

HISTORIC PRESERVATION COMMISSION REPORT



Meeting Date: September 2, 2021
General Plan Element: *Preservation and Environmental Planning*
General Plan Goal: *Enhance the quality of life in Scottsdale by protecting historical and archaeological resources.*

ACTION

Case Name: Kiva Crafts Center Rehabilitation

Case Number: 62-HP-2021

Location: 7121 E. 5th Avenue

Request: Approval of a Certificate of Appropriateness – Historic Resources for rehabilitation of an existing historic property and structures including removal of exterior exposed electrical conduits and wiring, new site improvements in the courtyard including landscaping, new shade structures in the breezeways, new signage, new lighting, and paint color changes on the building exterior.

OWNER

Sunbrella Properties, Ltd.
(480) 206-4593

ARCHITECT/DESIGNER

Douglas Sydnor
Douglas Sydnor, FAIA, at Douglas Sydnor Architect
(480) 206-4593

APPLICANT CONTACT

Douglas Sydnor
Douglas Sydnor, FAIA, at Douglas Sydnor Architect
(480) 206-4593

BACKGROUND

Zoning

The site is zoned Central Business Downtown Overlay Historic Property (C-2 DO HP). The Craftsman Court Historic Property Overlay designation was approved by City Council on 7/01/2002.

Historic Preservation Plan

Historic Preservation Guidelines for Craftsman Court were approved by the Historic Preservation Commission on July 9, 2020 as Case 8-ZN-2002.

Context

Located at the intersection of East 5th Avenue and North Craftsman Court, on the southeast corner. The surrounding developments are primarily low scale and part of the 5th Avenue specialty retail district.

Action Taken _____

Adjacent Uses and Zoning

- North East 5th Avenue with Retail and Coffee shops beyond, zoned Central Business Downtown Overlay (C-2 DO)
- South Bar, zoned Downtown, Downtown Core, Type-1, Downtown Overlay (D/DC-1 DO)
- East Retail shops, zoned Central Business Downtown Overlay (C-2 DO)
- West North Craftsman Court with restaurants, retail shops, and office beyond, zoned Central Business Downtown Overlay (C-2 DO)

Key Items for Consideration

- Exterior work must be reviewed and approved by the Historic Preservation Office
- Historic Preservation Guidelines for Craftsman Court Historic Property

DEVELOPMENT PROPOSAL

Description of Historic Property

The complex was originally constructed beginning in 1955 as a demonstration studio space, one of the early and most prominent of those that developed along Fifth Avenue for Scottsdale's popular artisans and has a pedestrian-oriented character. Wide concrete sidewalks beneath the buildings' overhanging eaves and large picture windows with merchandise displays lure foot traffic to the buildings and into the courtyard. The courtyard landscaping includes grass, flowering plants, and palm trees and benches on the edge of water features constructed with desert stone, ceramic tile and glass blocks.

The roof styles vary within the bounds of contemporary architecture, ranging from flat, to extremely low-pitched gable to low-pitched with gable ends all facing toward Fifth Avenue. Metal grillwork has been added to screen the mechanical equipment on top. Most of the walls are constructed with painted concrete blocks ([Craftsman Court Historic Significance Report](#)).

Goal/Purpose of Request

The property owner of the historic property is proposing to reinvest in the property and rehabilitate the property in accordance with the Historic Preservation Plan for the property while also making improvements for pedestrians and building tenants. Proposed improvements include shade elements, landscaping, repainting, and new lighting.

Neighborhood Communication

A sign identifying the project name, number, request and HPC hearing date has been posted on the site along with a hearing postcard sent to all property owners within 750 feet of the property. Staff has not received any public comments on this case.

HISTORIC PRESERVATION PLAN CRITERIA ANALYSIS

The [Historic Preservation Guidelines for the Craftsman Court Historic Property](#) includes a set of guidelines that are intended to maintain the established character of the property. Any request to modify the exterior of the buildings should implement these guidelines. Specific to this request, the applicable guidelines are identified below and include staff analysis.

Rehabilitation Guidelines:

Applicable Guidelines:

1. Retain the historic scale and massing of Buildings 1, 2, 5 & 7 so as to maintain the pedestrian scale of the complex along the street frontages and the interior courtyard.
2. Maintain the simple flat or low-pitched roof form and configuration and broad overhanging eaves of the original construction.
3. Retain the stepped metal fascia roof trim and, where applicable, the exposed roof beams
12. Consider removal of metal signage and light fixtures.
14. Consider the reintroduction of pedestrian-scaled, shaded seating and landscape palette of the original courtyard.

Staff Analysis:

The proposed changes maintain the historic massing of all the buildings along with the broad overhanging eaves on the site. In two of the breezeways there are metal framed trellis shade elements proposed where the roof originally spanned but had been cut away in a previous modification to the buildings prior to the Historic Property status. While the Historic Preservation Plan for Craftsman Court encourages the removal of the metal and steel elements that were added to the building with the 1990's improvements (HPP rehabilitation guideline 11, 12 and 13) and adding a new metal element could be interpreted as not fitting within the guideline, the metal interpretation of the missing original element can also be considered an appropriate approach by SHPO and the Secretary of the Interior's Rehabilitation Standards as the metal material provides more longevity than a wood material and missing elements are not required to be replaced in kind.

The color pallet change is an effort to mimic some of the original colors on the building with exception of the mechanical screening that is not an original element to the building. The screening is proposed to be painted Dunn Edwards 'Legendary Grey.' The original low pitch roof was a white color and the Old Town Urban Design and Architecture Guidelines (guideline 18.5) states that colors should emphasize muted desert colors. The applicant is proposing the grey in order to draw less visual attention to the screening element. Also, part of the proposed repaint of the building are Lloyd Kiva New inspired murals on the west facing wall sections along the 5th Avenue frontage for the Historic Preservation Commission's consideration (Attachment 8).

Landscape and courtyard changes appear to be reintroducing pedestrian seating and minimizing the 1990 improvements. The proposed lighting plan includes the removal of metal light fixtures attached to the columns along the Craftsman Court frontage.

Development Information

- Existing Uses: Retail, Personal Care Services, Restaurant and Night Club
- Parcel Size: Three parcels (173-50-105, 173-50-112A and 173-50-121) totaling 35,719 square feet / 0.82 acres

- Building Size: 23,115 square feet
- Gross Floor Area Ratio: 0.40

STAFF RECOMMENDATION

Recommended Approach:

Staff recommends that the Historic Preservation Commission approve the request for Certificate of Appropriateness-Historic Resources for exterior modifications at Craftsman Court per the attached stipulations, finding that the provisions of the Historic Preservation Plan for Craftsman Court Historic District have been met.

OPTIONS FOR CERTIFICATE OF APPROPRIATENESS

- Approve as submitted with reference to how the project meets the guidelines
- Approve selected elements, deny others, referencing relevant design guidelines for decision
- Approve with stipulations
- Continue case to allow time for additional work or information to be provided
- Deny as submitted with reference to how the project does NOT meet the guidelines

RESPONSIBLE DEPARTMENT

Planning and Development Services
Historic Preservation Office

STAFF CONTACT

Ben Moriarity Senior Planner 480-312-2836 E-mail: bmoriarity@ScottsdaleAZ.gov

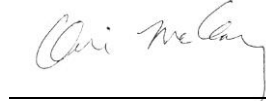
APPROVED BY



8/11/2021

Ben Moriarity, Report Author

Date



8/17/2021

Doris McClay, Historic Preservation Officer

Date

Phone: 480-312-4214 E-mail: dmcclay@ScottsdaleAZ.gov

ATTACHMENTS

- A. *Stipulations/Zoning Ordinance Requirements*
- 1. *Applicant's Narrative*
- 2. *Context Aerial*
- 2A. *Close-Up Aerial*
- 3. *Zoning Map*
- 4. *Site Plan*
- 5. *Landscape Plan*
- 6. *Building Elevations*
- 7. *Material Samples*
- 8. *Mural Rendering*
- 9. *Electrical Site Plan*
- 10. *Site Photographs*

**Stipulations for the
Historic Preservation Commission Application:
Kiva Crafts Center Rehabilitation
Case Number: 62-HP-2021**

These stipulations are intended to protect the public health, safety, welfare, and the City of Scottsdale.

APPLICABLE DOCUMENTS AND PLANS:

1. Except as required by the Scottsdale Revised Code (SRC), the Design Standards and Policies Manual (DSPM), and the other stipulations herein, the site design and construction shall substantially conform to the following documents:
 - a. Architectural elements, including dimensions, materials, form, color, and texture, shall be constructed to be consistent with the building elevations submitted by Douglas Sydnor Architect & Associates, Inc., with a city staff date of 8/9/2021.
 - b. The location and configuration of all site improvements shall be consistent with the site plan submitted by Douglas Sydnor Architect & Associates, Inc., with a city staff date of 8/9/2021.
 - c. Landscape improvements, including quantity, size, and location shall be installed to be consistent with the preliminary landscape plan submitted by Douglas Sydnor Architect & Associates, Inc., with a city staff date of 8/9/2021.

Ordinance

- A. At the time of review, the applicable Zoning for the subject site was 8-ZN-2002

LANDSCAPE DESIGN:

Ordinance

- B. Native plant permit is required for the removal of mature trees within the Downtown

EXTERIOR LIGHTING:

Ordinance

- C. Any exterior luminaire with a total initial lumen output of greater than 1600 shall have an integral lighting shield.
- D. Any exterior luminaire with a total initial lumen output of greater than 3050 shall be directed downward and comply with the Illuminating Engineering Society of North America (IES) requirements for full cutoff.

HPC Stipulations

2. Incorporate the following parking lot and site lighting into the project's design:

Parking Lot and Site Lighting:

- a. The maintained average horizontal luminance level, at grade on the site, shall not exceed 2.5 foot-candles. All exterior luminaires shall be included in this calculation.
- b. The maintained maximum horizontal luminance level, at grade on the site, shall not exceed 10 foot-candles. All exterior luminaires shall be included in this calculation.
- c. The initial vertical luminance at 6-foot above grade, along the entire property line shall not exceed 1.5 foot-candles. All exterior luminaires shall be included in this calculation.
- d. The total lumen per luminaire shall not exceed 24,000 lumens.

APPLICATION NARRATIVE

HP Certificate of Appropriateness - Kiva Craft Center Rehabilitation

Project No: 76-PA-2021

April 1, 2021

Revised July 20, 2021; and in response to the July 8 and 13, 2021 Substantive Review Letter for Case 62-HP-2021. Changes are shown in 'red.'

Douglas Sydnor Architect and Associates, Inc.

PROJECT: Kiva Craft Center Rehabilitation
(formerly the Kiva Center or Craftsman Court)

ADDRESS: 7121-7141 East Fifth Avenue, Scottsdale, Arizona 85251

ASSESSOR PARCEL NUMBERS: 173-50-105; 173-50-112A; 173-50-121

PROPERTY ZONING: Central Business District – Historic Property (C-2 HP)
Placed on the Scottsdale Historic Register July 1, 2002 by Ordinance No. 3454, 8-ZN-2002.

PROPERTY SIZE: .82 Acres +/-

EXISTING STRUCTURES: 6 buildings totaling approximately 23,115 square feet, mostly one (1) story and a single two (2) story structure.

How the proposal preserves the historic character or compliance with property's existing Historic Preservation Plan. This Application Narrative is in response to the following City of Scottsdale Historic Preservation Department 'Historic Preservation Plan' Document:

Scottsdale Historic Preservation Commission
Historic Significance and Integrity Report –
Craftsman Court
7121-7141 E. Fifth Avenue, Scottsdale
Scottsdale Historic Register Application No. SHR-02-2
Zoning Application No. 8-ZN-2002
(Scottsdale City Council approved July 1, 2002)

Background:

The Kiva Craft Center is a property that contributed to Scottsdale's historic development as an "Arts Colony and Tourist Destination." It is associated with important historic events and representation of the architectural influence that shaped Scottsdale development during the post-World War II era. The center is among those properties that were identified as having both historic and architectural significance and a high degree of integrity. It actually was instrumental in promoting the southwestern arts and particularly Native American arts and crafts nationally; and helped give Scottsdale a reputation as a regional arts center. With the project having been designed and built from 1955 to 1958, it has evolved over the past 60 years. However, it has maintained a great deal of integrity with minimal exterior additions and changes.

Description:

Existing development is a cluster of seven (7) contemporary one and two-story structures that define an outdoor courtyard with hardscape, landscape, a water feature, and seating. It originally gathered artisans and artists to create and sell their creations, but over time the tenant mix did change to where there are now hair salons, jewelry store, southwestern gifts, a restaurant, bar, and offices.

A pedestrian-oriented character has been maintained over the years and will be respected with the current rehabilitation program. The original overall site plan, floor plan, and exterior elevations are essentially unchanged with the current proposal. Street parking, wide sidewalks, overhanging eaves, large retail windows, and building forms will remain as it exists.

History:

A new contemporary complex of buildings “with an old west accent” was constructed at the southeast corner of Fifth Avenue and Craftsman Court Road in 1955. Designed by architect Thomas Stuart ‘T.S.’ Montgomery, its modern design reflected the philosophical approach employed by many of their artists in their work as interpreted traditional arts and crafts in contemporary mediums of fashion and design. The complex originally functioned as demonstration craft studios and provided office space for two architects Don K. Taylor and Charles Montooth. Today the complex is still used as retail space but with less focus on demonstration crafts.

About 1991 the City of Scottsdale completed the extensive Fifth Avenue and Marshall Way Streetscape Improvements program for this specialty retail and historic district; which included new street trees, widened sidewalks, raised concrete planters, sandstone boulders, street lighting, signage, parking restriping, street intersection hardscape at crosswalks, seating, curb and gutters.

The most significant design change to the complex was a 1993 rehabilitation project by Allen & Philp Architects. The changes included new site improvements at the courtyard and breezeways, new row of Date Palm Trees at such outdoor spaces, and an L-shaped and linear water feature. In addition large sandstone boulders from Ashfork, AZ were provided and grass turf. Improvements at the structures included new roof mounted equipment screen walls, new metal fascia, lighting shields at existing wall and column lighting fixtures, exterior identification signage, tenant signage; and painting of masonry walls, walls with wood siding, and window and door frames. Some existing roof overhangs were removed at the north central and western breezeways.

Significance:

Modern architecture of the complex is also illustrative of the historic development of the community during this important period of Scottsdale’s history. In addition to blending with the desert landscape and dignified western design motif adopted by downtown businesses in the fifties, the contemporary architecture reflected the growing stature of Scottsdale’s craftsman, as they became well known fine art artisans.

The physical features of the complex continue to convey its historic associations and the complex maintains a high degree of integrity. Its original setting among Scottsdale's famed Fifth Avenue shops of other crafts studios, retail space, and art galleries is retained. Its plan of the building's arrangement, clustered around an open patio, and its design of wide overhanging eaves to shade the passerby and full length window walls, continue to convey its historic use as a demonstration crafts-studio complex for the shopping public. The low pitched gable and flat roof styles, broad eaves, use of varying sizes of concrete block, and extensive utilization of glass also reflect the physical design features and materials that make the contemporary complex architecturally significant.

The following proposed rehabilitation items describe the approach to maintain the existing 1955-1958 Kiva Craft Center historic and character-defining features, repair and restore a few nonconforming features, and upgrade where appropriate to address current market conditions.

- Provide a cleanup campaign to the buildings' exterior that includes removal of smaller non-conforming or inappropriate features, and exposed power/data conduits and wiring **where feasible.**
- **Deleted as not in project scope:** ('Remove the 3 existing telephone poles at the alleys and bury secondary power lines to the east and south of the property. Original primary power lines were buried earlier.')
- **Deleted as not in project scope:** ('Provide new secondary electrical systems where appropriate and fed from below-grade, new above-grade and building code-compliant panels, and meters if needed.')
- Remove existing site improvements at the courtyard and breezeways as noted. Most of the existing Date Palm Trees are to remain, but 3 Date Palm Trees at the west breezeway are to be removed so a **potential** new trellis feature (**Additive Alternate**) can be constructed.
- New courtyard and breezeways site improvements including walkways, landscaping with shade trees, seating, water feature, small multiuse plaza, and site lighting. Seating detail is reminiscent of the original seating design, but with more durable materials.
- Reworked major identification signage at 3 breezeway entries (northeast, **southeast** and west) with the design somewhat tempering the 1993 signage. New exterior tenant signage throughout and that is very similar to the original signage with a small field grid to receive **reinstalled existing** tenant signs.
- Remove existing light fixtures and shields at exterior masonry walls and wood columns. Provide new exterior lighting to accentuate the existing architectural features, and reinforce the new landscape architectural intentions; and while making the exterior spaces safe during the evening and after-hours. New up lights at the existing Date Palm Trees and new shade trees. New water feature with (**delete 'below-water'**) linear light fixtures and at spout detail.
- Paint exterior building finishes including concrete masonry unit walls; and window and door frames, doors, columns, and metal fascia. Original colors have been confirmed at the existing masonry walls and window/door framing, and per a 1956 article with colored photography (**delete 'and an eye witness.'**) Original colors are a light **lavender** (**delete 'to simulate the original natural cmu color'**) at exterior concrete masonry unit walls, and off-white at wood window/door frames and doors. To complement the original wall colors, the 1993 metal fascia to be painted **an off-white to match the existing window/door frames** (**delete 'medium grey'**) and the 1993 roof mounted visual screening devices with a darker charcoal grey color (**if**

approved by the City) to draw less visual attention to them. Existing exterior wood beams and columns to be painted a grey/blue color to match the existing color reflected in a November 1956 article colored image.

- The original exterior overhang soffits at the north and west buildings were exposed natural wood at the 2x wood blocking; and per a 1956 historic article and eye witness. Applicant would like to explore removing the Building 1, 2 and 6 soffit paint by giving them a very light sandblast to remove the existing paint and then provide a flat stained sealer (Additive Alternate). This would provide a warm, rich, and natural finish and complement the other original colors. Paint to match the stain is in the base scope. Other soffits at Buildings 3, 4 and 5 such as the east wing with plywood would be painted to match the stained color. (delete 'masonry walls.')
- The 1993 renovation removed existing roof sections at the north central and west breezeways. This did expose some existing south and west facing full height windows to more solar heat gain. To mitigate this condition, provide some filtered shade, and pay homage to the original roof structure the design proposes a new trellis structure (Additive Alternate) at such locations. Such shade structures would recreate a series of framed square openings to the sky and be composed of steel elements for durability.

CONCEPTUAL DESIGN:

The design team proposes that the new exterior improvements capture an 'Art Garden' concept. The 'art' aspect would be a visual reference to the Kiva Craft Center roots of bringing together some very talented artists and craftsmen to make on-site and sell various creations. They ranged from leather goods, jewelry, pottery, mosaics, stained glass, perfume, fabrics, and women's apparel. The 'garden' refers to bringing back a cooler microclimate to the outdoor spaces as the breezeways and main courtyard with the use of a water feature, shade trees, more landscaping, wall vines at Palm Trees, and less hardscape material.

Specific Design Features

Art:

- Where possible have the new improvements reflect being more creative and conveying a sculptural quality.
- The new site improvements would be respectful and integral to an ordering system that is provided throughout the existing breezeways and courtyard spaces. System would bring an informality to the new features, and not unlike the existing architectural character.
- Each finish and feature would be an extension of the ordering system for consistency and visually conveying the overall design intentions; and is based upon the existing concrete masonry unit construction or an 8" planning module.
- When appropriate the new details may pay homage to the original architecture and design. For example the new wall mounted tenant signage will use an open framework grid as a field pattern and the existing tenant signage would be mounted over the field, which is very similar to the original signs.
- Original design used an open grid framework for wall vines as proposed at the west arcade where 4 original ground planters are being brought back and provided a wall grid for vines where existing solid walls occur.

- **Delete as not in the project scope:** ('Original open grid is also being reinterpreted for a new multiuse space vertical backdrop panel. Such a vertical panel of a 2'-0" aluminum frame grid will receive rich colored glass inserts as a visual reference to the original GlassArt Studio. Panel is composed of 4'W x 12"H panels resting on a single centered pivot that allows its rotation when they are not in use during a performance. During a performance they will rotate into the closed position and lock in from panel to panel.')
- Site improvement details as a colorful glass mosaic tile in a water feature would bring a very crafted and handmade touch; and again might refer to this medium once made and sold in the Center. Water feature to have a raised spout to deposit water into the pool and create a splashing sound. Integrated linear lighting to be held just **above** the water line to highlight the basin mosaic tile.
- Team is proposing a two 'wall graphic' installations at existing plastered walls fronting on Fifth Avenue. (~~Delete 'There is a blank masonry wall at east wing southern wall and at the existing southeast alley; and adjacent to the breezeway entry.'~~) It will receive a painted graphic that has a mid-century modern, purely geometric, and abstract graphic character; **and is a visual reinterpretation of the art and textile designs by Lloyd Kiva New.** This backdrop might function well as a setting for the desired selfies or Instagram images. (~~Delete 'At this same wall will be a major identification sign and coordinated with the art mural.'~~) Graphic will also be lit from a planter-mounted (~~Delete 'linear'~~) light source.
- **Another** art installation is to identify the original artist suites where they created their work; and provide cast or laser cut stainless steel artifacts embedded in the new concrete walks. (**Additive Alternate**) They would be graphic symbols of the original handbags, pottery, jewelry, and more created at the Kiva Craft Center.

Garden:

- Exterior spaces would capture an inviting, pleasant, and cool garden environment. Providing *simply more landscape* would be a good start at cooling down the spaces and start to mitigate the heat island effect at this downtown urban site. The new landscape plan would bring back landscape planters that have been filled in at the west arcade, where concrete walks had replaced them in the breezeways, and an original raised planter would be reconstructed at the Fifth Avenue street frontage.
- Original courtyard used cacti in at-grade or raised planters that were quite sculptural and textural. However, new City of Scottsdale design standards do not allow plants with thorns and needles within 4' of a public sidewalk, so we cannot bring the cacti back. However, the new landscaping would be more desert-adapted and textural/sculptural.
- Bring back 5 *shade trees that cool down the outdoor spaces* for pedestrians while mitigating the direct solar angles to the existing buildings west and south facing full height glass. Such tree foliage could provide a filtering of the sunlight that create ever-changing shadow patterns on the existing masonry walls and new hardscape. Original plan utilized a row of shade trees along the courtyard east edge. Such trees would provide more intimately-scaled spaces as you move under and around them.
- A simple water feature located where the original one was would continue to provide visual relief within the courtyard, and psychologically cool down the space with hearing the splash of water.

- New plan is proposing to set aside a multi-use space within the courtyard and where a wide range of **special** activities and events could occur; such as live music, cocktail receptions, fundraisers, holiday celebrations, art exhibits, and historic lectures. Resurrecting events of the past as the fashion shows and the 'Annual Thieves' Market & Bazaar' for the end of season bargains could be accommodated. A multiuse space would be set aside and with the required power for speakers and equipment. **(Delete as not in project scope: 'and a pair of 12' light poles for theatrical lighting.')** Property owner will pursue the City-required 'Special Event' process and approvals for the occasional performances.
- Site improvements will retain most all of the existing Date Palm Trees given their longevity. A new detail would wrap the Palm Tree lower trunks with an 8'H cylindrical wire cage for wall vines, which would be effective at communicating the 'garden' ambiance. Secondly the existing sandstone boulders will be retained, but relocated in the new plan primarily at the breezeways. The original boulders were an idea influenced by the 1991 City of Scottsdale streetscape program so the new plan is shifting them more toward the streets from which they came.
- The site drainage will conceptually remain as it exists. However, there is a desire to retain some of the on-site drainage from rainwater; and route it to new landscaped planters. Elegant linear drains will be integrated into the hardscape.
- New site improvements would address where feasible the required accessibility standards such as eliminating some of the existing trip hazards at tenant suite entries to a maximum of ½" thresholds; unless the entry area concrete slabs are the historic original slabs. Raising the entry area elevations for ADA requirements will occur with the new hardscape at the courtyard and breezeways.

SUSTAINABILITY

Many of the earlier thoughts address this priority, and some additional concepts include:

- **(Delete as not in project scope: 'Team is exploring various techniques to potential recycle some of the existing concrete slabs to be removed for the new site improvements.')**
- New shade trees at some western and southern building exposures could potentially reduce the building energy consumption.
- Prefer that new materials would be locally-sourced, natural, durable, and require minimal maintenance; and not unlike the existing palette of concrete masonry units, wood, and glass. Where appropriate they may be made of recycled content and/or be recyclable.
- New exterior lighting to exploit the use of energy-efficient LEDs and to accentuate site improvements, features, and the existing architecture. Lighting sources to be shielded so that they do not spill onto adjacent properties and respect the dark sky ordinance.
- During construction the tenants would be fully operational for their regular open hours. Anticipate construction occurring during the slower retail sales months of the **late spring, summer, and early fall 2022.**

ADDITIONAL BACKGROUND

HISTORY

Artist and educator Lloyd Kiva New returned to Phoenix in 1946 after having served in World War II, graduating from the Art Institute of Chicago and having worked at the Phoenix Indian Boarding School managed by the Bureau of Indian Affairs (BIA). He then met up with some pre-war friends including painters Lew Davis and Phillip Curtis. New then joined the Arizona Craftsman's center at the southwest corner of Brown Avenue and Main Street in downtown Scottsdale. Center was developed by Tom Darlington who was a businessman that also founded the town of Carefree about 4 years later. Unfortunately the Arizona Craftsman center burned about 2 years after its opening.

In 1950 New followed up with the Arizona Crafts Center creating wearable art and that was influenced by Native American handmade crafts; as he was Cherokee/Scottish. He eventually developed the Craftsman Court also known as the Kiva Craft Center during the period of 1955-1958 and in multiple phases. It is located at the southeast corner of Fifth Avenue and Craftsman Court in downtown Scottsdale, Arizona. Joining him were other artists Charles and Otellie Loloma creating pottery, Flemish Glazener, Leona Caldwell with clothing designs, Wes Segner silversmith, goldsmith Alexander Kowal, Erte Wittels perfumer, Skaggs Jewelry, and more. Two architectural firms were tenants and included Charles Montooth and Don K. Taylor. A few years later in the 1962 the Dick Seeger Design Gallery arrived and he created innovative acrylic pieces; and represented artists Paolo Soleri (1919-2013) bells and Jack Boyd sculpture.

Craftsman Court helped establish Scottsdale as an arts colony and launch the Indian crafts movement in this region. Lloyd Kiva designed and created his own unique and high quality women's' handbags, clothing, and other crafts; and caught the interest of Goldwater's Store in Phoenix, east coast department stores; and nationwide. Prominent articles featuring Lloyd Kiva in *Holiday, Town and Country* and *Life* magazine brought a great deal of attention to the Center.

In 1972 the Craftsman Court complex with its 7 structures on 4 parcels was acquired by the Sunbrella Properties, Ltd. of Phoenix at the time; and the Simonsons family of Sunbrella continue to own and manage this property after almost 50 years.

Only July 1, 2002, Craftsman Court was listed on the Scottsdale Historic Register, and Douglas Sydnor, FAIA, architect for the current rehabilitation was serving on the Scottsdale Historic Preservation Commission at the time and made the motion to approve the historic designation for this property. Coincidentally, Mr. Sydnor attended and enjoyed a Lloyd Kiva New lecture at Taliesin West on April 17, 1996 and titled "Traditional Pathways, Innovative Journeys" and when Mr. New was 80 years old.

More recently the Craftsman Court has been known as the Kiva Center; and is now being renamed the Kiva Crafts Center. Current tenants include Kactus Jock, The Estate Watch and Jewelry, Leela Market, Accentuated by Diana, BS West, Elizabeth's Endermo Center Spa, Hair on Fifth Avenue, (~~delete~~ 'EvolveMD'), Bisaca Studio, Entourage Salon, The Cut Mens Salon, The Purple Saguaro, and FnB Restaurant.

CONTEXT

Project site is located within the Fifth Avenue District of downtown Scottsdale, which is a specialty retail and historic district that got underway in the mid-1950s. The Craftsman Court development was one of

the first retail commercial projects that initiated this district and grew to become a nationally recognized shopping area for fine women's apparel, art galleries, custom jewelry, and Native American crafts.

In 1991 a major City of Scottsdale streetscape improvement was constructed, and the \$4,500,000 project was funded by property owner assessments throughout the Fifth Avenue and Marshall Way Districts. It included about 80 acres and 1 mile of streetscape improvements. Improvements included new parking striping, street intersection hardscape, crosswalks, new widened sidewalks, street planters, curb and gutters, shade trees, raised landscaped planters, seating, signage, and street lighting standards.

SITE

Craftsman Court is composed of 7 one and two-story structures totaling 23,115 square feet that define an outdoor courtyard. Courtyard is accessed from the streets by 5 outdoor breezeways and created a pedestrian-scaled and pleasant outdoor microclimate for shoppers, visitors, and local residents. Convenient surface parking was found on the streets of Fifth Avenue and Craftsman Court; and off the east side alley. Later additional and multilevel structured 3 hour public parking with 409 spaces was constructed by the City of Scottsdale and is located immediately southeast of the project property. Property is within the heart of the Fifth Avenue District, which is made up of lower-scaled one and two story retail and office structures. The district and adjacent Scottsdale Arts District to the west is connected by continuous shaded arcades. Such arcades define this very walkable environment, provide this pedestrian-scaled feature, and make for a very pleasant experience when accessing each of the retail shops and restaurants. Such arcades are also found in Old Town and West Main Street historic and specialty retail shopping districts. All of these districts are typically zoned Type I, which is more restrictive with building densities and heights capped at 3 stories. Outside the historic districts in downtown the zoning is typically Type II where there is more design flexibility in regards to density and building heights.

ARCHITECTURE

Original center was designed by architect Thomas Stuart 'T.S.' Montgomery (1917-1970) and he merged the roots of 17th– 18th century Spanish Colonial architecture with the centralized courtyard and a more modern architectural character. Lloyd Kiva New described the center as having a 'Mexican theme.' The modern interpretation or 'Ranch-style' finds its beginnings in 1931 in the San Diego, California area by residential designer Cliff May. May went on to be active in Los Angeles, Santa Barbara, and nationwide with over 18,000 prefabricated residences from the 1930s into the 1980s. Some of his custom residences and prefabricated homes are found in Phoenix and Tucson. Other local precedents for this blended aesthetic are found in the 1952 Feltman Building (now Pima Plaza) on First Avenue in downtown Scottsdale; and designed by Ralph Haver, AIA. Center exterior materials proved durable and requiring minimal maintenance; and included walls of exposed 8 x 8 x 16 concrete masonry units in a stacked pattern and full height glazing. In addition wood framed roof structures with 2 x wood members held tight to each other, exposed wood beams, and with cantilevered overhangs at the perimeter of most structures shade the recessed tall window areas.

In 1954 architect Thomas Stuart 'T.S.' Montgomery was a Fifth Avenue tenant with his own architectural firm and stayed about 3 years, at which time he relocated to Tempe, Arizona into the historic Henry Walker House at 118 E. 7th Street. He was also known for his multifamily residential and religious

projects in the Scottsdale area such as the 1958 Loloma Vista Apartments; 1961 St. Barnabas in the Desert Episcopal Church; 1962 First Church of Christ, Scientists; and 1964 Scottsdale United Methodist Church Sanctuary. He died at the young age of 53; and the architect Craig Walling, AIA, in Tempe took over his remaining and unfinished projects; and then became the architectural firm Florence and Walling.

In 1993 the Craftsman Court underwent a major rehabilitation project and was designed by the architectural firm Allen & Philp Architects of Scottsdale, Arizona. It did include new signage, lighting, visual equipment screening at roof areas, and extensive site improvements at the breezeways and courtyard.



