartment units will obscure homeowner views, some of which paid premium prices for and will increase the risk for low flying aircraft that fly in/out of the Scottsdale Airpark.
- Scottsdale's charm will be forever changed with tall and dense "concrete jungles" amongst the single-family homes and quiet neighborhoods.
- "Concrete Jungles" will only add to the already scorching summer heat temperatures.

I ask that the Scottsdale City Council listen to the residents of Scottsdale and **STOP** the developers from changing the charm of Scottsdale forever and allowing it to become another Los Angeles.

Sincerely,
Gary & Dena Rugel
32649 N. 68th Pl.

Sent from my iPad

From: [Kurth, Rebecca](#)
To: [tami smith](#)
Cc: [Barnes, Jeff](#)
Subject: RE: Proposal for 715 Apts along the Shea Corridor
Date: Wednesday, October 19, 2022 1:36:59 PM

Good Afternoon Ms. Smith,

Thank you for emailing Mayor Ortega and City Council with your input on the Mercado Courtyards case, 12-ZN-2022 and 6-GP-2022, and The Village case, 8-ZN-2022 and 3-GP-2022. I have copied Jeff Barnes the staff project coordinator on both projects and he will include your comments in the case files.

For more information on the Mercado Courtyards case, 12-ZN-2022, the case info sheet can be found here: <https://eservices.scottsdaleaz.gov/bldgresources/Cases/Details/53893>

For more information on The Village case, 8-ZN-2022, the case info sheet can be found here: <https://eservices.scottsdaleaz.gov/bldgresources/Cases/Details/53744>

Respectfully,

Rebecca Kurth

Rebecca Kurth | Management Assistant to Mayor & City Council

City of Scottsdale | Office of Mayor David D. Ortega
480.312.7977 | rkurth@scottsdaleaz.gov

From: tami smith <tamiangelsmith@gmail.com>
Sent: Wednesday, October 19, 2022 10:34 AM
To: City Council <CityCouncil@scottsdaleaz.gov>
Subject: Proposal for 715 Apts along the Shea Corridor

⚠ External Email: Please use caution if opening links or attachments!

Mayor, Council Members and Staff, first -- thank you for your service to our city.

We are at a critical point that must be attended to. We need to manage our current resources before we allow thousands of new residents in new apartments.

For several reasons, we do not want 715 more apartments in my neighborhood to the north.

Our Police Dept is seriously understaffed, putting us all at risk. Unacceptable.

The children are underperforming in our schools. Unacceptable.

Our social service departments are not yet fully open, apparently due to covid concerns (?).
Unacceptable.

We need to conserve our water.

There is already too much traffic on Shea Blvd.

And more.....

Please stop this high density agenda.

Thank you.

Tami Smith

Scottsdale Resident

From: [Kurth, Rebecca](#)
To: [Carol Smith Henry](#)
Cc: [Barnes, Jeff](#)
Subject: RE: NO to the Gold Dust Apts, 9400 Village, and Mercado Courtyards.
Date: Wednesday, October 19, 2022 1:25:53 PM

Good Afternoon Ms. Smith Henry,

Thank you for emailing Mayor Ortega and City Council with your input on the Mercado Courtyards case, 12-ZN-2022 and 6-GP-2022, and The Village case, 8-ZN-2022 and 3-GP-2022. I have copied Jeff Barnes the staff project coordinator on both projects and he will include your comments in the case files.

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Respectfully,

Rebecca Kurth

Rebecca Kurth | Management Assistant to Mayor & City Council

City of Scottsdale | Office of Mayor David D. Ortega
480.312.7977 | rkurth@scottsdaleaz.gov

From: Carol Smith Henry <carolsmithhenry@cox.net>
Sent: Wednesday, October 19, 2022 10:30 AM
To: City Council <CityCouncil@scottsdaleaz.gov>
Subject: NO to the Gold Dust Apts, 9400 Village, and Mercado Courtyards.

⚠ External Email: Please use caution if opening links or attachments!

I am writing because I **DO NOT SUPPORT** the proposed apartments slated in Scottsdale, especially along the Shae corridor and for the following reason:

- The increased demand for water that is already in short supply for the current residents of Scottsdale. Why should current Scottsdale residents be forced to face water rations, just so developers can make money?
- The increased traffic on Shae Blvd, especially the 101/Shae. The increase in traffic will increase the risk of car accidents, increase the cost for road maintenance and ultimately tax increases for Scottsdale residents.
- Cramming so many apartment units into one small area, is dangerous, irresponsible and shows lack of respect for the homeowners in the affected Scottsdale neighborhoods.
- Scottsdale is known for its open space and low-rise buildings. Having multi-story

apartment units will obscure homeowner views, some of which paid premium prices for and will increase the risk for low flying aircraft that fly in/out of the Scottsdale Airpark.

- Scottsdale's charm will be forever changed with tall and dense "concrete jungles" amongst the single-family homes and quiet neighborhoods.
- "Concrete Jungle's" will only add to the already scorching summer heat temperatures.

I ask that the Scottsdale City Council listen to the residents of Scottsdale and **STOP** the developers from changing the charm of Scottsdale forever and allowing it to become another Los Angeles.