

# PLANNING COMMISSION REPORT



Meeting Date: April 22, 2020  
General Plan Element: *Land Use*  
General Plan Goal: *Create a sense of community through land uses*

## **ACTION**

**Happy Valley 18  
13-ZN-2019**

### **Request to consider the following:**

1. A recommendation to City Council regarding a request by owner for approval of a Zoning District Map Amendment from Single-family Residential, Environmentally Sensitive Lands (R1-190, ESL) to Single-family Residential, Planned Residential Development, Environmentally Sensitive Lands (R1-43 PRD ESL) zoning for a new 21-lot subdivision with a Development Plan and amended development standards for a reduction of lot area, lot width, and setbacks, on a +/- 29-acres site, located at the southwest corner of E. Happy Valley Road and N. Alma School Rd.

### **Goal/Purpose of Request**

The applicant's request is to rezone the subject 29 +/- acre site to establish a 21-lot single-family residential subdivision.

### **Key Items for Consideration**

- Conformance to the 2001 General Plan
- Using PRD and amended development standards for flexibility in site design, including all NAOS in protected common area tracts
- Desert Scenic Roadway buffer along E. Happy Valley Rd. and limited buffer along N. Alma School Rd.

## **OWNER**

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Harbour Lights Holding Company Inc  
239-254-2420

## **APPLICANT CONTACT**

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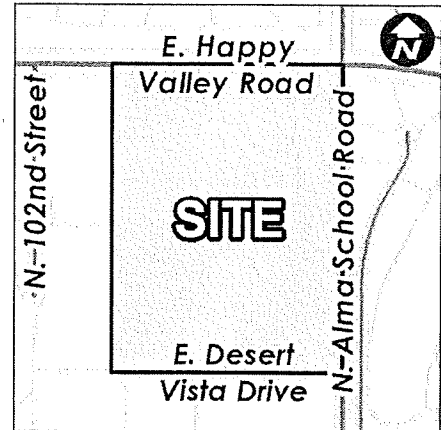
Tom Kirk  
Camelot Homes  
480-367-4316

Action Taken \_\_\_\_\_

## LOCATION

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Southwest corner of East Happy Valley Road and North Alma School Road



## BACKGROUND

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### General Plan

The City of Scottsdale General Plan 2001 Land Use Element designates the property as Rural Neighborhoods which permits relatively large lot single-family neighborhoods. Densities in Rural Neighborhoods are usually one house per one acre (or more) of land. The proposed rezoning provides less than one (1) dwelling unit per acre; approximately 0.73 dwelling units per acre (21-lots), which is consistent with the maximum 1.0 dwelling units per acre allowed by the existing Rural Neighborhoods General Plan Land Use designation.

### Zoning

The subject sites were annexed from the county into the City of Scottsdale in 1981. Subsequently zoned to Single-family Residential, Hillside District (R1-190 HD) with case 32-ZN-1982. In 1991, the Environmentally Sensitive Lands (ESL) ordinance was adopted and intended to identify and protect environmental sensitive features. The R1-190 ESL HD zoning district is intended to promote and preserve residential development. Large lots are required to maintain a low density of population. The principal land use is single-family dwellings and uses incidental or accessory thereto together with required recreational, religious and educational facilities. The intent of the Planned Residential Development District is to encourage imaginative and innovative planning or residential neighborhoods to encourage the preservation of open space and significant natural features, to offer wide variety of dwelling unit types, to permit greater flexibility in design of residential neighborhoods, and to enable development of parcels of property that would be difficult to develop under conventional zoning and subdivision regulations.

### Context

The 29-acre site is located at the southwest corner of E. Happy Valley Road and N. Alma School Rd. Please refer to context graphics attached.

### Adjacent Uses and Zoning

- North: E. Happy Valley Rd. abuts the property to the north. Directly across is a residential development (Eagles Glen), zoned Single-family Residential, Hillside District (R1-43 ESL HD).
- South: E. Desert Vista Dr. abuts the property to the south. Directly across are single family residences, zoned Single-family Residential, Environmentally Sensitive Lands (R1-190 & R1-70 ESL).

- East: N. Alma School Rd. abuts the property to the east. Directly across is a residential development (Glenn Moor @ Troon Village), zoned Single-family Residential, Environmentally Sensitive Lands, Hillside District (R1-35 ES HD).
- West: Existing single-family residences, zoned Single-family Residential, Environmentally Sensitive Lands (R1-190 ESL).

**Other Related Policies, References:**

- 32-ZN-1982: annexed from the County
- Scottsdale General Plan 2001, as amended
- 1-GP-2004: Desert Scenic Roadways
- Environmentally Sensitive Lands Overlay Ordinance
- 2008 Transportation Master Plan
- 2018 Design Standards and Policy Manual

**APPLICANT’S PROPOSAL**

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**Development Information**

The development proposal includes request to rezone the subject property for a new 21-lot single-family detached residential subdivision.

- Existing Use: Four (4) vacant parcels
- Proposed Use: 21-lot residential subdivision
- Parcel Size: 28.59 gross acres  
27.41 net acres
- Building Height Allowed: 24 feet, measured from natural grade
- Building Height Proposed: 24 feet, measured from natural grade
- Natural Area Open Space Required: 442,393 square feet (10.15 acres)
- Natural Area Open Space Provided: 444,331 square feet (10.20 acres)
- Density Allowed: 1 dwelling unit per acre (29 lots)
- Density Proposed: 0.73 dwelling units per acre (21 lots)

**IMPACT ANALYSIS**

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**General Plan**

The request conforms to the 2001 General Plan description of Rural Neighborhoods. The applicant proposes a single-family residential community consisting of 21 lots, equating to less than 1 dwelling unit per gross acre (.73 du/ac) which is less than the PRD maximum base density criteria (0.85 du/ac) allowed. The applicant proposes to dedicate 35% of the site as Natural Area Open Space (NAOS) that will be dedicated as Tracts along the perimeter of the site that will provide a transition between the existing and proposed development. Desert Scenic Roadway buffers are intended to preserve views

and native vegetation, providing the streetscape with a unique image that should also reduce the impacts of a major street on adjacent parcels. In result of an additional right of way dedications along Happy Valley Road to accommodate City roadway widening, a sound mitigation wall will encroach into the minimum 50 foot Desert buffer setback in two (2) locations from 0 to 29 inches for a length of 124 feet, not to exceed 150 square feet. Alma School Road will provide an average Desert buffer setback of 50 feet after the required right of way dedications, with some locations at 0 feet. The applicant is proposing a wide NAOS tract near the intersection of Happy Valley Road and Alma School Road that will preserve the landscape character and meaningful open space along these corridors which complies with the General Plan Desert Scenic Roadways intent.

### Land Use

The proposed zoning designation of Single-family Residential, Environmentally Sensitive Lands, Planned Residential Development (R1-43, ESL PRD) District will allow 0.73 du/acre or 21 dwelling units. The site plan is designed to protect the major washes that bisect the site with drainage and natural area open space easements. The proposal also includes the use of the Planned Residential District (PRD) to amend development standards such as lot area and building setbacks. This type of amendment request is consistent with the purpose of the PRD; to encourage the preservations of open space and significant natural features, to offer a wide variety of dwelling unit types, to permit greater flexibility in design of residential neighborhoods, and to enable development of parcels of property that would be difficult to develop under conventional zoning and subdivision regulations.

### PRD Findings/Criteria

Section 6.205 of the Zoning Ordinance specifies that a planned residential development shall observe the following design criteria:

1. The overall plan shall be comprehensive, embracing the land, buildings, landscape and their interrelationships and shall conform in all respects to all adopted plans of all governmental agencies for the area in which the proposed development is located.
  - **The proposed Development Plan includes a conceptual subdivision layout that; protects the existing wash corridors; contains Natural Area Open Space Plan within common tracts versus on-lot; and provides a Desert Scenic Roadway Buffer setback along N. Alma School Road and E. Happy Valley Road.**
2. The plan shall provide open space, circulation, off-street parking, and pertinent amenities. Buildings, structures and facilities in the parcel shall be well integrated, oriented and related to the topographic and natural landscape features of the site.
  - **The proposed Development Plan and subdivision layout preserves natural features, provides accessibility to common areas, and protects Natural Area Open Space (NAOS) and wash corridors within common tracts.**
3. The proposed development shall be compatible with existing and planned land use, and with circulation patterns on adjoining properties. It shall not constitute a disruptive element to the neighborhood and community.



- **The Development Plan maintains the character of the surrounding development by minimizing through-traffic with a new vehicular gated entry along N. Alma School Road. Additionally, internal streets are a rural character with short winding segments and cul-de-sacs to minimize traffic speeds. The proposed single-family residential land use is consistent with the zoning district and the surrounding area.**
4. The internal street system shall not be a dominant feature in the overall design, rather it should be designed for the efficient and safe flow of vehicles without creating a disruptive influence on the activity and function of any common areas and facilities.
    - **Access to the site is provided from a new gated entry along N. Alma School Rd. The Development Plan and subdivision layout provides an internal street system that acknowledges the natural landscape features and is designed for efficient and safe flow of vehicles without creating a disruptive influence on the common area open space.**
  5. Common areas and recreation areas shall be so located so as to be readily accessible to the occupants of the dwelling units and shall be well related to any common open spaces provided.
    - **Common area tracts designated as NAOS are provided along the perimeter and through the middle of the development. Along both street frontages, the subdivision layout provides Desert Scenic Buffer setbacks comprised of desert landscaping and new public trails that connect to an existing trail network.**
  6. Architectural harmony with the development and within the neighborhood and community shall be obtained so far as practicable.
    - **Architectural design is not required or provided as part of this application however, building height will be limited by the Environmentally Sensitive Lands (ESL) standards. At time of development, the Environmentally Sensitive Lands Ordinance will apply to the extend allowable when homes are proposed for development.**

### **Transportation/Trails**

The Transportation Department has reviewed the proposed development and accepted the Trip Generation Report (Attachment #8). According to the report analysis, the development of 21 single-family dwelling units on a 29-acre parcel has the potential to generate 200 daily trips, with 16 trips occurring in the AM Peak hour and 21 trips occurring in the PM peak hour.

Access to the site is provided from a new single entry and exit driveway along N. Alma School Road through a private gate. A 40-foot-wide private street meanders throughout the site and terminates at cul-de-sacs. A separated public path and trail will be provided for pedestrian travel along N. Alma School Road and E. Happy Valley Road.

### **Water/Sewer**

The City's Water Resource Department has reviewed the application and finds that the proposed water and wastewater is adequate to service the development. The developer is responsible for providing all water and wastewater infrastructure improvements, including any new service lines, connections, fire hydrants, and manholes to serve the development.

### **Public Safety**

The nearest fire station is within 1.5 miles of the site and located at 27775 N. Alma School Parkway. The city's public safety division reviewed the site plan and determined the internal circulation accommodate fire truck access and maneuverability for emergency services. There are no anticipated impacts associated with this request.

### **School District Comments/Review**

The applicant sent a letter of notification to the Scottsdale Unified School District and determined that the school district has adequate school facilities to accommodate the projected number of additional students generated by the proposed rezoning.

### **Natural Area Open Space/Desert Scenic Roadway Buffer**

The project has minimal impact to the Open Space and Natural Area Open Space (NAOS). Based upon the proposed envelopment and per the slope analysis, the minimum required NAOS on the subject site is 10.15 acres and the applicant is providing 10.20 acres located with protected area tracts. The property has scarred areas which will be dedicated as NAOS and the developer is applying the scarred credit for these areas.

One (1) wash over 50 cubic feet per second (cfs) bisects the site from northeast to southwest that will be maintained with the existing wash corridor or modified with a wash modification application. Any wash modification will be reviewed concurrently with the preliminary plat application. NAOS and drainage easements will protect the natural washes through the property.

A desert scenic corridor buffer will be dedicated along E. Happy Valley Road and N. Alma School Road with a minimum width of 50 feet from right of way. The corridor will be preserved through a combination of enhanced desert landscaping and NAOS.

### **Community Involvement**

According to the Citizen and Neighborhood Involvement Report, in May of 2019 the applicant began discussion with the surrounding neighbors. A Project Under Consideration sign was posted on June 10, 2019 and the applicant mailed out notification letters with the open house information to property owners within 750 feet of the subject property plus 70 additional letters to the Scottsdale Interested Parties List. On June 25, 2019, the applicant held an open house meeting at the Camelot's White Horse community located at 8865 E. Via Del Sol. According to the Neighborhood Involvement Report, a total of eight (8) people attended the open house. In mid-July the City mailed out a "Heads up Postcard" to property owners within ¼ mile of the subject site. City staff received e-mails from residents that expressed concerns about views, density, and drainage. The applicants public outreach report and correspondence is attached to this report.

**STAFF RECOMMENDATION**

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**Recommended Approach:**

Staff recommends that the Planning Commission find that Planned Residential District criteria have been met, and determine that the proposed zoning district map amendment is consistent and conforms with the adopted General Plan, and make a recommendation to City Council for approval of the proposed Development Plan and Amended Development Standards, per the attached stipulations.

**RESPONSIBLE DEPARTMENTS**

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**Planning and Development Services**

- Current Planning Services
- Long Range Planning
- Traffic Engineering
- Water Resources
- Fire and Life Safety Services
- Plan Review

**STAFF CONTACT**

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Senior Planner  
480-312-4211  
E-mail: [mtessier@ScottsdaleAZ.gov](mailto:mtessier@ScottsdaleAZ.gov)

**APPROVED BY**

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Meredith Tessier, Report Author

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Date 03/19/2020



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Tim Curtis, AICP, Current Planning Director  
480-312-4210, tcurtis@scottsdaleaz.gov

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Date 4/15/2020



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Randy Grant, Executive Director  
Planning and Development Services  
480-312-2664, rgrant@scottsdaleaz.gov

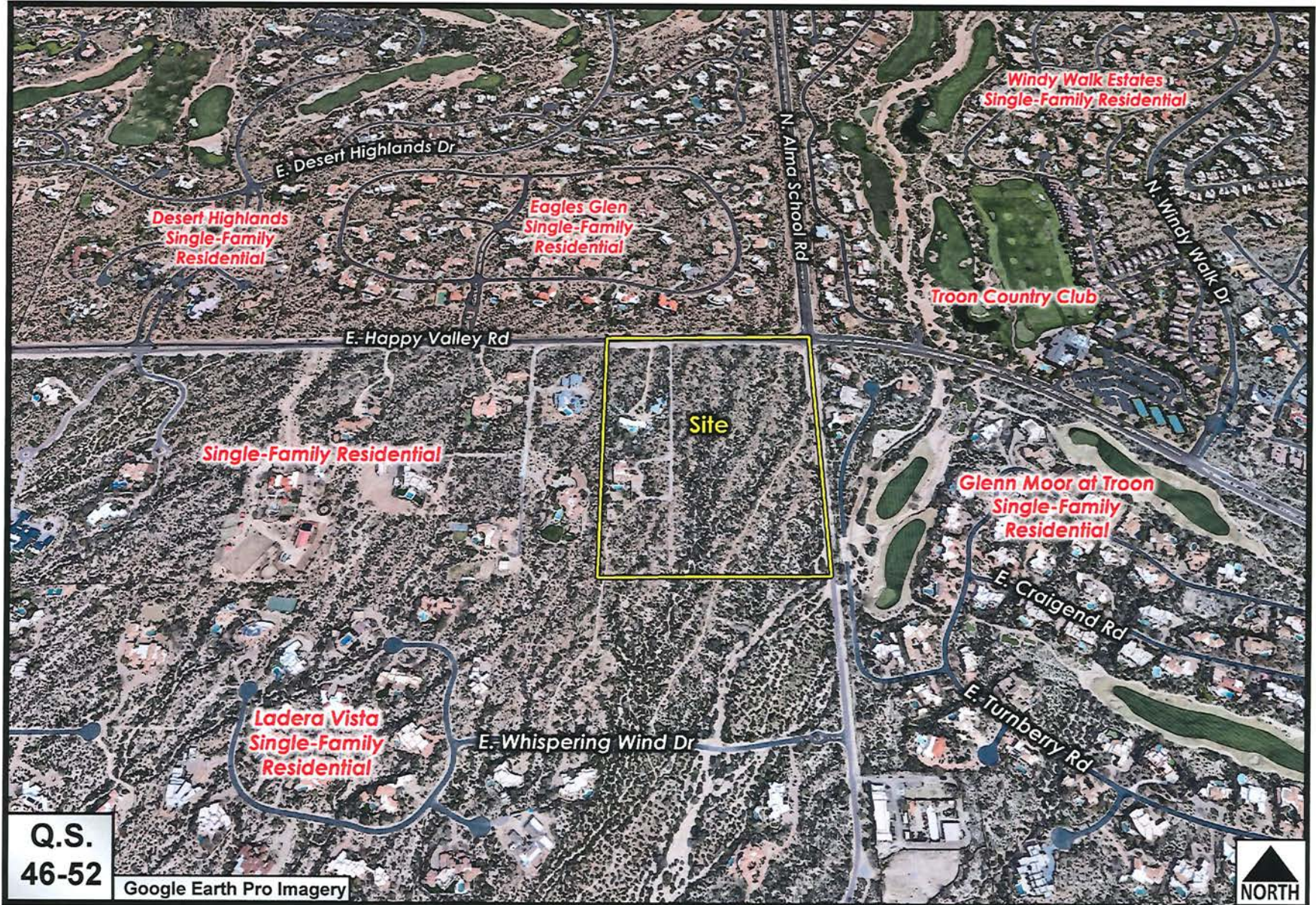
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Date 4/16/20

**ATTACHMENTS**

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1. Context Aerial
- 1A. Aerial Close-Up
2. Stipulations  
    Exhibit A to Attachment 2: Development Plan
3. Additional Information
4. Applicant's Narrative
5. General Plan Land Use Map
6. Zoning Map (Existing)
7. Zoning Map (Proposed)
8. Traffic Impact Summary
9. Citizen Involvement
10. Correspondence
11. City Notification Map





Context Aerial

13-ZN-2019





Close-up Aerial

13-ZN-2019



**Stipulations for the Zoning Application:  
Happy Valley 18  
Case Number: 13-ZN-2019**

These stipulations are in order to protect the public health, safety, welfare, and the City of Scottsdale.