Context Aerial

62-HP-2021



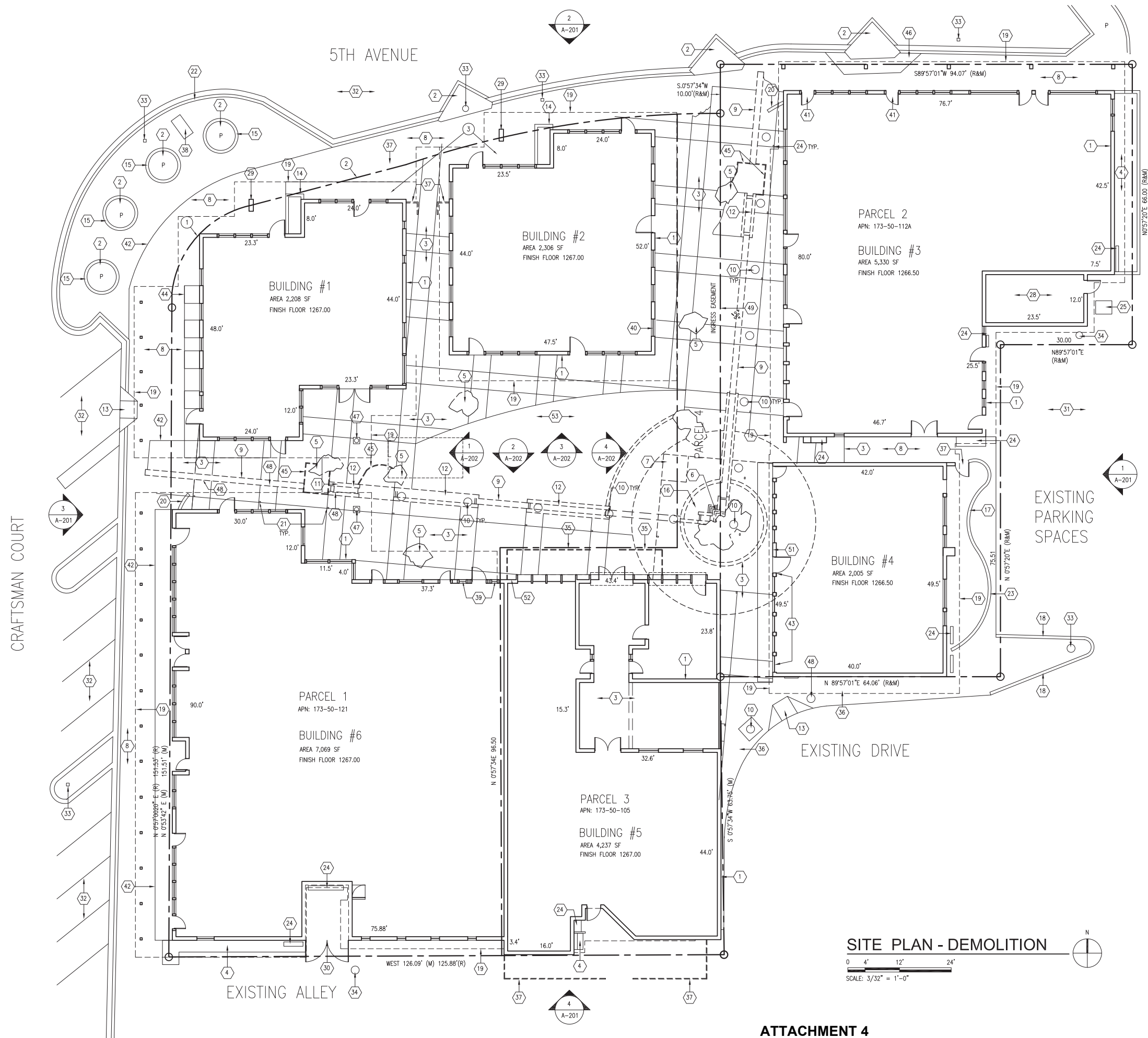
Close-up Aerial

62-HP-2021



Zoning Aerial

62-HP-2021



SITE DEMOLITION NOTES

1. EXISTING ON-SITE CONSTRUCTION TO REMAIN
2. EXISTING CITY STREET SCAPE ELEMENTS TO REMAIN
3. EXISTING CAST IN PLACE CONCRETE ON 4" A.B.C. - TO BE REMOVED, VERIFY IN FIELD ALL CRACKED, GROUND OR PONDING CONCRETE & REMOVE/RECAST
4. EXISTING LANDSCAPE AREA - TO REMAIN
5. SALVAGE NATURAL FLAGSTONE BOULDERS/SLAB
6. REMOVE WATER FEATURE SOURCE WITH NATURAL FLAGSTONE BACKDROP
7. REMOVE BELOW GRADE PRE-CAST CONCRETE MECHANICAL VAULT WITH ACCESS HATCH
8. EXISTING CONCRETE SLABS TO REMAIN
9. REMOVE 8"x8"x4" GLASS BLOCK PAVERS
10. EXISTING DATE PALM TREES TO REMAIN AND BE PROTECTED UNLESS NOTED OTHERWISE
11. EXISTING WATER FEATURE TO BE REMOVED - SALVAGE SANDSTONE SLABS TOPS
12. REMOVE FOUNTAIN JET WITH AERATED BUBBLER - SALVAGE SANDSTONE LIDS
13. EXISTING CAST IN PLACE CONCRETE HANDICAP RAMP
14. EXISTING RAISED C.M.U. PLANTER TO REMAIN
15. CAST IN PLACE CONCRETE PLANTERS
16. PLAZA LEVEL WATER FEATURE (POND). AT BASE OF GLASS BLOCK - TO BE REMOVED
17. EXISTING 6'-0"H 8"x8"x8" STACK BOND C.M.U. SITE WALL - TO REMAIN
18. EXISTING 5" CURB
19. LINE OF ROOF OVERHANG ABOVE
20. PUNCHED METAL SCREEN WITH PROJECT DIRECTORY
21. LOCATION OF IN GROUND TRANSFORMER HOUSING
22. LINE OF EXISTING CONCRETE SLAB EDGE
23. EXISTING C.M.U. WALL
24. EXISTING S.E.S. ELECTRICAL PANEL LOCATION - SEE ELECTRICAL DRAWINGS
25. EXISTING ELECTRICAL TRANSFORMERS
26. NOT USED
27. NOT USED
28. EXISTING CMU ADDITION TO REMAIN
29. EXISTING CMU COLUMN
30. EXISTING WOOD GATE
31. EXISTING OFFSITE PARKING TO REMAIN
32. EXISTING OFFSITE PUBLIC PARKING TO REMAIN
33. EXISTING STREET LIGHT STANDARD
34. EXISTING TELEPHONE POLE
35. EXISTING METAL RAILING & HERB GARDEN PLANTERS - TO BE REMOVED
36. EXISTING BRICK PAVERS TO BE REMOVED
37. EXISTING GATE & METAL RAILINGS TO REMAIN
38. EXISTING KIOSK TO REMAIN
39. REMOVE SMALLER WINDOW
40. REMOVE SOLID PANEL & ELECTRICAL
41. REMOVE STANDARD DOOR TYPICALLY
42. EXISTING CONCRETE SLAB JOINT
43. REMOVE SOLID WALL PANELS @ OPENINGS
44. REMOVE CONCRETE SLAB INFILL AT ORIGINAL PLANTERS - TYPICALLY
45. REMOVE LOW RAILING
46. INTERLOCKING CONCRETE PAVERS
47. EXISTING WOOD COLUMN
48. REMOVE EXISTING DATE PALM TREES
49. EXISTING INGRESS EGRESS EASEMENT
50. NOT USED
51. REMOVE WOOD BLOCKING AT CMU WALL
52. REPAIR / REPLACE WOOD SIDING PATCH
53. REMOVE EXISTING ARTIFICIAL TURF

DEMO LEGEND

--- EXISTING CONSTRUCTION TO BE REMOVED, REFER TO DEMOLITION NOTES

REVISIONS:

DATE:	6/25/2021
ARCH. PROJECT:	2020 - B
SHEET CONTENT:	

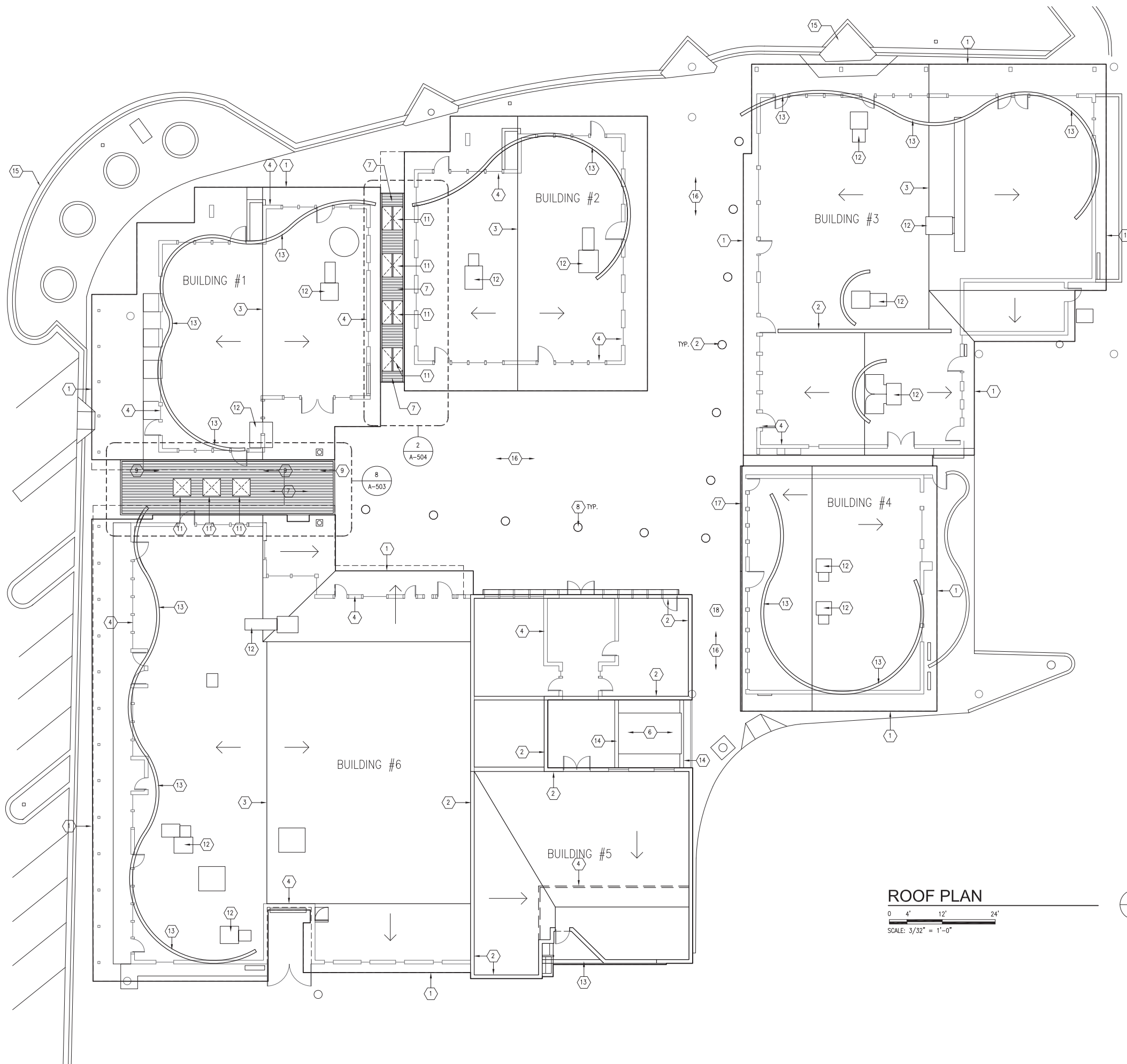
DEMOLITION SITE PLAN

SHEET NO.

ARCHITECT: **DOUGLAS SYDNOR ARCHITECT & ASSOCIATES, INC.**
 4806 N. 78TH PLACE
 SCOTTSDALE, ARIZONA 85251
 P 480.206.4593 e doug_sydnor@outlook.com
 w https://www.dsydnorarchitect.com

PROJECT: **KIVA CRAFT CENTER REHABILITATION**
 7121-7141 East 5th Avenue, Scottsdale, Arizona 85251





SHEET NOTES

1. EXISTING MECHANICAL EQUIPMENT SCREEN WALLS TO REMAIN AND ARE TO BE PAINTED.
2. EXISTING NEON LIGHTING SYSTEM AT THE MECHANICAL EQUIPMENT SCREENS TO REMAIN; AND IS UNCHANGED.
3. WHERE FEASIBLE THE EXISTING MECHANICAL EQUIPMENT EXPOSED CONDENSATE LINES MAY BE RELOCATED TO AVOID BEING VIEWED FROM GRADE LEVEL. THEY CAN BE ROUTED TO A NEW COURTYARD AND BREEZEWAY LANDSCAPED AREAS WHERE PHYSICALLY POSSIBLE.
4. NO ROOF REPAIRS ARE INCLUDED IN PROJECT SCOPE.
5. AT BUILDINGS #1, #2, #5, #6, EXTERIOR WOOD SOFFITS - TO BE PAINTED
6. AT BUILDINGS #3, #4, #5, PAINT EXTERIOR WOOD SOFFITS.

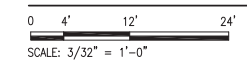
KEYNOTES

1. EXISTING METAL FASCIA - TO BE PAINTED
2. EXISTING CMU PARAPET - TO BE PAINTED
3. EXISTING RIDGE
4. LINE OF EXTERIOR WALLS - BELOW
5. EXISTING ROOF BELOW
6. EXISTING STAINED GLASS CANOPY TO REMAIN
7. 1 1/2" DWC CHANNELS RUNNING EAST/WEST WITH 1" GAPS BETWEEN - ADDITIVE ALTERNATE
8. EXISTING DATE PALM TREES TO REMAIN BELOW
9. NEW STEEL BEAM - ADDITIVE ALTERNATE
10. METAL TRELLIS SLATS - ADDITIVE ALTERNATE
11. TRELLIS OPENINGS - ADDITIVE ALTERNATE
12. EXISTING ROOF MOUNTED MECHANICAL EQUIPMENT TO REMAIN
13. EXISTING PUNCHED METAL MECHANICAL SCREEN TO REMAIN - TO BE PAINTED
14. EXISTING WOOD BEAM - TO BE PAINTED
15. STREETScape BELOW - TO REMAIN
16. OPEN TO BELOW
17. NEW ROOF EDGE GUTTER TO MATCH EXISTING FURTHER SOUTH AND PAINT.
18. EXISTING ROOF EDGE METAL GUTTER REMAINS - REPAIR AS REQUIRED.

LEGEND

- EXISTING MECHANICAL SCREENS - TO BE PAINTED
- INDICATES EXISTING ROOF DRAINAGE PITCH

ROOF PLAN



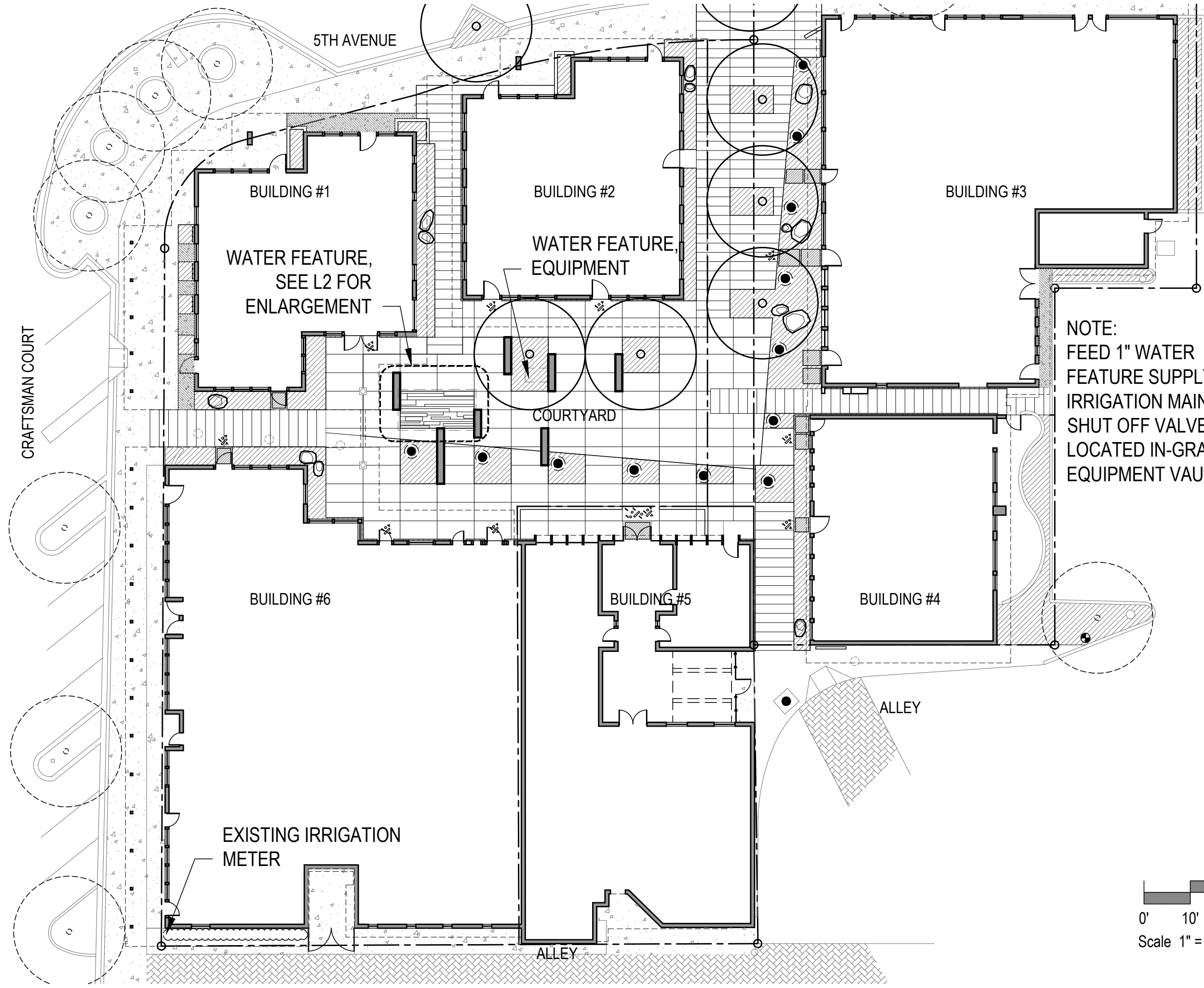
ARCHITECT: **DOUGLAS SYDNOR ARCHITECT & ASSOCIATES, INC.**
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REVISIONS:	
DATE:	6/25/2021
ARCH. PROJECT:	2020 - B
SHEET CONTENT:	ROOF PLAN
SHEET NO.	

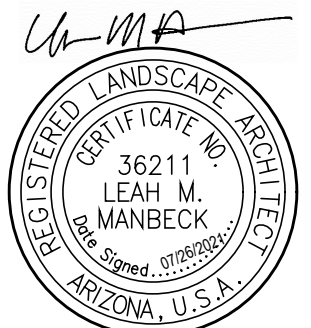
62-HP-2021 A-105
 76-PA-2021



NOTE:
 FEED 1" WATER
 FEATURE SUPPLY FROM
 IRRIGATION MAINLINE,
 SHUT OFF VALVE
 LOCATED IN-GRADE
 EQUIPMENT VAULT

GBtwo
 LANDSCAPE ARCHITECTURE, INC.
 6115 N Cattletrack Rd Scottsdale AZ 85250
 t 480-991-3384 gbtwo.com

**KIVA CRAFT CENTER
 REHABILITATION**
 7121-7141 E FIFTH AVENUE
 SCOTTSDALE, AZ 85251



Expires 06/30/22

SHEET TITLE

**WATER
 FEATURE -
 CONTEXT PLAN**

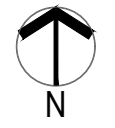
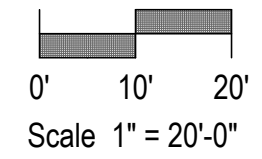
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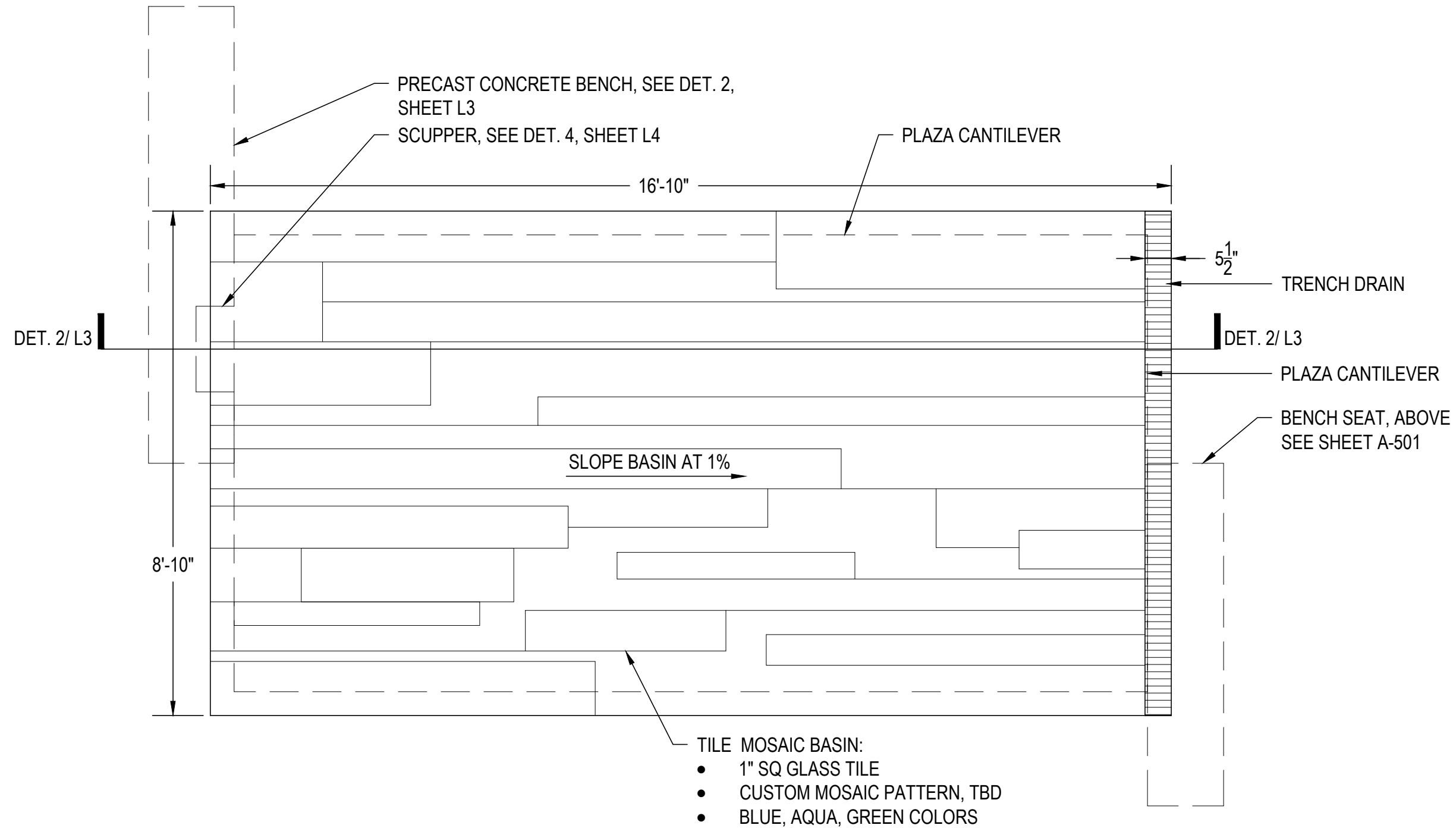
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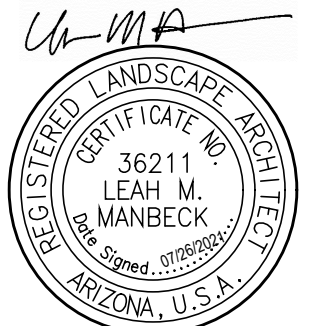
L1

62-HP-2021





**KIVA CRAFT CENTER
 REHABILITATION**
 7121-7141 E FIFTH AVENUE
 SCOTTSDALE, AZ 85251



Expires 06/30/22

SHEET TITLE

**WATER
 FEATURE -
 ENLARGED
 PLAN**

DATE

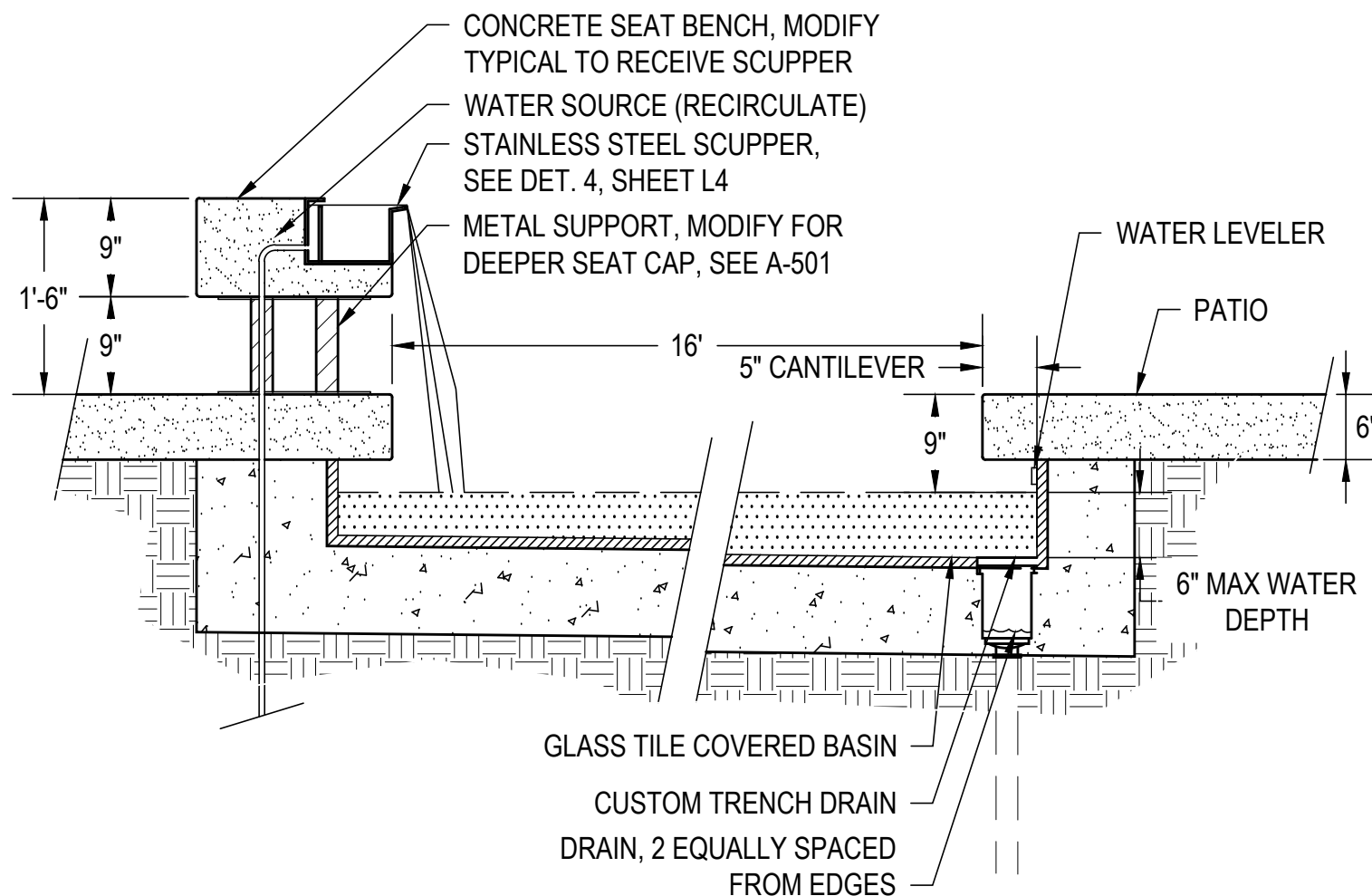
07/23/2021

SHEET NUMBER

L2

62-HP-2021

1 WATER FEATURE - PLAN
 SCALE 1/2"=1'-0"

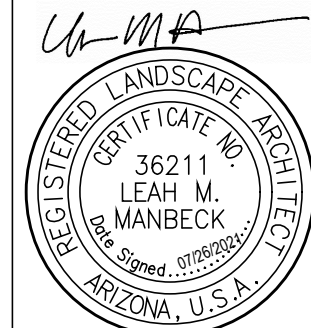


2 WATER FEATURE - SECTION
 SCALE 3/4"=1'-0"

WATER FEATURE NOTES:

1. WATER FEATURE DETAILS PROVIDED TO INDICATE DESIGN INTENT ONLY. CONTRACTOR RESPONSIBLE FOR PERMIT.
2. PUMP / FILTER EQUIPMENT TO BE LOCATED IN VAULT AS INDICATED ON HARDSCAPE PLAN.
3. VAULT TO BE PRE-CAST, FIBERGLASS OR POLYMER CONCRETE PREFABRICATED BOX AND LID, UL LISTED. SIZE TO BE DETERMINED BY CONTRACTOR TO ACCOMMODATE EQUIPMENT AND CLEARANCE FOR MAINTENANCE. VAULT TO BE ATTACHED TO 4" THICK CONCRETE PAD, 6" LARGER IN ALL DIMENSIONS THAN BOX.
4. CONTRACTOR SHALL SUPPLY SHOP DRAWINGS THAT SPECIFY ALL PLUMBING AND ELECTRICAL EQUIPMENT, INCLUDING FILTRATION AND WATER TREATMENT.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL STRUCTURAL CALCULATIONS.
6. POOL CONTRACTOR TO DETERMINE SIZES FOR MECHANICAL EQUIPMENT SUCH AS FILTERS, PUMPS, ETC.
7. CONTRACTOR TO SUPPLY SHOP DRAWINGS FOR SCUPPER/WEIR, CONCRETE BENCH TOP, TRENCH GRATE, AND LIGHT INSTALLATIONS.
8. PROVIDE WATER LEVELER, UNDER CANTILEVER OF PATIO DECK ON EAST SIDE OF LOWER BASIN.
9. CONTRACTOR TO PROVIDE SHOP DRAWINGS / DETAILS FOR DIMENSIONED BASIN PLAN THAT INDICATES PROPOSED REINFORCEMENT.
10. TRENCH GRATE TO BE CUSTOM 5-1/2" WIDE, 8'-10" LONG, REMOVABLE, PERFORATED STAINLESS STEEL, 304 GRADE, SATIN FINISH. PROVIDE SHOP DRAWINGS.
11. A MATTE WATER-PROOFING ADDITIVE SHALL BE ADDED TO THE CIP WALLS AT WATER BASINS AND THE EQUIPMENT VAULT.
12. 1/4" TOOLED EDGES AT ALL HORIZONTAL AND VERTICAL EDGES (CORNERS) OF CONCRETE BASINS.

3 WATER FEATURE - GENERAL NOTES
 NTS



Expires 06/30/22

SHEET TITLE

**WATER
 FEATURE -
 ENLARGED
 PLAN**

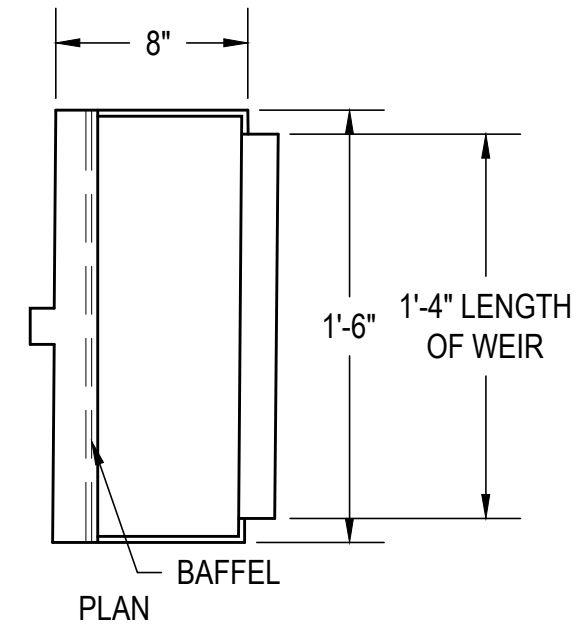
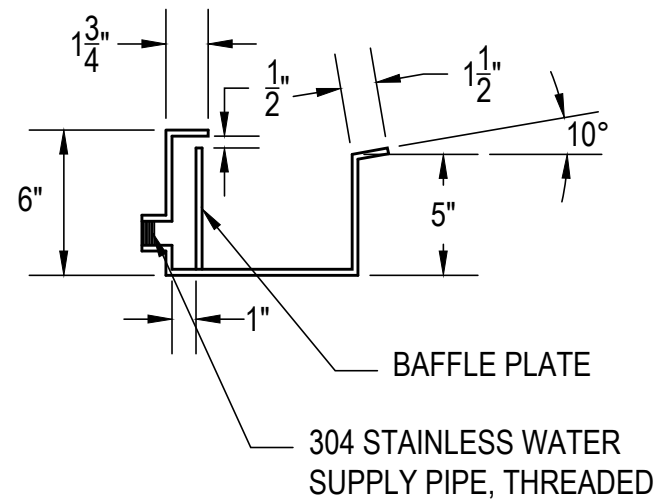
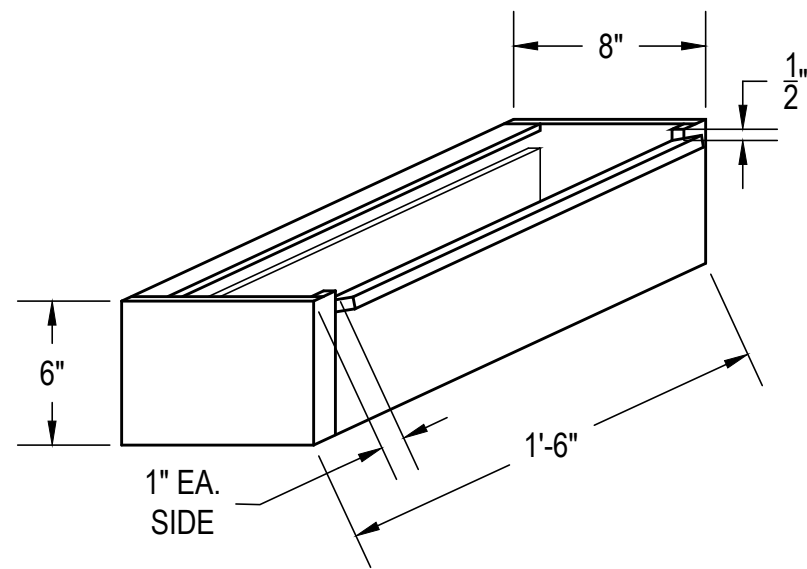
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07/23/2021

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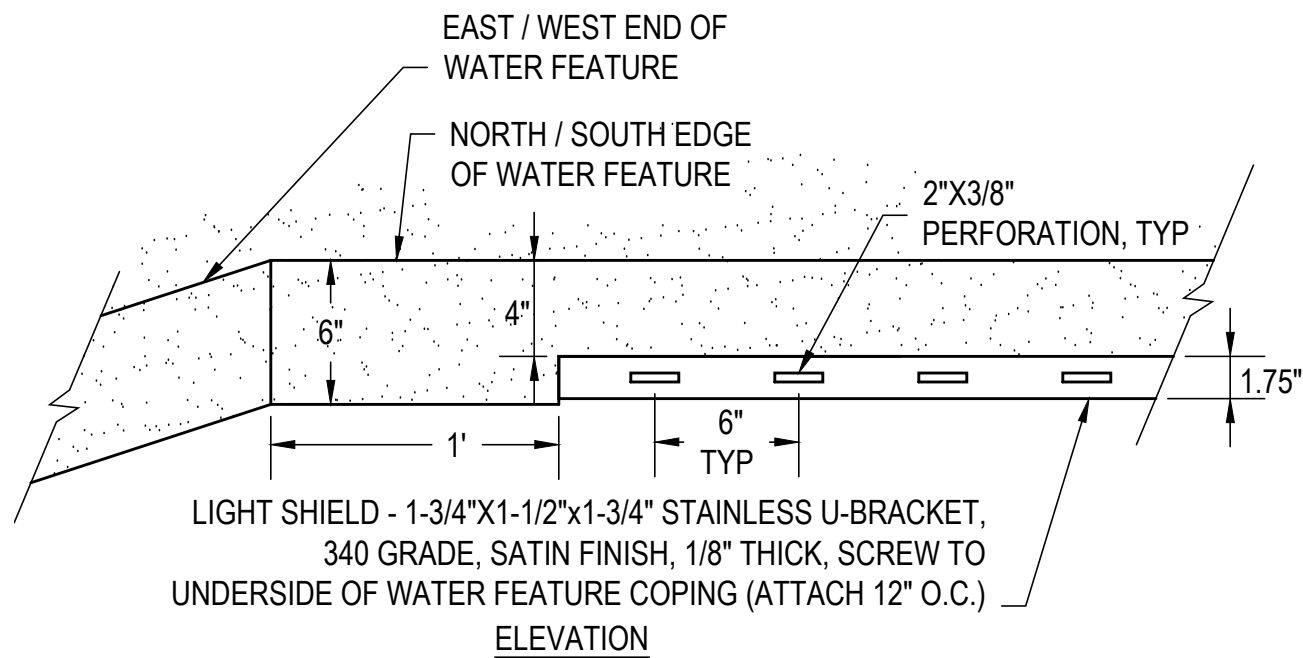
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62-HP-2021

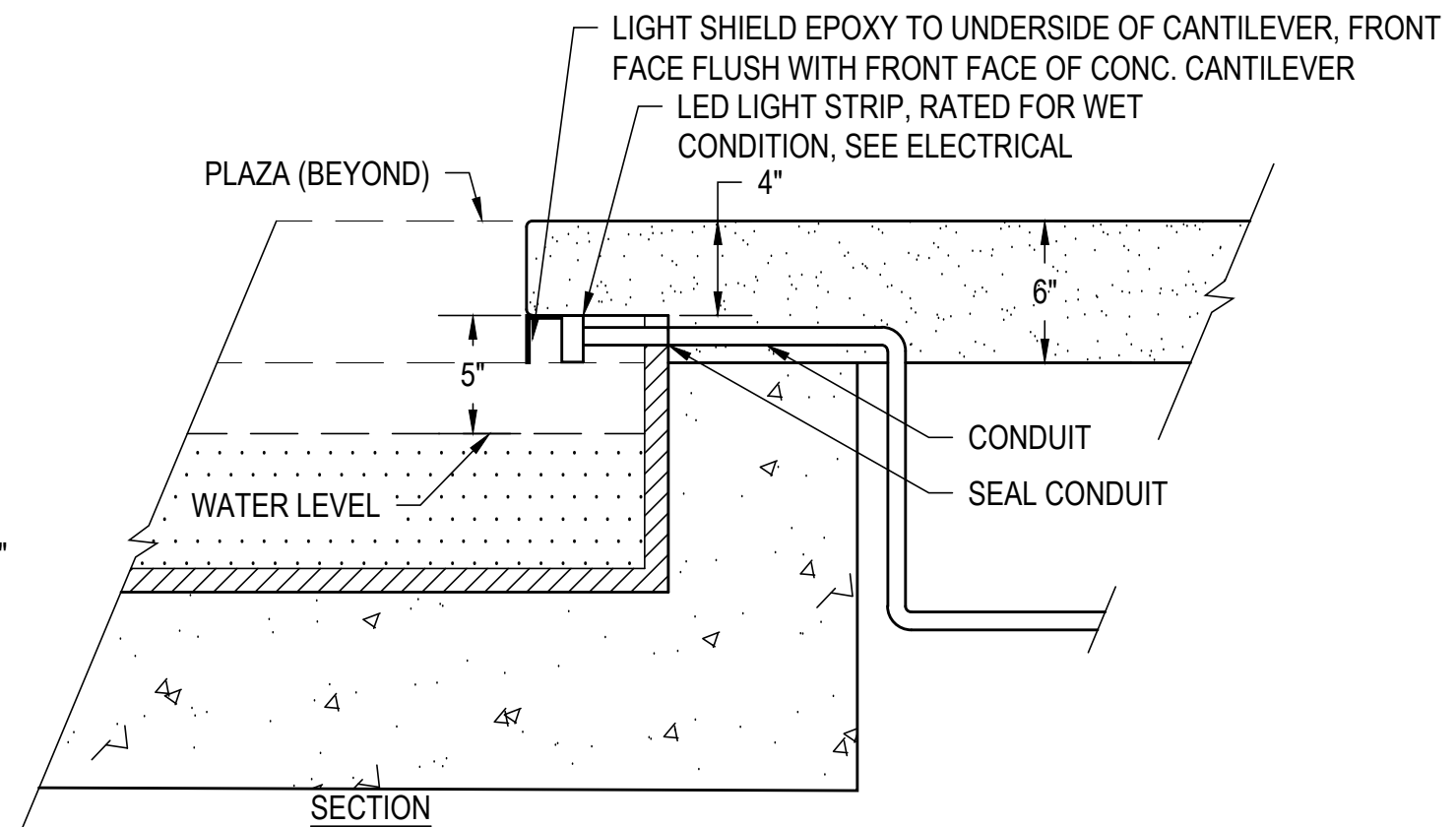


- NOTES:
1. STAINLESS STEEL SHALL BE 1/4" THICK, 304 GRADE, SATIN FINISH.
 2. ALL JOINTS SHALL APPEAR SEAMLESS AND SMOOTH.

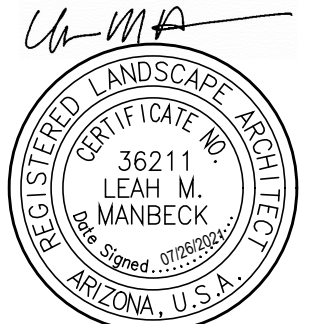
4 WATER FEATURE - SCUPPER
SCALE 1-1/2"=1'-0"



5a WATER FEATURE LIGHT SHIELD - ELEVATION
SCALE 1-1/2"=1'-0"



5b WATER FEATURE LIGHT SHIELD - SECTION
SCALE 1-1/2"=1'-0"



Expires 06/30/22

SHEET TITLE

**WATER
FEATURE -
DETAILS**

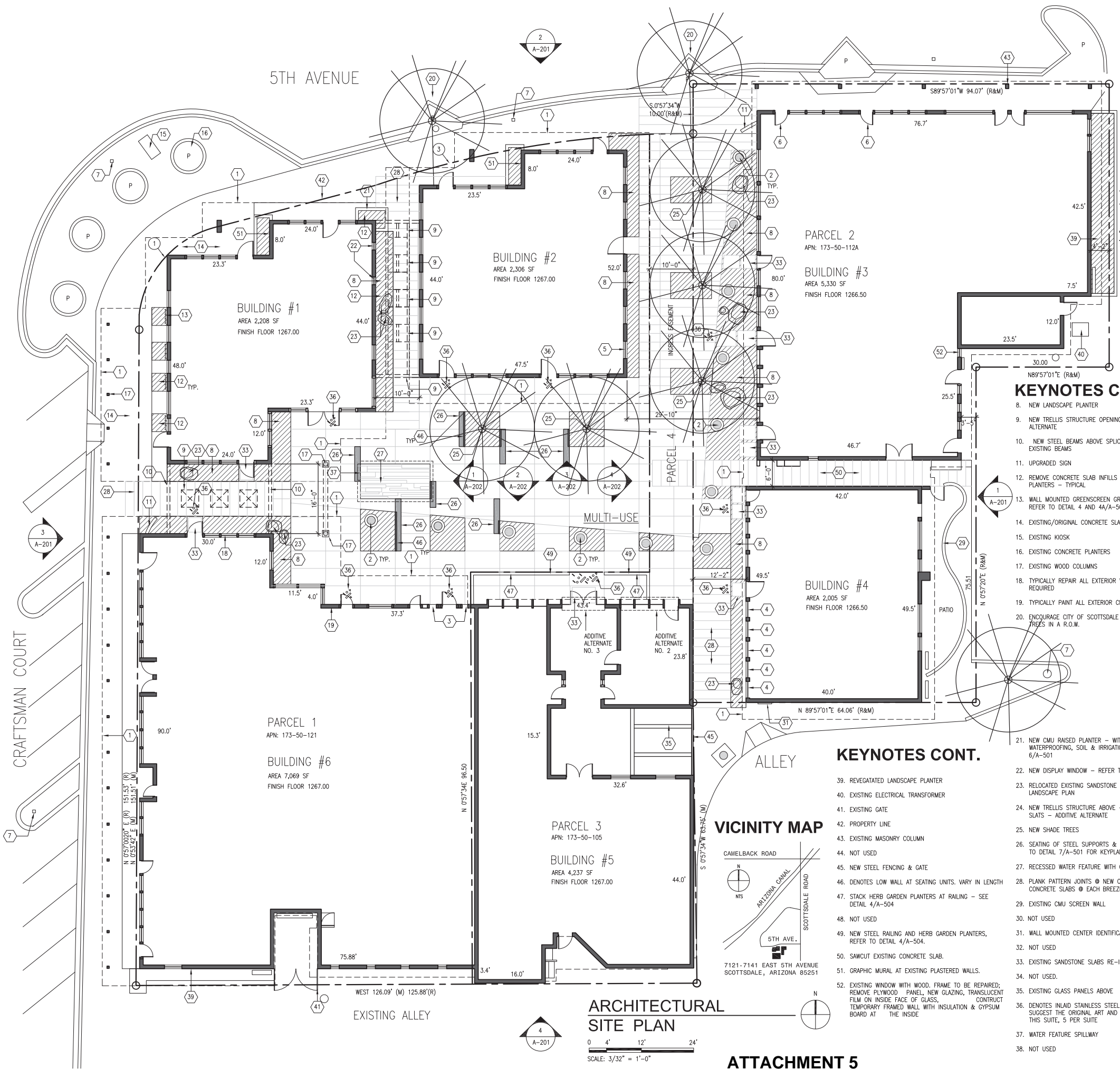
DATE

07/23/2021

SHEET NUMBER

L4

62-HP-2021



PROJECT DATA

PROJECT NAME:
KIVA CRAFT CENTER REHABILITATION

PROJECT ADDRESS:
7121 AND 7141 EAST FIFTH AVENUE, SCOTTSDALE, ARIZONA 85251

LEGAL DESCRIPTION:
S/71/7' 22 2N 4E

ASSESSOR'S PARCEL NUMBER:
PARCEL #: 173-50-105; 173-50-115A; 173-50-121

PROPERTY ZONING:
CENTRAL BUSINESS DISTRICT, HISTORIC PROPERTY (C-2 HP)

TOTAL SITE AREA:
.82 ACRES OR 35,667 SQUARE FEET

EXISTING BUILDING AREA:
6 BUILDINGS TOTALING 23,115 SQUARE FEET

APPLICANT:
DOUGLAS SYDNOR ARCHITECT AND ASSOCIATES, INC.
4806 N. 78TH PLACE
SCOTTSDALE, ARIZONA 85251
CONTACT: DOUGLAS SYDNOR, FAIA
TEL: 480.206.4593
EMAIL: DOUG_SYDNOR@OUTLOOK.COM

ORDINANCE:
CITY OF SCOTTSDALE ZONING ORDINANCE

EXISTING BUILDING AREA:
23,115 SF A/C EXISTING

COVERAGE OR FLOOR AREA RATIO: MAX .080 OR 35,667 SF, ACTUAL 64.8% OR 23,115 SF

PURPOSE: MERCANTILE - GROUP M
RESTAURANT/NIGHTCLUB - GROUP ASSEMBLY A-2

BUILDING HEIGHT: (EXCLUDES ROOF TOP APPURTENANCES); MAX 36 FEET, ACTUAL 24 FEET (V.I.F.) AT EXISTING STRUCTURE

REQUIRED OPEN SPACE:
TOTAL OPEN SPACE:
A. MINIMUM 0.14 X 35,667 SF NET LOT AREA = 4,993 SF; NO CHANGE
B. PARKING OPEN SPACE: ALL OFF-SITE AT STREET AND EAST SIDE ALLEY, NO CHANGE
C. BUILDING HEIGHT OVER 12 FEET, MINIMUM + .004 MULTIPLIED BY THE NET LOT AREA FOR EACH FOOT OVER 1 FEET, NO CHANGE
D. TOTAL OPEN SPACE DISTRIBUTED, NO CHANGE

YARDS: SIDE AND REAR YARDS: 0 FEET; ACTUAL SOUTH AT BUILDINGS #1 AND #5 - 3'-7" (V.I.F.); ACTUAL EAST AT BUILDING #4 12'-6" AND EAST BUILDING #4 4'-2"; NO CHANGE

BICYCLE PARKING: OVER 10,000 SF; CHANGING AND SHOWER FACILITIES REQUIRED, ACTUALLY PROVIDED. 1 SHOWER/20 BICYCLE PARKING SPACES, BICYCLE PARKING, MINIMUM 1 FOOT CANDLE AT PARKING SURFACE, SAME GRADE AS SIDEWALK, MINIMUM SIZE: 2'-6", RACK REQUIRED FOR LOCKING, WITHIN 100 FEET OF MAIN ENTRANCE. NO CHANGE

PARKING: NO CHANGE. MINIMUM 4% OF PARKING (MINIMUM 2% PER ADA): 2 EXISTING OFF-SITE SPACES ON MARSHALL WAY. MINIMUM 11'X16' LENGTH, AISLE 5' WIDE. 2 SPACES MAY SHARE ACCESS AISLE AS PROVIDED OFF-SITE. MAY REDUCE PARKING IF WITHIN 600' OF PUBLIC TRANSIT ROUTE AND STOP. MEETS THIS CRITERIA. MAX SLOPE ACROSS AISLE 1:50 RATIO, MAX AT RAMP 1:12 RATIO. ON-SITE PARKING DIMENSIONS PER TABLE 9.106A: NO PARKING ON SITE. SCREEN PARKING WITH SOLID 3" LANDSCAPING, FENCE OR WALL - EXISTING WALLS PROVIDED AS REQUIRED.

SIGNAGE: NEW EXTERIOR SIGNAGE FOR IDENTIFICATION AND TENANT LISTING. INDIVIDUAL TENANT SIGNS PROVIDED BY TENANTS. ALL OTHER EXISTING SIGNS TO REMAIN.

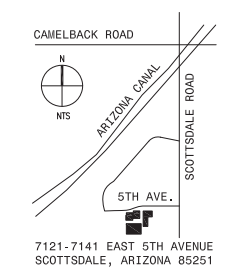
KEYNOTES CONT.

8. NEW LANDSCAPE PLANTER
9. NEW TRELLIS STRUCTURE OPENINGS ABOVE - ADDITIVE ALTERNATE
10. NEW STEEL BEAMS ABOVE SPLICED AT ENDS TO EXISTING BEAMS
11. UPGRADED SIGN
12. REMOVE CONCRETE SLAB INFILLS TO RESURRECT PLANTERS - TYPICAL
13. WALL MOUNTED GREENSCREEN GRID FOR WALL VINES - REFER TO DETAIL 4 AND 4A/A-501.
14. EXISTING/OIGINAL CONCRETE SLAB TO REMAIN
15. EXISTING KIOSK
16. EXISTING CONCRETE PLANTERS
17. EXISTING WOOD COLUMNS
18. TYPICALLY REPAIR ALL EXTERIOR WINDOW FRAMES AS REQUIRED
19. TYPICALLY PAINT ALL EXTERIOR CMU WALLS
20. ENCOURAGE CITY OF SCOTTSDALE TO PLANT STREET TREES IN A R.O.W.

KEYNOTES CONT.

21. NEW CMU RAISED PLANTER - WITH WEEP HOLES, WATERPROOFING, SOIL & IRRIGATION - REFER TO DETAIL 6/A-501
22. NEW DISPLAY WINDOW - REFER TO DETAILS 2&3/A-502
23. RELOCATED EXISTING SANDSTONE BOULDERS - PER LANDSCAPE PLAN
24. NEW TRELLIS STRUCTURE ABOVE - STEEL BEAM/METAL SLATS - ADDITIVE ALTERNATE
25. NEW SHADE TREES
26. SEATING OF STEEL SUPPORTS & CONCRETE LID - REFER TO DETAIL 7/A-501 FOR KEYPLAN & SECTION DETAILS
27. RECESSED WATER FEATURE WITH GLASS MOSAIC TILE
28. PLANK PATTERN JOINTS @ NEW CAST IN PLACE CONCRETE SLABS @ EACH BREEZEWAY 2'-0" O.C.
29. EXISTING CMU SCREEN WALL
30. NOT USED
31. WALL MOUNTED CENTER IDENTIFICATION SIGNAGE
32. NOT USED
33. EXISTING SANDSTONE SLABS RE-INSTALLED AT ENTRIES
34. NOT USED.
35. EXISTING GLASS PANELS ABOVE
36. DENOTES INLaid STAINLESS STEEL ARTIFACTS THAT SUGGEST THE ORIGINAL ART AND CRAFTS CREATED IN THIS SUITE, 5 PER SUITE
37. WATER FEATURE SPILLWAY
38. NOT USED

VICINITY MAP



ARCHITECTURAL SITE PLAN

0 4' 12' 24'
SCALE: 3/32" = 1'-0"

ATTACHMENT 5

ARCHITECT:
DOUGLAS SYDNOR ARCHITECT & ASSOCIATES, INC.
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 P 480.206.4593 e doug_sydnor@outlook.com
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PROJECT:
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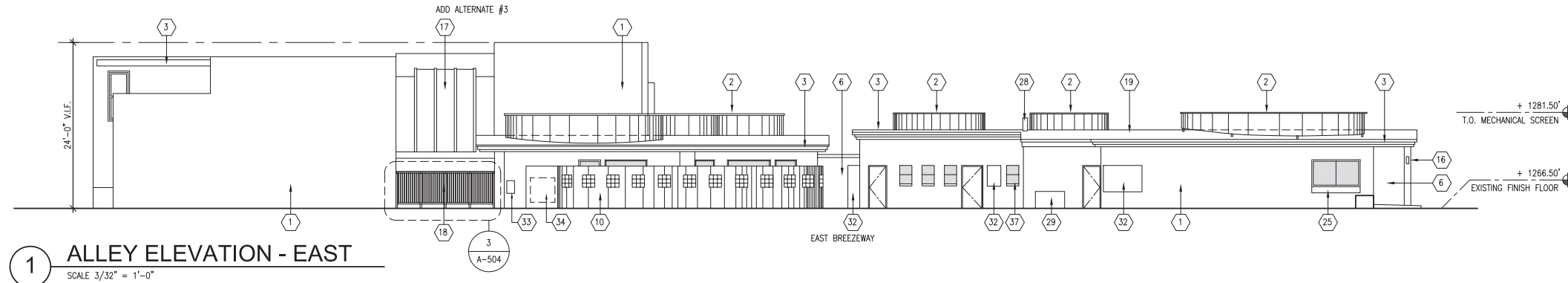


REVISIONS:
 DATE: **6/25/2021**
 ARCH. PROJECT: **2020 - B**

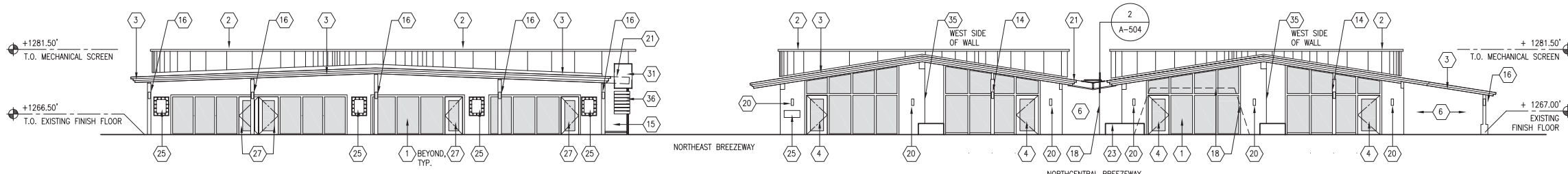
SITE PLAN

SHEET NO.

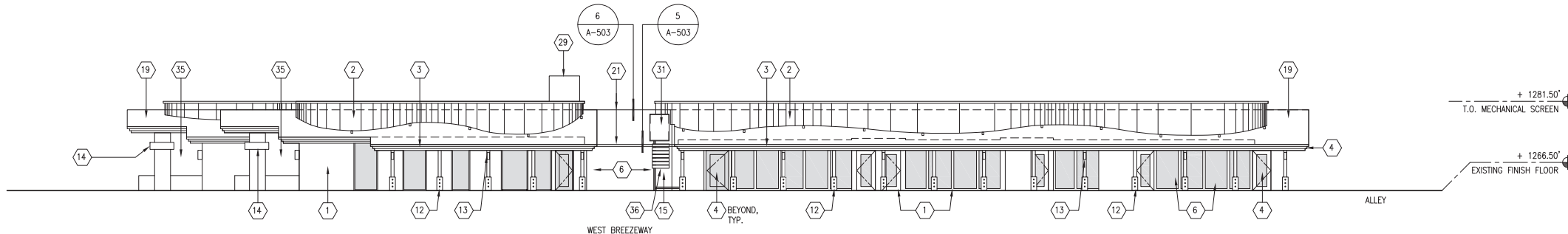
76-PA-2021 A-101
62-HP-2021



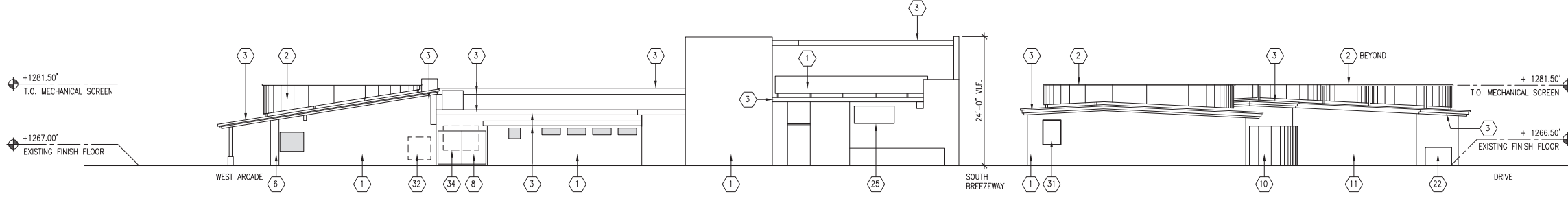
1 ALLEY ELEVATION - EAST
SCALE 3/32" = 1'-0"



2 5TH AVENUE ELEVATION - NORTH
SCALE 3/32" = 1'-0"



3 CRAFTSMAN COURT ELEVATION - WEST
SCALE 3/32" = 1'-0"



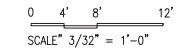
4 ALLEY & DRIVE - SOUTH
SCALE 3/32" = 1'-0"

SHEET NOTES

1. ALL EXISTING CMU WALLS TO BE PAINTED
2. ALL EXISTING WOOD WINDOW FRAMES TO BE REPAIRED AS REQUIRED.
3. ALL WOOD WINDOW FRAMES TO BE PAINTED.
4. ALL ROOF MOUNTED MECHANICAL EQUIPMENT MECHANICAL SCREENS AND FRAMING TO BE PAINTED.
5. ALL EXTERIOR SOFFITS TO BE PAINTED.
6. ALL EXTERIOR METAL FASCIA TO BE PAINTED.

KEYNOTES

1. EXISTING CONSTRUCTION TO REMAIN - TO BE PAINTED
2. EXISTING PUNCHED METAL MECHANICAL SCREEN - TO BE PAINTED
3. EXISTING METAL FASCIA - TO BE PAINTED
4. EXISTING WIDE STILE DOOR - TO BE PAINTED
5. EXISTING RAISED PLANTER - TO BE PAINTED
6. OPEN TO BEYOND
7. REMOVE & REPLACE WITH GLASS OR WOOD TO MATCH EXISTING
8. EXISTING WOOD GATE
9. NOT USED
10. EXISTING STACK BOND CMU SITE WALL
11. EXISTING CMU ADDITION
12. EXISTING WOOD POST W/ STEEL SURROUND @ BASE - PAINTED
13. EXISTING POST MOUNTED CUSTOM LIGHT SHIELD & LIGHT FIXTURE TO BE REMOVED - NEW LIGHT FIXTURE
14. EXISTING C.M.U. COLUMN MOUNTED CUSTOM LIGHT FIXTURE
15. EXISTING PUNCHED METAL MECHANICAL SCREEN FROM ROOF DOWN TO GROUND PLANE
16. EXISTING COLUMN MOUNTED CUSTOM SHIELD & LIGHT FIXTURE - TO BE REMOVED PROVIDE NEW LIGHT FIXTURE
17. EXISTING STAINED GLASS CANOPY TO REMAIN - REMOVED AND STORED AT ADDITIVE ALTERNATE PROVIDE NEW FABRIC CANOPY BY PHOENIX TENT AND AWNING - CUSTOM PER ARCHITECT
18. NEW STEEL FENCING AND GATE
19. EXISTING PITCHED ROOF
20. EXISTING WALL MOUNTED CUSTOM SHIELD & SCONCE LIGHT FIXTURE - TO BE REMOVED PROVIDE NEW LIGHT FIXTURE
21. NEW TRELLIS STRUCTURE OF STEEL BEAMS AND TRELLIS SLATS - ADDITIVE ALTERNATE
22. EXISTING MECHANICAL UNIT TO REMAIN
23. NEW CMU PLANTER TO MATCH 2 EXISTING CMU RAISED PLANTERS WITH 8"x8"x16" UNITS STACKED PATTERN AND SAME HEIGHT.
24. EXISTING SIGN
25. NEW TENANT SIGN - REFER TO DETAIL 4/A-502
26. EXISTING WOOD SIDING
27. NEW WIDE STILE WOOD DOORS WITH TEMPERED GLASS PANEL - PAINTED
28. EXISTING PARAPET WALL
29. EXISTING ELECTRICAL TRANSFORMER EQUIPMENT TO REMAIN
30. NEW BUILDING IDENTIFICATION SIGN - WALL MOUNTED
31. NEW BUILDING IDENTIFICATION SIGN
32. EXISTING ELECTRICAL PANELS OR CABINET - SEE ELEC. DWGS.
33. EXISTING COMMUNICATIONS PANEL.
34. EXTERIOR ELECTRICAL PANELS BEYOND.
35. NEW FULL HEIGHT AND WIDTH GRAPHIC AT EXISTING PLASTERED WALLS.
36. NEW TENANT SIGN PANELS AT MAJOR IDENTIFICATION SIGN.
37. EXISTING WINDOW WITH WOOD FRAME TO BE REPAIRED; REMOVE PLYWOOD PANEL, NEW GLAZING, TRANSLUCENT FILM ON INSIDE FACE OF GLASS, CONTRACT TEMPORARY FRAMED WALL WITH INSULATION & GYPSUM BOARD AT THE INSIDE

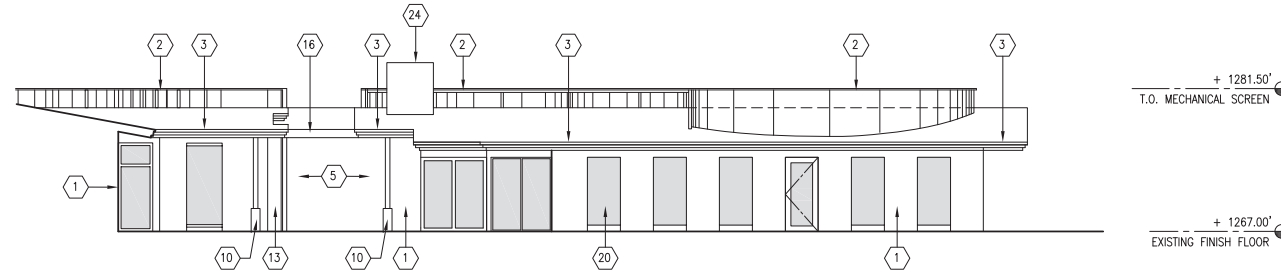


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PROJECT: **KIVA CRAFT CENTER REHABILITATION**
 7121-7141 East 5th Avenue, Scottsdale, Arizona 85251



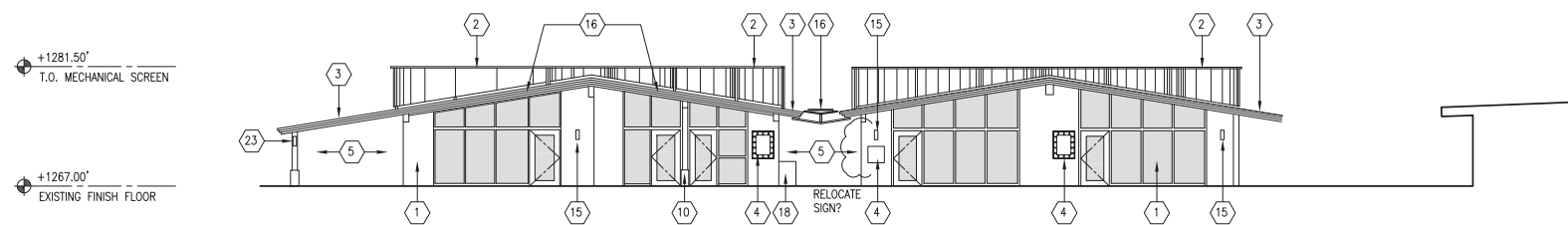
REVISIONS:	
DATE:	6/25/2021
ARCH. PROJECT:	2020 - B
SHEET CONTENT:	ELEVATIONS
SHEET NO.	