**SITE DESIGN**

1. CONFORMANCE TO DEVELOPMENT PLAN. Development shall conform with the Development Plan, attached as Exhibit A to Attachment 2. Any proposed significant change to the Development Plan, as determined by the Zoning Administrator, shall be subject to additional action and public hearings before the Planning Commission and City Council.
2. CONFORMANCE TO AMENDED DEVELOPMENT STANDARDS. Development shall conform with the amended development standards that are included as part of the Development Plan. Any change to the development standards shall be subject to additional public hearings before the Planning Commission and City Council.
3. MAXIMUM DWELLING UNITS/MAXIMUM DENSITY. Maximum number of lots shall not exceed 21 lots as shown on the development plan.
4. BUILDING HEIGHT LIMITATIONS. No building on the site shall exceed twenty-four (24) feet in height, measured from pre-disturbed natural grade and buildings shall not exceed one (1) story within fifty (50) feet of an R-1 district boundary line.
5. SOUND BARRIER PERIMETER WALL. Maximum height of the walls along E. Happy Valley Road and N. Alma School Road shall not exceed eight (8) feet in height measured from natural grade.
6. NATURAL AREA OPEN SPACE. The developer shall dedicate a minimum of 10.15 acres of Natural Area Open Space in common area tracts.
7. ALTERATIONS TO NATURAL WATERCOURSES. Any proposed alteration to the natural state of watercourses with a peak flow rate of 750 cfs or less based on the 100 year – 2-hour rain event shall be subject to Development Review Board approval.
8. ACCESS RESTRICTIONS. Access to the development project shall conform to the following restrictions:
  - a. There shall be a maximum of one site driveway access location to N Alma School Road.
9. PROTECTION OF ARCHAEOLOGICAL RESOURCES. Any development on the property is subject to the requirements of Scottsdale Revised Code, Chapter 46, Article VI, Protection of Archaeological Resources, Section 46-134 - Discoveries of archaeological resources during construction.

**DEDICATIONS**

10. RIGHT-OF-WAY DEDICATIONS. Prior to issuance of any permit for the development project, the property owner shall make the following fee-simple right-of-way dedications to the City of Scottsdale:

- a. E HAPPY VALLEY ROAD. Ten (10) foot dedication, for a total sixty-five (65) foot wide south half-right-of-way width.
  - b. E HAPPY VALLEY ROAD and N ALMA SCHOOL ROAD. Fifty-foot by fifty-foot (50' x 50') right-of-way triangle.
  - c. N ALMA SCHOOL ROAD.
    - a. Fifty (50) foot dedication, for a total fifty (5) foot wide west half right-of-way width from E Happy Valley Road four hundred fifty (450) feet south.
    - b. Thirty (30) foot dedication, for a total thirty (30) foot wide west half-right-of-way width from four hundred fifty feet (450) south of E Happy Valley Road to southern project boundary.
  - d. E DESERT VISTA DRIVE.
    - a. Twenty (20) foot dedication, for a total twenty (20) foot wide north half-right-of-way width.
    - b. Forty and a half (40.5) foot dedication, for a total forty and a half (40.5) foot wide north half cul-de-sac right-of-way width at western termination of corridor.
  - e. N ALMA SCHOOL ROAD and E DESERT VISTA DRIVE. One hundred-foot by one hundred-foot (100' x 100') right-of-way triangle.
11. LOCAL RESIDENTIAL PRIVATE STREETS. All local residential private streets shall be contained within a subdivision tract of land that has minimum total width of forty (40) feet, and dedications to the property owner's association consisting of property owners within the subdivision of the development project.
  12. SUBDIVISION TRACTS, PRIVATE STREETS, MAINTENANCE, AND LIABILITY. A property owners association consisting of property owners within the subdivision of the development project shall own and be responsible for all maintenance and liabilities of all subdivision tracts, private streets and related infrastructure.
  13. LOTS OR TRACTS CONVEYED BY SUBDIVISION PLAT. On the final subdivision plat, and prior to the issuance of any permit for the development project, the property owner shall make the fee-simple dedication to the City of Scottsdale of odor control chemical dosing station.
  14. VEHICLE NON-ACCESS EASEMENT. Prior to issuance of any permit for the development project, the property owner shall dedicate a one foot wide Vehicular Non-Access Easement to the City of Scottsdale adjacent to N Alma School Road, E Happy Valley and E Desert Vista Drive, except at the approved street entrance.
  15. MULTI-USE PATH EASEMENT AND MULTI-USE TRAIL EASEMENT. Prior to issuance of any permit for the development project, the property owner shall dedicate a minimum 10-foot-wide Public Non-Motorized Access Easement to the City of Scottsdale to contain the multi-use path or multi-use trail along N. Alma School Road frontage to be constructed in accordance with the infrastructure requirements below.
  16. DESERT BUFFER SCENIC ROADWAY SETBACKS LOCATION, EASEMENT, AND IMPROVEMENTS. Prior to issuance of any permit for the development project, the property owner shall dedicate an average 50-foot-wide Desert Buffer Scenic Corridor Easement along N. Alma School Road and a minimum 50-foot-wide continuous Desert Buffer Scenic Corridor Easement along E. Happy Valley Road to the City of Scottsdale. The width of the Desert Buffer Scenic Corridor Easement



shall be measured from the right-of-way edge, after any right-of-way dedication along the East Happy Valley Road and North Alma School Road frontage. The area within the Scenic Corridor Easement shall be left in a natural condition, except for a twenty-nine (29) inch encroachment for a distance of 124 feet, not to exceed 150 square feet, for noise wall along Happy Valley Road, and as otherwise approved by the Development Review Board.

17. PUBLIC NON-MOTORIZED ACCESS EASEMENT. Prior to issuance of any permit for the development project, the property owner shall dedicate a continuous 25-foot-wide Public Non-Motorized Access easement along E. Happy Valley Road and N. Alma School Road to the City of Scottsdale to contain the public trail and path in locations where the trail and path crosses onto private property of the development project.

### **INFRASTRUCTURE**

18. CONSTRUCTION COMPLETED. Prior to issuance of any Certificate of Occupancy or Certification of Shell Building, whichever is first, for the development project, the property owner shall complete all the infrastructure and improvements required by the Scottsdale Revised Code and these stipulations.
19. STANDARDS OF IMPROVEMENTS. All improvements (curb, gutter, sidewalk, curb ramps, driveways, pavement, concrete, water, wastewater, etc.) shall be constructed in accordance with the applicable City of Scottsdale Supplements to the Maricopa Association of Governments (MAG) Uniform Standard Specifications and Details for Public Works Construction, Maricopa Association of Governments (MAG) Uniform Standard Specifications and Details for Public Works Construction, the Design Standards and Policies Manual (DSPM), and all other applicable city codes and policies.
20. CIRCULATION IMPROVEMENTS. Prior to issuance of any permit for the development project, the property owner shall submit and obtain approval of construction documents to construct the following improvements:
  - E HAPPY VALLEY ROAD
    - a. Executed, and payment of an, in-lieu agreement for a cross section based on the city's capital improvement design drawings along this project's frontage to include one lane of pavement, bike lane, curb, gutter, and six-foot sidewalk as required by the city.
    - b. Eight (8) foot wide multi-use trail along project frontage.
  - E DESERT VISTA DRIVE.
    - c. Construct low volume unpaved standard improvements along project frontage to include cul de sac at west termination of corridor.
  - N ALMA SCHOOL ROAD
    - d. Construct the local collector, Rural/ESL, west half street improvements along site frontage for a total of twenty-eight feet of pavement, to include pavement centered crown, plus western edge roll or ribbon curb.
    - e. Six (6) foot wide multi-use trail (non-paved) along project frontage.
    - f. Eight (8) foot wide shared use path from E Happy Valley Road to project entrance.
21. WATER LINE. Prior to issuance of any permit for the development project, the property owner shall submit and obtain approval of construction documents to construct the following:

- a. An eight (8) inch water main system along project's E Desert Vista Drive frontage.
  - b. Removal of existing (8) inch water main system within project development from E Happy Valley Road to E Desert Vista Drive.
22. WASTEWATER LINE. Prior to issuance of any permit for the development project, the property owner shall submit and obtain approval of construction documents to construct the following:
- a. An eight (8) inch sewer system along project southern boundary along E. Desert Vista Drive frontage.
  - b. An odor control chemical dosing station, internal to project development on land dedicated to the city of Scottsdale in fee simple, to include, at minimum, concrete pad with provision for future canopy, screen walls, electronic access gate, chemical (bleach) storage tank, dosing equipment, power, lighting and all required plumbing for drain, water, and dosing line to a manhole etc. The developer shall finalize, with the Water Resources Department, footprint of the dosing station, equipment, tank and materials prior to preliminary plat approval.
23. WATER AND WASTEWATER IMPROVEMENTS. The property owner shall provide all water and wastewater infrastructure improvements, including any new service lines, connection, fire-hydrants, and manholes, necessary to serve the development.
24. FIRE HYDRANT. The property owner shall provide fire hydrant(s) and related water infrastructure adjacent to lot, in the locations determined by the Fire Department Chief, or designee.

#### **REPORTS AND STUDIES**

25. DRAINAGE REPORT. With the Development Review Board submittal, the applicant shall submit a drainage report in accordance with the Design Standards and Policies Manual for the development project. In the drainage report, the applicant shall address:
- a. With the Preliminary Drainage Report and Preliminary Grading & Drainage Plan submittal for the Preliminary Plat (PP) and/or Development Review (DR) case, the Engineer must further subdivide the "Onsite Sub-watersheds" and revise the HEC-1 Hydrologic Model under the Existing Condition since the current onsite sub-watershed delineations under the Existing Condition appear to underestimate the 2-year, 10-year, & 100-year peak discharge flows.
  - b. With the Preliminary Drainage Report and Preliminary Grading & Drainage Plan submittal for the Preliminary Plat (PP) and/or Development Review (DR) case, the Engineer must provide the Preliminary Grading & Drainage Plan on multiple cut sheets instead of on a single plans sheet.
26. BASIS OF DESIGN REPORT (WATER). With the Development Review Board submittal, the property owner shall submit a Final Basis of Design Report for Water for the development project in accordance with the Design Standards and Policies Manual. In the basis of design report, the property owner shall address:
- a. Identify piping segments requiring thrust restraint and method of restraint.
  - b. Isolation valving at connection to existing water main system.
  - c. Type of connection to existing water main system.

27. BASIS OF DESIGN REPORT (WASTEWATER). With the Development Review Board submittal, the property owner shall submit a Final Basis of Design Report for Wastewater for the development project in accordance with the Design Standards and Policies Manual.

# AMENDED DEVELOPMENT STANDARDS

Section 5.100. - Single-family Residential (R1-43) of Appendix B – Basic Zoning Ordinance in the City of Scottsdale Code (the “R1-43 Standards”) provides a basis for development within the Property. To encourage sensitivity to site conditions and provided flexibility in site planning, including clustering, PRD allows for amended development standards. The following development standards amend the R1-43 Standards and apply to the Property.

**Sec. 5.104. - Property development standards.**

The following property development standards shall apply to all land and buildings in the R1-43 District:

A. Lot area.

1. Each lot shall have a minimum lot area of not less than ~~forty-three thousand (43,000)~~ **TWENTY-SIX THOUSAND TWO HUNDRED FIFTY (26,250)** square feet.
2. If a parcel of land or a lot of record in separate ownership has less width or area than herein required and has been lawfully established and recorded prior to the date of the passage of this ordinance, such lot may be used for any purpose permitted in this section.

B. Lot dimension.

1. Width. All lots shall have a minimum width of ~~one hundred fifty (150)~~ **ONE HUNDRED TWENTY (120)** feet.

C. Density. There shall not be more than one (1) single-family dwelling unit on any one (1) lot.

D. Building height. No building shall exceed ~~thirty (30)~~ **TWENTY-FOUR (24)** feet in height, except as provided in article VII. **NO BUILDING SHALL EXCEED ONE (1) STORY WITHIN FIFTY (50) FEET OF AN R1 DISTRICT BOUNDARY**

E. Yards.

1. Front Yard.

- a. There shall be a front yard having a depth of not less than ~~forty (40)~~ **THIRTY (30)** feet **TO FACE OF BUILDING AND FACE OF GARAGE.**

- b. Where lots have a double frontage on two (2) streets, the required front yard of ~~forty (40)~~ **THIRTY (30)** feet shall be provided on both streets.
  - c. On a corner lot, the required front yard of ~~forty (40)~~ **THIRTY (30)** feet shall be provided on each street. No accessory buildings shall be constructed in a front yard. Exception: On a corner lot which does not abut a key lot or an alley adjacent to a key lot, accessory buildings may be constructed in the yard facing the side street.
2. Side Yard. There shall be side yards of not less than ~~twenty (20)~~ **FIFTEEN (15)** feet on each side of a building, **EXCEPT LOT 11 SHALL HAVE A SIDE YARD OF NOT LESS THAN TEN (10) FEET ALONG THE WEST BOUNDARY OF THE LOT.**
  3. Rear Yard. There shall be a rear yard having a depth of not less than thirty-five (35) feet.
  - 4 Other requirements and exceptions as specified in article VII.
- F. Distance between buildings.
1. There shall not be less than ten (10) feet between an accessory building and the main building.
  2. The minimum distance between main buildings on adjacent lots shall be not less than ~~forty (40)~~ **THIRTY (30)** feet.
- G. Walls, fences and landscaping. Walls, fences and hedges up to eight (8) feet in height are allowed on the property line or within the required side or rear yard. Walls, fences and hedges up to three (3) feet in height are allowed on the front property line or within the required front yard, except as provided in Article VII. The height of the wall or fence is measured from within the enclosure. Exception: Where a corner lot does not abut a key lot or an alley adjacent to a key lot, the height of walls, fences and hedges in the yard facing the longer street frontage need only conform to the side yard requirements.

- H. Access. All lots shall have vehicular access on a dedicated street, unless a secondary means of permanent vehicular access has been approved on a subdivision plat.
  
- I. Corral. ~~Corral not to exceed six (6) feet in height shall be permitted on the property line or within the required front, side or rear yard.~~

# PRELIMINARY PLAT FOR HAPPY VALLEY 18

A PORTION OF THE NORTHEAST QUARTER OF SECTION 8,  
TOWNSHIP 4 NORTH, RANGE 5 EAST, OF THE GILA AND SALT  
RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA

## LEGEND

---	PROPERTY/LOT LINE	⊙	PROPOSED SURVEY MONUMENT
---	PROPOSED EASEMENT	⊙	PROPOSED FIRE HYDRANT
---	EXISTING EASEMENT	PUE	PUBLIC UTILITY EASEMENT
---	PROPOSED WATER LINE	R/W	RIGHT-OF-WAY
---	EXISTING WATER LINE	B/C	BACK OF CURB
---	PROPOSED STORM DRAIN	TYP.	TYPICAL
---	PROPOSED SLOPE	EVAVE	EMERGENCY VEHICLE ACCESS EASEMENT
---	PROPOSED RIGHT-OF-WAY	AE	ACCESS EASEMENT
---	PROPOSED SEWER LINE	DE	DRAINAGE EASEMENT
---	EXISTING SEWER LINE	SE	SEWER EASEMENT
---	PROPOSED CENTERLINE	BSB	BUILDING SETBACK
---	BUILDING SETBACK	CFP	CUBIC FEET PER SECOND
---	LIMITS OF DISTURBANCE (CONSTRUCTION ENVELOPE)	±80.2	PAVEMENT SPOT ELEVATION AT FINISHED GRADE
---	NAOS LIMITS	FL	FLOW LINE
---	NAOS REVG	EG	EXISTING GRADE
---	NAOS REVEGETATED LIMITS	0.95%	SLOPE AT FINISHED GRADE
---	PROPOSED RETAINING WALL	10	PROPOSED LOT NUMBERS
---	PROPOSED FENCE		
---	PROPOSED CUT-OFF WALL		
---	EROSION HAZARD SETBACK		
---	100-YEAR INUNDATION LIMITS		
---	100-YEAR BASE FLOOD ELEVATION AND CROSS SECTION LOCATION		
---	BFE = 7586.25'		
---	FILL AREA GREATER THAN 8'		
---	CUT AREA GREATER THAN 8'		
---	APPROX. LIMITS OF 100 YEAR INUNDATION OF SIGNIFICANT WASH		
---	R=40.5' R=16.5'		
---	FIRE TURNING RADII		

## LEGAL DESCRIPTION

**PARCEL 1:**  
THE SOUTH HALF OF THE EAST HALF OF THE WEST HALF OF THE NORTHEAST QUARTER OF SECTION 8, TOWNSHIP 4 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.

EXCEPT ALL MINERALS TOGETHER WITH ALL URANIUM, THORIUM OR ANY OTHER MATERIALS WHICH IS OR MAY BE DETERMINED BY LAW OF THE UNITED STATES OR OF THIS STATE, OR DECISIONS OF COURTS TO BE PECULIARLY ESSENTIAL TO THE PRODUCTION OF FISSIONABLE MATERIALS, WHETHER OR NOT OF COMMERCIAL VALUE AND THE EXCLUSIVE RIGHT THERE TO, ON, IN OR UNDER THE ABOVE DESCRIBED LANDS, SHALL BE AND REMAIN AND ARE HEREBY RESERVED IN THE PATENT TO SAID LAND.