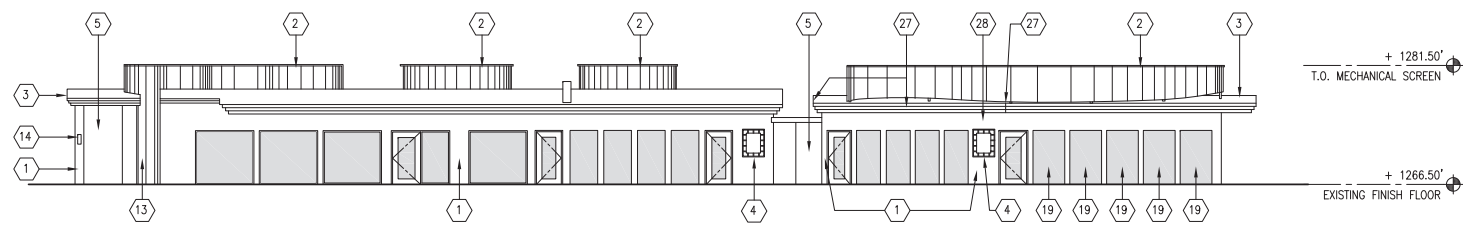
1 WEST ELEVATION OF COURTYARD
SCALE 3/32" = 1'-0"



2 SOUTH ELEVATION OF COURTYARD
SCALE 3/32" = 1'-0"



3 NORTH ELEVATION OF COURTYARD
SCALE 3/32" = 1'-0"



4 EAST ELEVATION OF COURTYARD
SCALE 3/32" = 1'-0"

SHEET NOTES

1. ALL EXISTING CMU WALLS TO BE PAINTED
2. ALL EXISTING WOOD WINDOW FRAMES TO BE REPAIRED AS REQUIRED.
3. ALL WOOD WINDOW FRAMES TO BE PAINTED.
4. ALL ROOF MOUNTED MECHANICAL EQUIPMENT MECHANICAL SCREENS AND FRAMING TO BE PAINTED.
5. ALL EXTERIOR SOFFITS TO BE PAINTED.
6. ALL EXTERIOR METAL FASCIA TO BE PAINTED.

KEYNOTES

1. EXISTING CONSTRUCTION TO REMAIN - PAINTED
2. EXISTING PUNCHED METAL MECHANICAL SCREEN - TO BE PAINTED
3. EXISTING METAL FASCIA - TO BE PAINTED
4. NEW TENANT SIGN - REFER TO DETAIL 4/A-502.
5. OPEN TO BEYOND
6. CERAMIC TILE TO REMAIN
7. EXISTING WOOD PANELING AND FINIS TO REMAIN - TO BE PAINTED
8. NEW CMU PLANTER BEYOND
9. REMOVE WOOD PANEL, PROVIDE WOOD WINDOW FRAME & FULL HEIGHT WINDOW TO MATCH EXISTING
10. EXISTING WOOD POST WITH STEEL SURROUND AT BASE - TO BE PAINTED
11. POST MOUNTED CUSTOM LIGHT SHIELD & FIXTURE - TO BE REMOVED, PROVIDE NEW LIGHT FIXTURE
12. NEW WOOD SIDING TO MATCH EXISTING ABOVE, ALIGN JOINTS/PATTERN
13. PUNCHED METAL MECHANICAL SCREEN FROM ROOF DOWN TO GROUND PLANE
14. EXISTING C.M.U. COLUMN MOUNTED CUSTOM LIGHT SHIELD & FIXTURE - TO BE REMOVED PROVIDE NEW LIGHT FIXTURE
15. EXISTING WALL MOUNTED CUSTOM SCENCE LIGHT SHIELD & FIXTURE - TO BE REMOVED PROVIDE NEW LIGHT FIXTURE
16. NEW TRELLIS/BEAM STRUCTURE - REFER TO DETAIL 1/A-504 - ADDITIVE ALTERNATE
17. EXISTING SMALLER WINDOWS AND FRAMES TO BE REMOVED. PROVIDE 8"x8"x16" CMU INFILL WITH STACKED PATTERN TO MATCH EXISTING ADJACENT WALL - PAINTED
18. NEW 8"x8"x16" CMU RAISED PLANTER IN STACKED PATTERN AND PAINTED - MATCH EXISTING 2 RAISED CMU PLANTER HEIGHT AND DETAILS
19. REMOVE EXISTING SOLID PANELS. PROVIDE TRANSLUCENT FILM ON INTERIOR SIDE OF GLASS
20. REMOVE EXISTING SOLID PANEL AND ELECTRICAL. PROVIDE NEW WOOD WINDOW FRAME AND CLEAR TEMPERED FULL HEIGHT GLAZING. RECONSTRUCT INTERIOR DRESSING ROOM FROM PARTITIONS AS REQUIRED.
21. REMOVE EXISTING SIGNAGE PANEL.
22. TYPICAL NEW HERB GARDEN PLANTERS AT NEW STEEL RAILING
23. EXISTING WOOD COLUMN MOUNTED CUSTOM SCENCE LIGHT SHIELD AND FIXTURE TO BE REMOVED - PROVIDE NEW LIGHT FIXTURE.
24. EXISTING ROOF MOUNTED MECHANICAL EQUIPMENT TO REMAIN.
25. ADD ALTERNATE NO. 2 - REINSTALL EXISTING GLASS WITH MATRIX PANEL AT INTERIOR SIDE - PLACEMENTS TO SIMULATE HISTORIC EXTERIOR IMAGE.
26. ADD ALTERNATE NO. 3 - REMOVE AND RESTORE EXISTING STAINED GLASS PANELS AT EAST SIDE PATIO CANOPY, REMOVE EXISTING RESTAURANT ENTRY DOOR AND UPPER PLASTERED WALLS, PROVIDE NEW WINDOW FRAMING TO MATCH EXISTING EAST BAYS; AND REINSTALL RESTORED GLASS PANELS AT THE INTERIOR SIDE. RELY ON EXISTING DOOR FOR ENTRY AND EXIT.
27. NEW CONTINUOUS HORIZONTAL METAL ROOF GUTTER AT EXISTING ROOF EDGE. MATCH EXISTING DETAIL TO THE SOUTH. PITCH AS REQUIRED FOR DRAINAGE.
28. REMOVE EXISTING WOOD BLOCKING AT CMU WALL

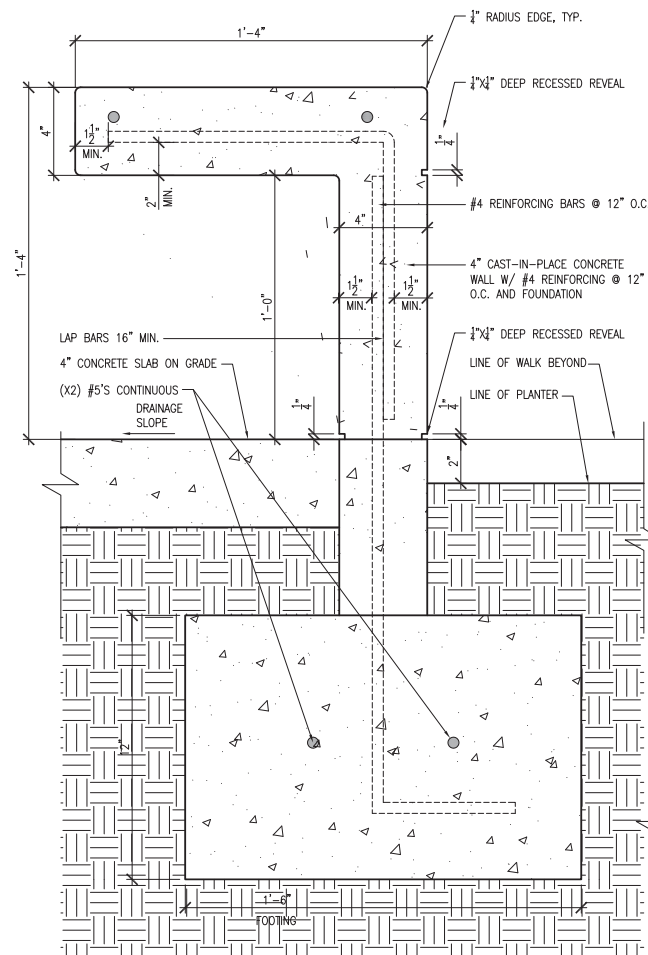
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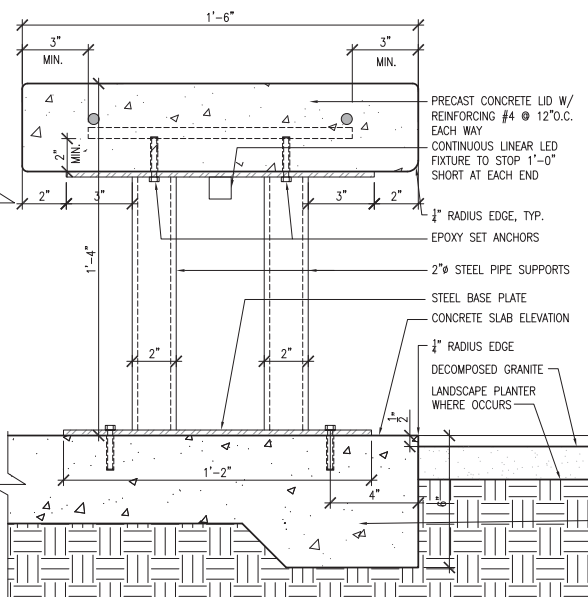


REVISIONS:	
DATE:	6/25/2021
ARCH. PROJECT:	2020 - B
SHEET CONTENT:	ELEVATIONS
SHEET NO.	

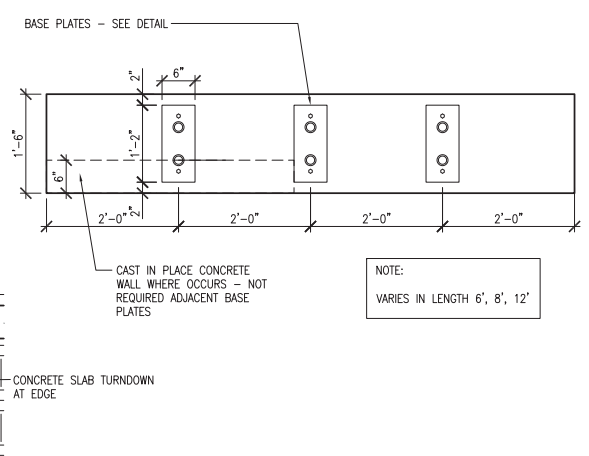
62-HP-2021 A-202
76-PA-2021



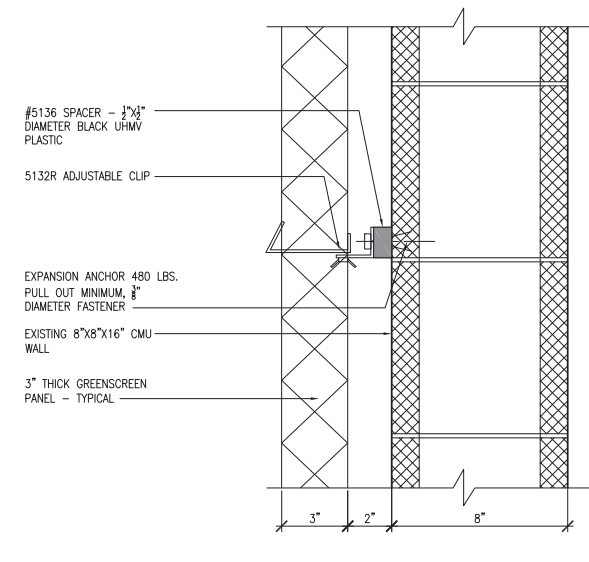
1 CONCRETE BENCH - SECTION @ WALL
SCALE: 3" = 1'-0"



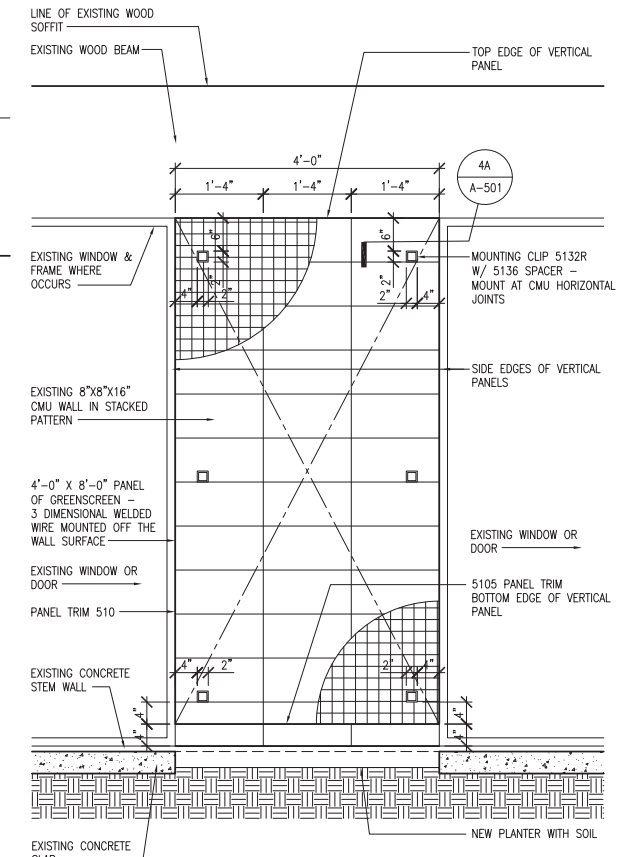
2 CONCRETE BENCH - SECTION @ SUPPORTS
SCALE: 3" = 1'-0"



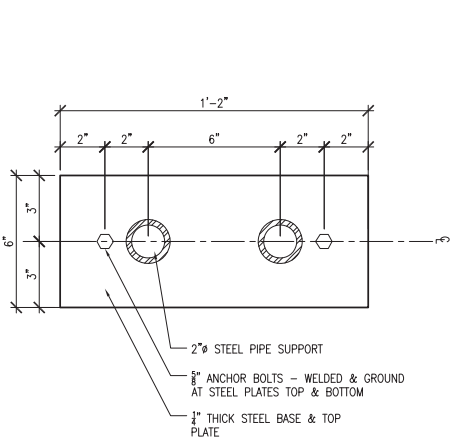
3 CONCRETE BENCH - SEATING PLAN
SCALE: 3/4" = 1'-0"



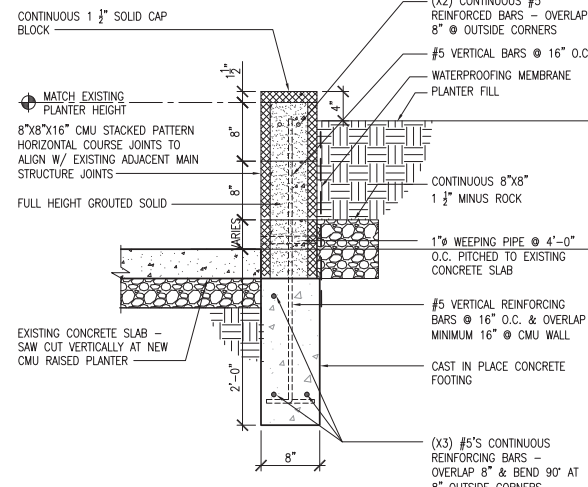
4A NEW GREENSCREEN @ EXISTING CMU
SCALE: 3/4" = 1'-0"



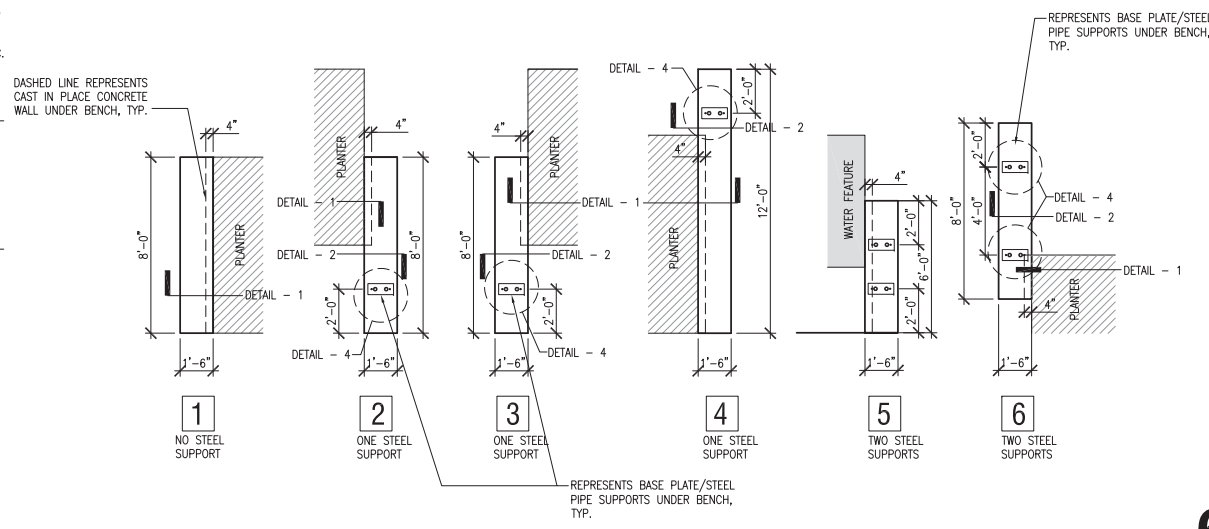
4 GREENSCREEN - ELEVATION
SCALE: 3/4" = 1'-0"



5 CONCRETE BENCH - BASE PLATE
SCALE: 3" = 1'-0"



6 PLANTER WALL - SECTION
SCALE: 1" = 1'-0"



7 CONCRETE BENCH - KEY PLAN
SCALE: 1/4" = 1'-0"



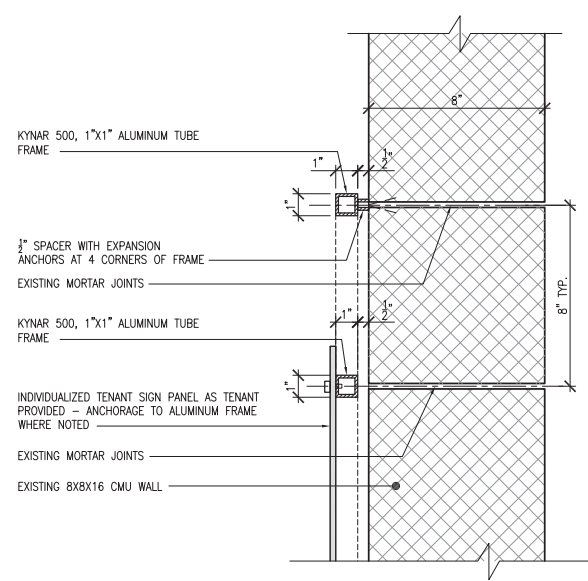
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REVISIONS:	
DATE:	6/25/2021
ARCH. PROJECT:	2020 - B
SHEET CONTENT:	EXTERIOR DETAILS
SHEET NO.	

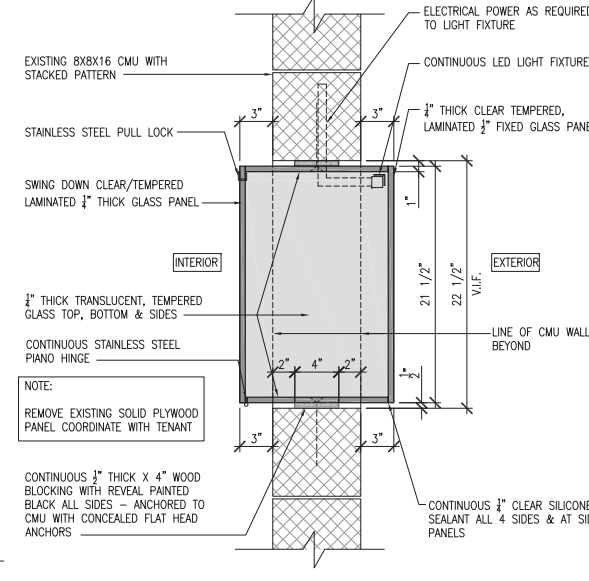
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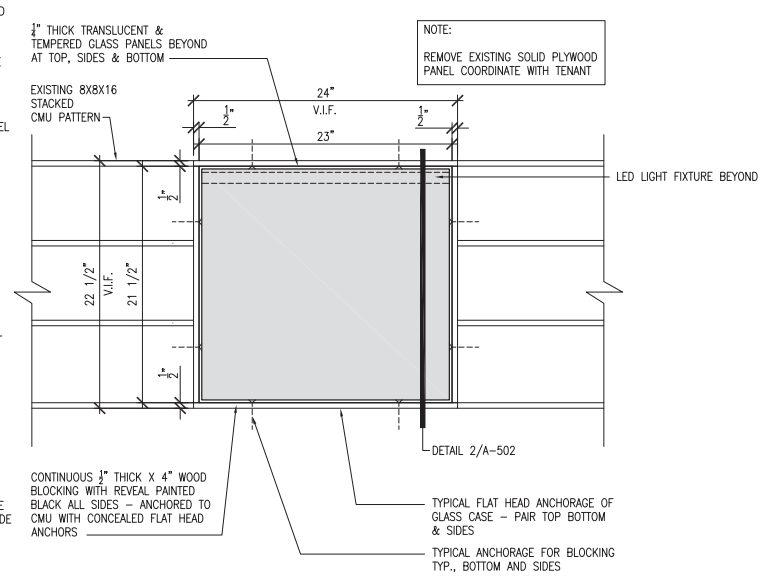
PROJECT:
KIVA CRAFT CENTER REHABILITATION
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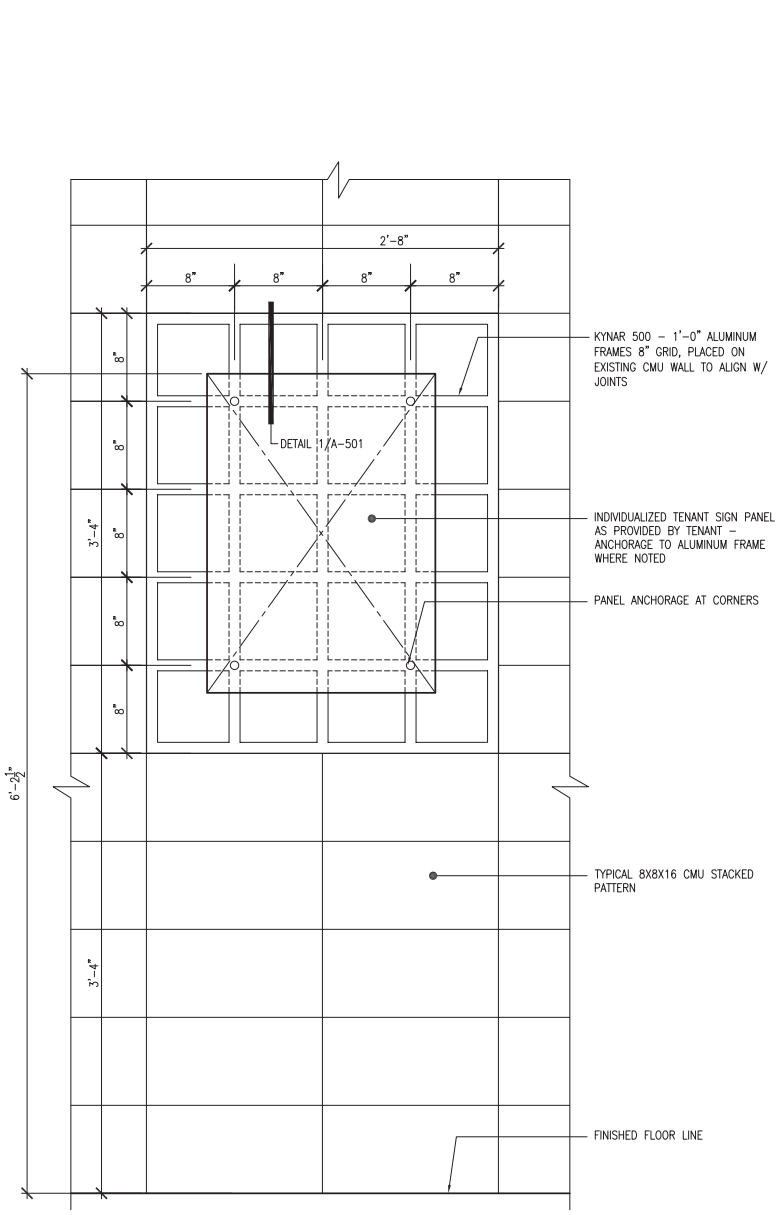
1 TYPICAL TENANT SIGN - ATTACHMENT
 SCALE: 3" = 1'-0"
 NOTE: TYPICAL @ ALL SIGN EDGES



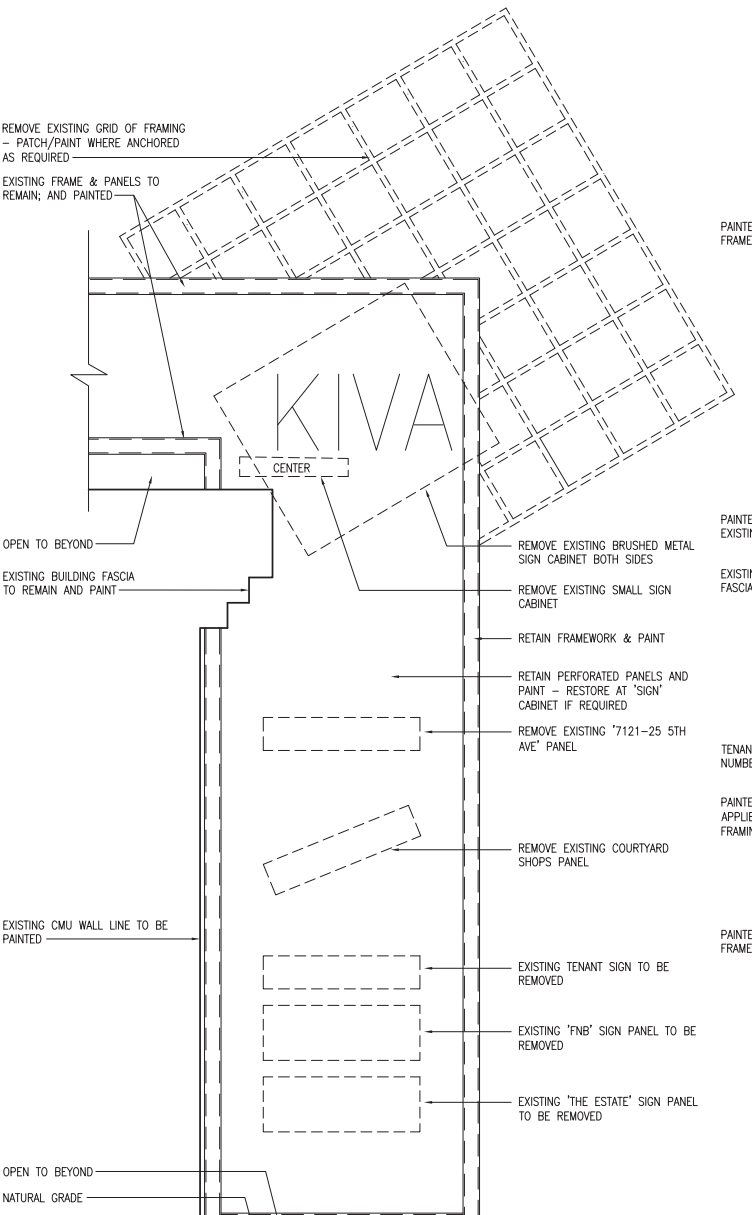
2 GLASS DISPLAY CASE - SECTION
 SCALE: 1 1/2" = 1'-0"



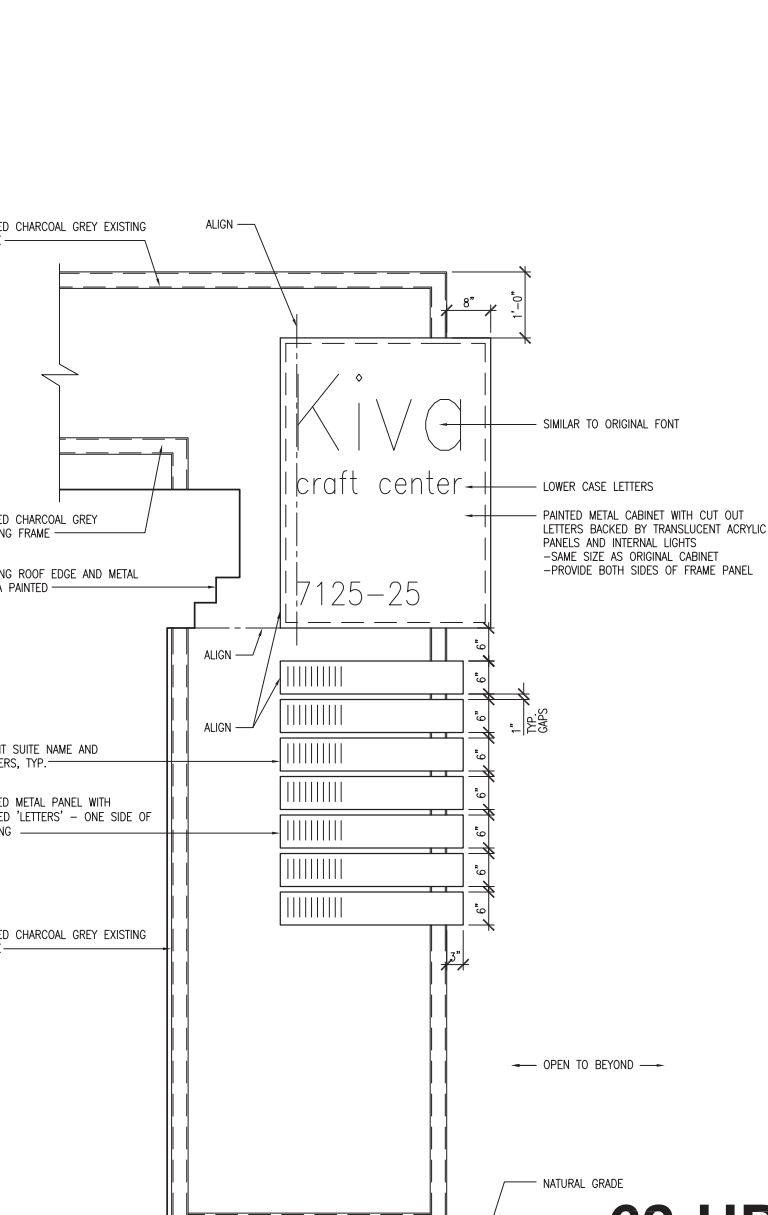
3 GLASS DISPLAY CASE - FRONT ELEVATION
 SCALE: 1 1/2" = 1'-0"



4 TYPICAL TENANT SIGN - ELEVATION
 SCALE: 1 1/2" = 1'-0"



5 MAJOR IDENTIFICATION SIGN - PARTIAL DEMO
 SCALE: 3/4" = 1'-0"



6 MAJOR IDENTIFICATION SIGN - REHABILITATED
 SCALE: 3/4" = 1'-0"

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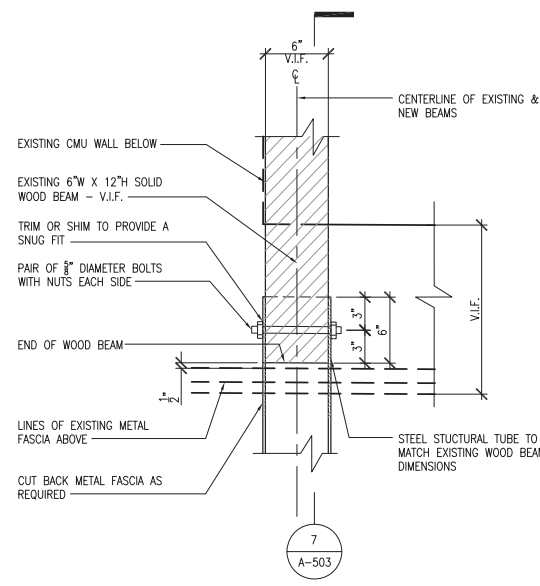
DATE: 6/25/2021

ARCH. PROJECT: 2020 - B

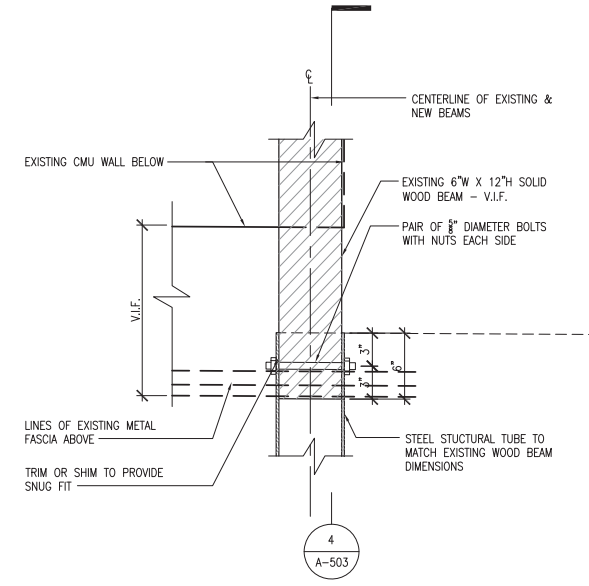
SHEET CONTENT: SIGNAGE DETAILS

SHEET NO.

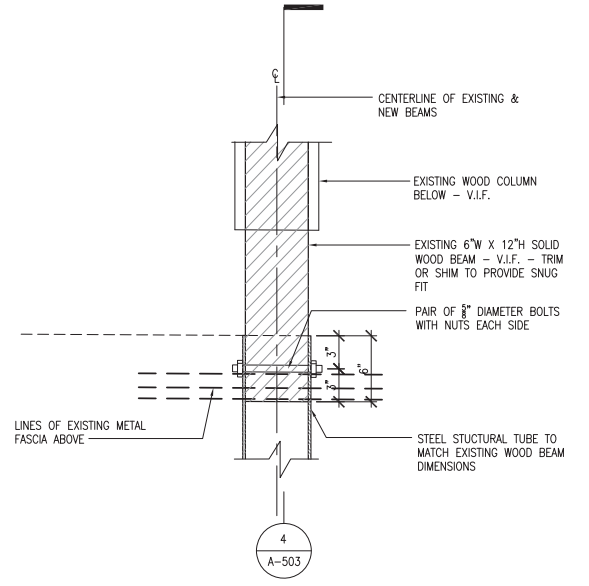
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76-PA-2021



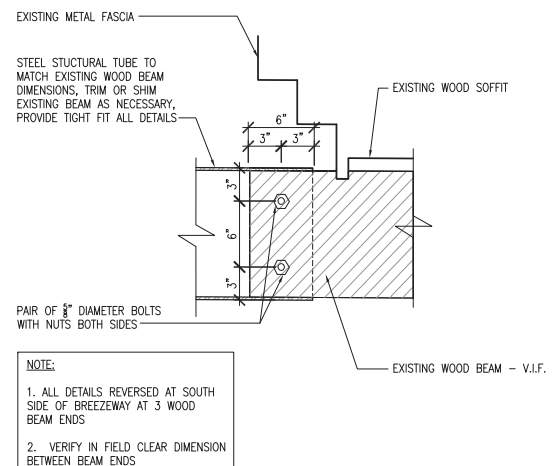
1 PLAN - WEST BEAM CONNECTION
SCALE: 1 1/2" = 1'-0"



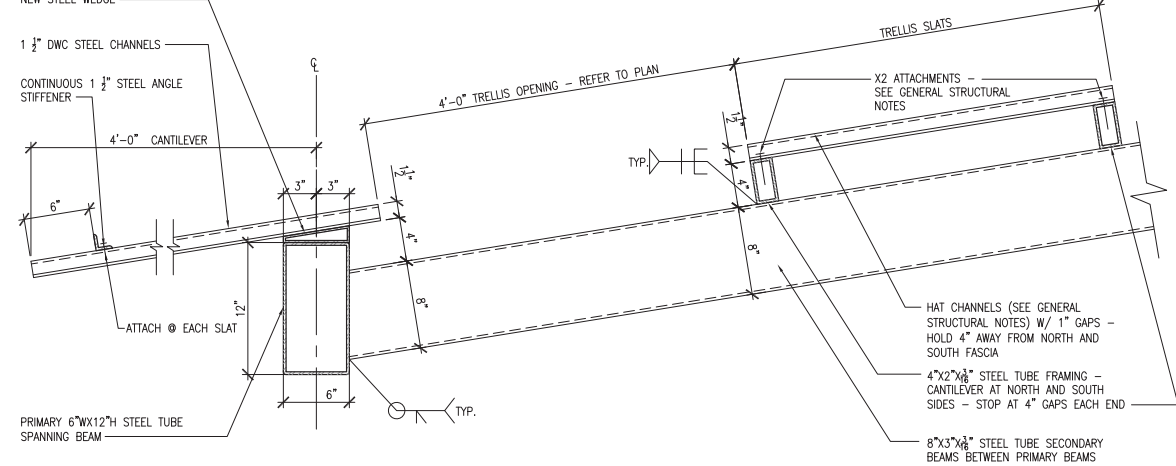
2 PLAN - MIDDLE BEAM CONNECTION
SCALE: 1 1/2" = 1'-0"



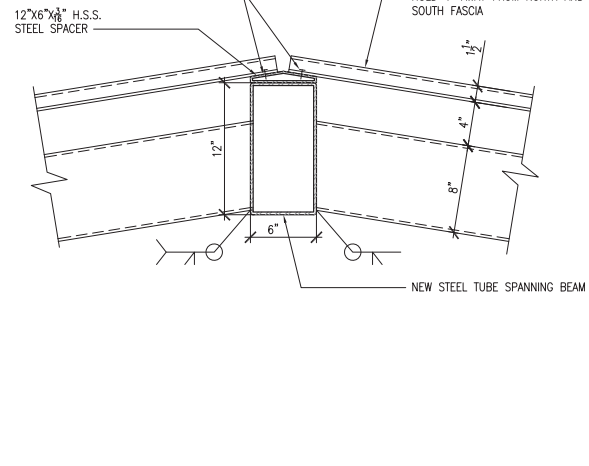
3 PLAN - EAST BEAM CONNECTION
SCALE: 1 1/2" = 1'-0"



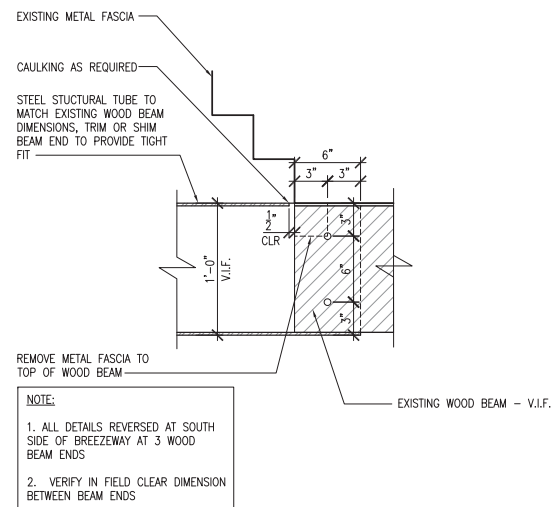
4 SECTION - MIDDLE & EAST BEAM CONN.
SCALE: 1/4" = 1'-0" REVERSED AT SIMILAR



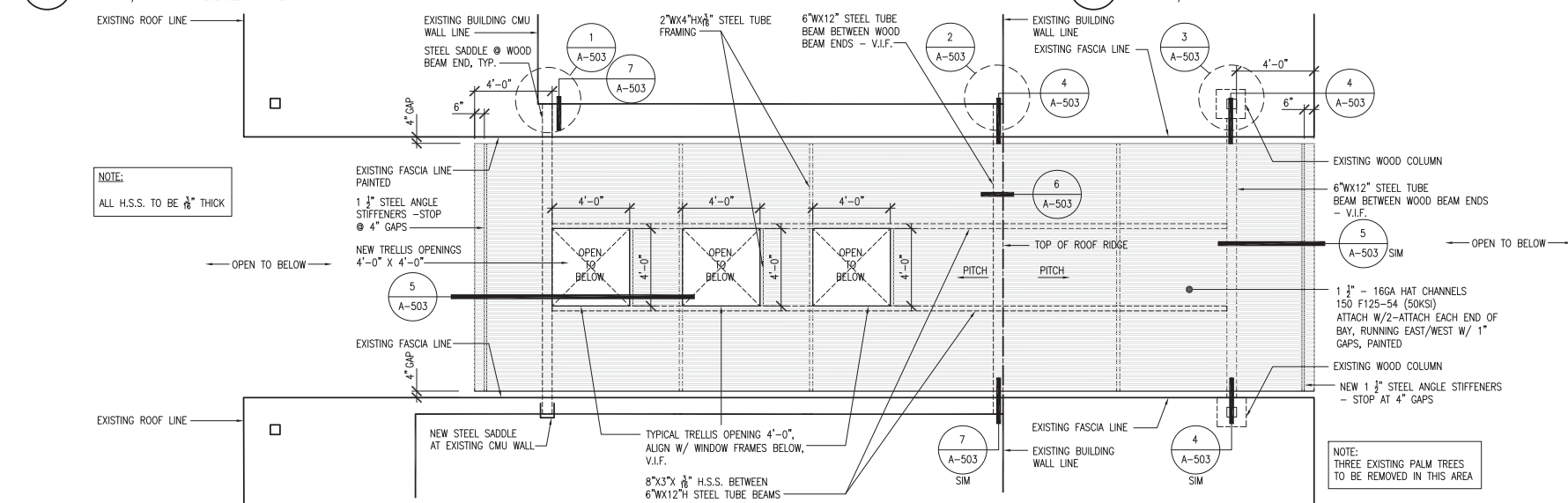
5 TRELLIS - SECTION @ WEST & EAST EDGES
SCALE: 1/4" = 1'-0" REVERSED AT SIMILAR



6 TRELLIS @ ROOF RIDGE
SCALE: 1/4" = 1'-0"



7 SECTION - WEST BEAM CONNECTION
SCALE: 1 1/2" = 1'-0"



8 TRELLIS PLAN @ WEST BREEZEWAY
SCALE: 1/4" = 1'-0"



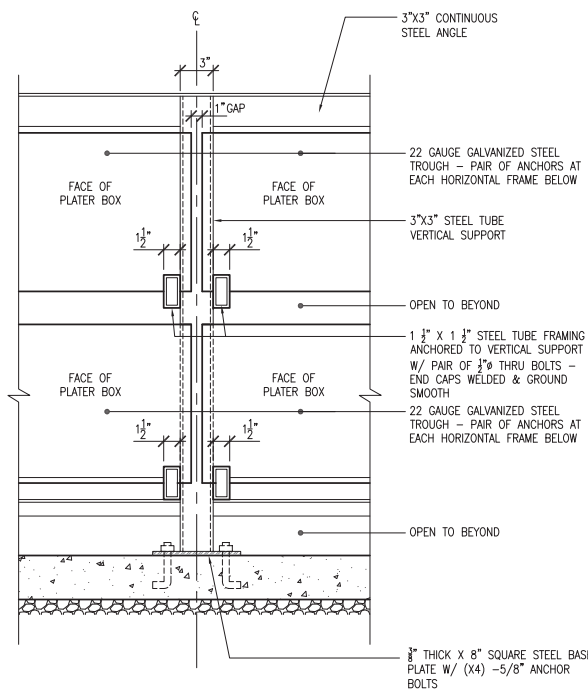
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DATE:	6/25/2021
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SHEET CONTENT:	TRELLIS @ WEST BREEZEWAY
SHEET NO.	

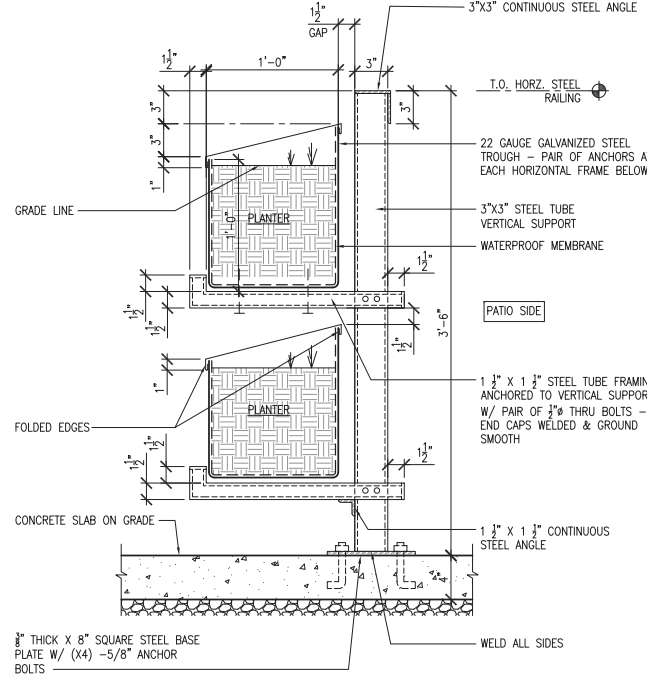
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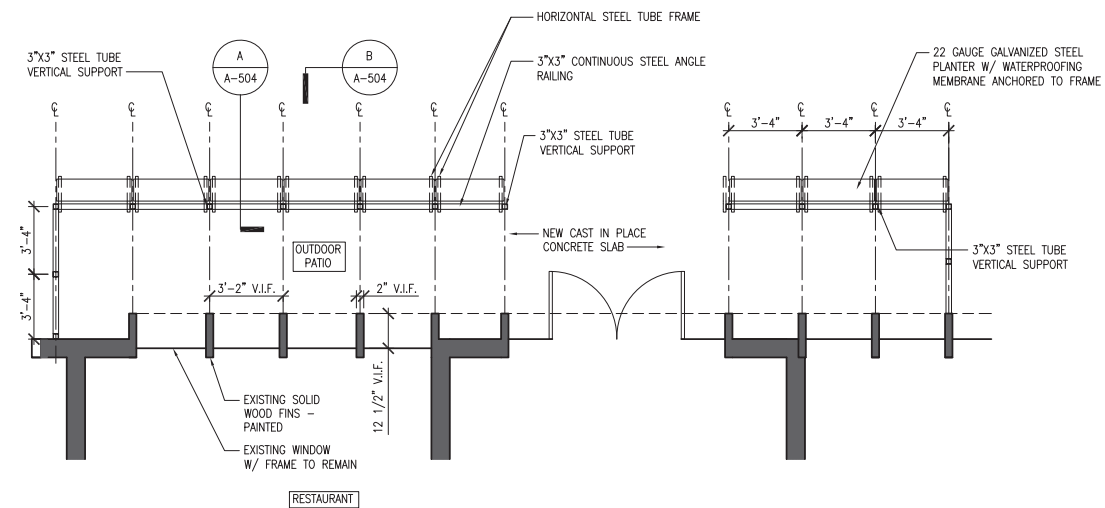
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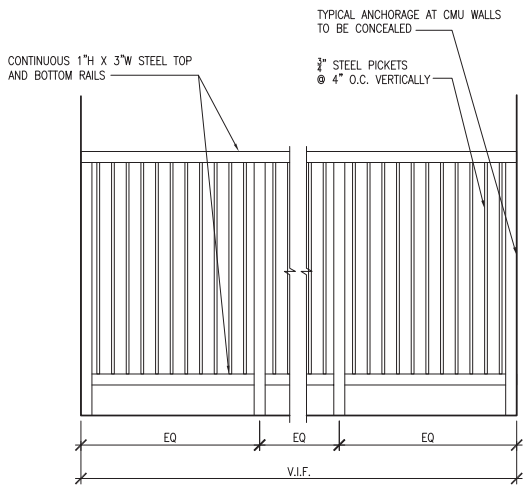
B HERB PLANTER - PARTIAL FRONT ELEVATION
SCALE: 1 1/2" = 1'-0"



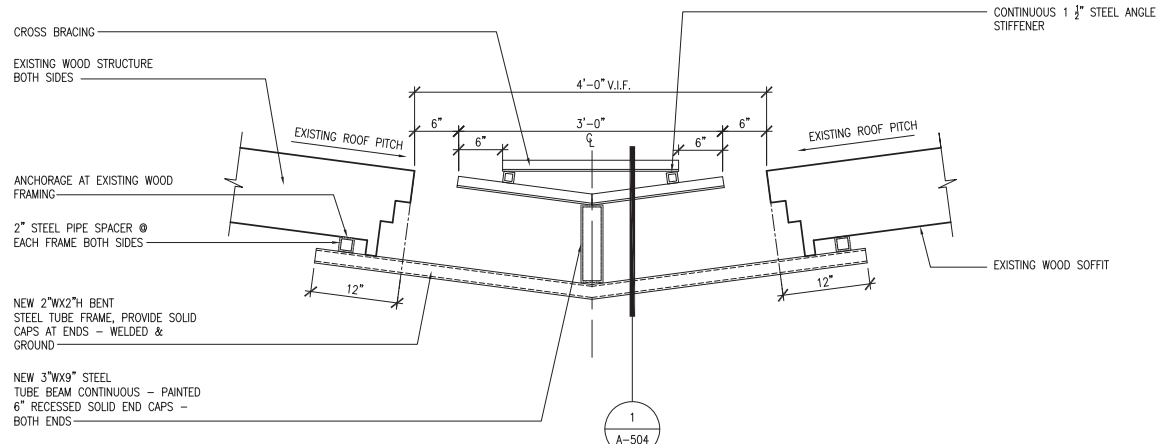
A HERB PLANTER - SECTION
SCALE: 1 1/2" = 1'-0"



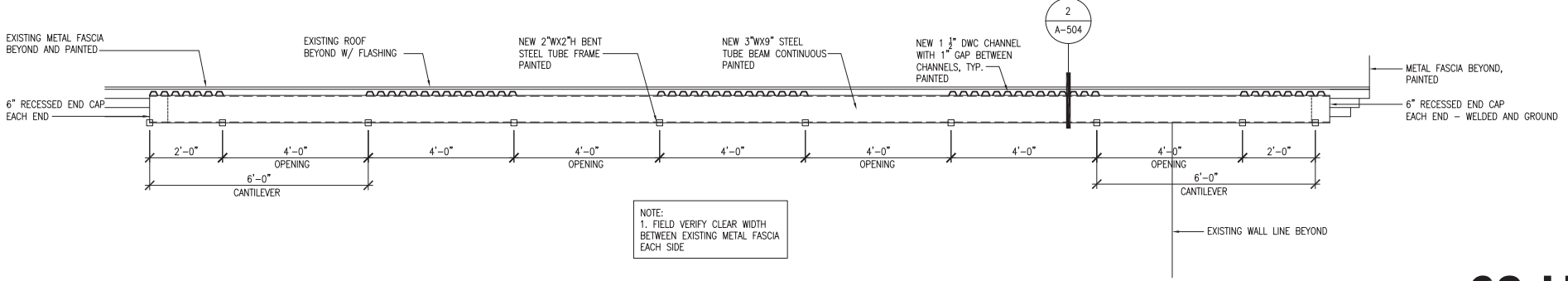
4 RAILING & HERB GARDEN PLAN
SCALE: 1/4" = 1'-0"



3 NEW FENCING
SCALE: 1/4" = 1'-0"



1 TRELLIS CROSS SECTION @ NORTH BREEZEWAY
SCALE: 1/4" = 1'-0"



2 TRELLIS LONGITUDINAL SECTION @ NORTH BREEZEWAY
SCALE: 1/4" = 1'-0"

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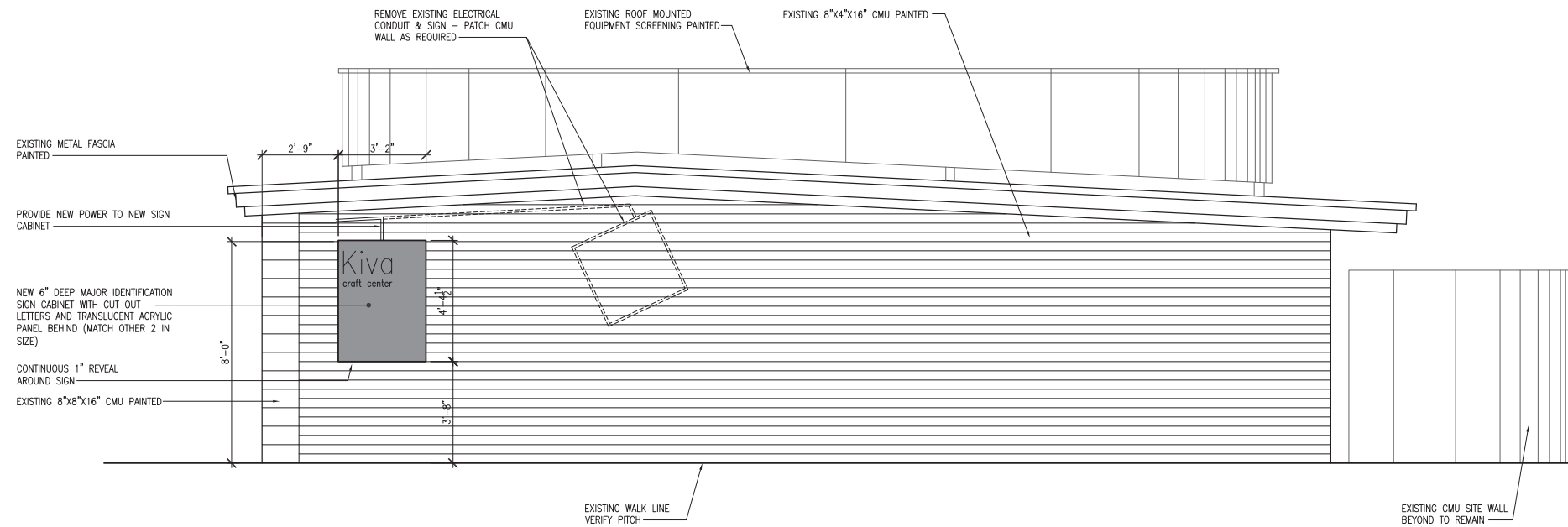
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	6/25/2021	

ARCH. PROJECT: 2020 - B

SHEET CONTENT:
EXTERIOR DETAILS

SHEET NO.

62-HP-2021 A-504
76-PA-2021



1 SOUTH ELEVATION @ IDENTIFICATION SIGN
SCALE: 3/8" = 1'-0"

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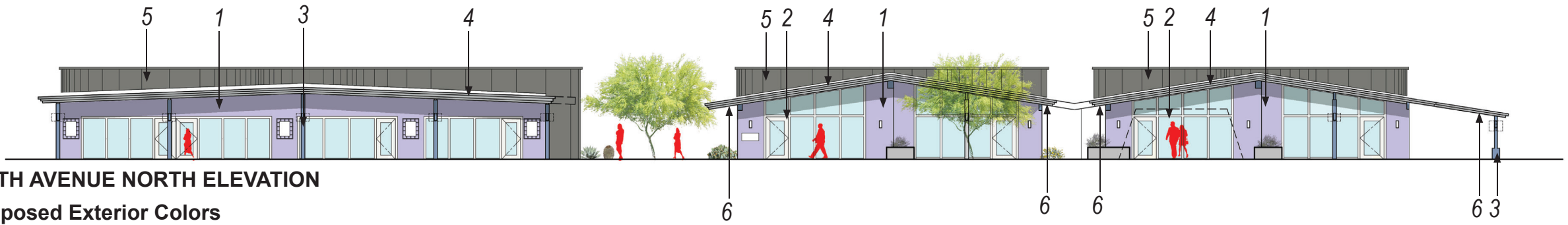


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DATE: 6/25/2021
ARCH. PROJECT: 2020 - B

SHEET CONTENT:
PUBLIC ART MURAL

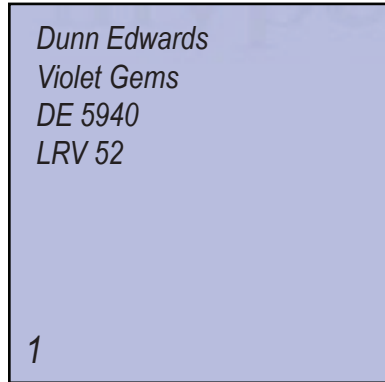
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62-HP-2021 A-505
76-PA-2021



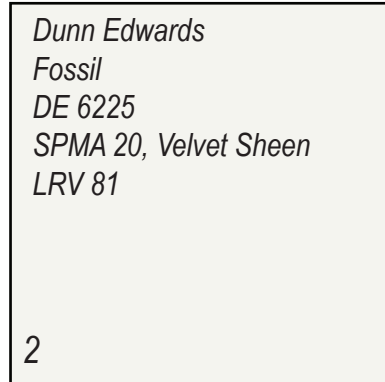
FIFTH AVENUE NORTH ELEVATION

Proposed Exterior Colors



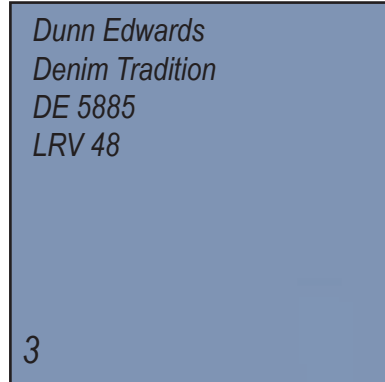
Dunn Edwards
Violet Gems
DE 5940
LRV 52

1



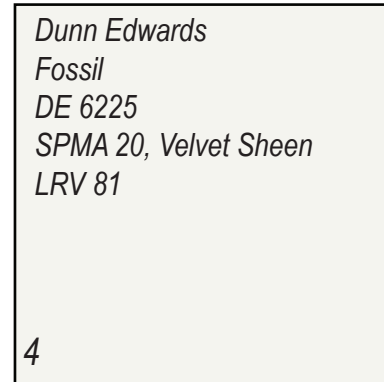
Dunn Edwards
Fossil
DE 6225
SPMA 20, Velvet Sheen
LRV 81

2



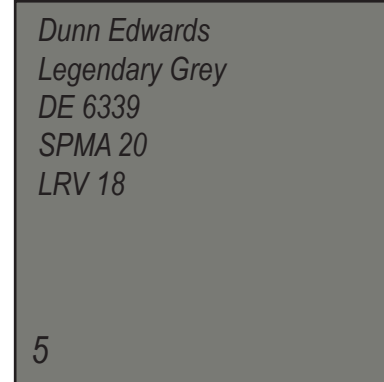
Dunn Edwards
Denim Tradition
DE 5885
LRV 48

3



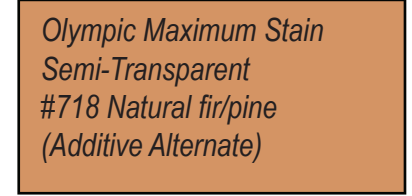
Dunn Edwards
Fossil
DE 6225
SPMA 20, Velvet Sheen
LRV 81

4

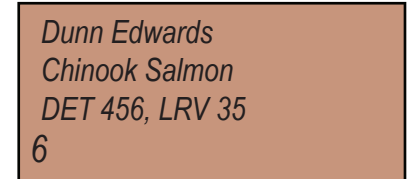


Dunn Edwards
Legendary Grey
DE 6339
SPMA 20
LRV 18

5



Olympic Maximum Stain
Semi-Transparent
#718 Natural fir/pine
(Additive Alternate)



Dunn Edwards
Chinook Salmon
DET 456, LRV 35

6

Existing Concrete Masonry Unit Walls & Columns (Bldg 3,4,5)

Existing Window & Door Frames

Existing Wood Beams & Columns

Existing Metal Fascia

Existing Roof Mounted Mechanical Equipment Screens

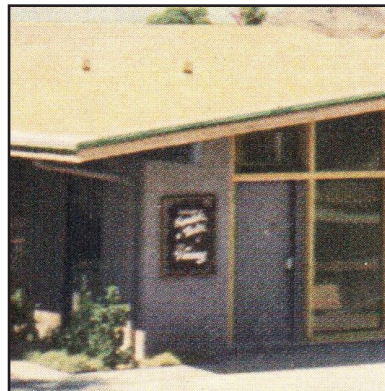
**Existing Wood Soffits at Buildings 1,2 &6 with stain
All Buildings Painted as basic scope**



1A



2A



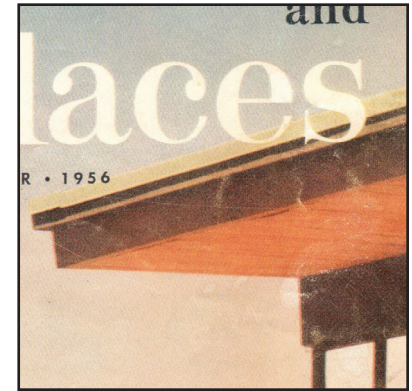
*3A



4A



5A



*6A

Original Colors

EXTERIOR BUILDING COLOR AND MATERIAL SAMPLE BOARD

Kiva Craft Center Rehabilitation

76-PA-2021; Arch File #202013

WALL GRAPHIC NARRATIVE

Kiva Craft Center Rehabilitation

62-HP-2021; 76-PA-2021

Douglas Sydnor Architect and Associates, Inc.

July 28, 2021

The following describes the two (2) proposed wall graphics located on Buildings #1 and #2 north elevations, and fronting on Fifth Avenue.

Lloyd Kiva New (Cherokee/Scottish) was the original visionary, artist, developer, and owner of the 1955-1958 Kiva Craft Center at 7121 and 7141 East Fifth Avenue in 'Old Town' Scottsdale. There is a desire to have his art influence the proposed new wall graphics. His 1973 art piece and oil painting titled *Indian Beadwork* (51 x 48.125 inches) as enclosed clearly stands out as extraordinary within his body of work.

Wall graphics are a reinterpretation of this art piece and are not mimicking it. The three basic concepts influenced by this painting and being explored are:

1. Nonobjective subject matter;
2. Purely geometrical; and
3. Bold rich colors of the southwest.

The colors have been studied and the following are our understanding of their subliminal meanings; and for the purpose of the painting. The wall graphics will attempt to match such colors or be extremely similar in spirit for the symbolic benefit.

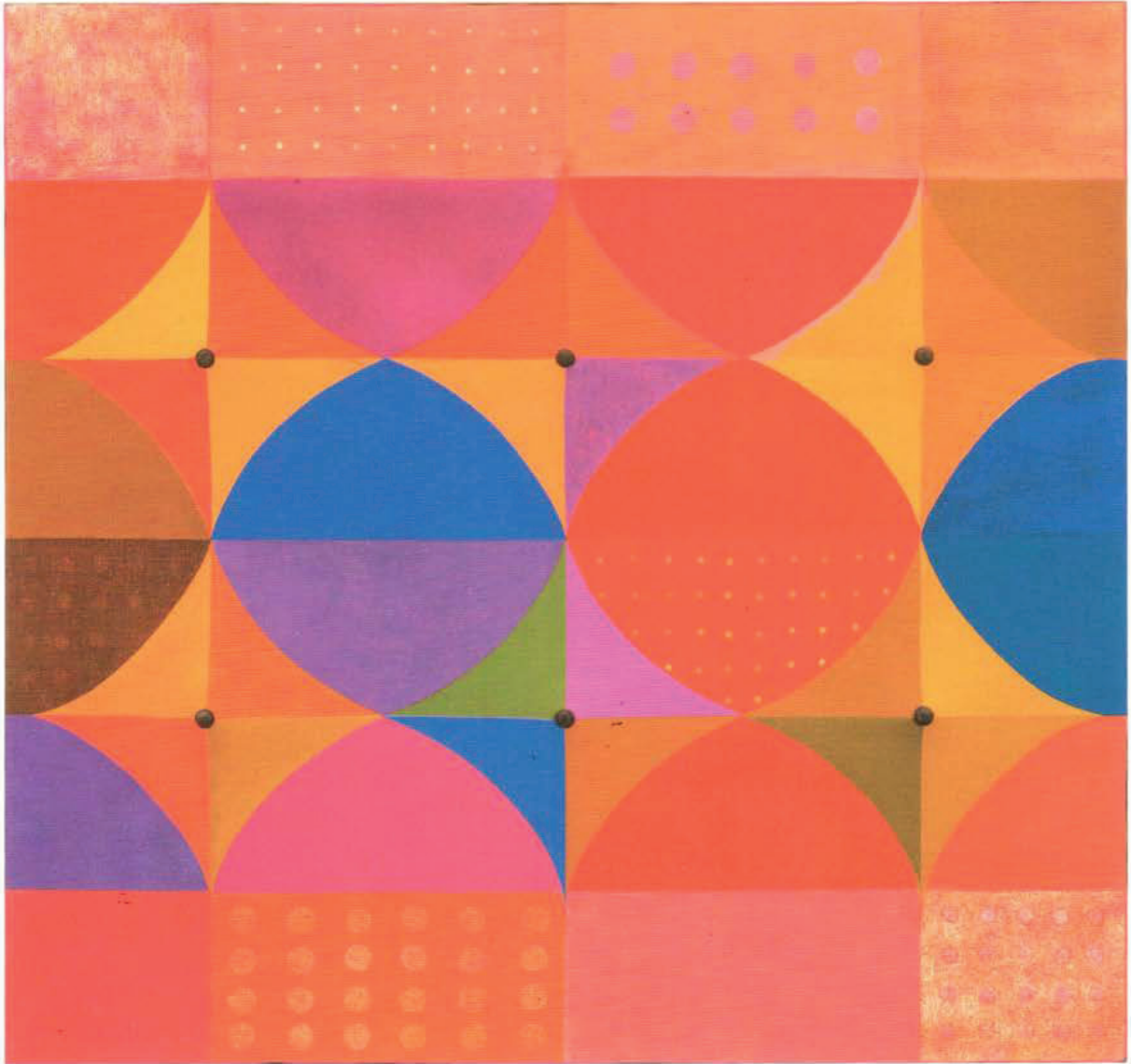
1. 'Red,' 'Orange' and 'Pink' as our local sunsets.
2. 'Yellow' as the sun.
3. 'Blue' as water.
4. 'Green' as the landscape.
5. 'Brown,' 'Tan', and 'Ocher' as the earth.
6. 'Purple' and 'Lavender' as the McDowell Mountains shadows.