**PARCEL 1A (EASEMENT):**  
AN EASEMENT FOR ROADWAY PURPOSES, AS CREATED IN DOCKET 11766, PAGE 99, RECORDS OF MARICOPA COUNTY, ARIZONA, OVER THE EAST 20 FEET OF THE NORTH HALF OF THE EAST HALF OF THE WEST HALF OF THE NORTHEAST QUARTER OF SECTION 8, TOWNSHIP 4 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.

**PARCEL 2:**  
THE NORTH HALF OF THE EAST HALF OF THE WEST HALF OF THE NORTHEAST QUARTER OF SECTION 8, TOWNSHIP 4 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.  
EXCEPT ALL MINERALS AND EXCEPT ALL URANIUM, THORIUM, OR ANY OTHER MATERIAL WHICH IS OR MAY BE DETERMINED TO BE PECULIARLY ESSENTIAL TO THE PRODUCTION OF FISSIONABLE MATERIALS, WHETHER OR NOT OF COMMERCIAL VALUE, AS RESERVED IN PATENT FROM THE UNITED STATES OF AMERICA.

**PARCEL 3:**  
THE SOUTH HALF OF THE EAST HALF OF THE NORTHEAST QUARTER OF SECTION 8, TOWNSHIP 4 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.  
EXCEPT ALL MINERALS IN SAID LAND AS RESERVED TO THE UNITED STATES IN PATENT, AND EXCEPTING ALL URANIUM, THORIUM, OTHER MATERIALS, WHICH IS OR MAY BE DETERMINED TO BE PECULIARLY ESSENTIAL TO THE PRODUCTION OF FISSIONABLE MATERIALS, WHETHER OR NOT OF COMMERCIAL VALUE PURSUANT TO THE PROVISIONS OF THE ACT OF AUGUST 1, 1946 (60 STAT. 755), AS SET FORTH IN THE PATENT ON SAID LAND.

**PARCEL 4:**  
THE NORTH HALF OF THE EAST HALF OF THE NORTHEAST QUARTER OF SECTION 8, TOWNSHIP 4 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.  
EXCEPT ALL MINERALS IN SAID LAND AS RESERVED TO THE UNITED STATES IN PATENT, AND EXCEPTING ALL URANIUM, THORIUM, OR OTHER MATERIAL, WHICH IS OR MAY BE DETERMINED TO BE PECULIARLY ESSENTIAL TO THE PRODUCTION OF FISSIONABLE MATERIALS, WHETHER OR NOT OF COMMERCIAL VALUE PURSUANT TO THE PROVISIONS OF THE ACT OF AUGUST 1, 1946 (60 STAT. 755), AS SET FORTH IN THE PATENT ON SAID LAND.

TRACT AREA TABLE			
TRACT	AREA (SF)	AREA (AC)	DESCRIPTION OF TRACT
TRACT A	129732	2.98	EMERGENCY & SERVICE ACCESS EASEMENT, WATER & SEWER FACILITIES EASEMENT, PUBLIC UTILITIES EASEMENT
TRACT B	22000	0.51	OPEN SPACE, NAOS
TRACT C	301578	6.92	OPEN SPACE, NAOS, RETENTION
TRACT D	94681	2.17	OPEN SPACE, NAOS
TRACT E	43536	1.00	OPEN SPACE, NAOS, RETENTION

## SHEET INDEX

SHEET LIST TABLE	
Sheet Number	Sheet Title
1	COVER SHEET
2	PRELIMINARY PLAT
3	GRADING AND DRAINAGE PLAN
4	NAOS PLAN
5	SLOPE ANALYSIS
6	DIMENSION PLAN
7	SETBACK EXHIBIT

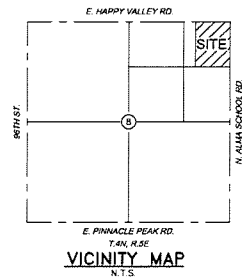
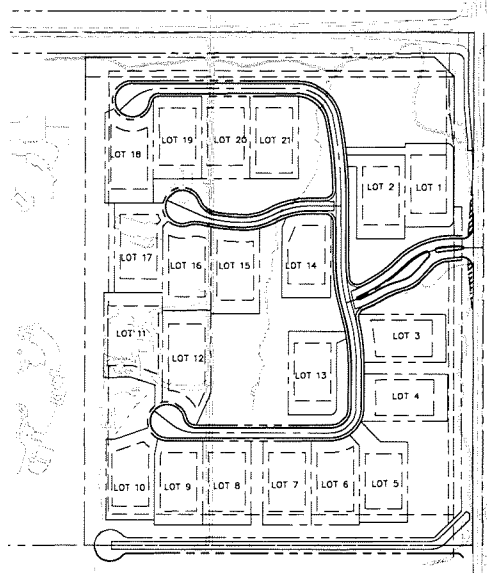
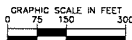
Gross Area	28.59 ac
Net Area	27.41 ac
Number of units	21
Density	0.73 du/ac
Existing Zoning	R1-190
Proposed Zoning	R1-43 ESL PRD

	R1-43	FM (Amended) R1-43 (R1-43.01)	PRD
Min. Lot Area	41,000 sq ft	12,250 sq ft	26,250 sq ft
Min. Lot Width	150'	112.5'	120'
Max. Building Height	30'	24'	24'
Front Setback	40'	30'	30'
Garage Setback	40'	30'	30'
Side Setback	20'	15'-1'	15'
Rear Setback	35'	26.25'	35'
Perimeter Subdivision Boundary Setback	N/A	N/A	60'
RI-190 along south and west boundaries			

1. All proposed setbacks shall be from 1" side or rear walls, unless otherwise specified on approved plans.



## PROJECT MAP



## ENGINEER

KIMLEY-HORN & ASSOCIATES  
7740 N. 16TH STREET, SUITE 300  
PHOENIX, ARIZONA 85020  
PHONE: (602) 216-1231  
CONTACT: CHARLES WURL, P.E.

## UTILITIES

WATER CITY OF SCOTTSDALE  
SEWER CITY OF SCOTTSDALE  
ELECTRIC ARIZONA PUBLIC SERVICE CO  
TELEPHONE CENTURY LINK  
CABLE T.V. COX COMMUNICATIONS  
GAS SOUTHWEST GAS

## LANDSCAPE ARCHITECT

COLLECTIV LANDSCAPE ARCHITECTS  
1426 N. 2ND STREET, SUITE 200  
PHOENIX, ARIZONA 85004  
PHONE: (602) 508-7711  
CONTACT: JIM SMITH

## SURVEYOR

STRATEGIC SURVEYING, LLC  
1102 W. SOUTHERN AVENUE, SUITE 4  
TEMPE, AZ 85282  
PHONE: (480) 272-7634  
CONTACT: JOSHUA MOYSES

## OWNER/DEVELOPER

CAMELOT HOMES, INC.  
6607 N. SCOTTSDALE RD  
SUITE H-100  
SCOTTSDALE, ARIZONA 85250  
PHONE: (480)357-4300  
CONTACT: TOM KIRK

## ZONING

CURRENT: R1-190  
PROPOSED: R1-43 ESL PRD

## BASIS OF BEARING

PER STRATEGIC SURVEYING, LLC THE BASIS OF BEARINGS IS:  
NORTH LINE OF THE NORTHEAST QUARTER OF SECTION 8, TOWNSHIP 4 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, BEARING: S85°54'09"W

## BENCHMARK

PER STRATEGIC SURVEYING, LLC BENCHMARK IS:  
C.O.S. BRASS CAP IN HAND HOLE 0.5' DOWN AT THE INTERSECTION OF HAPPY VALLEY ROAD & ALMA SCHOOL ROAD, BEING THE NORTHEAST CORNER OF SECTION 8, TOWNSHIP 4 NORTH, RANGE 5 EAST PER THE GILA AND SALT RIVER BASE AND MERIDIAN ELEVATION = 2374.08 PER (NAVD 88)

## FLOOD INFORMATION

ACCORDING TO FEMA FLOOD INSURANCE RATE MAP NUMBER 04013C1330L DATED OCTOBER 16, 2013, THE SUBJECT PROPERTY IS LOCATED WITHIN FLOOD ZONE X. ZONE X IS DEFINED AS:  
\*AREAS OF 0.2% ANNUAL CHANCE FLOOD, AREA OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE, AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.

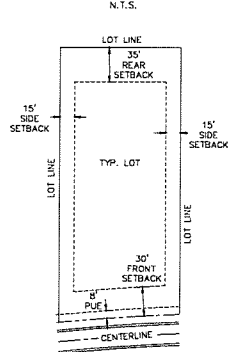
## ENGINEERS CERTIFICATION

THE LOWEST FLOOR ELEVATIONS AND/OR FLOOD PROOFING ELEVATIONS ON THIS PLAN ARE SUFFICIENTLY HIGH TO PROVIDE PROTECTION FROM FLOODING CAUSED BY A 100-YEAR STORM, AND ARE IN ACCORDANCE WITH SCOTTSDALE REVISED CODE, CHAPTER 37 - FLOODPLAIN AND STORMWATER REGULATIONS.

## FIRE DEPARTMENT NOTES

- UNOBSTRUCTED VERTICAL CLEARANCE MIN. 13'6"
- KEY SWITCH/FIRE-EXTINGUISHER SENSOR REQUIRED
- MIN. HYDRANT SPACING PER DISAPM 8-1-2022
- THE FIRE LANE SURFACE SHALL BE SUITABLE FOR ALL-WEATHER USE, WITH A MINIMUM LOADING DESIGN OF 83,000 LB. GROSS WEIGHT INCLUDING ANY BRIDGE OR CULVERT.

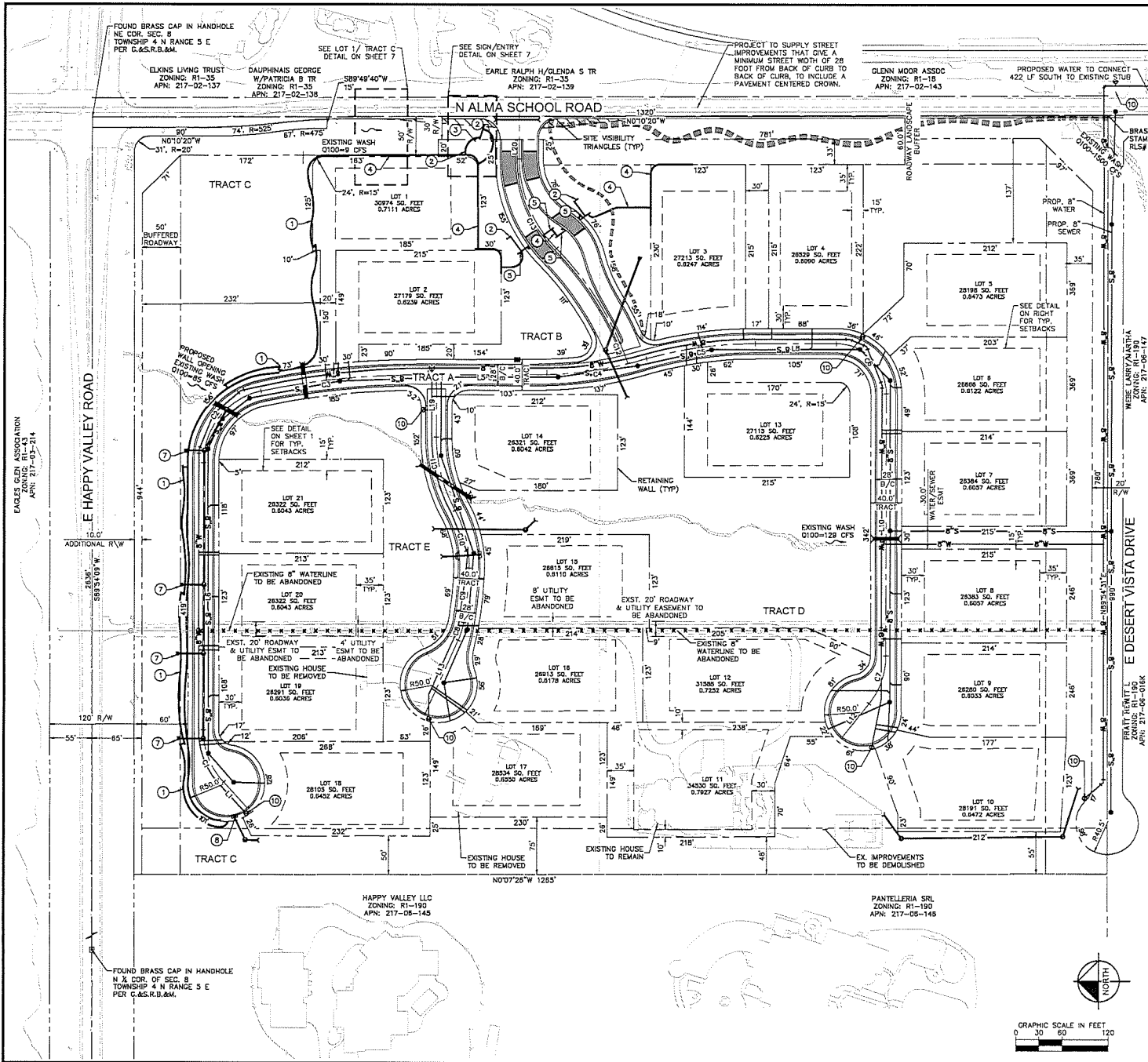
## TYPICAL SETBACK EXHIBIT



HAPPY VALLEY 18  
 SCOTTSDALE, ARIZONA  
 COVER SHEET  
 SCALE (0) 1" = 50'  
 SCALE (0) NONE  
 DESIGNED BY: RT  
 CHECKED BY: CUB  
 DATE: 02/17/2020  
 PROJECT NO. 291104098  
 DRAWING NAME 07  
 1 OF 7  
 REVISION  
 DATE  
 APPR.  
 EXEMPT 3/31/2021







- KEY NOTES**
- 1 CONSTRUCT VISUAL AND SOUND BARRIER SLUMP BLOCK WALL. SEE LANDSCAPE PLANS.
  - 2 CONSTRUCT 4' TO 5' STONE RETAINING AND ACCENT WALL. SEE LANDSCAPE PLANS.
  - 3 CONSTRUCT C.I.P. BOARD FORM CONCRETE WALL. SEE LANDSCAPE PLANS.
  - 4 CONSTRUCT PERIMETER WALL. SEE LANDSCAPE PLANS.
  - 5 CONSTRUCT 9'-0" STONE ENTRY WALLS. SEE LANDSCAPE PLANS.
  - 6 CONSTRUCT DRAINAGE SYSTEM PER DETAIL B. THIS SHEET.
  - 7 INSTALL STORMCEPTOR.
  - 8 PROPOSED FIRE HYDRANT

**CURVE TABLE**

CURVE	RADIUS	LENGTH	DELTA	TANGENT
C1	100.00'	74.52'	42°41'42"	39.08'
C2	95.00'	128.68'	77°38'40"	76.40'
C3	1020.00'	210.22'	12°18'51"	110.03'
C4	480.00'	131.17'	15°39'24"	85.99'
C5	520.00'	142.83'	15°44'15"	71.87'
C6	65.00'	102.10'	90°00'00"	65.00'
C7	100.00'	67.37'	38°35'57"	35.02'
C8	100.00'	24.84'	14°07'08"	12.38'
C9	480.00'	71.63'	8°37'01"	35.88'
C10	150.00'	78.31'	29°54'43"	40.07'
C11	200.00'	99.40'	28°28'37"	50.75'
C12	400.00'	177.85'	28°28'30"	90.42'
C13	169.00'	130.94'	44°23'32"	68.95'

**LINE TABLE**

LINE	LENGTH	BEARING
L1	45.42'	N47°12'27.17"E
L5	154.14'	N01°02'18.87"W
L6	348.45'	S89°54'09.40"W
L8	105.50'	N00°05'29.46"W
L10	342.17'	N89°54'30.54"E
L12	55.76'	S81°29'32.41"E
L13	104.86'	S65°04'06.32"E
L19	83.39'	N89°49'40.22"E
L20	80.03'	N89°49'40.22"E

**Kimley»Horn**  
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 7740 North 16th Street, Suite 300  
 Phoenix, Arizona 85020 (602) 944-5500

SCALE: (1" = 40')  
 SCALE (V): NONE  
 DESIGNED BY: BRT  
 DRAWN BY: MER  
 CHECKED BY: CLP  
 DATE:

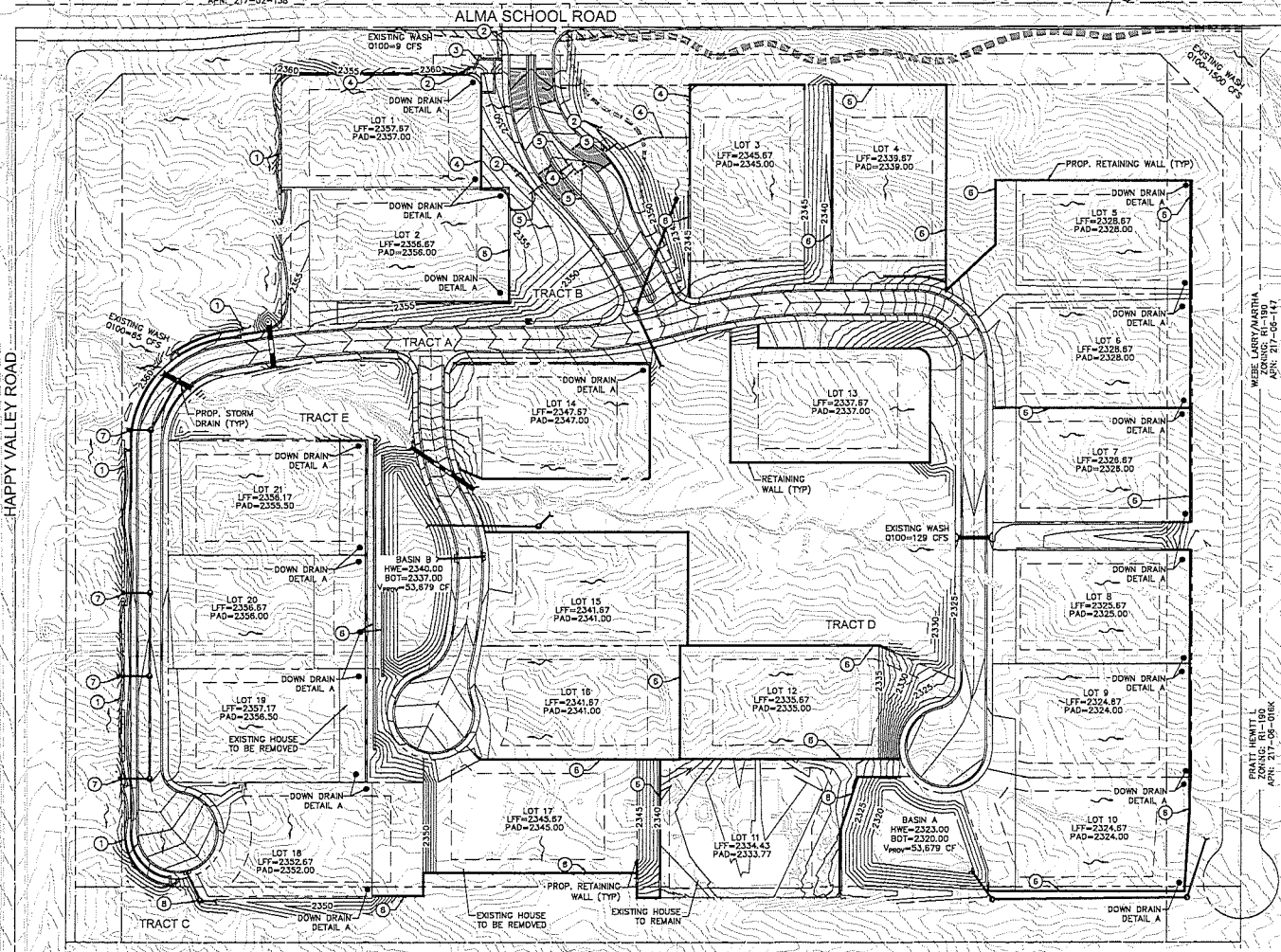
HAPPY VALLEY 18  
 SCOTTSDALE, ARIZONA  
 PRELIMINARY PLAT

PROJECT NO. 291104098  
 DRAWING NAME PP

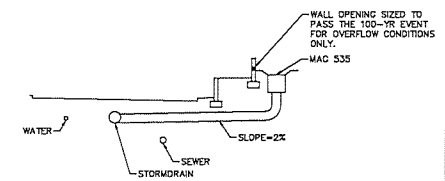
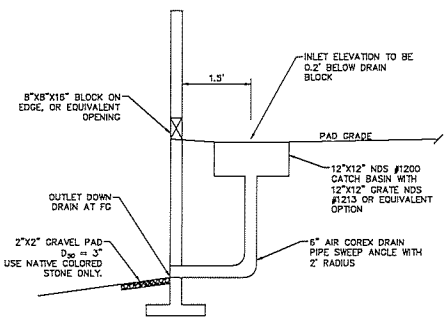
2 OF 7  
 13-ZN-20  
 1/28/2012

ELKINS LIVING TRUST ZONING: R1-35 APN: 217-02-137  
 DAUPHINAIS GEORGE W/PATRICK A & TR ZONING: R1-35 APN: 217-02-138  
 EARLE RALPH H/LENDA S TR ZONING: R1-35 APN: 217-02-139  
 GLENN MOOR ASSOC ZONING: R1-18 APN: 217-02-143

- KEY NOTES**
- 1 CONSTRUCT VISUAL AND SOUND BARRIER SLUMP BLOCK WALL. SEE LANDSCAPE PLANS.
  - 2 CONSTRUCT 4' TO 5' STONE RETAINING AND ACCENT WALL. SEE LANDSCAPE PLANS.
  - 3 CONSTRUCT C.I.P. BOARD FORM CONCRETE WALL. SEE LANDSCAPE PLANS.
  - 4 CONSTRUCT PERIMETER WALL. SEE LANDSCAPE PLANS.
  - 5 CONSTRUCT 1'-0" STONE ENTRY WALLS. SEE LANDSCAPE PLANS.
  - 6 CONSTRUCT RETAINING WALL.
  - 7 CONSTRUCT DRAINAGE SYSTEM PER DETAIL B, THIS SHEET.
  - 8 INSTALL STORMCEPTOR.
  - 9 PROJECT TO SUPPLY STREET IMPROVEMENTS THAT GIVE A MINIMUM STREET WIDTH OF 28 FOOT FROM BACK OF CURB TO BACK OF CURB, TO INCLUDE A PAVEMENT CENTERED CROWN.



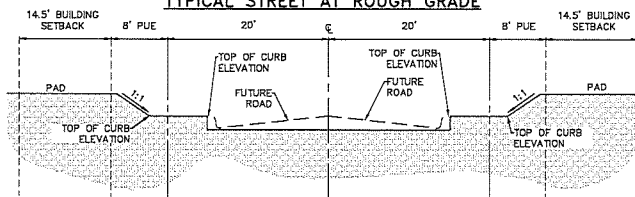
**DETAIL A  
DOWN DRAIN DETAIL**



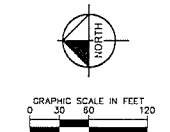
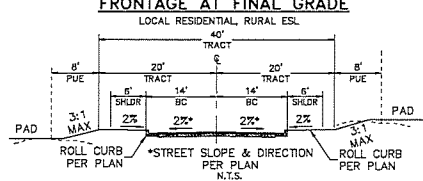
**DETAIL B  
WALL DRAIN DETAIL**  
1"=10'

HAPPY VALLEY LLC ZONING: R1-180 APN: 217-08-145  
 PANTELLERA SRL ZONING: R1-180 APN: 217-08-146

**TYPICAL STREET AT ROUGH GRADE**



**TYPICAL LOCAL STREET & ALMA SCHOOL FRONTAGE AT FINAL GRADE**



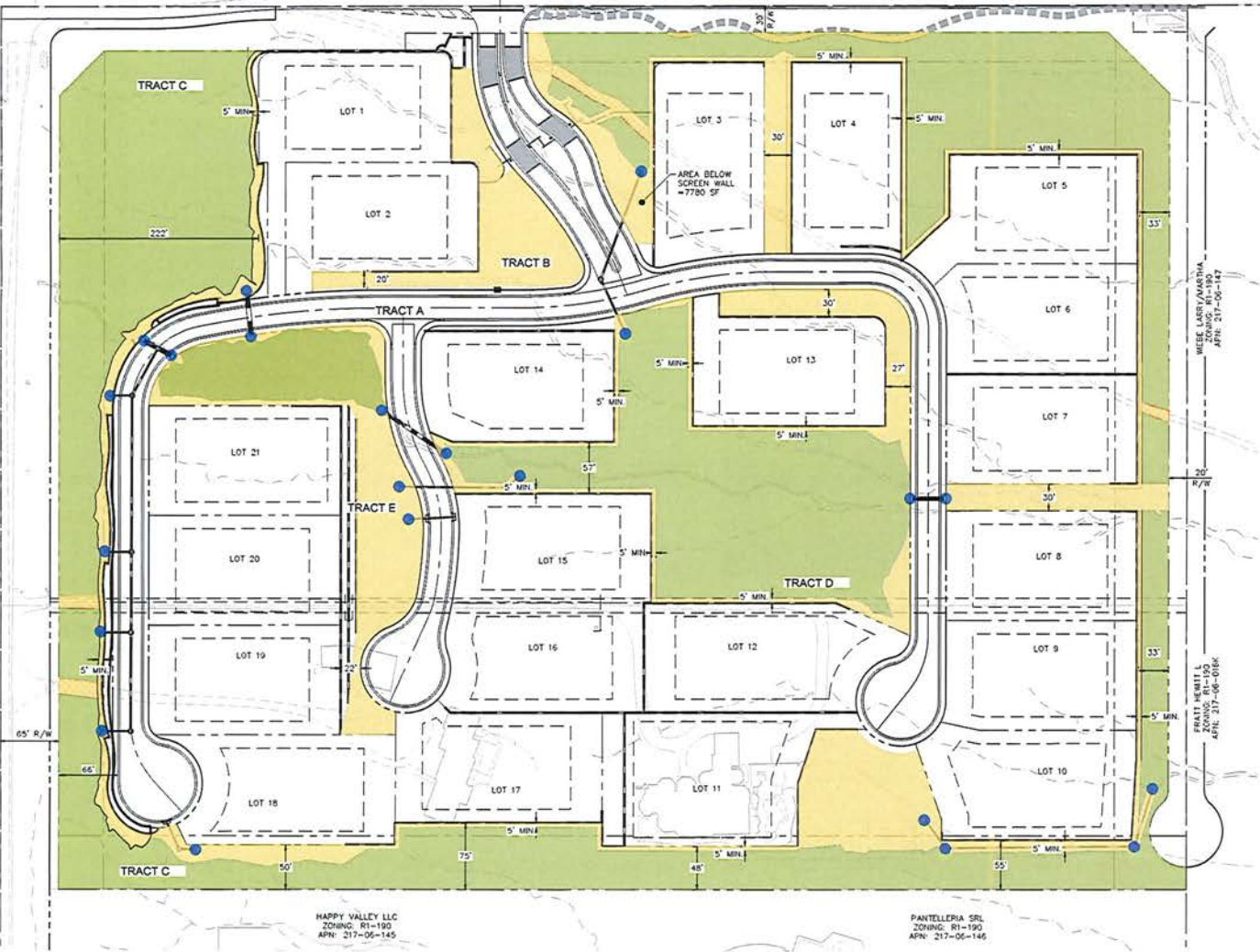
BY DATE REPR.  
 REVISION  
 13-ZN-20  
 1/28/2020  
 DATE: 1/13/2020  
 DRAWN BY: MER  
 CHECKED BY: CLP  
 DESIGNED BY: BT  
 SCALE (H): 1"=40'  
 SCALE (V): NONE  
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 7140 North 16th Street, Suite 300  
 Phoenix, Arizona 85020 (602) 944-5500  
 Kimley-Horn  
 GRADING AND DRAINAGE PLAN  
 HAPPY VALLEY 18  
 SCOTTSDALE, ARIZONA  
 PROJECT NO. 291104098  
 DRAWING NAME GD  
 3 OF 7

ELKINS LIVING TRUST  
ZONING: R1-35  
APN: 217-02-137

DAUPHINAIS GEORGE  
W/PATRICIA B TR  
ZONING: R1-35  
APN: 217-02-138

EARLE RALPH H/OLENDA S TR  
ZONING: R1-35  
APN: 217-02-139

GLENN MOOR ASSOC  
ZONING: R1-19  
APN: 217-02-143



HAPPY VALLEY LLC  
ZONING: R1-190  
APN: 217-06-145

PANTELLERIA SRL  
ZONING: R1-190  
APN: 217-06-146

WEEB LARRY/MARTHA  
ZONING: R1-190  
APN: 217-06-147

FRANK HERBERT L  
ZONING: R1-190  
APN: 217-06-016K

● NAOS EXCEPTION - HEADWALLS & MANHOLES

■ UNDISTURBED NAOS

■ REVEGETATED NAOS

■ RESTORATION AREA

NOTE:  
1. NO ON-LOT NAOS

Minimum NAOS based on Slope and Upper Desert Landform Category			
Slope Range	Min. % NAOS	Slope Range Area	Required NAOS
0 - 2%	25%	34,831 sf	8,708 sf
> 2 - 5%	25%	134,404 sf	33,601 sf
> 5 - 10%	35%	429,323 sf	150,313 sf
> 10 - 15%	45%	353,634 sf	159,135 sf
> 15 - 25%	45%	179,332 sf	80,699 sf
> 25%	45%	40,839 sf	18,378 sf
Subtotal			450,854 sf

Land stripped of natural veg prior to 1/3/00	4,231 sf
NAOS Reduction for Reveg (2:1)	8,461 sf
<b>Required NAOS</b>	<b>442,393 sf</b>

NAOS Type	Required	Proposed
Undisturbed (min. 70% of required)	309,675 sf	313,918 sf
Reveg (total not less than 30% of required)	132,718 sf	130,413 sf
<b>TOTAL</b>	<b>442,393 sf</b>	<b>444,331 sf</b>

TOTAL TRACT NAOS			
TRACT	UNDISTURBED NAOS	DISTURBED NAOS	TOTAL
B	0	18812	18812
C	22473H	69112	293820
D	7749J	20316	93185
E	36392	22137	38566
		TOTAL:	444331

NAOS EXCEPTION	
NUMBER OF EXCEPTIONS	AREA PER EXCEPTION
22	113
<b>TOTAL:</b>	<b>248</b>



NO.	REVISION	BY	DATE	APPR.

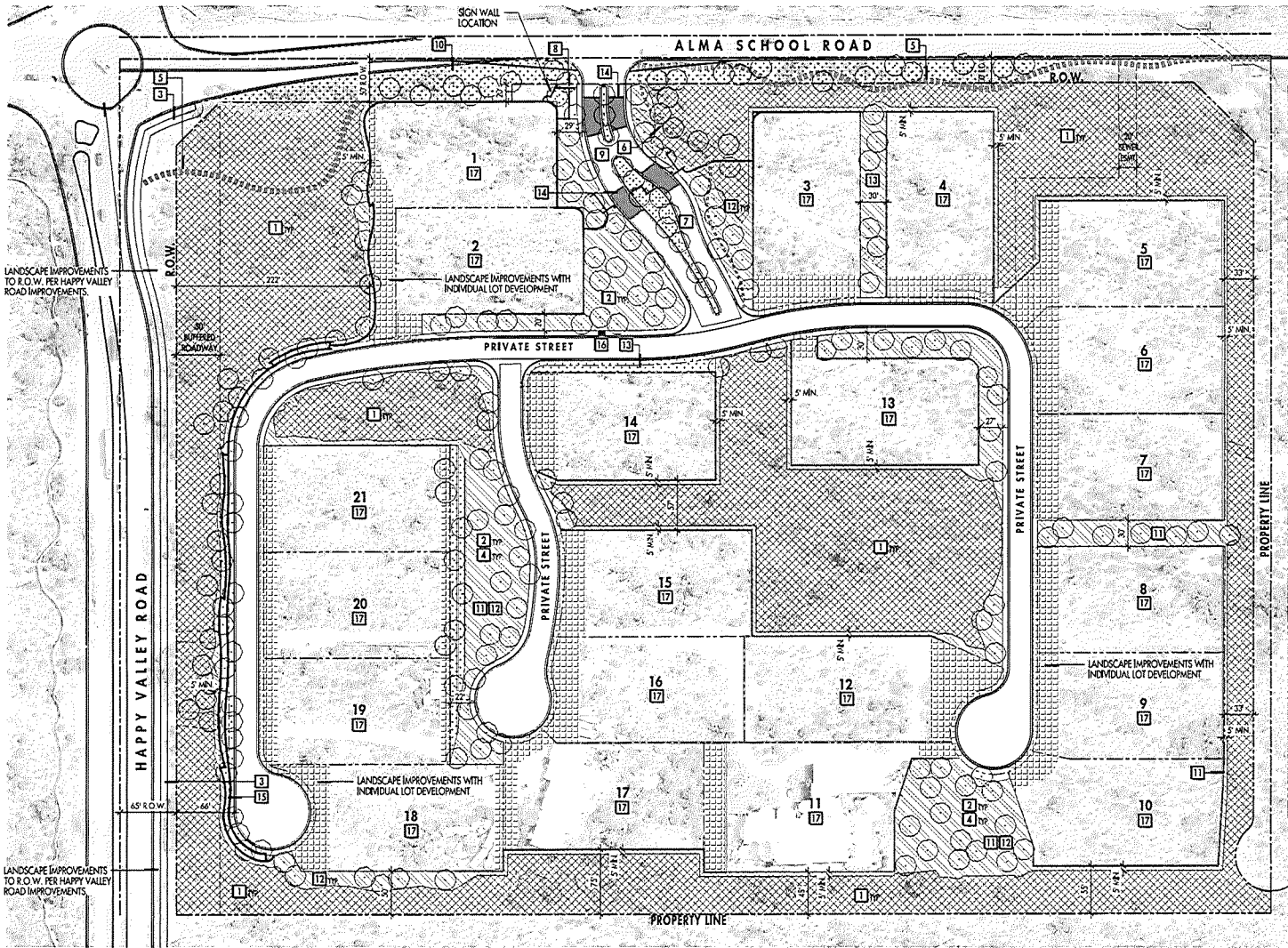
**Kimley-Horn**  
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7249 North 16th Street, Suite 400  
Phoenix, Arizona 85016 (602) 944-1500

HAPPY VALLEY 18  
SCOTTSDALE, ARIZONA  
NAOS PLAN



PROJECT NO.  
291104098  
DRAWING NAME  
NAOS





**INDIVIDUAL LOT PLANS**

CAMELOT HOMES WILL PULL A PERMIT TO DEVEG AND ENGINEER EACH LOT INDEPENDENTLY. REAR YARD WALL ENCLOSURES WILL BE DESIGNED WITHIN THE ESTABLISHED SETBACKS. ALL DISTURBED AREAS OUTSIDE OF SIDE AND REAR YARD WALLS WILL BE REVEGETATED WITH NATIVE PLANTS OR THOSE WITHIN THE PLANT LIST ON THESE DOCUMENTS. THESE AREAS WILL BE IRRIGATED AND NATURALLY MAINTAINED BY THE INDIVIDUAL HOMEOWNER.

**LANDSCAPE ZONES** (REFER TO CIVIL PLANS FOR NAOs AREAS & CALCULATIONS)

- NATIVE LANDSCAPE  
OPEN SPACE AREAS IMPACTED BY CONSTRUCTION WILL BE REVEGETATED IN A NATURAL CHARACTER. THESE INCLUDE AREAS BEYOND NAOs CALCULATIONS. LANDSCAPE TO INCLUDE TREES, SAGUARIOS, HYDROSEED AND NATIVE CHARACTER SHRUBS.
- UNDISTURBED NAOs LANDSCAPE  
NATURAL COMMON SPACE AREA TO REMAIN UNDISTURBED THROUGHOUT SITE DEVELOPMENT. IN SOME CASES, SUPPLEMENTAL ESI COMPLIANT PLANTING WILL BE USED TO ENHANCE THE EXISTING.
- NAOs RE-VEGETATION  
COMMON OPEN SPACE AREAS THAT ARE DISTURBED FOR GRADING AND DRAINAGE. LANDSCAPE AREAS TO BE REVEGETATED WITH HYDROSEED AND/OR SALVAGE PLANT MATERIAL AND INDIGENOUS LANDSCAPE.
- FUTURE LANDSCAPE BY HOMEOWNER  
DRIVEWAY LOCATIONS T.B.D.

**SITE DEVELOPMENT PLANS**

LANDSCAPE IMPROVEMENTS WILL INCLUDE ALL ENGINEERED INFRASTRUCTURE OUTSIDE OF INDIVIDUAL LOT IMPROVEMENTS. UTILITY TRACTS AND DRAINAGE AREAS WILL BE REVEGETATED WITH SALVAGE PLANTS AND SUPPLEMENTAL NURSERY MATERIAL. WALLS ARE LIMITED TO CURBLINEAR TRAFFIC MITIGATION ADJACENT TO HAPPY VALLEY ROAD. ALSO INCLUDED ARE THE 6'-9" REAR YARD AND VIEW FENCE ADJUTING THE PUBLIC OR OPEN SPACES. ADDITIONALLY THERE WILL BE GATED ENTRY DRIVES AS SHOWN. ALL COMMUNITY WALLS AND LANDSCAPE WE BE MAINTAINED BY A PRIVATE HOA.

**DESIGN ELEMENTS**

THIS DEVELOPMENT IS INTENDED TO MAINTAIN AND PRESERVE THE NATIVE SONORAN DESERT LANDSCAPE. SITE DEVELOPMENT OF ALL DISTURBANCE, CHANNELS AND INTERNAL DISTURBANCE TO BE REVEGETATED WITH NATIVE VARIETIES. EXISTING TREES, SAGUARIOS AND BARREL CACTUS WILL BE SALVAGED AND REUSED ON SITE PER C.O.S. REQUIREMENTS. DEVELOPER WILL ALSO SALVAGE SELECT CREOSOTE AND SMALL CACTUS VARIETIES TO HELP NATURALIZE THE REVEGETATION. REVEGETATION AREAS WILL ALSO INCLUDE A NON IRRIGATED NATIVE SEED MIX & NATIVE COBBLE FINISH GRADE TO REPLICATE UNDISTURBED.

- 1) NATURAL OPEN SPACE BEYOND LIMITS OF DEVELOPMENT AND DRAINAGE TO REMAIN UNDISTURBED, REFER TO CIVIL FOR NAOs.
- 2) LANDSCAPE REVEGETATION TO CONSIST OF SALVAGE TREES, CACTUS, AND SUPPLEMENTAL DESERT LANDSCAPE TO REINFORCE NATIVE CHARACTER, CONSISTENT WITH ALL C.O.S. REQUIREMENTS.
- 3) FUTURE REBSTREAM WALK ALONG HAPPY VALLEY RD. FINAL ALIGNMENT PER HAPPY VALLEY RD. IMPROVEMENTS BY OTHERS.
- 4) DRAINAGE AND RETENTION BASIN LAYOUT TO BE COORDINATED WITH CIVIL ENGINEER TO PRESERVE SIGNIFICANT VEGETATION (WHEN POSSIBLE) AND THOUGHTFULLY INTEGRATED INTO NATURAL LANDFORM WITH VARIABLE SIDE SLOPES AND REVEGETATED BASINS.
- 5) 8' WIDE MULTI-USE GRANULAR TRAIL ALONG ALMA SCHOOL ROAD. FINAL ALIGNMENT TO BE FIELD STAKED AND APPROVED BY C.O.S. TRAILS COORDINATOR.
- 6) 48" WIDE GRANULAR TRAIL CONNECTION FROM PARCEL TO ROAD.
- 7) DIVIDED ROADWAY AND VEHICULAR GATED ACCESS INTO COMMUNITY.
- 8) NATIVE STONE WALLS, COLUMNS AND C.I.P. CONCRETE ALONG PROJECT ENTRY, WITH SIGNAGE.
- 9) ENTRY DRIVE AND SPECIMEN TREES TO HAVE LOW VOLTAGE LIGHTING CONSISTENT WITH MOST CURRENT CITY DARK SKY ORDINANCE.
- 10) 8" CONCRETE WALK FROM HAPPY VALLEY ROAD TO NORTH SIDE OF THE PROJECT ENTRY DRIVE.
- 11) NATIVE HYDROSEED TO SUPPLEMENT REVEGETATION IN DISTURBED AREAS.
- 12) AUTOMATIC UNDERGROUND DRIP SYSTEM TO IRRIGATE ALL SUPPLEMENTAL PLANT MATERIALS.
- 13) ALL VEGETATION PROPOSED ALONG TRACT OPEN SPACE AND SIDE YARDS TO MEET OR EXCEED C.O.S. DENSITIES AND RESTRICTED NATIVE PALETTES.
- 14) DECORATIVE PAVING AT COMMUNITY ENTRY.
- 15) SINGLE AND DOUBLE SUMP ACCENT WALLS ALONG HAPPY VALLEY ROAD TO MITIGATE SOUND AND VIEWS.
- 16) COMMUNITY MAILBOX
- 17) UNDISTURBED UNTIL LOT OR INFRASTRUCTURE DEVELOPMENT.

**NATIVE PLANT SALVAGE**

NATIVE RESOURCES WILL BE DOING THE PLANT SALVAGE FOR ALL RE-VEGED MATERIAL WITHIN LIMITS OF DISTURBANCE. WORK TO MEET ALL CITY OF SCOTTSDALE RE-VEGETATION REQUIREMENTS. WE WILL BE SALVAGING ADDITIONAL SMALL CACTUS AND CREOSOTE TO FURTHER SUPPLEMENT THE REVEGETATION. ALL PLANT MATERIAL WILL BE REUSED IN DISTURBANCE AREAS AND MODEL HOMES.

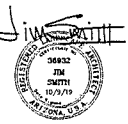
NOTE:  
ON LOT WALLS TO BE BUILT AT TIME OF HOUSE CONSTRUCTION.

**OVERALL REVEGETATION SITE PLAN**

**HAPPY VALLEY 18**  
SCOTTSDALE, ARIZONA



Sheet 2  
October 2019



EXPIRES 12-31-19

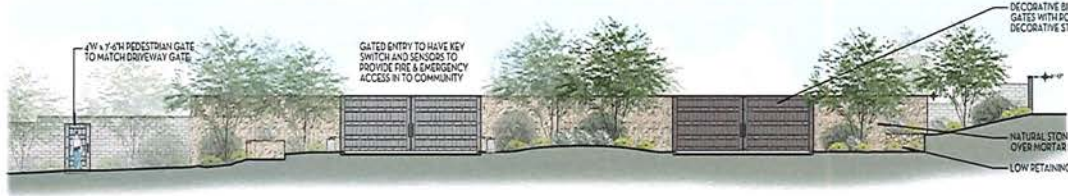
13-ZN-20  
10/29/20

PROJECT # 13-20-0010



**LEGEND**      **CIRCULATION LEGEND**

- 6' VISUAL AND SOUND BARRIER SLUMP BLOCK WALL
- 5' STONE RETAINING AND ACCENT WALL
- C.I.P. BOARD FORM CONCRETE WALL
- PERIMETER WALL
- STONE ENTRY WALLS
- NAOS
- 8' WIDE MULTI-USE GRANULAR TRAIL
- - - 48" WIDE GRANULAR TRAIL PEDESTRIAN PATH
- 8' WIDE CONCRETE WALK
- 2-WAY VEHICULAR TRAFFIC ON 24' WIDE ROAD
- PEDESTRIAN CIRCULATION BY OTHERS PER HAPPY VALLEY ROAD IMPROVEMENT PLANS



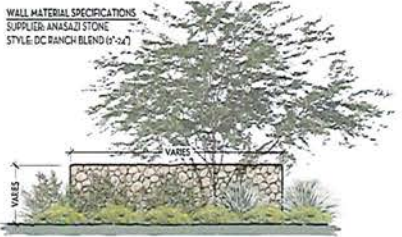
**(A) ENTRY GATE ELEVATION ALONG HAPPY VALLEY**



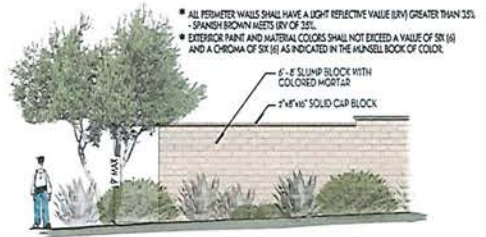
**(B) SIGN WALL AT ENTRY**



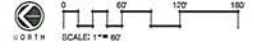
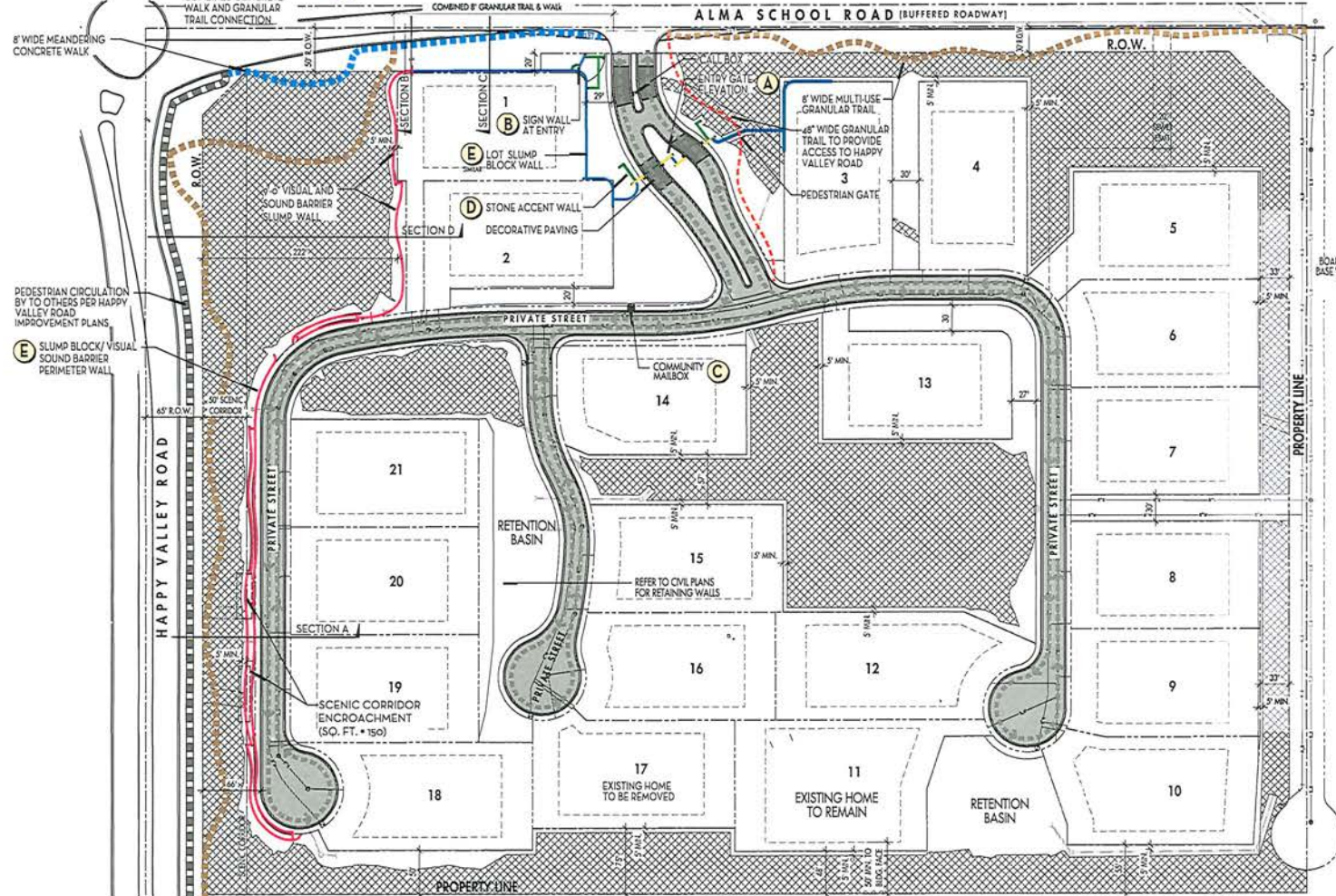
**(C) COMMUNITY MAILBOX**      **STONE CHARACTER WITH OVER MORTAR**



**(D) STONE ACCENT WALL**



**(E) 6'-9" TALL SLUMP VISUAL & SOUND BARRIER WALL ALONG HAPPY VALLEY (6' PERIMETER WALL) (TRAFFIC NOISE VISUAL MIDIGATION)**  
 \* FUTURE ON LOT WALLS TO BE BUILT AT TIME OF HOUSE CONSTRUCTION  
 \* ALL WALLS ARE FOR GRAPHIC PURPOSES ONLY.



**WALL ELEVATIONS/DETAILS, HARDSCAPE AND PEDESTRIAN & VEHICULAR CIRCULATION PLAN**

**HAPPY VALLEY 18**

SCOTTSDALE, ARIZONA



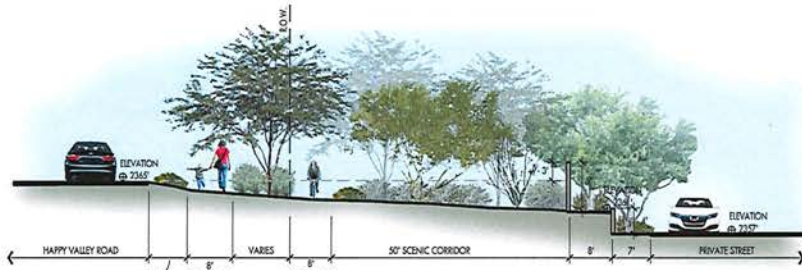
Sheet 1  
January 2020



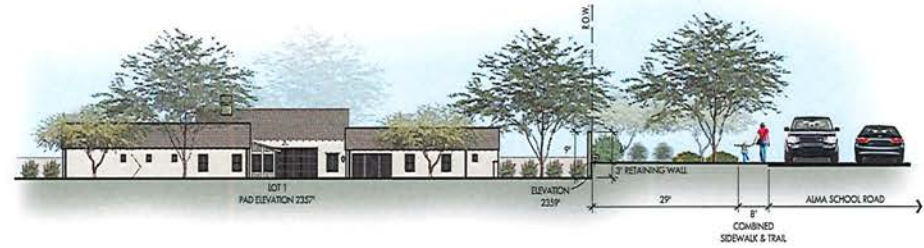
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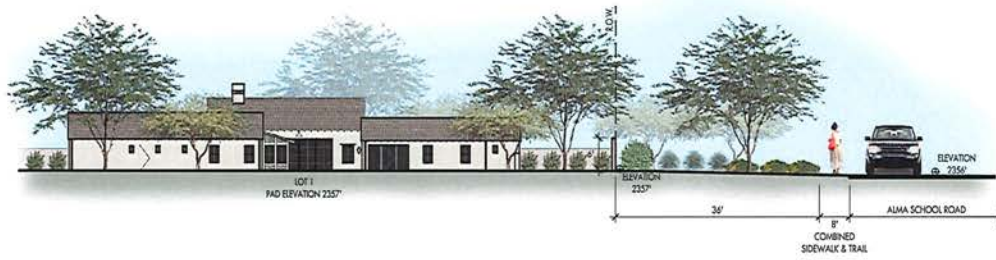