Proposed wall graphic explores the following ideas:

1. There are locations where a person can stand and actually view both wall graphics at the same time, so an idea is to view the **graphics as an intentional pairing** and each is one half of a larger graphic idea. The ideal location is west of them and aligned with a Building #2 exterior wall; and the ideal viewing height (of a painting) is about 5 feet; and so the centroid of the wall graphic is at this exterior wall and 5 feet above grade.
2. **Graphic explores a dramatic perspective** and with them addressing Fifth Avenue with its vehicular traffic and the Kiva Craft Center attracting pedestrian traffic, the **wall graphic is about movement on the street and throughout the Kiva Craft Center**. The flaring forms, overlapping colors, staggered patterns, dashed lines, and series of dots all speak to this notion. The use of linear black elements reinforces this movement; while also referring back to New's painting with his use of the black metal studs.
3. Also knowing that the existing structures masonry walls will be painted a Lavender color, this **contextual color for the wall graphic will work visually quite well** with the proposed colors. The

graphic 'purple' is a visual reference to this new wall color; and the 'blue' is a reference to the proposed blue-grey color at the existing wood beams above. The graphic 'green' will tie into the existing raised planter landscape at the bottom edge of the graphic. So the wall graphic can be understood as a contextual and integrated piece with the surrounding architecture.

4. The nonobjective subject, pure geometry, and rich colors are also **appropriate for the existing mid-century modern architecture**; as they are reminiscent of the graphics used at that time.



Lloyd Kiva New (Cherokee), *Indian Beadwork*, oil and metal studs on canvas, 51 x 48.125 in., 1973. Courtesy of IAlA Museum of Contemporary Native Arts, Santa Fe, NM: Che-121. Photo by Jason S. Ordaz.

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1982"





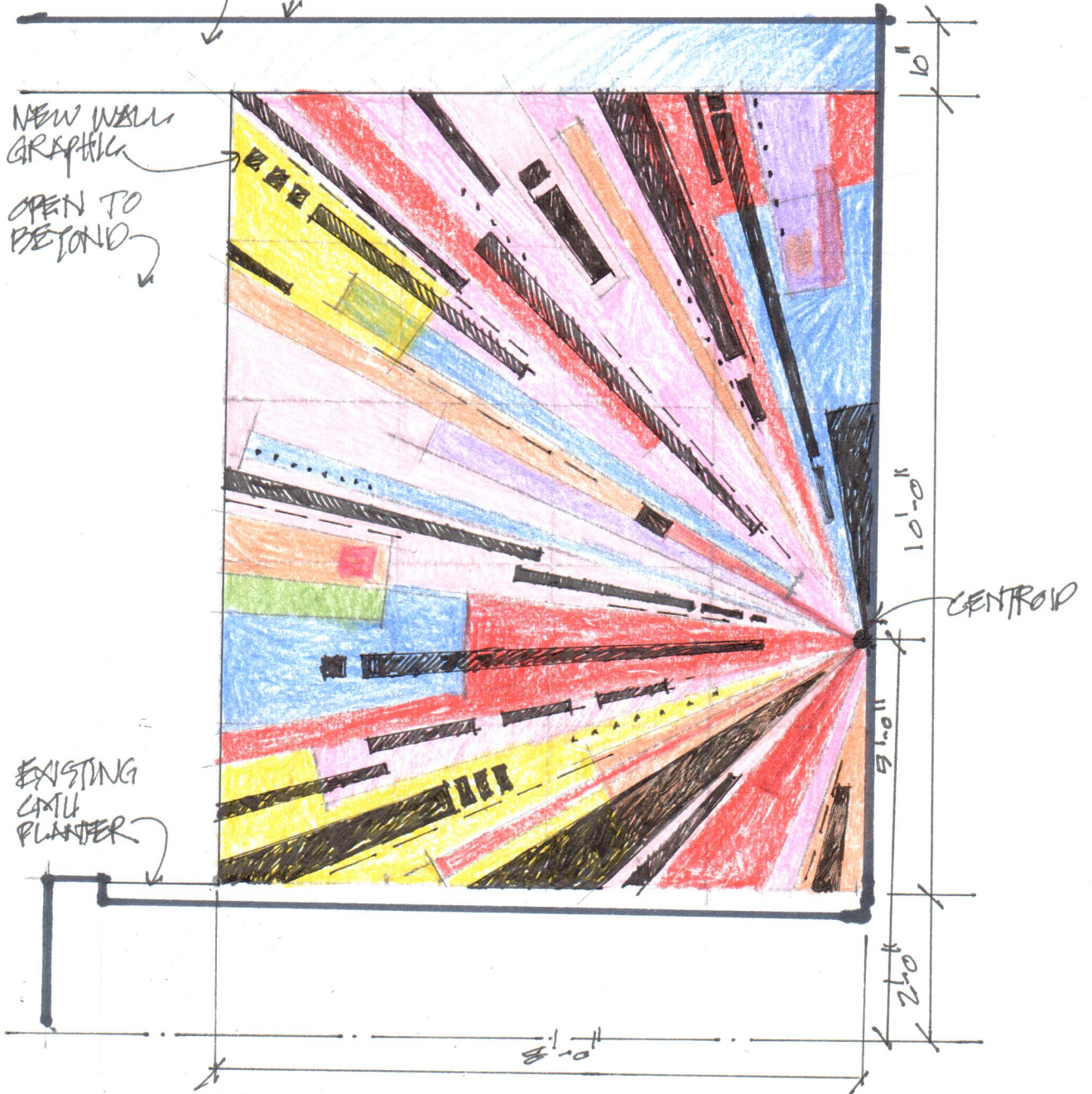
EXISTING
WOOD SOFFIT

EXISTING
WOOD BEAM

NEW WALL
GRAPHIC

OPEN TO
BEYOND

EXISTING
CONC
PLANTER



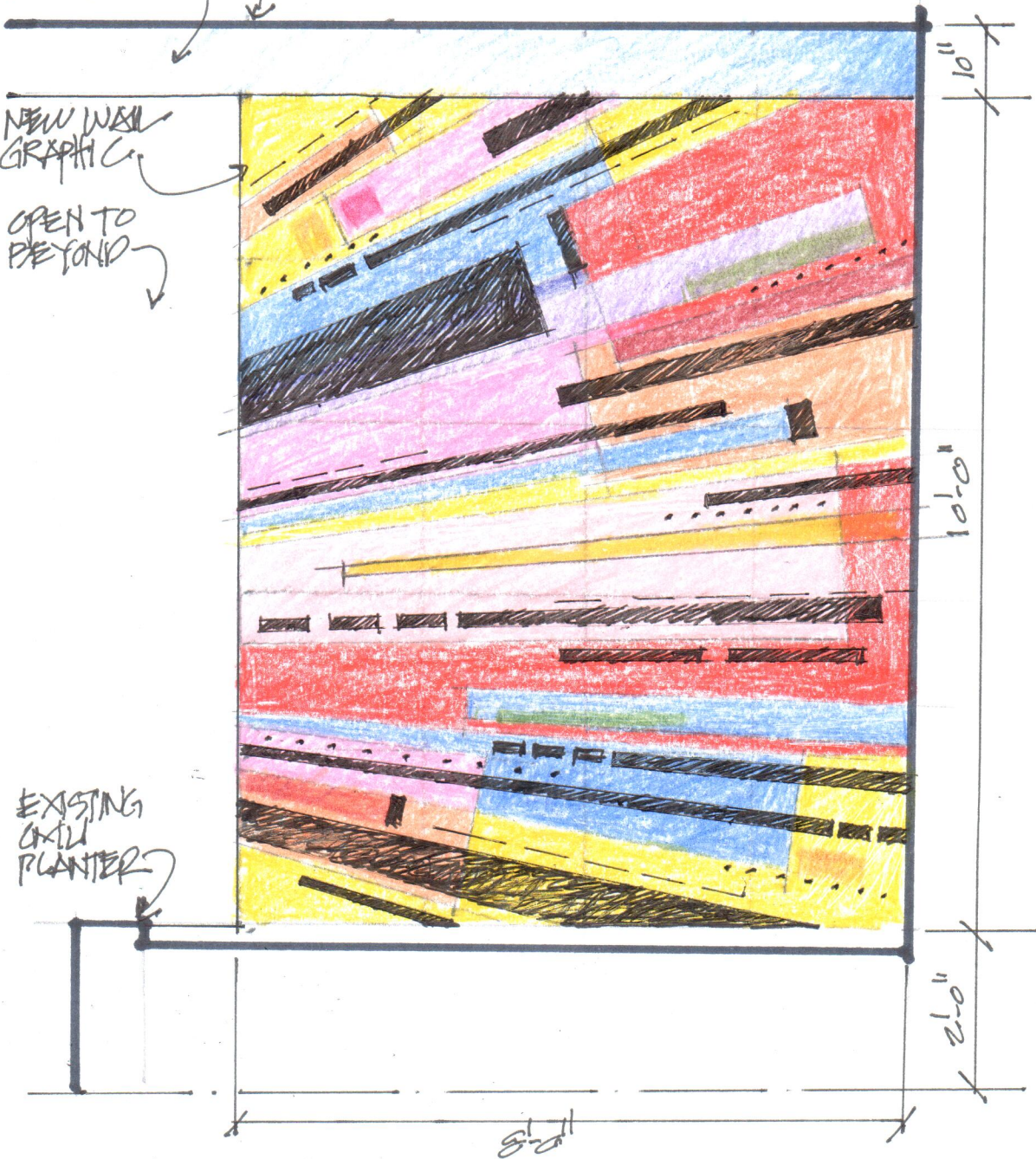
WALL GRAPHIC - BUILDING #2 NORTH WALL
KIVA CRAFT CENTER REHABILITATION
DSAA 7/28/2021

62-HP-2021

EXISTING
WOOD SOFFIT
EXISTING
WOOD BEAM

NEW WALL
GRAPHIC
OPEN TO
BEYOND

EXISTING
GULL
PLANTER



WALL GRAPHIC - BUILDING #1 NORTH WALL
KIWA CRAFT CENTER REHABILITATION
DSAA 1/18/2021

62-HP-2021

ELECTRICAL SPECIFICATIONS

PART 1.00 - GENERAL
 1.01 SCHEDULE AND COORDINATE WORK WITH THAT OF OTHER DIVISIONS AND SECTIONS.
 1.02 GUARANTEE IN WRITING THE ELECTRICAL INSTALLATION, AND ALL WORK UNDER THIS SECTION, FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE BY THE OWNER AGAINST ALL EVIDENCE OF IMPERFECT WORKMANSHIP OR FAILURE OR MALFUNCTION OF MATERIALS.
 1.03 ELECTRICAL CONTRACTOR TO MAINTAIN AN AS-BUILT SET OF ELECTRICAL DRAWINGS THROUGHOUT THE CONSTRUCTION TERM - IDENTIFYING ALL CHANGES, AND LOCATING EXTERIOR UNDERGROUND CONDUITS.

PART 2.00 - PRODUCTS
 2.01 MATERIALS AND EQUIPMENT
 A. MATERIAL FURNISHED UNDER THIS CONTRACT, UNLESS OTHERWISE NOTED, SHALL BE NEW, FREE FROM DEFECTS AND SHALL CONFORM WITH THE STANDARDS OF UL.
 B. VOLTAGE, AMPERE, AND OTHER RATINGS OF EQUIPMENT SHALL BE SUITABLE FOR USE INTENDED. DISCONNECT SWITCHES SHALL BE PROPERLY HORSEPOWER RATED AND SUITABLE FOR VOLTAGE, AND AMPERE RATING OF LOAD.
 C. THE DRAWINGS GENERALLY INDICATE THE RACEWAY SIZE, THE NUMBER, SIZE, AND INSULATION TYPE OF CONDUCTORS TO BE PROVIDED AND INSTALLED, WHERE THESE ITEMS DO NOT MEET MINIMUM APPLICABLE CODES, FOR EQUIPMENT BEING SERVED, COMPLY AS REQUIRED AT NO ADDITIONAL COST.
 2.02 RACEWAYS

A. GALVANIZED RIGID CONDUIT (GRC), INCLUDING ELBOWS AND COUPLINGS.
 B. INTERMEDIATE METAL CONDUIT (IMC), INCLUDING ELBOWS AND COUPLINGS.
 C. ELECTRIC METALLIC TUBING (EMT) WITH PRESSED STEEL FITTINGS WITH INSULATED THROATS.
 D. FLEXIBLE METAL CONDUIT (FLEX) WITH PRESSED STEEL FITTINGS WITH INSULATED THROATS.
 E. RIGID NON-METALLIC CONDUIT (PVC) U.L. LABELED SCHEDULE 40 P.V.C.
 2.03 OUTLET, PULL, AND JUNCTION BOXES: INCLUDE PLASTER RINGS, COVERS, BAR HANGERS AND KO SEALS AS REQUIRED.
 2.04 CONDUCTORS: UNLESS OTHERWISE NOTED, WIRE AND CABLE SHALL BE SOFT DRAWN, ANNEALED COPPER. WIRE SIZES NO. 8 AND LARGER AND CONDUCTORS SERVING MOTORS AND SUBJECT TO VIBRATIONS SHALL BE STRANDED CABLE. INSULATION TO BE THWN/THHN, JACKETED 90C INSULATED WIRE, THROUGH NO. 6, LARGER SIZES TYPE THW OR XHHW INSULATION. PROVIDE WIRE COLOR IDENTIFICATION: NEUTRAL WIRE - WHITE, LIVE WIRE - BLACK, RED, BLUE ON 120/208 VOLT SYSTEM; GROUND - GREEN.
 2.08 SAFETY SWITCHES: FUSED, HEAVY DUTY, HORSEPOWER RATED.

2.09 STARTERS, CONTACTORS AND CONTROL DEVICES: PROVIDE AS SHOWN AND AS REQUIRED BY CODE. FURNISH COMPLETE WITH PILOT LIGHTS, AUXILIARY CONTACTS, PUSH BUTTONS, HAND-OFF-ON SWITCHES, CONTROL DEVICES, AND OVERLOAD RELAYS. THERMAL OVERLOADS TO BE SIZED PER MANUFACTURERS RECOMMENDATIONS. AMBIENT COMPENSATE ALL HEATERS EXPOSED TO HIGH TEMPERATURE OR INSTALLATION OUTSIDE.
 2.11 PROVIDE BLACK LAMICOID NAMEPLATES WITH 3/16" HIGH WHITE ENGRAVED LETTERS ON PANELS, SWITCHBOARDS, MAINS AND SUBMANS. DISTRIBUTION EQUIPMENT, REMOTE SAFETY SWITCHES, CIRCUIT BREAKERS, TIME SWITCHES, CONTACTORS AND STARTERS.

2.12 WIRING DEVICES
 A. HUBBELL OR COMPARABLE LEVITON OR BRYANT AND WHITE IN COLOR, OR AS NOTED ON DRAWINGS. 15 AMP DEVICES ALLOWED ONLY WHEN SPECIFICALLY DENOTED ON ELECTRICAL CONSTRUCTION DRAWINGS.
 B. TOGGLE SWITCHES: SINGLE POLE - HUBBELL 1221-20A, 120/277V, THREE WAY - HUBBELL 1223-20A, 120/277V, FOUR WAY - HUBBELL 1224-20A, 120/277V.
 C. RECEPTACLES, DUPLEX GROUNDING TYPE, SPECIFICATION GRADE, 125 VOLT, 20 AMPERES, SINGLE PHASE, HUBBELL NO. 5262 OR COMPARABLE.
 D. GROUND FAULT INTERRUPTER TYPE RECEPTACLE: DUPLEX GROUNDING TYPE, SPECIFICATION GRADE, 125 VOLT, 20 AMPERES, SINGLE PHASE, 5 mA GROUND TRIP, FEED THROUGH CONSTRUCTION. PROVIDE LISTED WEATHER RESISTANT DEVICES FOR ALL DAMP AND WET LOCATIONS (IN ADDITION TO THE WP OR WP-WHILE-IN-USE COVER).
 2.13 DEVICE PLATES: STAINLESS STEEL (OR AS NOTED ON PLANS). PROVIDE NAMEPLATES OR ENGRAVED LETTERING ON DEVICE PLATES FOR ALL SPECIAL PURPOSE RECEPTACLES AND SWITCHES. MULTI-GANG OUTLET PLATES SHALL BE USED FOR MULTI-GANG BOXES.
 2.14 PROVIDE LIGHTING FIXTURES PER SCHEDULE WITH ALL PARTS INCLUDING PLASTER FRAMES FOR RECESSED FIXTURES AND FITTINGS NECESSARY TO COMPLETELY AND PROPERLY INSTALL FIXTURES. INCANDESCENT LAMPS BY G.E., SYLVANIA, OR WESTINGHOUSE, 130 VOLT, EXTENDED LIFE LAMPS. FLUORESCENT LAMPS BY G.E., SYLVANIA, PHILLIPS, OR WESTINGHOUSE. MINIMUM CRI OF 80. WATTAGE AND TYPES AS REQUIRED BY FIXTURE.

PART 3 - EXECUTION
 3.01 THE ENTIRE ELECTRICAL INSTALLATION SHALL BE MADE IN A NEAT, APPROVED, WORKMANLIKE, FINISHED AND SAFE MANNER. INSPECT AND MAKE TIGHT ALL CONNECTIONS FOR ALL EQUIPMENT, INCLUDING FACTORY CONNECTIONS. TORQUE ALL CONNECTIONS PER MANUFACTURER'S RECOMMENDATIONS.

3.02 RACEWAYS
 A. INSTALL COMPLETE RACEWAY SYSTEMS FOR ALL ELECTRICAL CONDUCTORS INCLUDING TELEPHONE, CONTROL, AND OTHER SYSTEMS.
 B. UNLESS NOTED, INSTALL ALL RACEWAYS CONCEALED. WHERE THIS IS NOT FEASIBLE, INSTALL AS DIRECTED BY ARCHITECT.
 C. EXPOSED RACEWAYS TO RUN PARALLEL OR AT RIGHT ANGLES TO STRUCTURAL BUILDING LINES WITH NEAT BENDS AND NEATLY OFFSET INTO TERMINATIONS.
 D. IN EMPTY RACEWAY PROVIDE AND INSTALL A NO. 14 NYLON DRAG LINE.
 E. INSTALL RACEWAYS WITH HEAVY DUTY SUPPORTS, HANGERS, CONNECTORS, AND COUPLINGS AS REQUIRED.
 F. DO NOT INSTALL CONDUIT RACEWAYS IN CONCRETE SLABS.
 H. MINIMUM CONDUIT SIZE TO BE 3/4" U.N.O. 1/2" ALLOWED TO SINGLE SWITCHES AND END OF THE LINE RECEPTACLES.
 I. ALL CONDUITS TO BE SUPPLIED WITH EQUIPMENT GROUNDING CONDUCTOR PROPERLY SIZED PER CODE.
 J. RACEWAYS ENTERING A BUILDING OR STRUCTURE FROM AN EXTERIOR, UNDERGROUND POWER DISTRIBUTION SYSTEM SHALL BE SEALED OR PLUGGED AT EITHER OR BOTH ENDS PER NEC 300.5(G).
 3.03 GALVANIZED RIGID CONDUIT (GRC) ALL RACEWAYS SHALL BE GRC EXCEPT AS NOTED OR SHOWN. CONDUIT, ELBOWS, STANDARD COUPLINGS SHALL BE HOT DIPPED GALVANIZED RIGID STEEL. IF PARTITIONS OR WALLS ARE SOLID CONCRETE OR ARE GROUTED SOLID WITH CONCRETE OR MORTAR, RIGID STEEL CONDUIT SHALL BE USED.
 3.04 INTERMEDIATE METAL CONDUIT (IMC) IMC RACEWAY AND APPROVED FITTINGS WHERE PERMITTED BY APPLICABLE CODES AND REGULATIONS MAY BE USED IN LIEU OF RIGID STEEL CONDUIT, WHERE INSTALLED ABOVE FINISH GRADE.
 3.05 ELECTRIC METALLIC TUBING (EMT) EMT MAY BE USED WHERE CONCEALED IN AREAS ABOVE CEILINGS, FURRED SPACES, PARTITIONS OR WALLS. ALSO MAY BE EXPOSED, WHEN NOT IN HAZARDOUS AREAS, AREAS SUBJECT TO PHYSICAL DAMAGE, OR WHEN DIRECTLY EXPOSED TO RAIN OR WASH-DOWN.
 3.06 FLEXIBLE METAL CONDUIT (FLEX) USE FLEXIBLE CONDUITS FOR CONNECTIONS TO MOTORS, WHERE SUBJECT TO MOVEMENT OR VIBRATION, AND LIQUID TIGHT WHERE EXPOSED TO MOISTURE OR OIL.
 3.07 RIGID NONMETALLIC CONDUIT: PVC SCHEDULE 40 MAY BE INSTALLED FOR DIRECT BURIAL RACEWAYS WHERE INSTALLED WITH MINIMUM COVERAGE PER NEC TABLE 300-5.
 3.08 OUTLET, PULL AND JUNCTION BOXES
 A. UNLESS OTHERWISE SHOWN OR AS DIRECTED PRIOR TO INSTALLATION, OUTLET BOXES SHALL GENERALLY BE PLACED AT THE HEIGHTS LISTED IN THE ELECTRICAL SYMBOLS LIST, CENTER OF BOX TO FINISHED FLOOR LEVEL.
 3.09 CONDUCTORS (COPPER ONLY)
 A. USE SPECIFIED COLOR SCHEDULE FOR ALL WIRING. WHERE LARGE CONDUCTORS ARE NOT AVAILABLE IN COLORS, IDENTIFY WITH PERMANENT COLORED TAPE AT ALL TERMINATIONS, JUNCTION BOXES, ETC. COLOR CODING PER NEC.
 B. MAKE TAPS, JOINTS, SPLICES, AND OTHER CONNECTIONS WITH FIXTURE CONNECTORS.
 C. DO NOT INSTALL WIRING OR PULL WIRES, IN RACEWAYS UNTIL RACEWAY SYSTEM IS COMPLETE, CLEAN AND DRY AND FREE OF ALL FOREIGN MATERIALS. LUBRICATE AS REQUIRED WITH SPECIFIED LUBRICANT.
 D. MINIMUM CONDUCTOR SIZE TO BE #12 CU. THWN.
 3.10 LIGHTING FIXTURES
 A. LEAVE FIXTURES AND LAMPS CLEAN OF ALL DIRT, DUST, GREASE SPOTS AND DEBRIS AND ALL GLASS, PLASTIC AND OTHER COMPONENTS, UNSCRATCHED AND UNBROKEN.
 B. FIT AND ADJUST ALL FIXTURES. WHERE STRUCTURAL CONDITIONS, PARTITIONS, FURNITURE, SHELVING, OR AIR CONDITIONING DIFFUSERS INTERFERE WITH THE LIGHTING FIXTURES AT LOCATIONS SHOWN, NOTIFY ARCHITECT IN WRITING AND RELOCATE AT NO ADDITIONAL COST AS DIRECTED.
 C. FIXTURES WITH FINISH TRIM OR LENS FRAMES SHALL BE INSTALLED SO THAT NO LIGHT LEAKS EXIST.
 3.11 GROUNDING FOR DISTRIBUTION EQUIPMENT, EQUIPMENT AND MATERIALS WITH ELECTRICAL CONNECTIONS, ELECTRIC MOTOR FRAMES, ELECTRIC RACEWAY AND RELATED EQUIPMENT, SHALL BE EFFECTIVELY AND PERMANENTLY GROUNDED IN ACCORDANCE WITH PERTINENT SECTIONS OF ARTICLE 250 OF NEC. RESISTANCE TO GROUND SHALL NOT EXCEED 10 OHMS. ALL RACEWAYS SHALL HAVE AN APPROVED SIZED, INSULATED, STRANDED COPPER GROUNDING TYPE CONDUCTOR. WHERE RACEWAYS CONNECT TO A CONCENTRIC K.O. PROVIDE GROUNDING LOCKNUT OR BUSHING AND BOND WIRE EXTENDED AND BONDED TO ENCLOSURE. SIZE AS PER NEC.
 3.12 FINAL INSPECT OR TESTS: TEST SYSTEM FOR SHORTS AND GROUNDS. FAULTY WIRING SHALL BE REMOVED AND REPLACED. AFTER SYSTEM IS CONNECTED COMPLETE, TEST FOR INSULATION RESISTANCE. RESISTANCE LOWER THAN OUTLINED IN THE NEC, MANUFACTURER'S DATA, ETC., SHALL BE REMOVED AND REPLACED. ANY DEVICE, APPARATUS OR FIXTURE UNDER THIS CONTRACT SHOWING SUBSTANDARD READINGS SHALL BE REMOVED AND REPLACED AS DIRECTED BY THE ARCHITECT.
 3.13 LABEL ALL RECEPTACLES WITH 3/16" HIGH BLACK LETTERING ON CLEAR TAPE. IF THE RECEPTACLE IS BLACK OR BROWN, PROVIDE WHITE LETTERING ON CLEAR TAPE. LABEL TO BE NEATLY CENTERED IN THE TOP SPACE OF THE COVERPLATE, AND INDICATE THE SERVING PANEL AND CIRCUIT ORIGIN.

KIVA CRAFT CENTER LIGHTING FIXTURE SCHEDULE							
MARK	MOUNTING	MANUFACTURER and CATALOG NUMBER	VOLTS	ILLUMINATION SOURCE	DIMMING	REMARKS / DESCRIPTION	VA
'A'	COLUMN	DE TORO CUSTOMIZABLE INDIRECT / DIRECT SHIELD IN LIGHT SILVER	120	3000K, 80 CRI, LED	ELV	SHIELDED EXTERIOR SCONCE WITH SURFACE CONNECT BOX SUITABLE FOR CONDUIT ENTRY.	20
'B'	RECESSED	EXISTING SQUARE RECESSED LENSED DOWNLIGHT. PROVIDE NEW OPAL GLASS LENS AND GASKET, AND 75W EQUIVALENT LED LAMP	120	3000K, 80 CRI, LED	ELV	LAMP BY CREE, GREEN IDEAS, OR EQUAL	11
'C'	WALL	DE TORO CUSTOMIZABLE INDIRECT / DIRECT SHIELD IN LIGHT SILVER	120	3000K, 80 CRI, LED	ELV	SHIELDED EXTERIOR SCONCE WITH SURFACE CONNECT BOX SUITABLE FOR CONDUIT ENTRY.	20
'D'	SURFACE	KELVIX SW3 78" 50K HZ E IP68 WITH PF90-24V REMOTE FOUNTAIN DRIVER AND #5W-K-CH-PL-2M PLASTIC MOUNTING CHANNEL	120/24	5000K, 80 + CRI, LED	0-10V	SUBMERSIBLE IP68 LED LINEAR SIGN LIGHT - REFER TO MOUNTING DETAIL, SHEET E-001	24
'E'	SURFACE	KELVIX PH30K WR 24v WITH ULV36 REMOTE DRIVER AND CH-222 MOUNTING CHANNEL	120/24	3000K, 80 + CRI, LED	0-10V	LED TAPE IN ALUMINUM EXTRUSION AT UNDERSIDE OF SITE BENCH	30
'F'	GROUND	HK LIGHTING ZX16 CPV GU10 SoI A GSL 120V 01127 (25D, 7.5W) BZ LVR JB-1	120	3000K, 95 CRI, LED	ELV	DARK BRONZE, ALUMINUM, LED, LANDSCAPING LIGHT ON BRASS J-BOX WITH CONCRETE COLLAR - REFER TO MOUNTING DETAIL, SHEET E-001	7.5
'G'	GROUND	HK LIGHTING ZX16 CPV GU10 SoI A GSL 120V 01577 (60D, 7.5W) BZ OSL JB-1	120	3000K, 95 CRI, LED	ELV	DARK BRONZE, ALUMINUM, LED, LANDSCAPING LIGHT ON BRASS J-BOX WITH CONCRETE COLLAR - REFER TO MOUNTING DETAIL, SHEET E-001	7.5
'H'	SURFACE	HK LIGHTING ZX30 CM SoI A GSL 120V 00839 (25D, 185W) ACL SOL	120	3000K, 95 CRI, LED	ELV	CLEAR ALUMINUM, LED CYLINDER - MOUNT TO EXISTING J-BOX.	18
'HA'	SURFACE	HK LIGHTING ZX30 CM SoI A GSL 120V 00839 (25D, 185W) ACL SOL	120	3000K, 95 CRI, LED	ELV	CLEAR ALUMINUM, LED CYLINDER	18
'K'	GROUND	HK LIGHTING ZXL16 CPV A GSA 5W 30 57 BZ LSL JB-1	120	3000K, 83 CRI, LED	ELV	DARK BRONZE, ALUMINUM, LED, LANDSCAPING LIGHT ON BRASS J-BOX WITH CONCRETE COLLAR - REFER TO MOUNTING DETAIL, SHEET E-001	7.5
'L'	SURFACE	KELVIX PQ35K 24V WITH ULV36 REMOTE DRIVER AND CH-016 WHR MOUNTING CHANNEL	120/24	3500K, 90 + CRI, LED	0-10V	LED TAPE IN WINDOW GLASS VITRINE - SEE DETAIL, SHEET E-001	5
'N'	SURFACE	WAC FM 05RN 930 NI	120	3500K, 90 + CRI, LED	ELV	NICKEL, SLIM, LED, LENSED FLUSH MOUNT	12
'P'	WALL	WAC WS W65607 BK	120	3500K, 90 + CRI, LED	ELV	BLACK, OUTDOOR WALL SCONCE	16







ELECTRICAL SYMBOLS LIST

DIMENSIONS ARE TO DEVICE CENTERLINES. COORDINATE ALL INSTALLATIONS.




LIGHTING & LIGHTING CONTROLS

 LIGHTING FIXTURE. SUBSCRIPT LETTER DENOTES FIXTURE TYPE AS DESCRIBED IN LIGHT FIXTURE SCHEDULE. LOWER CASE LETTER INDICATES SWITCHING CONTROL.

RECEPTACLES & COMMUNICATIONS OUTLETS

 DUPLEX CONVENIENCE OUTLET, 20A, 125V, MTD @ 18" AFF UNO. SQUARE SYMBOL INDICATES DEVICE MOUNTED FLUSH IN CEILING.
 DUPLEX CONVENIENCE OUTLET MOUNTED 3" ABOVE COUNTERTOP BACKSPLASH OR 44" AFF.
 DOUBLE DUPLEX CONVENIENCE OUTLETS UNDER COMMON COVER. SQUARE SYMBOL INDICATES DEVICE MOUNTED FLUSH IN CEILING.
 DOUBLE DUPLEX CONVENIENCE OUTLET MOUNTED 3" ABOVE COUNTERTOP BACKSPLASH OR 44" AFF.
 GFCI DUPLEX CONVENIENCE OUTLET, 20A, 125V, 5 mA TRIP WITH INDICATOR LIGHT, MTD. @ 18" AFF UNO. PROVIDE LISTED WEATHER RESISTANT DEVICES FOR ALL DAMP AND WET LOCATIONS (IN ADDITION TO THE WP OR WP-WHILE-IN-USE COVER). SQUARE SYMBOL INDICATES DEVICE MOUNTED FLUSH IN CEILING.
 GFCI DUPLEX CONVENIENCE OUTLET MOUNTED 3" ABOVE COUNTER BACKSPLASH OR 44" AFF.

POWER DISTRIBUTION

 J-BOX (WITH FLEX CONNECTION TO EQUIPMENT.)
 DISCONNECT SWITCH, WITH RATING AS SHOWN ON PLANS
 BRANCH CIRCUITRY ROUTED UNDERGROUND AND/OR IN FLOOR SLAB

ABBREVIATIONS

A	AMPERES	P.	POLE
AL	ALUMINUM	SW.	SWITCH
AFB	ABOVE FINISHED FLOOR	TYP.	TYPICAL
AFG	ABOVE FINISHED GRADE	UNO	UNLESS NOTED OTHERWISE
C/B	CIRCUIT BREAKER	V.	VOLTS
CU.	COPPER	W.	WIRE
F	FUSE	W.P.	WEATHERPROOF
GFI	GROUND FAULT CURRENT INTERRUPTER	XFMR	TRANSFORMER
		Ø	PHASE



REVISIONS:
 DATE: **June 25, 2021**
 ARCH. PROJECT: **2020 - B**

SHEET CONTENT:
ELEC SPECS, SYMBOLS, SCHEDULES

SHEET NO.

WE # 20126
WOODWARD ENGINEERING

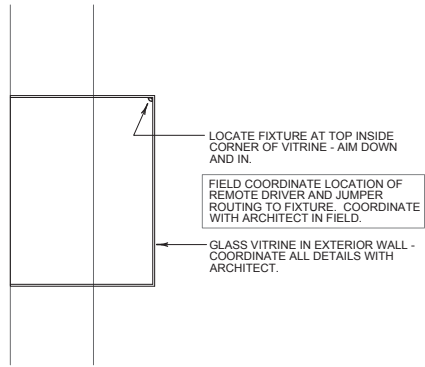
203 SOUTH SMITH ROAD • SUITE 101 • TEMPE, AZ 85281
 T 480.894.4057 • F 480.894.1063 • www.woodward-engineering.com

76-PA-2021 E-000
CASE #: 62-HP-2021

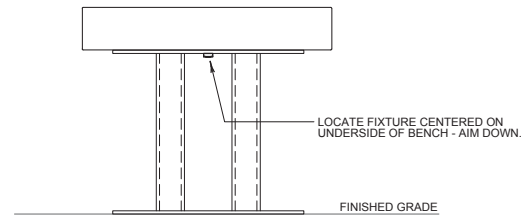
ARCHITECT:
DOUGLAS SYDNOR ARCHITECT & ASSOCIATES, INC.

4806 N. 78TH PLACE
 SCOTTSDALE, ARIZONA 85251
 P 480.206.4593 e doug_sydnor@outlook.com
 W https://www.dsydnorarchitect.com

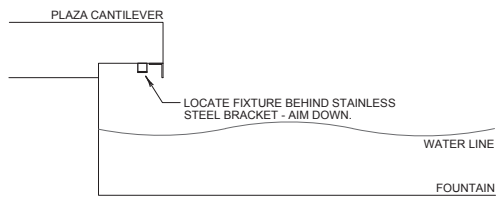
PROJECT:
KIVA CRAFT CENTER REHABILITATION
 7121-7141 East 5th Avenue, Scottsdale, Arizona 85251



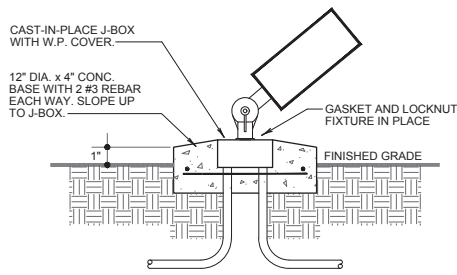
FIXTURE 'L' MOUNTING DETAIL
NO SCALE



FIXTURE 'E' MOUNTING DETAIL
NO SCALE



FIXTURE 'D' MOUNTING DETAIL
NO SCALE



FIXTURE 'F' / 'G' / 'K' MOUNTING DETAIL
NO SCALE

COMcheck Software Version 4.1.5.1
Exterior Lighting Compliance Certificate

Project Information
 Energy Code: 2015 IECC
 Project Title: KIVA CRAFT CENTER
 Project Type: New Construction
 Exterior Lighting Zone: 4 (High activity metropolitan commercial district)

Construction Site: _____ Owner/Agent: _____ Designer/Contractor: DOUG WOODWARD

Allowed Exterior Lighting Power

A Area/Surface Category	B Quantity	C Allowed Watts / Unit	D Tradable Wattage	E Allowed Watts (B X C)
COURTYARD (Plaza area)	16948 ft2	0.2	Yes	3390
Total Tradable Watts (a) =				3390
Total Allowed Watts =				3390
Total Allowed Supplemental Watts (b) =				1300

(a) Wattage tradeoffs are only allowed between tradable areas/surfaces.
 (b) A supplemental allowance equal to 1300 watts may be applied toward compliance of both non-tradable and tradable areas/surfaces.

Proposed Exterior Lighting Power

A Fixture ID : Description / Lamp / Wattage Per Lamp / Ballast	B Lamps / Fixture	C # of Fixtures	D Fixture Watt.	E (C X D)
COURTYARD (Plaza area 16948 ft2): Tradable Wattage				
LED 1: 'A', 'C': SCENCE: Other:	1	29	20	580
LED 2: 'B': DOWNLIGHT: Other:	1	18	11	198
LED 3: 'D': FOUNTAIN LIGHT: Other:	1	1	24	24
LED 4: 'E': BENCH LIGHT: Other:	1	5	30	150
LED 5: 'F', 'G', 'K': TREE LIGHTS: Other:	1	22	8	165
LED 6: 'H', 'HA': CYLINDER: Other:	1	10	18	180
LED 7: 'K': LANDSCAPE: Other:	1	68	8	510
LED 8: 'L': VITRINE: Other:	1	2	6	10
LED 9: 'N': SURF DOWNLIGHT: Other:	1	2	12	24
LED 10: 'P': AREA LIGHT: Other:	1	1	16	16
Total Tradable Proposed Watts =				1857

Exterior Lighting PA\$SES: Design 60% better than code

Exterior Lighting Compliance Statement
 Compliance Statement: The proposed exterior lighting design represented in this document is consistent with the building plans, specifications, and other calculations submitted with this permit application. The proposed exterior lighting systems have been designed to meet the 2015 IECC requirements in COMcheck Version 4.1.5.1 and to comply with any applicable mandatory requirements listed in the Inspection Checklist.

DOUG WOODWARD, L.C. PE Signature: *DW* Date: 06.30.2021

Project Title: KIVA CRAFT CENTER Report date: 07/01/21
 Data filename: X:\20000\20126 KIVA Craft Court\20126 cOMCHECK.cck Page 1 of 5

ARCHITECT:
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 4806 N. 78TH PLACE
 SCOTTSDALE, ARIZONA 85251
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PROJECT:
KIVA CRAFT CENTER REHABILITATION
 7121-7141 East 5th Avenue, Scottsdale, Arizona 85251



REVISIONS:
 DATE: **June 25, 2021**
 ARCH. PROJECT: **2020 - B**

SHEET CONTENT:
COMPLIANCE REPORT

WE # 20126
WOODWARD ENGINEERING

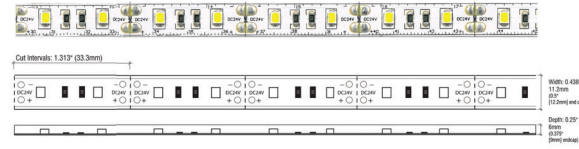
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76-PA-2021 E-001
CASE #: 62-HP-2021



PERFORMANCE 300 (OUTDOOR)

Fixture Type: 'E'
Project: _____
Location: _____



MODEL	PH27K-WR-24V	PH30K-WR-24V	PH31K-WR-24V	PH40K-WR-24V	PH50K-WR-24V
Kelvin	2700K	3000K	3500K	4000K	5000K
Lumens	322 lm/ft	330 lm/ft	340 lm/ft	347 lm/ft	356 lm/ft
Rating	IP67	IP67	IP67	IP67	IP67

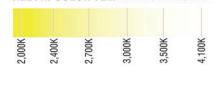
PRODUCT FEATURES

- 90+ CRI
- Dimmable
- 50,000 hour life
- 5-year warranty
- UL-listed for indoor and outdoor use
- 3M™ Industrial adhesive backing
- For use with 24V power supplies

SPECIFICATIONS

Series	PH - Performance 300 (Outdoor)
Input Voltage	24V DC / Constant Voltage
Watts per Foot	3.2W/ft @ Maximum Run Length
Beam Spread	120°
Max Run Length	Unlimited, power every 30ft
Production Intervals	1.313" (33.3mm)
End Cap Dimensions	0.5" (12.2mm) x 0.375" (9mm)
Tape Dimensions	0.438" (11.2mm) x 0.25" (6mm)
CRI	90+
Diode	2835
Dimming Options	PWM, Triac, 0-10V, DMX, Hi-Lume
Temp Range	-40°F (-40°C) to 149°F (65°C)

KELVIN COLOR TEMPERATURE SCALE



TOTAL WATTAGE USED AT EACH LENGTH

Length	1ft	2ft	3ft	4ft	5ft	6ft	7ft	8ft	9ft	10ft	11ft	12ft	13ft	14ft	15ft
Wattage	4.2	8.5	12.7	16.8	21	25.4	29.2	32.9	36.9	40.5	44.2	48	51.4	54.6	57.7
Wattage	16ft	17ft	18ft	19ft	20ft	21ft	22ft	23ft	24ft	25ft	26ft	27ft	28ft	29ft	30ft
Wattage	60.7	64.3	67	70.4	71.8	75.2	77.7	80	83	85.1	86.6	88.7	91.2	93.7	94.6

Conforms to ANSI/UL Standard 2108
Certified to CAN/CSA Standard C22.2 No. 250.0



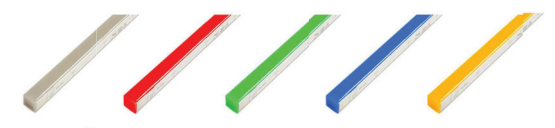
Questions/Support | 800-789-3810 | quotes@kelvix.com

092519DM



SIGNWAVE® 3 (INDOOR/OUTDOOR)

Fixture Type: 'D'
Project: _____
Location: _____



Color/Kelvin	WHITE (Specify CCT)	RED	GREEN	BLUE	AMBER	RGBW	CT (5000+5000K)
Wavelength	N/A	620-630nm	520-530nm	465-475nm	585-595nm	N/A	N/A
Wattage	3.7W/ft	2.2W/ft	3.7W/ft	3.7W/ft	2.2W/ft	4.6W/ft	3.7W/ft
Power Feed	Every 26ft	Every 39ft	Every 26ft	Every 26ft	Every 39ft	Every 21ft	Every 26ft
Production Intervals	2.188"	3.25"	2.188"	2.188"	3.25"	3.25"	3.25"

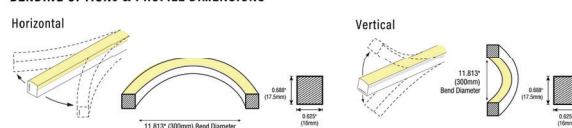
PRODUCT FEATURES

- Dimmable
- 50,000 hour life
- Flat profile for streamline projects
- Horizontal or vertical bending option
- IP67 or IP68 option
- UL-listed for indoor and outdoor use
- Factory-installed power feed
- Injection-molded flush end caps
- For use with 24V power supplies

SPECIFICATIONS

Series	SW3 - Signwave® 3
Input Voltage	24V DC
Max Run Length	Unlimited, Refer to Power Feed Above
Lumens	162 Lm/ft (White)
Beam Angle	160°
Dimensions	0.625"(16mm) x 0.688"(17mm)
CRI	80+
Dimming Options	PWM, Triac, 0-10V, DMX, Hi-Lume
Temp Range	-4°F (-20°C) to 113°F (45°C)

BENDING OPTIONS & PROFILE DIMENSIONS



Conforms to ANSI/UL Standard 2108
Certified to CAN/CSA Standard C22.2 No. 250.0



Questions/Support | 800-789-3810 | quotes@kelvix.com

021021DM

Notes:
Housing: Pwder Coat
Diffuser: White Acrylic
Fully Customizable

LED Specs:
Lumens: Up to 2130
Color Temp: 2700k-5000k
CRI: 80 or 90
Dimmable: TRIAC/E.V.
Watts: Up to 20W

DelTorolighting.com | Drawn By: RH

ARCHITECT:
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w https://www.dsydnorarchitect.com

PROJECT:
KIVA CRAFT CENTER REHABILITATION
7121 - 7141 East 5th Avenue, Scottsdale, Arizona 85251



Project Name: _____
Fixture Type: 'F'

ZX16-CPV-GU10/ZX16-CPV-GU10-SOI

Area Accent - ZX16 Series

- Area accent lighting for architectural and landscape application.
- ETL outdoor wet location listed, IP67 standard.
- Machined from solid billet 6061-T6 corrosion resistant aluminum.
- 240° vertical and 360° horizontal adjustment via unique swivel stem design.
- US patented integral SORAA® heat sink, -120V input with GU10 MR16 LED. No transformer needed.

Integral SORAA® Heat Sink: US patented Thermobuster™ provides extra heat dissipation that reduces the lamp junction temperature by 77°F(25°C). Enables even the highest wattage SORAA® lamps to be used in an enclosed fixture without sacrificing life expectancy.

Optical Accessories: Accepts up to 3 accessory pieces (bezel, lower, optical lenses, dichroic color filters, etc.). Secured in place with metal snap ring.

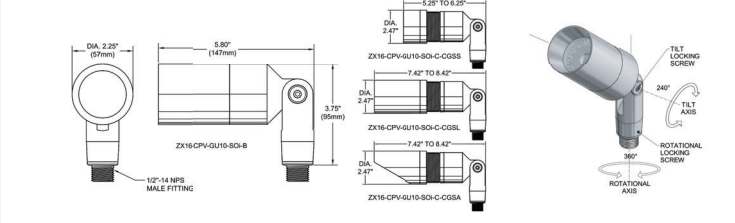
Mounting Method: Mounts using 1/2"-14 NPS male fitting compatible with all HK Lighting Group mounting devices.

EXAMPLE: ZX16-CPV-GU10-SOI-A-GSL-01109-BK-LVR-CMS

SERIES	MATERIAL	HOOD	GLARE SHIELD	VOLTAGE	LAMP	FINISH	OPTIC ACCESSORIES	MOUNTING ACCESSORIES
ZX16-CPV-GU10	BLANK Aluminum MS Natural Stainless Steel CU Natural Copper	A-A Hood GSL GSS GSSA GSSS	0-NONE	120V 240V	0-NONE XXXXX XXXXX XXXXX XXXXX	Standard Black White Anodized Black Anodized Clear CC Custom Powder Coat	None Hood Lower Lens Filter DF	See page 2 for quick reference, or link for detailed specification.

*SORAA® Lamp Selection: SORAA MR16 GU10

Product Drawings



HK USA Lighting Group 3529 Old Conejo Road #118 Newbury Park CA 91320 TEL 805 480 4881 FAX 805 480 4811 sales@hklightinggroup.com

WE # 20126
WOODWARD ENGINEERING

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CASE #: 62-HP-2021 E-002

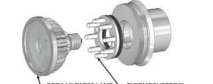
HKusa Lighting Group

Project Name: _____
Fixture Type: 'F1H1A'

ZX30-CM/ZX30-CM-SOI

- Ceiling mount lighting for architectural down light application.
- ETL outdoor wet location listed, IP65 standard.
- Machined from solid billet 6061-T6 corrosion resistant aluminum.
- US patented integral SORAA® heat sink.

Integral SORAA® Heat Sink: US patented Thermobuster™ provides extra heat dissipation that reduces the lamp junction temperature by 77°F(25°C). Enables even the highest wattage SORAA® lamps to be used in an enclosed fixture without sacrificing life expectancy.



Optical Accessories: Accepts up to 3 accessory pieces (bezel, lower, optical lenses, dichroic color filters, etc.). Secured in place with metal snap ring.

Mounting Method: Utilizes 2x 8-32 UNC machine screws (provided) to attach to a standard octagon recessed back box (provided by others).

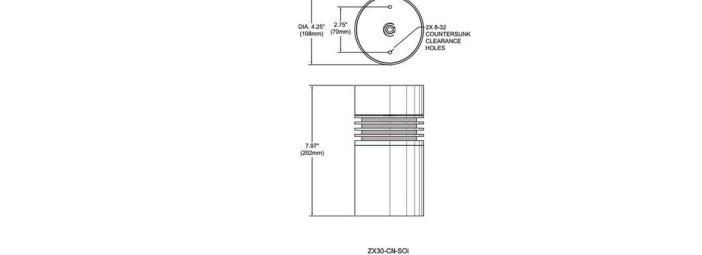
Light Source: PAR30 Halogen lamp or PAR30 SORAA® LED lamp. Please refer to SORAA MR16 GU10 for lamp selection.

EXAMPLE: ZX30-CM-SOI-B-GSL-120V-00829-BK-LVR

SERIES	MATERIAL	HOOD	GLARE SHIELD	VOLTAGE	LAMP	FINISH	OPTIC ACCESSORIES	MOUNTING ACCESSORIES
ZX30-CM	BLANK Aluminum MS Natural Stainless Steel CU Natural Copper	B-HOOD GSL GSS GSSA GSSS	0-NONE	120V	0-NONE XXXXX XXXXX XXXXX XXXXX	Standard Black White Anodized Black Anodized Clear CC Custom Powder Coat	None Hood Lower Lens Filter DF	See page 2 for quick reference, or link for detailed specification.

*SORAA® Lamp Selection: SORAA MR16

Product Drawings



HK USA Lighting Group 3529 Old Conejo Road #118 Newbury Park CA 91320 TEL 805 480 4881 FAX 805 480 4811 sales@hklightinggroup.com

HKusa Lighting Group

Project Name: _____
Fixture Type: 'G'

ZX16-CPV-GU10/ZX16-CPV-GU10-SOI

- Area accent lighting for architectural and landscape application.
- ETL outdoor wet location listed, IP67 standard.
- Machined from solid billet 6061-T6 corrosion resistant aluminum.
- 240° vertical and 360° horizontal adjustment via unique swivel stem design.
- US patented integral SORAA® heat sink, -120V input with GU10 MR16 LED. No transformer needed.

Integral SORAA® Heat Sink: US patented Thermobuster™ provides extra heat dissipation that reduces the lamp junction temperature by 77°F(25°C). Enables even the highest wattage SORAA® lamps to be used in an enclosed fixture without sacrificing life expectancy.

Optical Accessories: Accepts up to 3 accessory pieces (bezel, lower, optical lenses, dichroic color filters, etc.). Secured in place with metal snap ring.

Mounting Method: Mounts using 1/2"-14 NPS male fitting compatible with all HK Lighting Group mounting devices.

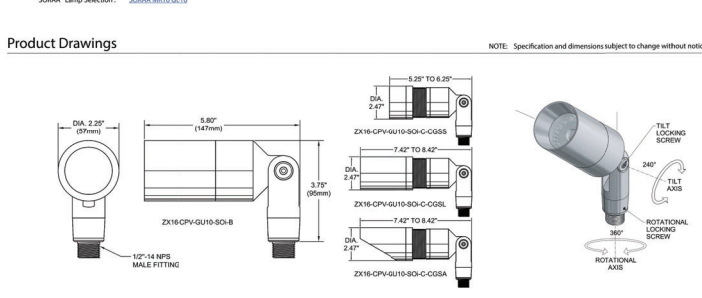
Light Source: MR16 GU10 Halogen lamp or MR16 GU10 SORAA® LED lamp. Please refer to SORAA MR16 GU10 for lamp selection.

EXAMPLE: ZX16-CPV-GU10-SOI-A-GSL-01109-BK-LVR-CMS

SERIES	MATERIAL	HOOD	GLARE SHIELD	VOLTAGE	LAMP	FINISH	OPTIC ACCESSORIES	MOUNTING ACCESSORIES
ZX16-CPV-GU10	BLANK Aluminum MS Natural Stainless Steel CU Natural Copper	A-A Hood GSL GSS GSSA GSSS	0-NONE	120V	0-NONE XXXXX XXXXX XXXXX XXXXX	Standard Black White Anodized Black Anodized Clear CC Custom Powder Coat	None Hood Lower Lens Filter DF	See page 2 for quick reference, or link for detailed specification.

*SORAA® Lamp Selection: SORAA MR16 GU10

Product Drawings



HK USA Lighting Group 3529 Old Conejo Road #118 Newbury Park CA 91320 TEL 805 480 4881 FAX 805 480 4811 sales@hklightinggroup.com

WAC LIGHTING

5" Round Ceiling and Wall Mount:

Model & Size	Color Temp & CRI	Watt	Lumens	Finish
FM-05RN 5"	3000K-90	12W	1050	Ni Nickel
	3000K-90	12W	1050	BZ

Example: FM-05RN-30-BZ

DESCRIPTION
Ultra-slim flush mount that uses edge-lit technology and a translucent diffuser for uniform illumination without shadows or hotspots.

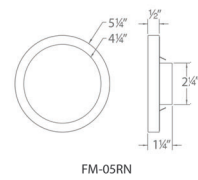
FEATURES

- Multiple LED array for uniform illumination
- Suitable for outdoor and coastal regions
- Dead front trim for shower applications
- Driver installed within the junction box, driver dimension: 2.25" Dia x 1" Deep
- 5 year warranty

SPECIFICATIONS

Construction: Injection Molded Polycarbonate Injection molded UV coated glass with translucent diffuser for outdoor application
Power: 12W
Input: 120-277 VAC, 50/60Hz
Dimming: TRIAC, 100-1%, ELV: 100-5%
Light Source: Integrated LED
Lens: Translucent acrylic diffuser
Mounting: Installs over a 3", 4" or 3/0-4/0 hybrid junction box. Can be mounted on ceiling or wall in all orientations
Finish: Enamel Coated White, Enamel Coated Nickel, Enamel Coated Bronze
Operating Temp: -40°F to 122°F (-40°C to 50°C)
Standards: ETL, cETL, Wet Location Listed, Energy Star 2.0, Title 24 JAS-3016 Compliant, ADA

Fixture Type:
 Catalog Number:
 Project:
 Location:



WAC LIGHTING

Mod 6" Outdoor Wall Sconce 3000K

Model & Size	Color Temp & CRI	Watt	Voltage	LED Lumens	Delivered Lumens	Finish
WS-W65607 6"	3000K-90	16.5W	120-277 VAC	1165	850	BK Black
						BZ Bronze
						GH Graphite
						WT White

Example: WS-W65607-BK

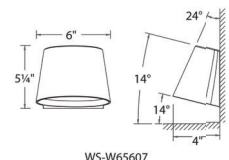
DESCRIPTION
Expertly crafted from die-cast aluminum, the Mod family features a smooth curved modern shape, ADA Compliant and Dark Sky friendly. Ideal for exterior residential, hospitality and commercial applications.

FEATURES

- Weather resistant powder coat finish
- Low profile with effective path illumination
- Light engine is factory sealed for maximum protection from the elements
- Driver concealed within the fixture
- 5 year warranty

SPECIFICATIONS

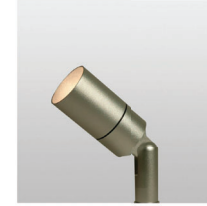
Color Temp: 3000K
Input: 120-277 VAC, 50/60Hz
CR: 90
Dimming: ELV: 100-10%
Rated Life: 70000 Hours
Mounting: Can be mounted on wall in all orientations
Standards: ETL, cETL, IP55, Title 24-2019
Wet Location Listed
Construction: Aluminum hardware with glass diffuser



HK USA Lighting Group

Project Name:
 Fixture Type:

ZXL16-CPV LED Area Accent - ZXL16 Series



Product Features

- Area accent lighting for architectural and landscape application.
- ETL outdoor wet location listed. IP67 standard.
- Machined from solid billet 6061-T6 corrosion resistant aluminum.
- 340° vertical and 360° horizontal adjustment via unique swivel stem design.
- Modular components - field changeable LED module & beam spread reflectors.

Specification

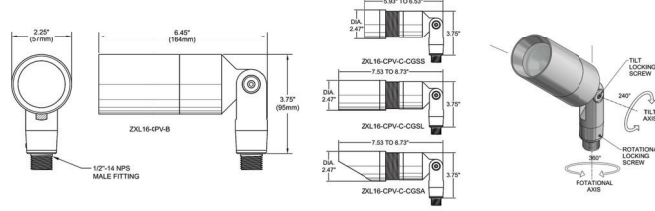
Materials: Machined from billet 6061-T6 corrosion resistant aluminum with 304 stainless steel hardware. Available in 304/316 stainless steel or 360 brass upon request.
Hood and Glare Shield: 3 available hood options to suit any application. 3 optional glare shields (short, long, angled) to complement each hood choice. See page 3 for details.
Voltage: 12V AC/DC. Requires remote step down transformer.
Wattage: 5, 7 or 10W HK LED.
Light Source: CRI 83. Available in CR99 upon request. The chromaticity range is within a 3-step MacAdam Ellipse. Standard CCT options are 2700K, 3000K, 4000K.
Lamp Base/Socket: Innovative cone-shaped lamp base and replaceable socket maximize the surface contact area to dissipate heat more effectively. See "Resources" for details.
Dimmability: MLV or ELV.
Finish: Polyester powder coat on all aluminum materials with 6045 compliant procedure. Anodized finish is available. Stainless steel and brass models are provided with brushed surface.
Optical Accessories: Accepts up to 3 accessories (thermal barrier, optical lenses, dichroic color filters, etc.). Secured in place with metal snap ring.
Mounting Method: Mounts using 1/2"-14 NPS male fitting compatible with all HK Lighting Group mounting devices.

Ordering Guide

SERIES	MATERIAL	HOOD	GLARE SHIELD	VOLTAGE	WATTAGE	CCT	OPTICS	FINISH	OPTICAL ACCESSORIES	MOUNTING ACCESSORIES
ZXL16-CPV	ALUM Aluminum 304 Natural Stainless Steel CU Natural Copper	A- P-HOOD C- C-HOOD CGSS	GL GLS GLA	12V	5W 7W 10W	2700K 3000K 4000K	20 20° 20 20° 20 20°	Standard MLV ELV	None None None	None None None

Model	Wattage(W)	Primary Voltage(VAC)	Secondary Volt(VAC)	Dimming Method	Character
TXM	20-40 50-60 100 150 300	120 or 277	12	MLV	Outdoor, Wall Mount, Compact
TXS	150 300 600	120	12	MLV	Outdoor, Wall mount, Stainless Steel Case
RT	50 100 300 600	120	12	MLV	In grade
TXE	60	120, 276, or 277	12	ELV	Needs Enclosure, 6' working distance

Product Drawings



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 w https://www.dsydnorarchitect.com

PROJECT: **KIVA CRAFT CENTER REHABILITATION**
 7121-7141 East 5th Avenue, Scottsdale, Arizona 85251



REVISIONS:
 DATE: **June 25, 2021**
 ARCH. PROJECT: **2020 - B**

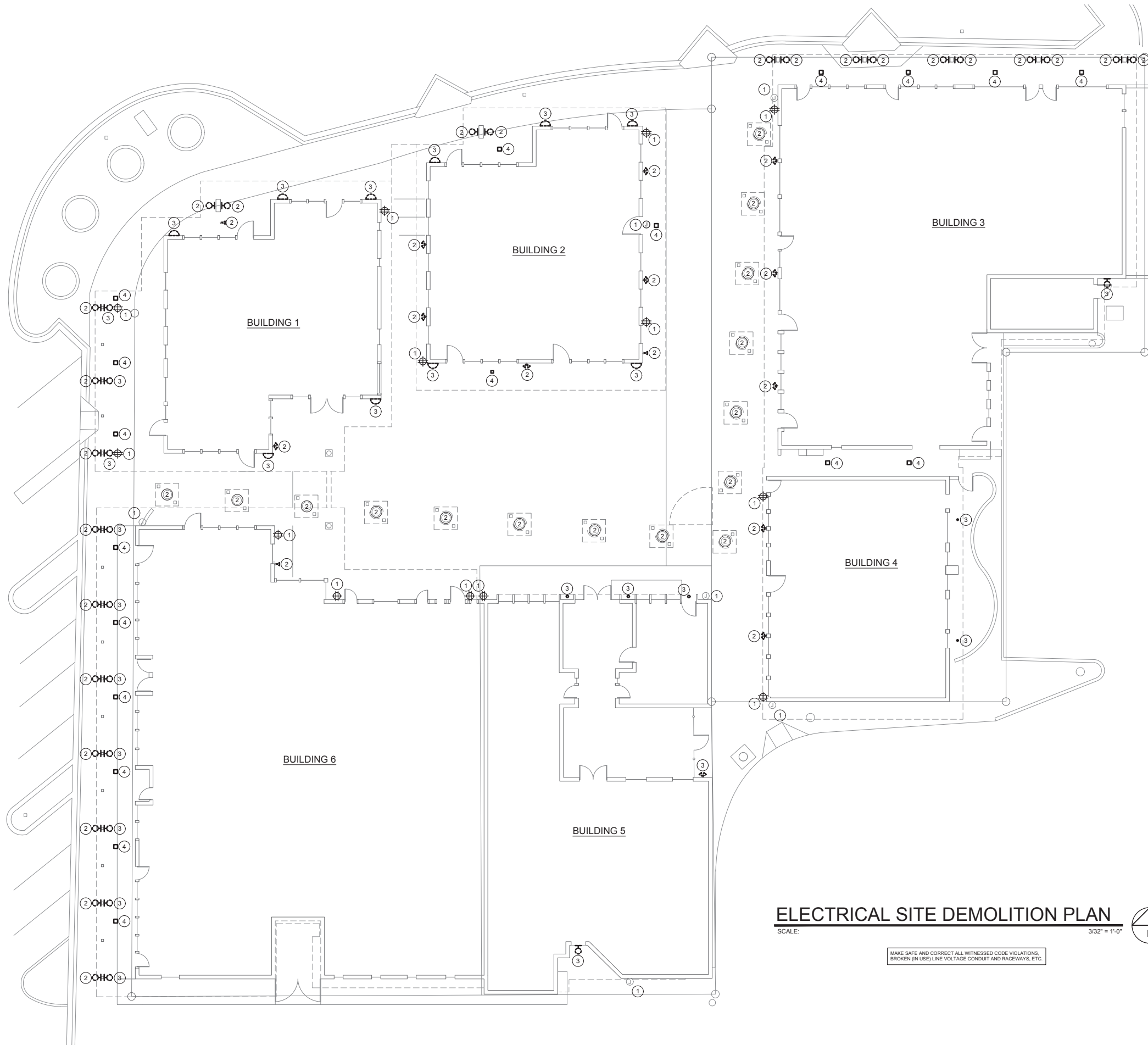
SHEET CONTENT:
LIGHTING FIXTURE CUTSHEETS

SHEET NO.

WE # 20126
WOODWARD ENGINEERING

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76-PA-2021 E-003
CASE #: 62-HP-2021



DEMOLITION GENERAL NOTES:

1. CONTRACTOR SHALL PERFORM ALL ELECTRICAL DEMOLITION REQUIRED. PRIOR TO BID, CONTRACTOR SHALL VISIT SITE AND DETERMINE EXTENT OF ELECTRICAL WORK INVOLVED AND VERIFY ALL EQUIPMENT AND DEVICE LOCATIONS.
2. UNLESS NOTED, ALL ELECTRICAL EQUIPMENT AND/OR DEVICES (RECEPTACLES, LIGHT FIXTURES, SWITCHES ETC.) WITHIN THE LIMITS OF THE REMODEL AREA SHALL BE REMOVED. CONDUIT AND CIRCUITRY NOT RE-USED SHALL BE REMOVED BACK TO ITS SOURCE. CONTRACTOR TO BE RESPONSIBLE FOR REMOVAL OF ALL MATERIAL AND DEBRIS FROM SITE.
3. THE ISSUED PLANS DO NOT SHOW ALL EXISTING DEVICES, OUTLETS, AND EQUIPMENT. ALL DEVICES AND EQUIPMENT REQUIRED AND/OR INDICATED TO BE REMOVED BECAUSE OF DEMOLITION SHALL BE DISCONNECTED. OUTLET BOXES IN WALLS THAT REMAIN SHALL BE PLASTERED OVER WHERE NO LONGER NEEDED FOR CIRCUIT CONTINUITY; WHERE REUSED AS J-BOXES, PROVIDE BLANK FACE PLATES. WHERE LOCATED IN WALLS TO BE REMOVED, CUT CONDUIT BELOW FLOOR LEVEL OR 12" ABOVE CEILING LEVEL, WHICHEVER APPLIES. CONTRACTOR SHALL ASSURE THE CONTINUITY OF REMAINING CIRCUITRY BY REWIRING AND CONNECTING REMAINING DEVICES AS REQUIRED.
4. ALL DEMOLITION WORK SHALL BE DONE IN A MANNER COMPATIBLE WITH PROTECTING EXISTING EQUIPMENT AND SYSTEMS THAT ARE NOT IN CONTRACT WORK. ANY DAMAGE DONE TO SUCH SYSTEMS AND THEIR ASSOCIATED EQUIPMENT SHALL BE REPAIRED AND/OR REPLACED TO THE ARCHITECT'S SATISFACTION AT THE ELECTRICAL CONTRACTOR'S EXPENSE.
5. ALL POWER OUTAGE REQUESTS TO BE SUBMITTED IN WRITING TO OWNER (7) DAYS PRIOR TO OUTAGE. TIME PERIODS WILL BE LIMITED TO OWNER'S CONVENIENCE.
6. CONTRACTOR MAY UTILIZE EXISTING BRANCH CIRCUITRY / CONDUIT WHERE POSSIBLE WITH NEW DESIGN. ALL EQUIPMENT REUSED SHALL MEET NEC, ADA, AND ALL OTHER CODES.
7. PROVIDE LOCK OUT / TAG OUT PROVISIONS FOR OPEN DEVICES, PANELS, CABINETS, CUT OUT BOXES, CONDUIT AND EQUIPMENT.