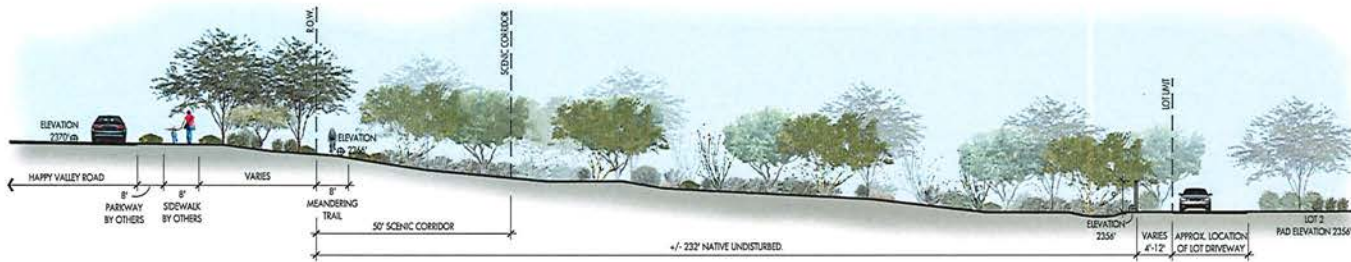
SECTION A



SECTION B

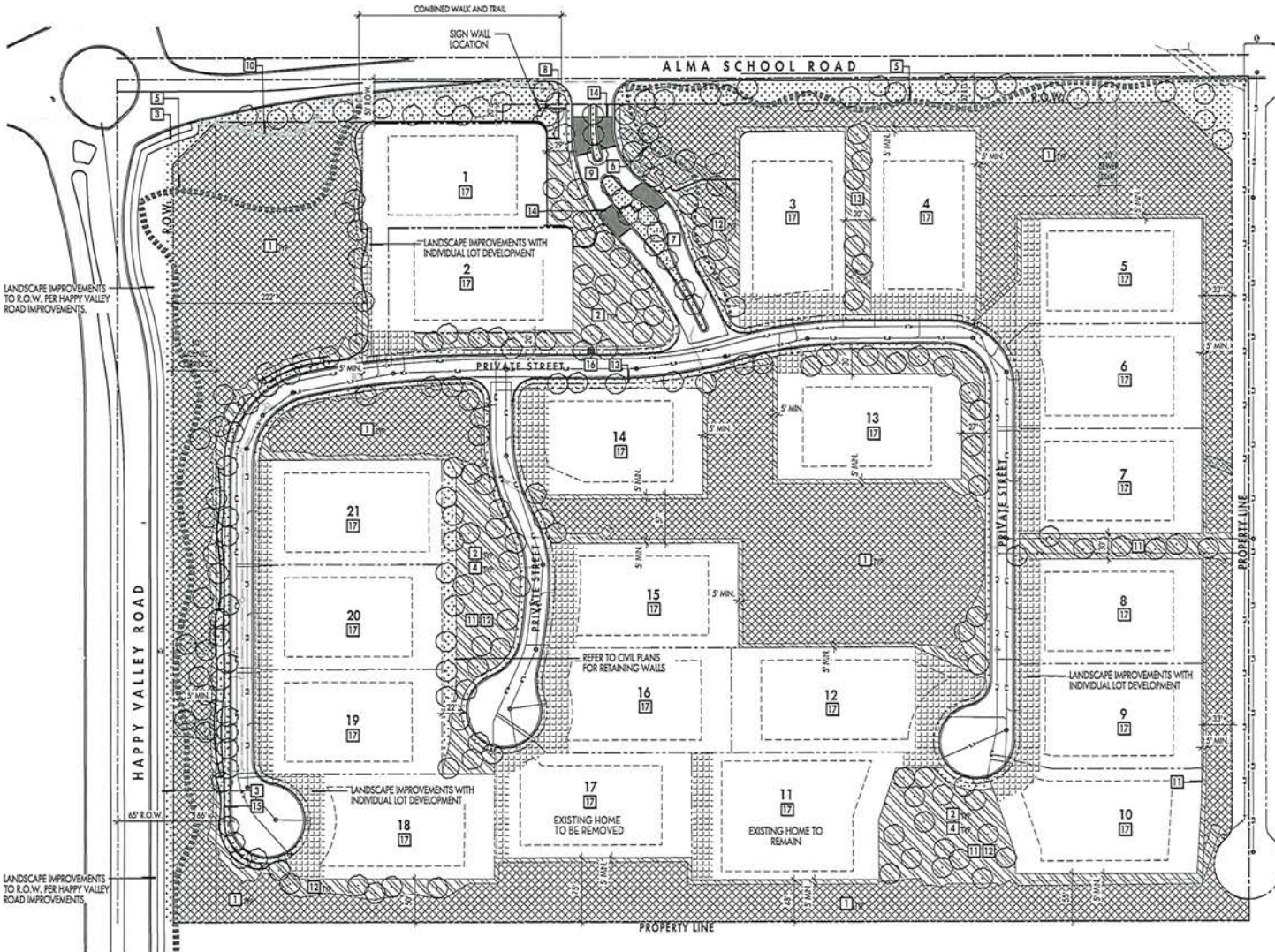


SECTION C



SECTION D





**LANDSCAPE ZONES** (REFER TO CIVIL PLANS FOR NAOS AREAS & CALCULATIONS)

- NATIVE LANDSCAPE  
OPEN SPACE AREAS IMPACTED BY CONSTRUCTION WILL BE REVEGETATED IN A NATURAL CHARACTER. THESE INCLUDE AREAS BEYOND NAOS CALCULATIONS. LANDSCAPE TO INCLUDE TREES, SAGUAROS, HYDROSEED AND NATIVE CHARACTER SHRUBS.
- UNDISTURBED NAOS LANDSCAPE  
NATURAL COMMON SPACE AREA TO REMAIN UNDISTURBED THROUGHOUT SITE DEVELOPMENT. IN SOME CASES, SUPPLEMENTAL ESI COMPLIANT PLANTING WILL BE USED TO ENHANCE THE EXISTING.
- NAOS RE-VEGETATION  
COMMON OPEN SPACE AREAS THAT ARE DISTURBED FOR GRADING AND DRAINAGE. LANDSCAPE AREAS TO BE REVEGETATED WITH HYDROSEED AND OR SALVAGE PLANT MATERIAL AND INDIGENOUS LANDSCAPE.
- FUTURE LANDSCAPE BY HOMEOWNER  
DRIVEWAY LOCATIONS T.B.D.

**SITE DEVELOPMENT PLANS**

LANDSCAPE IMPROVEMENTS WILL INCLUDE ALL ENGINEERED INFRASTRUCTURE OUTSIDE OF INDIVIDUAL LOT IMPROVEMENTS. UTILITY TRACTS AND DRAINAGE AREAS WILL BE REVEGETATED WITH SALVAGE PLANTS AND SUPPLEMENTAL NURSERY MATERIAL. WALLS ARE LIMITED TO CURBLINEAR TRAFFIC MITIGATION ADJACENT TO HAPPY VALLEY ROAD. ALSO INCLUDED ARE THE 4'-9" REAR YARD AND VIEW FENCE ABUTTING THE PUBLIC OR OPEN SPACES. ADDITIONALLY THERE WILL BE GATED ENTRY DRIVES AS SHOWN. ALL COMMUNITY WALLS AND LANDSCAPE WE BE MAINTAINED BY A PRIVATE HOA.

**DESIGN ELEMENTS**

THIS DEVELOPMENT IS INTENDED TO MAINTAIN AND PRESERVE THE NATIVE SONORAN DESERT LANDSCAPE. SITE DEVELOPMENT OF ALL DISTURBANCE, CHANNELS AND INTERNAL DISTURBANCE TO BE REVEGETATED WITH NATIVE VARIETIES. EXISTING TREES, SAGUAROS AND BARRIE CACTUS WILL BE SALVAGED AND REUSED ON SITE PER C.O.S. REQUIREMENTS. DEVELOPER WILL ALSO SALVAGE SELECT CREOSOTE AND SMALL CACTUS VARIETIES TO HELP NATURALIZE THE REVEGETATION. REVEGETATION AREAS WILL ALSO INCLUDE A NON IRRIGATED NATIVE SEED MIX & NATIVE COBBLE FINISH GRADE TO REPLICATE UNDISTURBED.

- 1) NATURAL OPEN SPACE BEYOND LIMITS OF DEVELOPMENT AND DRAINAGE TO REMAIN UNDISTURBED. REFER TO CIVIL FOR NAOS.
- 2) LANDSCAPE REVEGETATION TO CONSIST OF SALVAGE TREES, CACTUS, AND SUPPLEMENTAL DESERT LANDSCAPE TO REINFORCE NATIVE CHARACTER, CONSISTENT WITH ALL C.O.S. REQUIREMENTS.
- 3) FUTURE PEDESTRIAN WALK ALONG HAPPY VALLEY RD. FINAL ALIGNMENT PER HAPPY VALLEY RD. IMPROVEMENTS (BY OTHERS).
- 4) DRAINAGE AND RETENTION BASIN LAYOUT TO BE COORDINATED WITH CIVIL ENGINEER TO PRESERVE SIGNIFICANT VEGETATION (WHEN POSSIBLE) AND THOROUGHLY INTEGRATED INTO NATURAL LANDFORM WITH VARIABLE SIDE SLOPES AND REVEGETATED BASINS.
- 5) 8' WIDE MULT-LAYER GRANULAR TRAIL ALONG ALMA SCHOOL ROAD. FINAL ALIGNMENT TO BE FIELD STAKED AND APPROVED BY C.O.S. TRAILS COORDINATOR.
- 6) 48" WIDE GRANULAR TRAIL CONNECTION FROM PARCEL TO ROAD.
- 7) DIVIDED ROADWAY AND VEHICULAR GATED ACCESS TO COMMUNITY.
- 8) NATIVE STONE WALLS, COLUMNS AND C.I.P. CONCRETE ALONG PROJECT ENTRY, WITH SIGNAGE.
- 9) ENTRY DRIVE AND SPECIMEN TREES AND LOW VOLTAGE LIGHTING CONSISTENT WITH MOST CURRENT CITY DARK SKY ORDINANCE.
- 10) 8" CONCRETE WALK FROM HAPPY VALLEY ROAD TO NORTH SIDE OF THE PROJECT ENTRY DRIVE.
- 11) NATIVE HYDROSEED TO SUPPLEMENT REVEGETATION IN DISTURBED AREAS.
- 12) AUTOMATIC UNDERGROUND DRIP SYSTEM TO IRRIGATE ALL SUPPLEMENTAL PLANT MATERIALS.
- 13) ALL VEGETATION PROPOSED ALONG TRACT OPEN SPACE AND SIDE YARDS TO MEET OR EXCEED C.O.S. IDENTITIES AND RESTRICTED NATIVE PALETTES.
- 14) DECORATIVE PAVING AT COMMUNITY ENTRY.
- 15) SINGLE AND DOUBLE SLUMP ACCENT WALLS ALONG HAPPY VALLEY ROAD TO MITIGATE SOUND AND VIEWS.
- 16) COMMUNITY MAILBOX
- 17) UNDISTURBED UNTIL LOT OR INFRASTRUCTURE DEVELOPMENT.

**NATIVE PLANT SALVAGE**

NATIVE RESOURCES WILL BE DOING THE PLANT SALVAGE FOR ALL RE-VEGED MATERIAL WITHIN LIMITS OF DISTURBANCE. WORK TO MEET ALL CITY OF SCOTTSDALE REVEGETATION REQUIREMENTS. WE WILL BE SALVAGING ADDITIONAL SMALL CACTUS AND CREOSOTE TO FURTHER SUPPLEMENT THE RE-VEGETATION. ALL PLANT MATERIAL WILL BE REUSED IN DISTURBANCE AREAS AND MODEL HOMES

NOTE:  
ON LOT WALLS TO BE BUILT AT TIME OF HOUSE CONSTRUCTION.

**INDIVIDUAL LOT PLANS**

CAMELOT HOMES WILL PULL A PERMIT TO DEVEG AND ENGINEER EACH LOT INDEPENDENTLY. REAR YARD WALL ENCLOSURES WILL BE DESIGNED WITHIN THE ESTABLISHED SETBACKS. ALL DISTURBED AREAS OUTSIDE OF SIDE AND REAR YARD WALLS WILL BE REVEGETATED WITH NATIVE PLANS OR THOSE WITHIN THE PLANT LIST ON THESE DOCUMENTS. THESE AREAS WILL BE IRRIGATED AND NATURALLY MAINTAINED BY THE INDIVIDUAL HOMEOWNER.

OVERALL REVEGETATION SITE PLAN

**HAPPY VALLEY 18**  
SCOTTSDALE, ARIZONA

Sheet 3  
January 2020

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PROJECT # 134-PA-2019

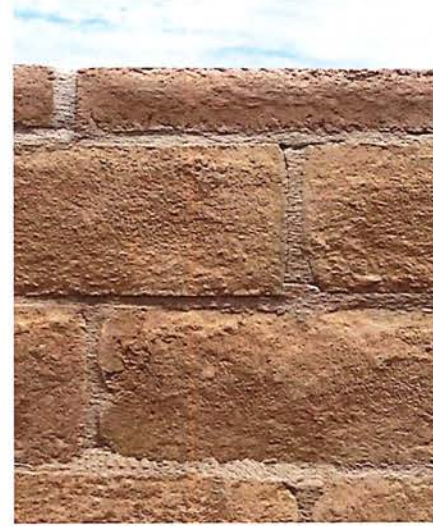






**ENTRY GATE CHARACTER**

SUPPLIER: ANASAZI STONE  
 STYLE: NATIVE STONE W/ OVER MORTAR FINISH



**SLUMP BLOCK & CAP**

SUPPLIER: CENTRAL ARIZONA BLOCK CO.  
 COLOR: OLD PUEBLO - 6" x 6" x 16" SLUMP BLOCK  
 2" x 8" x 16" SLUMP CAP



**WROUGHT IRON**

1-1/2" SQUARE POST, 5/8" PICKETS @ 4" O.C.  
 COLOR: DUNN EDWARDS 'BLACK BEAN'



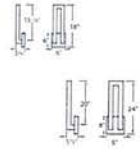
SQUARE EXTERIOR  
 TWO LIGHT SQUARE EXTERIOR

SPECIFICATIONS	
MANUFACTURER	HINKLEY LIGHTING
MATERIALS	ALUMINUM
FINISH	BLACK (15)
INSTALLATION	WALL
WEIGHT	1 LB. (APPROX)
INSTALLATION INSTRUCTIONS	SEE

ELECTRICAL	
UPPER DIMENSION	10 1/2"
LOWER DIMENSION	10 1/2"
DEPTH DIMENSION	4 1/2"
INSTALLATION TYPE	WALL MOUNT
WIRE GAUGE	14 AWG
WIRE TYPE	THIN WALL WIRE
WIRE COLOR	BLACK
WIRE LENGTH	10 FT

DIMENSIONS	
HEIGHT	10 1/2"
WIDTH	4 1/2"
DEPTH	4 1/2"
EXTENSION	4 1/2"

**WALL SCONCE**  
 MANUFACTURER: HINKLEY LIGHTING  
 MODEL #: CUSTOM  
 LUMENS: 300



**FEATURES**

- ADA compliant low profile design
- ETL & ULT, wet location listed, IP 65 rated
- Aluminum construction
- Full range dimming when used with compatible dimmer\*
- Transformer located in canopy
- 2700K warm white LED
- Replaces standard LED modules
- 60000 Hour rated life
- Color Temp: 2700K
- CR 50

**SPECIFICATIONS**

- Construction: Aluminum
- Light Source: High Output LED
- Finish: Black (R), Bronze (B), Graphite (G), White (W)
- Standards: ETL & ULT, wet location listed IP 65, ADA compliant

Height	Width	Depth	LED Lumens	LED Lumens	Finish
10 1/2"	4 1/2"	4 1/2"	300	300	Black
10 1/2"	4 1/2"	4 1/2"	300	300	Bronze
10 1/2"	4 1/2"	4 1/2"	300	300	Graphite
10 1/2"	4 1/2"	4 1/2"	300	300	White

**WALL SCONCE**  
 MANUFACTURER: HINKLEY LIGHTING  
 MODEL #: CUSTOM  
 LUMENS: 790



EXTERIOR GOOSENECK SCONCE  
 PAINTED BLACK FINISH - 17 1/2" H X 12" W X 14" D  
 1LT, MED SOCKET

**WALL SCONCE**  
 MANUFACTURER: HINKLEY LIGHTING  
 MODEL #: CUSTOM  
 LUMENS: 150



CUSTOM TRANSITIONAL 18" H X 12" W X 14" D  
 ALUMINUM 18" H X 12" W X 14" D  
 ETL, MED/UPGRADE SOCKET

**WALL SCONCE**  
 MANUFACTURER: HINKLEY LIGHTING  
 MODEL #: CUSTOM  
 LUMENS: 150



**DECORATIVE PAVERS (ENTRY)**

MANUFACTURER: BELGARD  
 COLOR: SIERRA BLEND, HOLLAND STONE

45: COMMUNITY FEATURES, LIGHTING CUT SHEETS & MATERIALS

**HAPPY VALLEY 18**  
 SCOTTSDALE, ARIZONA

Sheet 4  
 January 2020



PROJECT # 13-ZN-20

13-ZN-20  
 1/28/2020



## **Additional Information for:**

### **Happy Valley 18**

### **Case: 13-ZN-2019**

#### **PLANNING/DEVELOPMENT**

1. **DEVELOPMENT CONTINGENCIES** Each element of this zoning case—including density/intensity, lot/unit placement, access and other development contingencies—may be changed as more information becomes available to address public health, safety and welfare issues related to drainage, open space, infrastructure and other requirements.
2. **DEVELOPMENT REVIEW BOARD.** The City Council directs the Development Review Board's attention to:
  - a. a plan indicating the treatment of washes and wash crossings,
  - b. wall design,
  - c. the type, height, design, and intensity of proposed lighting on the site, to ensure that it is compatible with the adjacent use,
  - d. desert scenic roadway setbacks,
  - e. major stormwater management systems,
  - f. walls adjacent to NAOS tracts and corridors, and
  - g. signage.
3. **RESPONSIBILITY FOR CONSTRUCTION OF INFRASTRUCTURE.** The developer shall be responsible for all improvements associated with the development or phase of the development and/or required for access or service to the development or phase of the development. Improvements shall include, but not be limited to washes, storm drains, drainage structures, water systems, sanitary sewer systems, curbs and gutters, paving, sidewalks, streetlights, street signs, and landscaping. The granting of zoning/use permit does not and shall not commit the city to provide any of these improvements.
4. **EASEMENTS DEDICATED BY PLAT.** The owner shall dedicate to the city on the final plat, all easements necessary to serve the site, in conformance with the Scottsdale Revised Code and the Design Standards and Policies Manual.
5. **EASEMENTS CONVEYED BY SEPARATE INSTRUMENT.** Prior to issuance of any building permit for the development project, each easement conveyed to the city separate from a final plat shall be conveyed by an instrument or map of dedication subject to city staff approval, and accompanied by a title policy in favor of the City, in conformance with the Design Standards and Policies Manual.
6. **FEES.** The construction of water and sewer facilities necessary to serve the site shall not be in-lieu of those fees that are applicable at the time building permits are granted. Fees shall include, but not be limited to the water development fee, water resources development fee, water recharge fee, sewer development fee or development tax, water replenishment district charge, pump tax, or any other water, sewer, or effluent fee.