(#) DEMOLITION PLAN KEYED NOTES:

1. EXISTING EQUIPMENT / FIXTURE / DEVICE TO REMAIN.
2. EXISTING EQUIPMENT / FIXTURE / DEVICE TO BE REMOVED.
3. EXISTING EQUIPMENT / FIXTURE / DEVICE TO BE REMOVED AND REPLACED.
4. EXISTING FIXTURE TO REMAIN. CLEAN FIXTURE INTERIOR AND REFER TO ELECTRICAL SITE PLAN FOR REPLACEMENT LENS AND LAMP.

ELECTRICAL SITE DEMOLITION PLAN

SCALE: 3/32" = 1'-0"



MAKE SAFE AND CORRECT ALL WITNESSED CODE VIOLATIONS, BROKEN (IN USE) LINE VOLTAGE CONDUIT AND RACEWAYS, ETC.

WE # 20126

WOODWARD ENGINEERING

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76-PA-2021
CASE #: 62-HP-2021

SHEET NO.

SHEET CONTENT:
ELECTRICAL SITE DEMOLITION PLAN

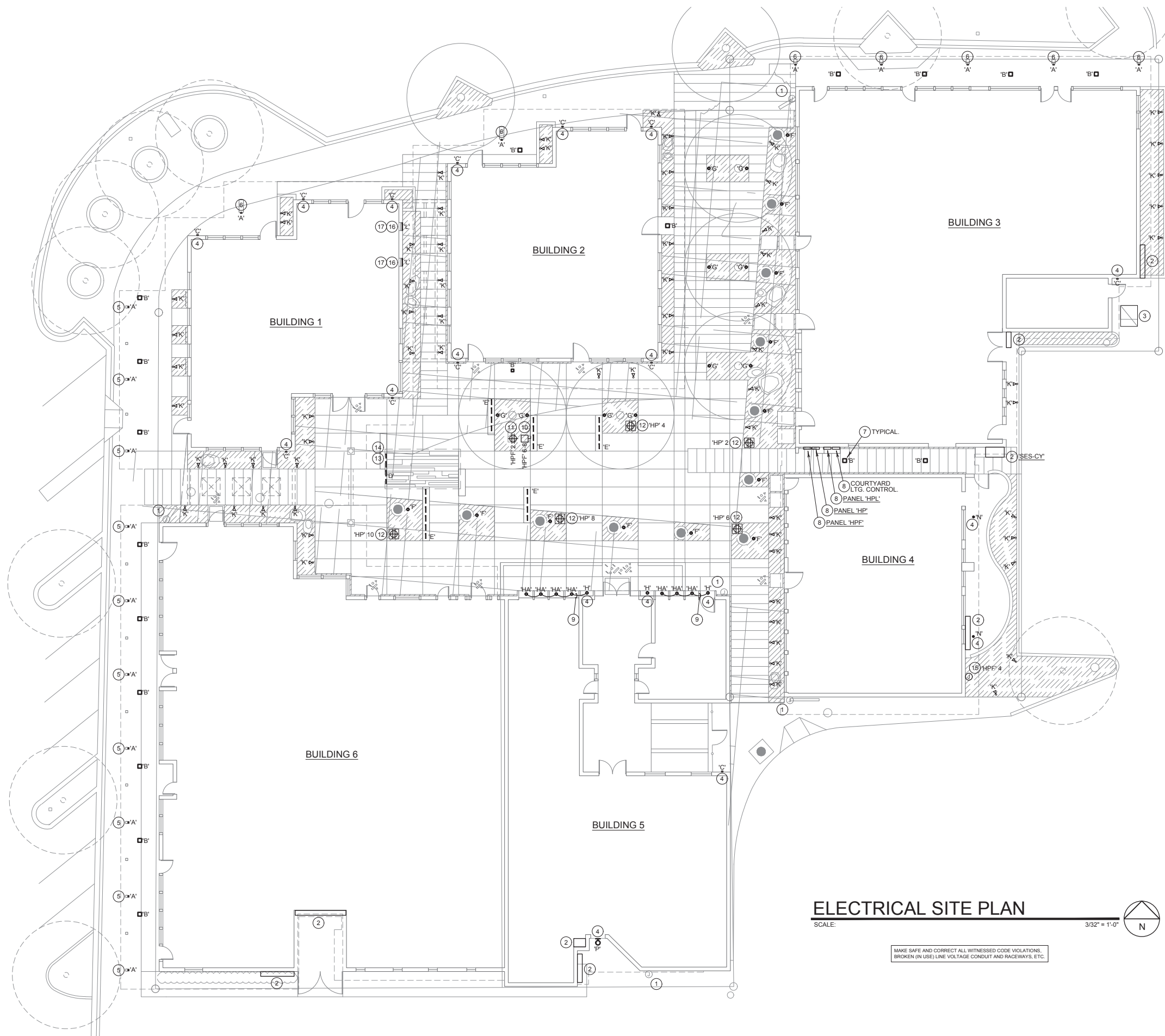
REVISIONS:
 DATE: **June 25, 2021**
 ARCH. PROJECT: **2020 - B**



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4806 N. 78TH PLACE
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 W https://www.dsydnorarchitect.com



ELECTRICAL SITE PLAN

SCALE: 3/32" = 1'-0"

MAKE SAFE AND CORRECT ALL WITNESSED CODE VIOLATIONS.
BROKEN (IN USE) LINE VOLTAGE CONDUIT AND RACEWAYS, ETC.

SITE PLAN GENERAL NOTES:

1. EXISTING SIGNAGE CONNECTION. DISCONNECT AND RECONNECT AS REQUIRED.
2. EXISTING ELECTRICAL SERVICE (NO WORK).
3. EXISTING ELECTRICAL UTILITY (APS) TRANSFORMER (NO WORK).
4. REPLACE EXISTING FIXTURE WITH NEW. RECONNECT TO EXISTING BUILDING MOUNTED J-BOX.
5. REPLACE EXISTING FIXTURE WITH NEW. RECONNECT TO EXISTING SURFACE MOUNTED CONDUIT.
6. NEW FIXTURE LOCATION (AROUND CORNER OF POST). RECONFIGURE THE EXISTING SURFACE MOUNTED CONDUIT SYSTEM FOR NEW LOCATION.
7. EXISTING FIXTURE. THOROUGHLY CLEAN AND REPAIR, AND PROVIDE NEW OPALGLASS LENS AND LED RETROFIT LAMP. REFER TO LIGHTING FIXTURE SCHEDULE.
8. EXISTING ELECTRICAL EQUIPMENT. REFER TO KEY FOR DESIGNATION.
9. EXTEND EXISTING BUILDING LIGHTING CIRCUITRY TO ADDED LIGHTING FIXTURES.
10. FOUNTAIN PUMP IN EQUIPMENT VAULT - COORDINATE LOCATION, MOUNT, AND CONNECTION. PROVIDE 30A, 2P, 2F, WP DISCONNECT SWITCH WITH RK5 FUSES PER PUMP MFR.
11. FOUNTAIN LIGHT AND MAINTENANCE RECEPTACLE CONNECTION IN EQUIPMENT VAULT. COORDINATE LOCATION, MOUNT, AND CONNECTION. PROVIDE WITH WP-WHILE-IN-USE COVER.
12. GFCI, DUPLEX, WEATHER RESISTANT RECEPTACLE IN DARK BRONZE PEDESTAL MOUNT AT APPROX. 8" AFG. REFER TO KEY FOR CIRCUITRY ASSIGNMENT (EXISTING COURTYARD RECEPTACLE CIRCUIT MADE AVAILABLE FROM DEMOLITION).
13. FOUNTAIN LIGHT MOUNTED UNDER DECK OVERHANG. REFER TO FIXTURE MOUNTING DETAIL, SHEET E-001.
14. LOCATE REMOTE DRIVER UNDER BENCH IF NO ROOM IN EQUIPMENT VAULT.
15. WP J-BOX AT APPROX. 48" FOR CONNECTION TO IRRIGATION CONTROLLER.
16. LINEAR LED ACCENT LIGHT IN GLASS VITRINE DISPLAY CASE. MOUNT AT FRONT, TOP, INSIDE EDGE OF VITRINE - AIMED DOWN AND AWAY (FOR VIEWING FROM THE EXTERIOR). COORDINATE LENGTH AND MOUNTING DETAILS WITH ARCHITECT / VITRINE SHOP DRAWINGS.
17. CONNECT TO EXISTING 120V LOCAL CIRCUIT INSIDE TENANT SPACE.

PLAN CIRCUITRY (NOT EXPLICITLY SHOWN)

1. ALL TYPE 'A', 'B', 'C', and 'N' FIXTURES ARE CONNECTED IN PLACE TO EXISTING CIRCUITRY.
2. ALL GROUND MOUNTED TYPE 'K' LANDSCAPE LIGHTS TO BE CIRCUITED TO EXISTING LANDSCAPE LIGHTING CIRCUIT 'HPL' 12 MADE AVAILABLE FROM DEMOLITION. THIS CIRCUIT HAS EXISTING PHOTOCELL AND CONTACTOR CONTROL.
3. ALL GROUND MOUNTED TYPE 'F' and 'G' TREE UPLIGHTS TO BE CIRCUITED TO EXISTING LANDSCAPE LIGHTING CIRCUIT 'HPL' 9 MADE AVAILABLE FROM DEMOLITION. THIS CIRCUIT HAS EXISTING PHOTOCELL AND CONTACTOR CONTROL.
4. ALL UNDER-BENCH MOUNTED TYPE 'E' LANDSCAPE LIGHTS TO BE CIRCUITED TO EXISTING LANDSCAPE LIGHTING CIRCUIT 'HPL' 11 MADE AVAILABLE FROM DEMOLITION. THIS CIRCUIT HAS EXISTING PHOTOCELL AND CONTACTOR CONTROL.

ARCHITECT:
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w https://www.dsydnorarchitect.com

PROJECT:
KIVA CRAFT CENTER REHABILITATION

7121-7141 East 5th Avenue, Scottsdale, Arizona 85251



REVISIONS:
DATE: **June 25, 2021**
ARCH. PROJECT: **2020 - B**

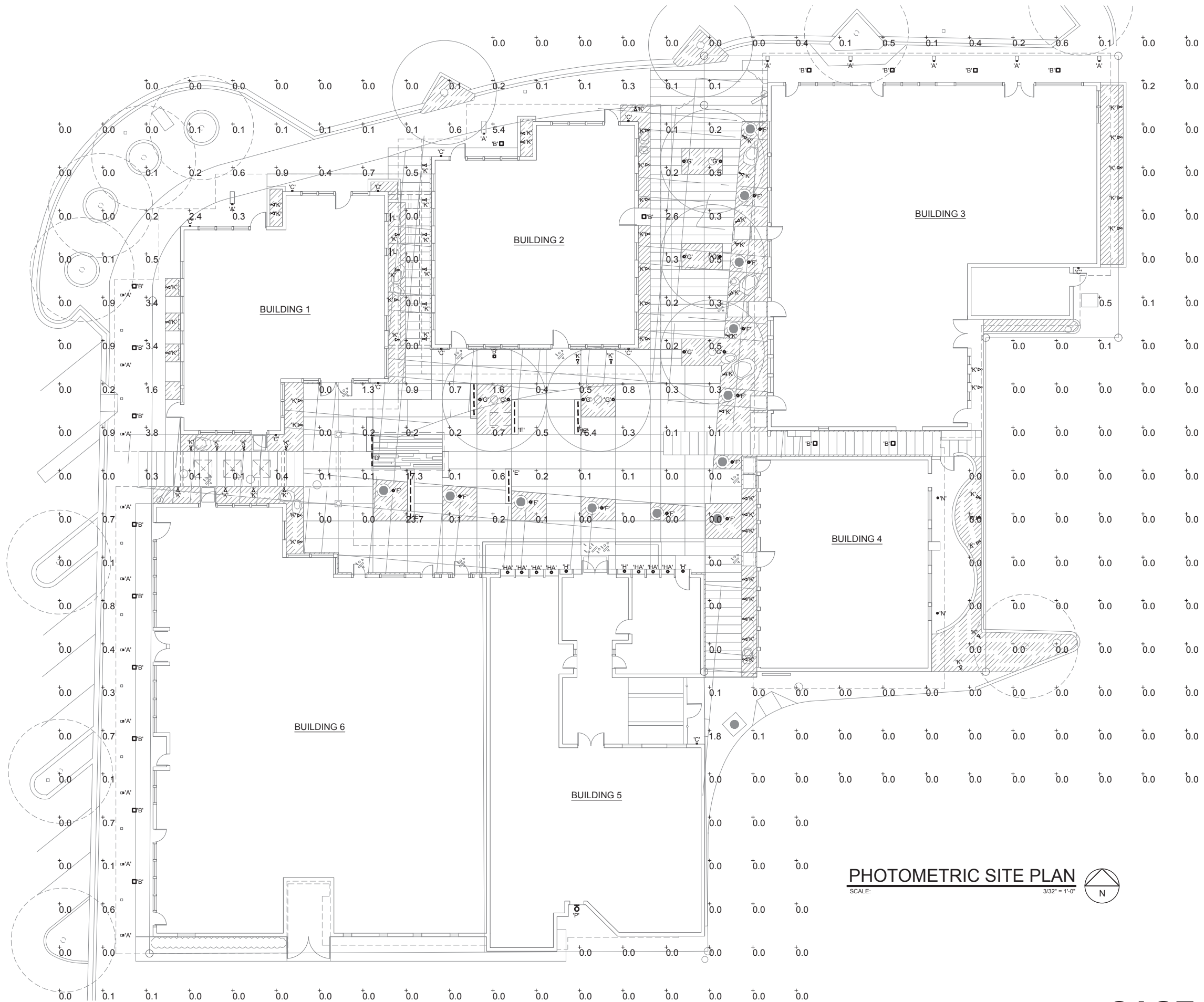
SHEET CONTENT:
ELECTRICAL SITE PLAN

SHEET NO.

WE # 20126
WOODWARD ENGINEERING

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76-PA-2021 E-100
CASE #: 62-HP-2021



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KIVA CRAFT CENTER REHABILITATION
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REVISIONS:
 DATE: **June 25, 2021**
 ARCH. PROJECT: **2020 - B**

SHEET CONTENT:
PHOTOMETRIC SITE PLAN

SHEET NO.

WE # 20126
WOODWARD ENGINEERING

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76-PA-2021 E-101
CASE #: 62-HP-2021



REVISIONS:
 DATE: **June 25, 2021**
 ARCH. PROJECT: **2020 - B**

SHEET CONTENT:
PANEL SCHEDULES and SINGLE LINE

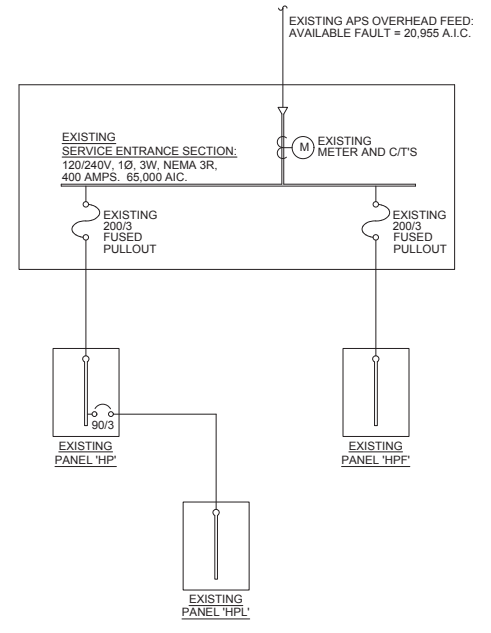
SHEET NO.

120V/240V, 1 PHASE, 3 WIRE NEMA 3R SURFACE MOUNTED FULLY RATED 10 k.A.I.C.										EXISTING PANEL 'HPL'		200A. M.L.O. LOCATION: SEE ELEC SITE PLAN PROVIDE SIGN: FED FROM SES									
CODES	CIRCUIT DESCRIPTION	C/B	#	LOAD	Φ	LOAD	#	C/B	CIRCUIT DESCRIPTION	CODES	C/B	#	LOAD	Φ	LOAD	#	C/B	CIRCUIT DESCRIPTION	CODES		
LT	LIGHTING - SOUTH COURT	20/1	1	363	A	200	2	20/1	ILLUMINATOR - 5TH AVE	LT											
LT	LIGHTING - NORTH COURT	20/1	3	265	B	250	4	20/1	LIGHTING - 5TH AVE DIRECTORY	LT											
LT	LIGHTING - COURT DIRECTORY	20/1	5	250	A	400	6	20/1	LIGHTING - 5TH AVE	LT											
LT	ILLUMINATOR - COURT	20/1	7	200	B	146	8	20/1	LIGHTING - 5TH AVE	LT											
LD, LT	LIGHTING - COURT TREES	20/1	9	165	A	178	10	20/1	LIGHTING - 5TH AVE	LT											
LD, LT	LIGHTING - COURT BENCHES	20/1	11	150	B	510	12	20/1	LIGHTING - COURT LANDSCAPE LTG.	LD, LT											
LD	SPARE	20/1	13		A	200	14	20/1	LIGHTING - 5TH AVE	LT											
LD	SPARE	20/1	15		B	180	16	20/1	LIGHTING - ELECTRICAL EQUIPMENT	LT											
LD	SPARE	20/1	17		A	250	18	20/1	LIGHTING - REAR PARKING DIRECTORY	LT											
DISC	ROOF NEON - SOUTH	20/1	19	-	B	-	20	20/1	ROOF NEON - 5TH AVE	DISC											
DISC	ROOF NEON - SOUTH	20/1	21	-	A	-	22	20/1	ROOF NEON - 5TH AVE	DISC											
DISC	ROOF NEON - 5TH AVE	20/1	23	-	B	-	24	20/1	ROOF NEON - REAR PARKING	DISC											
DISC	ROOF NEON - NORTH	20/1	25	-	A	-	26														
DISC	ROOF NEON - 5TH AVE	20/1	27	-	B	-	28														
	SPACE		29		A		30														
PROVIDE ARC FLASH WARNING SIGN per NEC 110.16										PLUG-ON BREAKERS W/ GND BUS											

CODE	DESCRIPTION	PANEL TOTALS (INCLUDES TOTALS FROM SUB-FEED PANELS)	ΦA	ΦB
LD	EXIST. LOAD DEMOD	RECEPTACLE LOAD		
BD	EXISTING C/B DEMOD	LIGHTING LOAD	2006	1701
CL	CONTINUOUS LOAD	KITCHEN LOAD		
GB	GFCI BREAKER	MOTOR LOAD		
KL	KITCHEN EQUIPMENT	CONTINUOUS LOAD (EQUIPMENT ON OVER 3HRS per NEC 100)		
LOF	LOCK-OFF DEVICE	OTHER (ALL LOAD NOT INCLUDED ABOVE)		
LON	LOCK-ON DEVICE	UNADJUSTED TOTAL	2,006	1,701
LT	LIGHTING	RECEPT DE-RATE (50% OF REMAINDER OVER 10KVA)		
ML	MOTOR LOAD	KITCHEN DE-RATE (DE-RATE VARIES per NEC 220.56)		
NS	NON-SIMULTANEOUS	25% OF LIGHTING (LIGHTING TO 125% per NEC)	502	425
PSF	PANEL SUB FEED	25% OF CONTINUOUS (CONT. LOAD TO 125% per NEC 215.2A(1))		
RL	RECEPTACLE LOAD	25% OF LARGEST MOTOR		
SB	SHUNT TRIP BREAKER	ADJUSTED TOTAL (INCLUDES SUB-FEED PANEL DE-RATES)	2,508	2,126
TB	TWIN BREAKER			AMP
	EXISTING			20.9
TC1	ROUTE CIRCUIT THROUGH TIMECLOCK 'TC1'. 7 DAY, 3 POLE, WITH 9 VDC RESERVE. SET CLOCK FOR DUSK TO DAWN OPERATION.			
DISC	DISCONNECT EXISTING CIRCUITRY AT BREAKER AND LIGHTING CONTACTOR. LABEL CONDUCTORS AS "NEON".			

120V/240V, 1 PHASE, 3 WIRE NEMA 3R SURFACE MOUNTED FULLY RATED 10 k.A.I.C.										EXISTING PANEL 'HP'		200A. M.L.O. LOCATION: SEE ELEC SITE PLAN PROVIDE SIGN: FED FROM SES									
CODES	CIRCUIT DESCRIPTION	C/B	#	LOAD	Φ	LOAD	#	C/B	CIRCUIT DESCRIPTION	CODES	C/B	#	LOAD	Φ	LOAD	#	C/B	CIRCUIT DESCRIPTION	CODES		
RL	RECEPTS - S COURT	20/1	1	360	A	180	2	20/1	RECEPTS - COURTYARD PLANTERS	LD, RL											
RL	RECEPTS - N COURT	20/1	3	360	B	180	4	20/1	RECEPTS - COURTYARD PLANTERS	LD, RL											
RL	RECEPTS - W 5TH AVE	20/1	5	540	A	180	6	20/1	RECEPTS - COURTYARD PLANTERS	LD, RL											
RL	RECEPTS - E 5TH AVE	20/1	7	360	B	180	8	20/1	RECEPTS - COURTYARD PLANTERS	LD, RL											
RL	RECEPTS - ELECTRICAL EQUIPMENT	20/1	9	540	A	180	10	20/1	RECEPTS - COURTYARD PLANTERS	LD, RL											
RL	RECEPTS - S	20/1	11	540	B	50	12	20/1	TIMECLOCK / CONTACTOR CONTROL												
RL	RECEPTS - E	20/1	13	720	A		14		SPACE												
	SPACE		15		B		16		SPACE												
	SPACE		17		A		18		SPACE												
	SPACE		19		B		20		SPACE												
PSF	PANEL 'HPL'	100/2	21	2508	A		22		SPACE												
PSF			23	2126	B		24		SPACE												
	SPACE		25		A		26		SPACE												
	SPACE		27		B		28		SPACE												
	SPACE		29		A		30		SPACE												
	SPACE		31		B		32		SPACE												
	SPACE		33		A		34		SPACE												
	SPACE		35		B		36		SPACE												
	SPACE		37		A		38		SPACE												
	SPACE		39		B		40		SPACE												
	SPACE		41		A		42		SPACE												
PROVIDE ARC FLASH WARNING SIGN per NEC 110.16										PLUG-ON BREAKERS W/ GND BUS											

CODE	DESCRIPTION	PANEL TOTALS (INCLUDES TOTALS FROM SUB-FEED PANELS)	ΦA	ΦB
LD	EXIST. LOAD DEMOD	RECEPTACLE LOAD	2700	1620
BD	EXISTING C/B DEMOD	LIGHTING LOAD	2006	1701
CL	CONTINUOUS LOAD	KITCHEN LOAD		
GB	GFCI BREAKER	MOTOR LOAD		
KL	KITCHEN EQUIPMENT	CONTINUOUS LOAD (EQUIPMENT ON OVER 3HRS per NEC 100)		
LOF	LOCK-OFF DEVICE	OTHER (ALL LOAD NOT INCLUDED ABOVE)		50
LON	LOCK-ON DEVICE	UNADJUSTED TOTAL	4,706	3,371
LT	LIGHTING	RECEPT DE-RATE (50% OF REMAINDER OVER 10KVA)		
ML	MOTOR LOAD	KITCHEN DE-RATE (DE-RATE VARIES per NEC 220.56)		
NS	NON-SIMULTANEOUS	25% OF LIGHTING (LIGHTING TO 125% per NEC)	502	425
PSF	PANEL SUB FEED	25% OF CONTINUOUS (CONT. LOAD TO 125% per NEC 215.2A(1))		
RL	RECEPTACLE LOAD	25% OF LARGEST MOTOR	0	0
SB	SHUNT TRIP BREAKER	ADJUSTED TOTAL (INCLUDES SUB-FEED PANEL DE-RATES)	5,208	3,796
TB	TWIN BREAKER			AMP
	EXISTING			43.4
TC1	ROUTE CIRCUIT THROUGH TIMECLOCK 'TC1'. 7 DAY, 3 POLE, WITH 9 VDC RESERVE. SET CLOCK FOR DUSK TO DAWN OPERATION.			
22	ADDED BREAKER TO BE FULLY RATED AT 22 k.A.I.C.			



SINGLE LINE DIAGRAM
 NO SCALE

LOAD CALCULATIONS

EXISTING SERVICE ENTRANCE SECTION	
PANEL 'HP':	43.4 AMPS
PANEL 'HPF':	13.9 AMPS
REVISED TOTAL LOAD:	57.3 AMPS

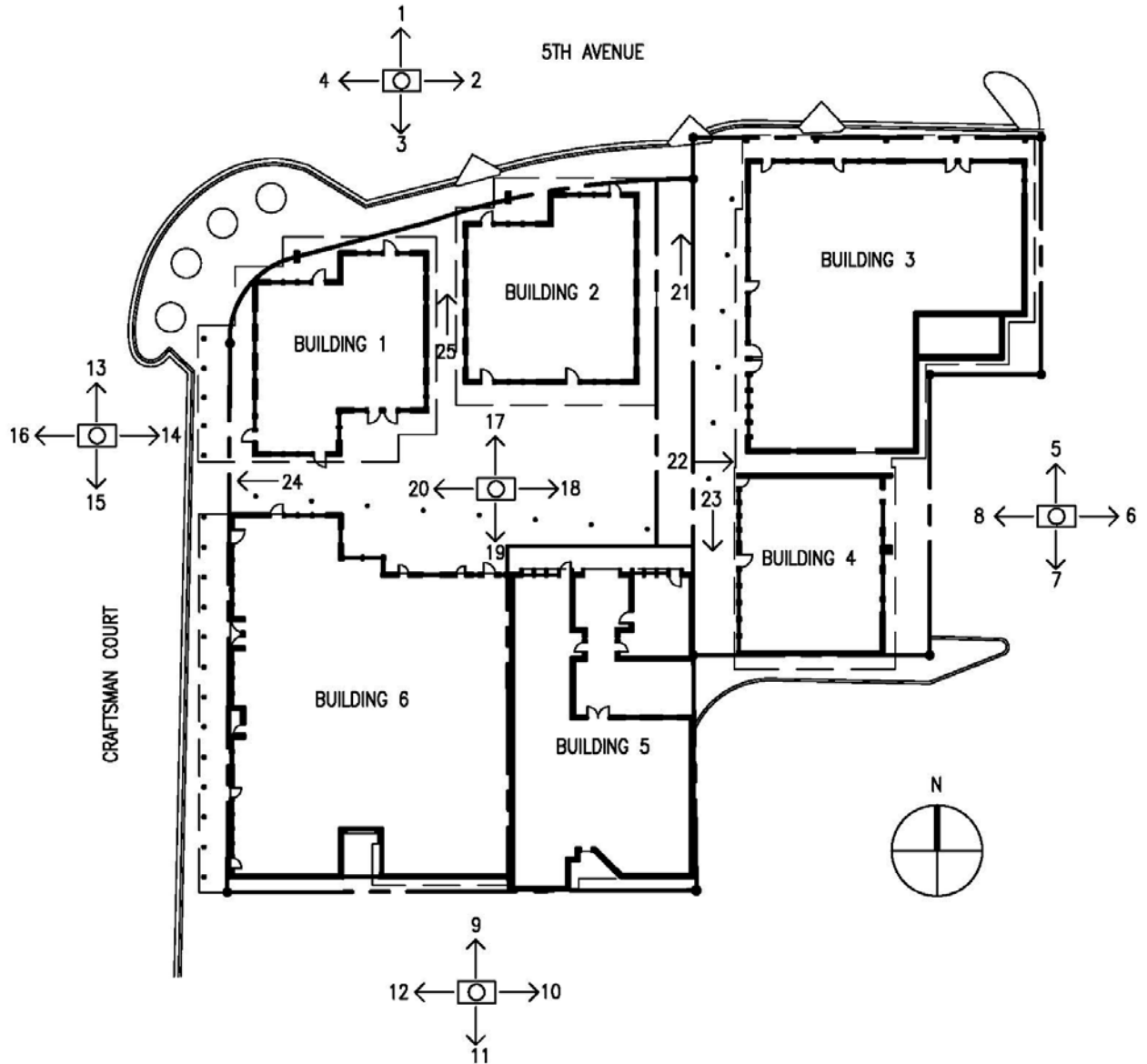
120V/240V, 1 PHASE, 3 WIRE NEMA 3R SURFACE MOUNTED FULLY RATED 10 k.A.I.C.										EXISTING PANEL 'HPF'		200A. M.L.O. LOCATION: SEE ELEC SITE PLAN PROVIDE SIGN: FED FROM SES									
CODES	CIRCUIT DESCRIPTION	C/B	#	LOAD	Φ	LOAD	#	C/B	CIRCUIT DESCRIPTION	CODES	C/B	#	LOAD	Φ	LOAD	#	C/B	CIRCUIT DESCRIPTION	CODES		
LD	SPARE	20/2	1		A	202	2	20/1	FOUNTAIN LIGHT, RECEPT	LD											
LD			3		B	50	4	20/1	IRRIGATION CONTROLLER	LD											
LD			5		A	1176	6			LD, ML											
LD	SPARE	20/2	7		B	1176	8	20/2	FOUNTAIN PUMP	LD, ML											
LD			9		A		10		SPACE												
LD	SPARE	20/2	11		B		12		SPACE												
LD			13		A		14		SPACE												
LD	SPARE	20/2	15		B		16		SPACE												
LD			17		A		18		SPACE												
LD	SPARE	20/2	19		B		20		SPACE												
LD			21		A		22		SPACE												
LD	SPARE	40/2	23		B		24		SPACE												
PROVIDE ARC FLASH WARNING SIGN per NEC 110.16										PLUG-ON BREAKERS W/ GND BUS											

CODE	DESCRIPTION	PANEL TOTALS (INCLUDES TOTALS FROM SUB-FEED PANELS)	ΦA	ΦB
LD	EXIST. LOAD DEMOD	RECEPTACLE LOAD		
BD	EXISTING C/B DEMOD	LIGHTING LOAD		
CL	CONTINUOUS LOAD	KITCHEN LOAD		
GB	GFCI BREAKER	MOTOR LOAD	1176	1176
KL	KITCHEN EQUIPMENT	CONTINUOUS LOAD (EQUIPMENT ON OVER 3HRS per NEC 100)		
LOF	LOCK-OFF DEVICE	OTHER (ALL LOAD NOT INCLUDED ABOVE)	202	50
LON	LOCK-ON DEVICE	UNADJUSTED TOTAL	1,378	1,226
LT	LIGHTING	RECEPT DE-RATE (50% OF REMAINDER OVER 10KVA)		
ML	MOTOR LOAD	KITCHEN DE-RATE (DE-RATE VARIES per NEC 220.56)		
NS	NON-SIMULTANEOUS	25% OF LIGHTING (LIGHTING TO 125% per NEC)		
PSF	PANEL SUB FEED	25% OF CONTINUOUS (CONT. LOAD TO 125% per NEC 215.2A(1))		
RL	RECEPTACLE LOAD	25% OF LARGEST MOTOR	294	294
SB	SHUNT TRIP BREAKER	ADJUSTED TOTAL (INCLUDES SUB-FEED PANEL DE-RATES)	1,672	1,520
TB	TWIN BREAKER			AMP
	EXISTING			13.9
TC1	ROUTE CIRCUIT THROUGH TIMECLOCK 'TC1'. 7 DAY, 3 POLE, WITH 9 VDC RESERVE. SET CLOCK FOR DUSK TO DAWN OPERATION.			
22	ADDED BREAKER TO BE FULLY RATED AT 22 k.A.I.C.			

Kiva Craft Center

City of Scottsdale Historic Property Pre-Application Request Site Photos

Site Photo Legend





1 - North @ 5th Avenue



2 - East @ 5th Avenue



3 - South @ 5th Avenue



4 - West @ 5th Avenue



5 – North @ East Alley



6 – East @ East Alley



7 – South @ East Alley



8 – West @ East Alley



9 – North @ South Alley



10 – East @ South Alley



11 – South @ South Alley



12 – West @ South Alley



13 – North @ Craftsman Court



14 – East @ Craftsman Court



15 – South @ Craftsman Court



16 – West @ Craftsman Court



17 – North @ Courtyard



18 – East @ Courtyard



19 – South @ Courtyard



20 – West @ Courtyard



21 – North @ Northeast Breezeway



22 – East @ East Breezeway



23 – South @ Southeast Breezeway



24 – West @ West Breezeway



25 – North @ North Central Breezeway