# ZONING NARRATIVE

## 13-ZN-2019



## HAPPY VALLEY 18

Camelot Homes  
6607 N. Scottsdale Road, Suite H100  
Scottsdale, AZ 85250

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# APPLICATION REQUEST

Camelot Homes LLC, (the “Developer”) seeks to develop approximately twenty-nine (29) acres of land west of Alma School Road and south of Happy Valley Road (the “Property”) as a private gated enclave of single-family homes as conceptually depicted on *Figure 1 – Illustrated Site Plan*.

This application is a request to rezone the Property from R1-190 ESL to R1-43-PRD ESL. The proposed development includes twenty-one (21) homesites ranging from approximately 26,250 to 34,500 square feet. There are two (2) existing homes within the Property. The home on proposed Lot 11 will remain and the home on proposed Lot 17 will be removed and replaced with a new home by the Developer.

The proposed plan aligns with the intent of the Environmentally Sensitive Lands (the “ESL”) district while remaining consistent with the City of Scottsdale General Plan 2001 (the “GP”) Goals and Approaches and Rural Neighborhoods land use designation. The proposed site plan with this request retains a density of less than one (1) dwelling unit per acre (0.73 du/ac proposed) and is a creative development plan that is harmonious with the neighboring communities while embracing native desert vegetation character around the perimeter and through the center of the enclave.



*Figure 1 – Illustrated Site Plan*



# PROJECT DESCRIPTION

The approximately twenty-nine (29) acre site is located south and west of the Alma School Road and Happy Valley Road intersection. North and east of the Property are existing residential developments subdivision (Eagles Glen, Troon Fairways and Glen Moor). West of the Property are two (2) single-family detached homes each on an approximately five (5) acre lot with access to the homes coming from 102<sup>nd</sup> Street, which is west of the subject site. South of the Property along the southern property line is an undeveloped half right-of-way that terminates at a half cul-de-sac just east of the western boundary of the Property that provides access to three (3) unimproved lots.

The proposed neighborhood concept recognizes the value and visual significance that landscaping has upon reinforcing the character of this area of the city. Through protecting natural landscape areas, the tactful design of the enclave will seamlessly blend with the character of the surrounding neighborhoods by embracing the native Sonoran Desert landscape. The proposed neighborhood will have a character similar to that of Whitehorse, a recently approved community along the east side of Pima Road at Los Gatos Drive currently under construction by the Developer.

Comprised of twenty-one (21) homesites, ranging from approximately 26,250 to 34,500 square feet, the neighborhood is designed around a wash corridor that bisects the Property, and with site grading and the salvage and reuse of mature plant material in mind. There are two (2) existing homes within the Property. The home on proposed

Lot 17 will be removed and replaced with a new home by the Developer. The home on proposed Lot 11 will remain and be integrated within the neighborhood.

Land at the perimeter of the neighborhood will preserve a natural desert character and provide a buffer to the adjacent residential properties. A fifty (50) foot roadway buffer will be provided along the south side of Happy Valley School Road complementing the native character landscape along the north side of the road. The landscape buffer widens to approximately 220' feet near the intersection of Happy Valley Road and Alma School Road. A similar landscape buffer will be provided along Alma School Road.

Along the south boundary, adjacent to the twenty (20) foot half-street right-of way, will be a thirty-five (35) foot wide common area tract. A common area tract along the west boundary will vary in width from approximately fifty (50) feet to seventy-five (75) feet as will one along the east boundary that will vary from approximately thirty (30) feet to 130 feet. These open space tracts will include a NAOS easement.

An eight (8) foot wide public path will be located along the south side of the roadway that will be constructed with the Happy Valley Road widening and traffic circle improvements. A trail, installed by the Developer, will meander through the roadway buffer. Along Alma School Road a native character landscaped buffer will also include a public path and trail north of the entry drive into the neighborhood. A trail will continue south of the entry drive to the south property boundary. These pedestrian segments will allow the new residents the enjoyment of Scottsdale's superior and desirable Sonoran Desert lifestyle by connecting their community to a regional path and trail network linking to the McDowell Sonoran Preserve and the local neighborhood social/retail centers.

Residents will enter the neighborhood from Alma School Road. The entry location is based on adequate spacing from the future traffic circle planned by the City at the intersection of Alma School Road and Happy Valley Road. As requested, additional rights-of-way will be dedicated along Happy Valley Road and Alma School Road to



accommodate the roadway widening and alignments entering the circle. This includes an additional (10) feet of right-of-way along the south side of Happy Valley Road and an additional thirty (30) feet of right-of way along a portion of Alma School Road.

The proposed site plan embraces the surrounding landscape and architectural character while integrating with the landforms within the Property. Upon entering the gated enclave, the entry road descends, arriving to a desert character open space corridor. Within the proposed neighborhood a wash corridor bisecting the Property will be preserved in a common area tract with a NAOS designation. Homesites are designed around the corridor preserving the native landscape character typically found in this area of the city. The open space feel will continue within the neighborhood as threads of desert landscape will weave between homes and along neighborhood roads. Single-family homes designed with desert appropriate architectural style will meet ESL standards and will contribute a rural character lifestyle that includes preservation of the desert landscape. A selection of five (5) floor plans each with three (3) elevations will result in an architecturally rich variety of homes in the neighborhood.

To preserve the unique nighttime experience of Scottsdale's dark sky and moon rises over the McDowell peaks, roadway lighting within the neighborhood will be limited to required locations only. A complement to the "dark" experience is the "quiet" experience of the Sonoran Desert. To protect and enhance the quality of life of residents in the proposed neighborhood, a sound mitigation wall will be constructed to shield Happy Valley Road traffic noise from the homesites. The wall will not only protect the quality of life for residents, but will also be aesthetically pleasing. The slump block sound mitigation wall will be located along the southern edge of the fifty (50) foot roadway buffer and then meander further south, away from Happy Valley Road, along the north boundary of Lot 1 and Lot 2.

The wall form is curvilinear in accordance with ESL standards, and setback approximately sixty (60) feet from the existing Happy Valley Road right-of-way. As mentioned above, a request for an additional ten (10) feet of right-of way along Happy

Valley Road will be dedicated to accommodate the City roadway widening improvements. As a result, the sound mitigation wall will encroach into the buffered roadway corridor in two (2) locations. One encroachment ranges from zero (0) inches to twenty-nine (29) inches in depth and the other encroachment ranges from zero (0) inches to twenty (20) inches in depth. The approximately 150 square feet of encroachment is more than offset by lengths of the wall that exceed the fifty (50) foot corridor depth approximately four (4) to six (6) feet for significant lengths. The area where the depth is exceeded is more than six (6) times that of the encroachment area. Additionally, the proposed site plan includes a deep landscape tract near the intersection of Happy Valley Road and Alma School Road further preserving the landscape rich character of area and meeting the intent of the guidelines. See *Figure 2 – Sound Mitigation Wall* and *Figure 12 – Happy Valley Road Buffered Roadway Landscape Corridor*.

The site slopes approximately sixty (60) feet from the northeast to the southwest. Where practical, homesites are oriented to avoid the wash corridor bisecting the Property as well as to set up indoor and outdoor living areas that will capture the distant city views. Grading within the site will be carefully orchestrated. Initially grading will be limited to infrastructure improvements including roadways, the neighborhood entry, sound mitigation walls and drainage improvements. Each homesite will be graded individually upon home construction. As such, walls specific to a homesite will be installed when the related home is constructed. The sound mitigation wall and walls related to the entry and arrival to the neighborhood will be included with the initial construction of the neighborhood infrastructure.

Along the south boundary a half-street right-of-way will be dedicated for Desert Vista Drive. To avoid a wash corridor crossing under Alma School Road a portion of this right-of-way is angled across the Property to allow access to the adjacent properties from Alma School Road that avoids the wash and related drainage facilities.

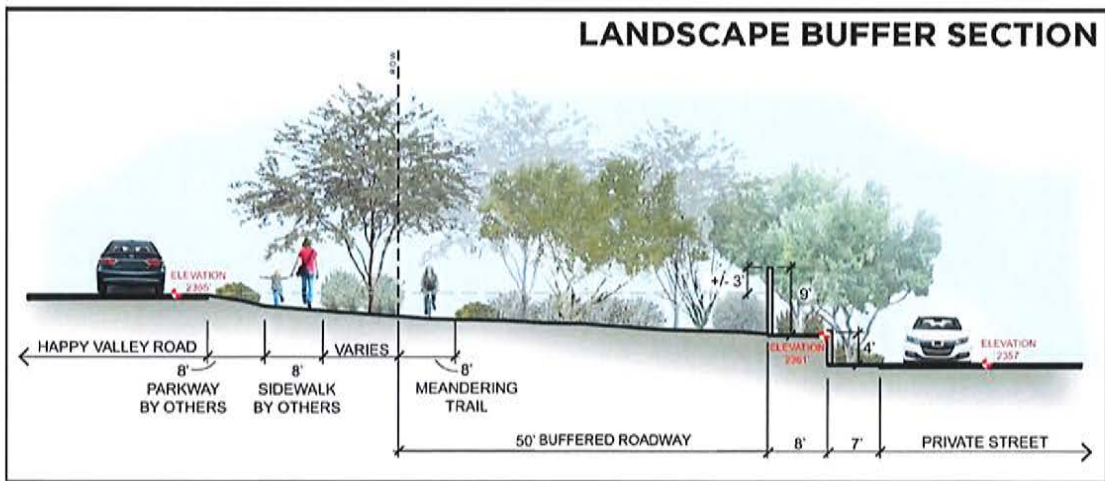
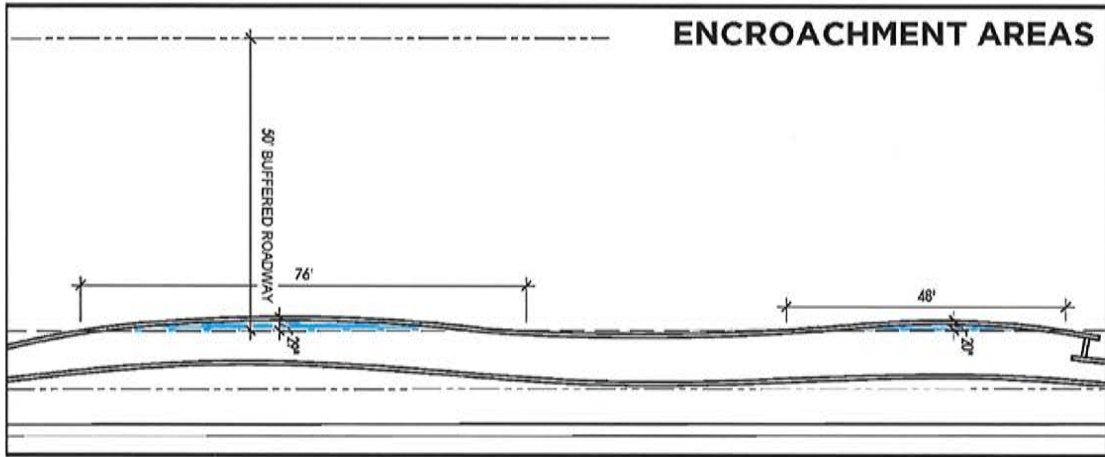
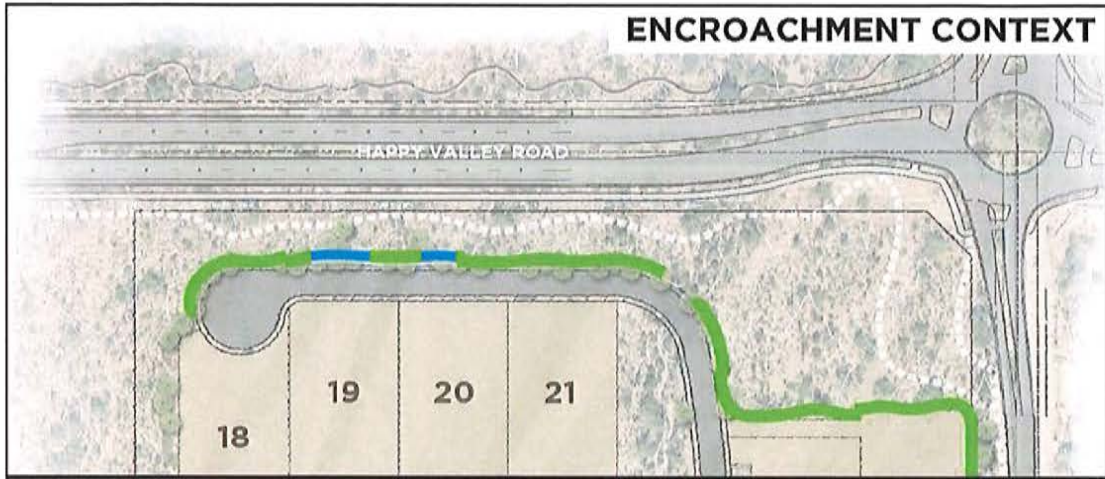


Figure 2 – Sound Mitigation Wall

## **PLANNED RESIDENTIAL DEVELOPMENT DESIGN CRITERIA AND DEVELOPMENT STANDARDS**

The proposed project is an imaginative residential neighborhood plan that recognizes the value and visual significance that preserving open space and natural features has upon reinforcing the character of the region. Amended development standards, as permitted with a Planned Residential Development ("PRD") district designation will allow for the tactful design of an enclave of executive housing with large areas of natural landscape located in common areas tracts around the perimeter of the Property that will seamlessly blend with the character of the surrounding neighborhoods and streetscape character along Happy Valley and Alma School Road. The proposed density of this neighborhood plan (0.73 du/ac) is less than the PRD maximum base density criteria (0.85 du/ac) allowed.

The proposed plan does not request an increase to the PRD base density, however it does satisfy several of the criteria that would allow for an increase. As further described below, the proposed neighborhood plan 1) preserves natural features within the Property, 2) provides quality common open space including accessible areas for non-residents to traverse through as segment in the City's greater regional system, and 3) is based on innovative site plan that features a street pattern that discourages through traffic, ensures the privacy of the residents, and is in harmony with the topography.

The PRD designation and amended development standards will allow for almost forty (40) percent of the Property to be set aside for open space excluding land provided for perimeter rights-of-way. Perimeter open space and infrastructure will account for approximately thirty (30) percent of the Property. This will include perimeter roadway landscape buffers along Happy Valley Road and Alma School Road (6%), common area tracts and open space/landscaped buffers (along the east, west and south boundary (18%), and additional right-of way (6%) (to accommodate the proposed widening and traffic circle on Happy Valley, right-of-way along Alma School Road

and the entry and half-street right-of way along the southern boundary). Within the proposed neighborhood approximately thirteen (13) percent of the Property will be in common area tracts with desert landscape. Over half of this is the central open space core while the remaining is located in visible areas along internal roadway system to provide areas for desert planting that is characteristic in this area of the city. See **Figure 3 - Constraints**. Common area tracts around the perimeter and through the middle of the proposed neighborhood will include NAOS designations.

In addition to providing an open space buffer, the common area tracts around the perimeter of the Property will create a natural separation between existing and future homes. Along the south boundary the twenty (20) foot half-street right-of way, thirty-five (35) foot wide common area tract and thirty-five (35) foot rear yard will set a home back ninety (90) feet from the existing property line. The common area tract along the west boundary varies. Adjacent to Lot 18 the tract will be fifty (50) feet wide. The side yard on this lot will be fifteen (15) feet resulting in a home being setback at least sixty-five (65) feet from the existing property line. Homes along the south and west boundary will be setback a distance equal to or greater than the minimum rear yard of the adjacent zoning district (sixty (60) feet). Lot 11 is an exception. The existing home on this lot will remain. A forty-eight (48) foot wide common area tract will be located along the west boundary of the lot. The amended development standards propose a ten (10) foot side yard along the west boundary of the Lot. The home will be setback fifty-eight (58) feet from the existing property line, therefore, the conditions are unchanged from that existing today.

The development pattern surrounding the Property is both grid-like and organic in character. The layout of the proposed development will be similar while relating to the site constraints and existing conditions. The internal street system is not a dominant feature and is designed for efficient and safe flow of vehicles without creating a disruptive influence to the common area open space. The gated enclave of short street segments and cul-de-sacs will naturally slow resident and guest traffic. The proposed roadway is narrow and wraps around a central open space to preserve a rural

character where the landscape is dominant. Guest parking will be provided on each homesite. Several lots will have a flag with a driveway that will extend to the neighborhood street. Adjacent to the flag will be landscape located within a common area tract to preserve and reinforce the natural character found within this area of the city.

To develop the property in this manner the Developer is requesting a reduction in lot size and setbacks that can be granted as permitted in City's PRD ordinance. The Amended Development Standards will permit a reduced minimum lot area that will allow for open space to be protected in common area tracts, as described above, rather than on individual lots. Individual lot setbacks will meet or exceed R1-43 standards with a twenty-five (25) percent reduction as permitted by the ESL district designation. All new homes will be setback a minimum sixty (60) feet from the west and south boundary of the Property; a distance equivalent to the rear setback of the adjacent R1-190 district. Single story homes will be designed to meet ESL standards by limiting the height of the home to no more than twenty-four (24) feet, as shown in the Amended Development Standards, contributing to a rural character neighborhood nestled within the landscape. A comparison of the R1-43, ESL with twenty-five (25) percent reduction and PRD amended standards are shown on the next page.

Development Standards Comparison

	<b>R1-43</b>	<b>ESL Amended</b> <i>(includes 25% reduction)</i>	<b>PRD</b> <i>(proposed)</i>
Min. Lot Area	43,000 sf	32,250 sf	<b>26,250 sf</b>
Min. Lot Width	150'	112.5'	<b>120'</b>
Max. Building Height	30'	24'	<b>24'</b>
Front Setback	40'	30'	<b>30'</b>
Garage Setback <i>(facing street)</i>	40'	20' from back of curb	<b>30'</b>
Side Setback	20'	15' <sup>1</sup>	<b>15', except 10' along west boundary of Lot 11 <i>(existing home)</i></b>
Rear Setback	35'	26.25' <sup>1</sup>	<b>35'</b>
Perimeter Subdivision Building Setback <i>(R1-190 along south and west boundary)</i>	NA	NA	<b>60', except 58' along Lot 11 <i>(existing home)</i></b>

<sup>1</sup> ESL amended standards allow for a 5' side or rear setback when adjacent to a designated open space tract

See also the Amended Development Standards section at the end of this document, the supporting landscape drawings, and the supporting civil drawings included with this application.





Figure 3 - Constraints



## **NATURAL AREA OPEN SPACE (NAOS)**

The Property is located within the Upper Desert Landform category of the ESL overlay district. Approximately thirty-nine (39) percent (10.6 acres) of the net site area (27.0 acres) will be dedicated as Natural Area Open Space (NAOS). At least seventy (70) percent of the NAOS will remain undisturbed while up to thirty (30) percent may be revegetated.

NAOS will be located around the perimeter of the proposed neighborhood within common area tracts. This will include a fifty (50) foot roadway buffer along Happy Valley Road and a similar landscape buffer along Alma School Road. The NAOS expands to approximately 220 feet near the intersection of Happy Valley Road and Alma School Road and will preserve the native landscape character in a highly visible area of the Property as viewed from the roadway. A common area tract along the south boundary will provide a buffer between the future potential roadway and homesites. There are four (4) areas that have been disturbed prior to 1990 that will be revegetated. These are located within the Buffered Roadway along Happy Valley Road, south of the entry drive into the proposed neighborhood, and at the south boundary south of Lot 6.

Along the west boundary a common area tract will vary in width. The narrowest area will be approximately forty-eight (48) feet adjacent to Lot 11. The existing home on this lot will remain. The tract/property line is located so that the proposed NAOS west of the lot is within a common area tract rather than on-lot. The NAOS widens to approximately seventy-five (75) feet adjacent to Lot 17. The existing home on this lot will be demolished.

An open space corridor bisects the proposed neighborhood. This open space corridor, which includes a natural wash corridor, will include a large area of undisturbed NAOS. Retaining walls will be proposed with the development of each lot to reduce the impact of grading by limiting the areas of disturbance to preserve the natural vegetation where practical. See *Figure 4 – Natural Area Open Space*.

## **IMPROVEMENTS, OWNERSHIP AND MAINTENANCE**

The proposed neighborhood will have a homeowners association (“HOA”) that will provide for the maintenance of the neighborhood streets, gated entry features, retention basins, common area walls and common area landscape/open space tracts. The HOA will also be responsible for the protection and maintenance of the designated NAOS.

## **NATIVE PLANT MATERIAL**

Throughout the Property, in areas that will not remain in their undisturbed natural state, the landscape vegetation will be surveyed, tagged, and if possible boxed and salvaged for use on the Property. This mature plant material will be used to re-vegetate areas that have been graded or disturbed to enhance the natural landscape at entrances and where additional privacy is desired and can be created by additional planting density. Through protecting natural landscape areas, the tactful design of the enclave, responsive site grading and the salvage and reuse of mature plant material, the proposed development recognizes the value and visual significance that landscaping has upon the character of the community, reinforcing the character of the city.



*Figure 4 – Natural Area Open Space*

*Areas and calculations are based on this proposed site plan and may be refined based on final improvement plans.*



# SITE CONTEXT

The Property, approximately twenty-nine (29) acres, is located west of Alma School Road and south of Happy Valley Road. See *Figure 5 – Site Context*. The proposed site plan preserves the rural neighborhood character that surrounds it securing a landscape buffered along both Happy Valley Road and Alma School Road. The rural desert character is further enhanced in a manner that is responsive to the site conditions by clustering single-family homesites on either side of a central desert open area that includes a wash corridor and Sonoran Desert character landscape.

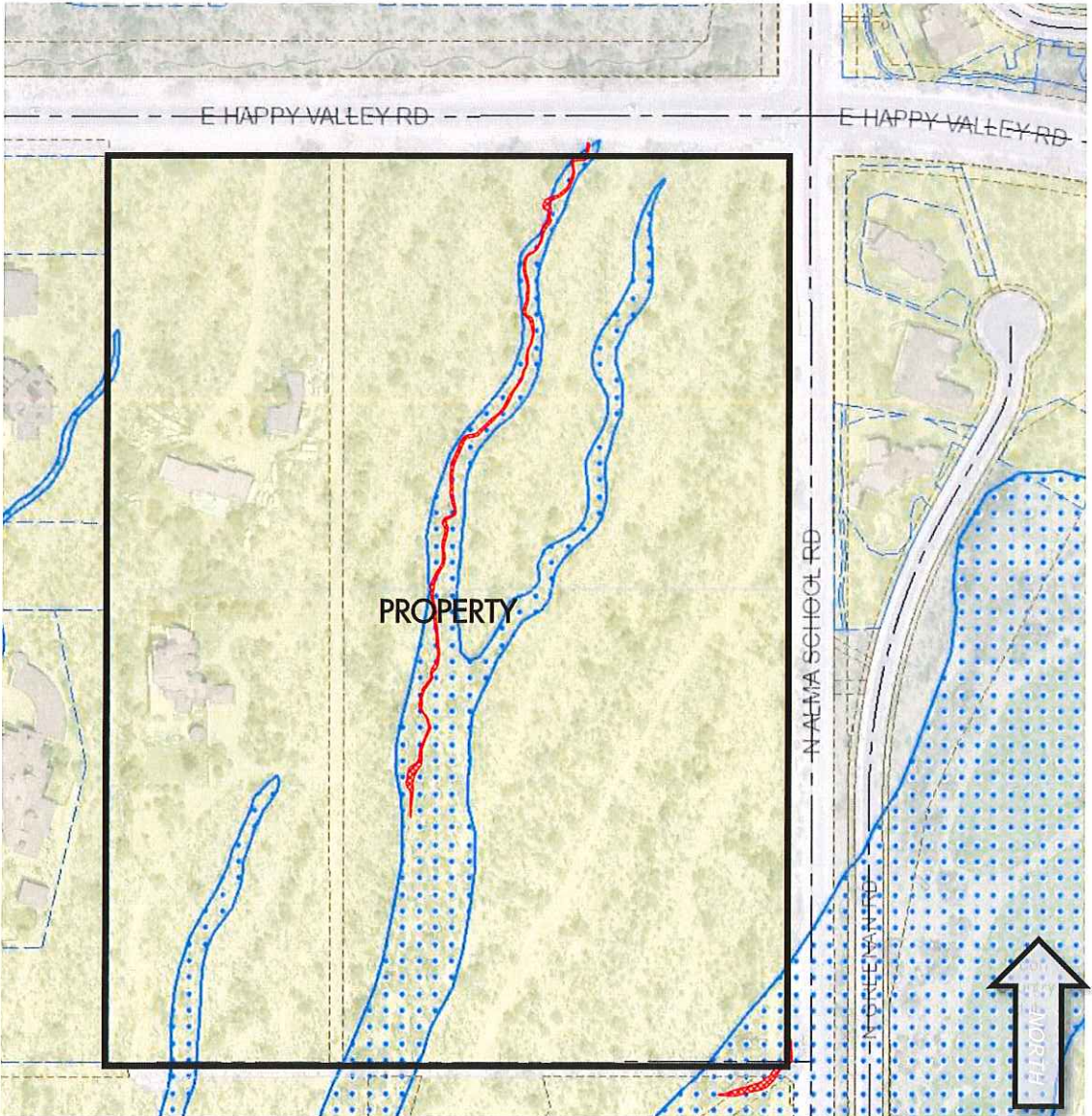
A significant wash corridor conveying drainage from neighborhoods to the east touches the southeast corner of the Property. Additional right-of-way will be dedicated to accommodate access to the properties to the south that avoids the wash and related infrastructure. Drainage entering the Property along Happy Valley Road will be directed through the central wash corridor/open space corridor and will outlet at the historic location. One (1) wash corridor that bisects the Property carries a flow of 50 cfs or greater, however, much of the historic drainage through the site has been cut-off by development to the north. Other wash corridor flow volumes within the Property have been evaluated and have been determined to carry less than 50 cfs volumes. See *Figure 6 – 50cfs or greater wash corridors*.





Figure 5 – Site Context





Source: <http://eservices.scottsdaleaz.gov/maps/parcel-information>;  
50 cfs or greater wash corridor shown in red - Kimly Horn

*Figure 6 – 50cfs or greater wash corridors*



# EXISTING AND PROPOSED ZONING

The Property, located in the northern portion of the City, is within the Upper Desert Character of the Environmentally Sensitive Lands (“ESL”) district. It is currently zoned R1-190 ESL as shown on *Figure 7 - Existing Zoning*.

To provide an opportunity for more flexibility for site planning and platting of lots, ESL includes a cluster development option so that development may be clustered on less sensitive land to protect and preserve more sensitive land areas. A PRD overlay permits for amended development standards. Amended standards are proposed. See section Amended Development Standards. Proposed zoning for the Property is R1-43 PRD ESL as shown on *Figure 8 - Proposed Zoning*.

The proposed zoning achieves a clustered development plan with amended development standards that will allow the Property to be developed in a manner that preserves and enhances the rural Sonoran landscape character along the perimeter of the Property, is sensitive to existing site conditions to accommodate stormwater flows through the Property, and is a neighborhood that is a density of less than one (1) dwelling unit per acre; similar with surrounding neighborhoods. The proposed plan does not request an increase to the PRD base density, but rather limits density within the Property with a R1-43 designation.

## **SURROUNDING THE PROPERTY:**

Surrounding uses and zoning include:

- *North: Eagles Glen single-family residential subdivision,  
R1-43 ESL*
- *East: Glenn Moor at Troon Village single-family subdivision,  
R1-35 ESL*
- *South: Undeveloped single-family residential  
R1-190 ESL*
- *West: Single-family residential  
R1-190 ESL*





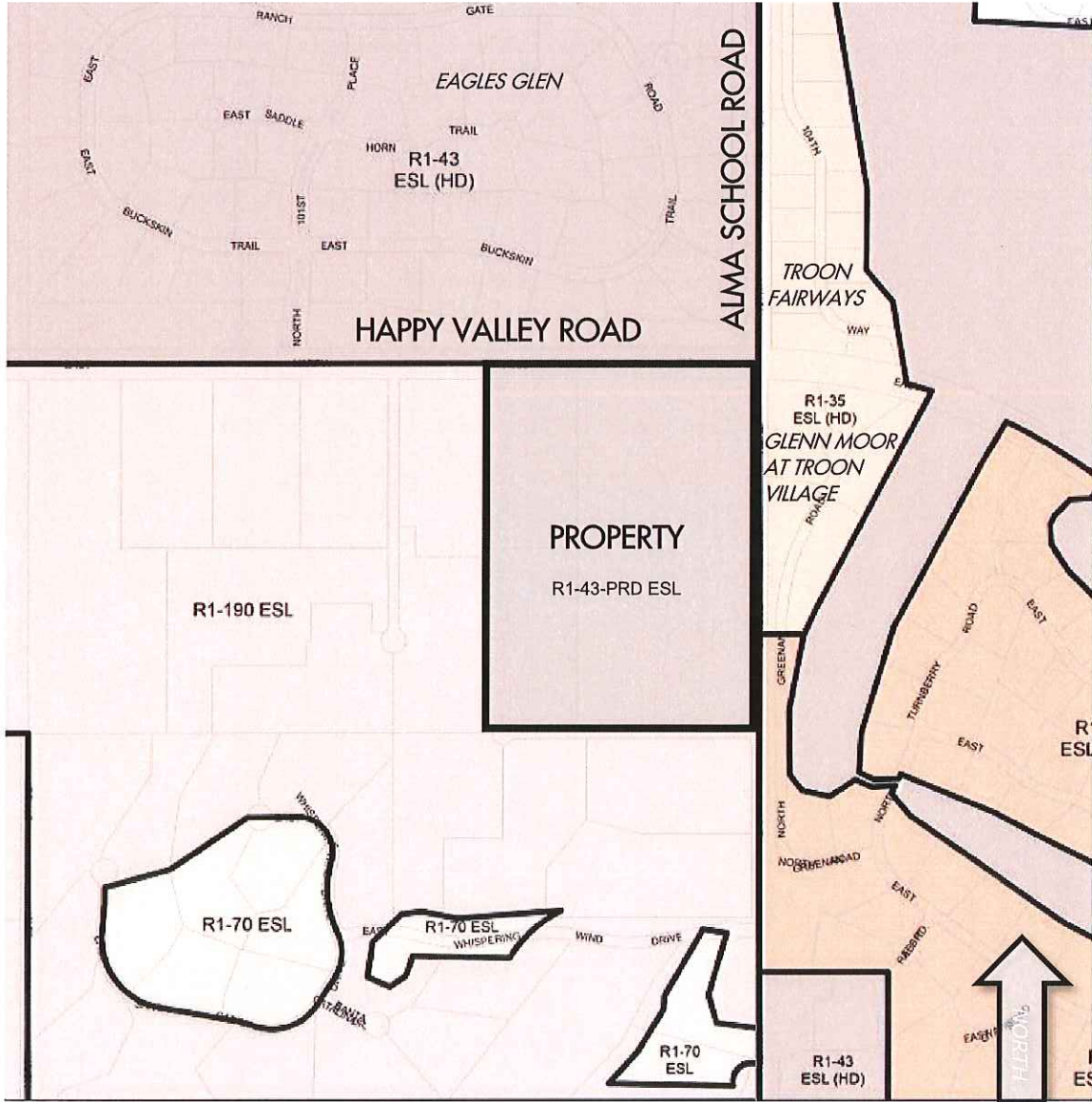
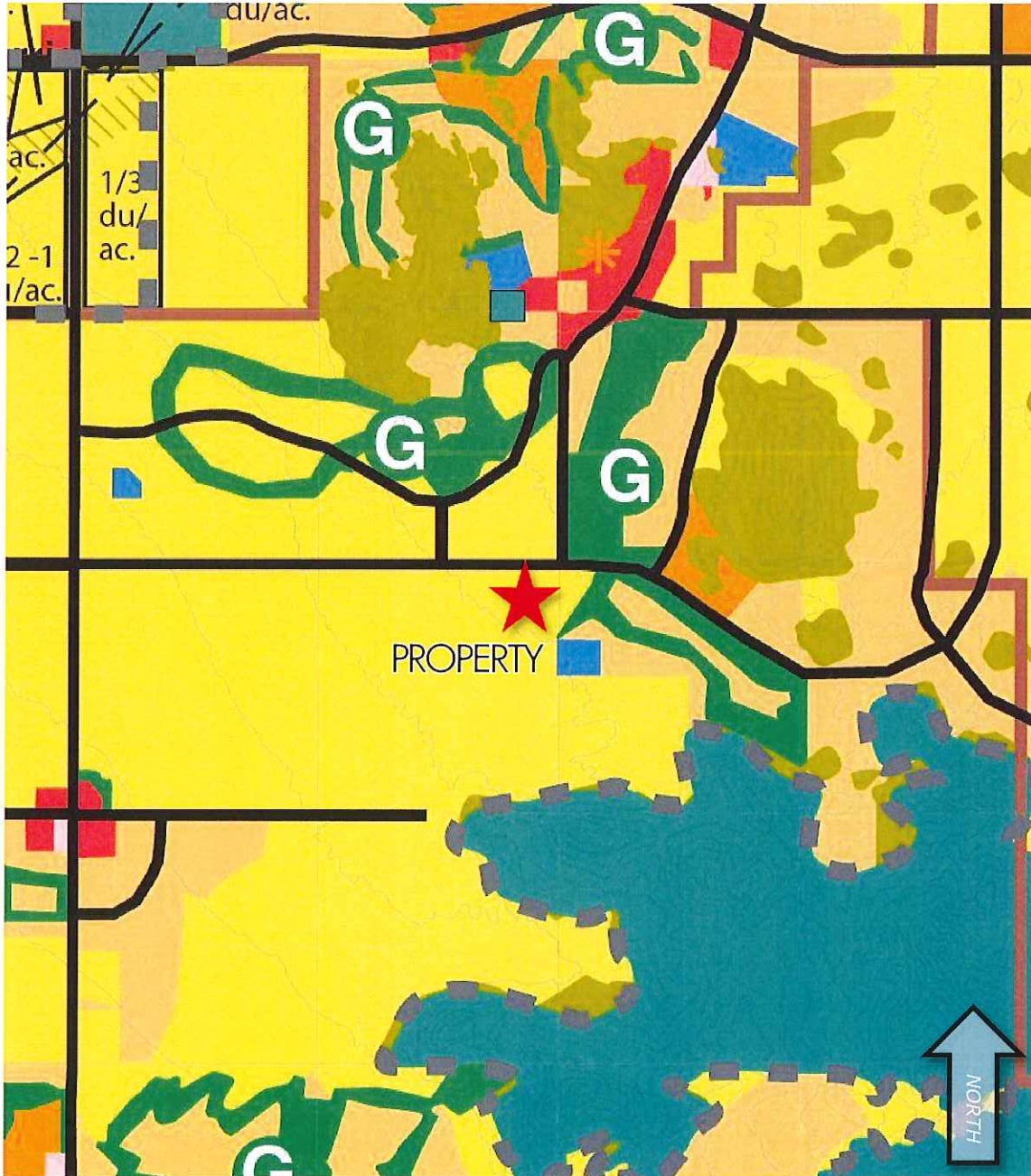


Figure 8 - Proposed Zoning

# GENERAL PLAN GOALS AND APPROACHES

The request includes rezoning the Property from R1-190 ESL to R1-43 PRD ESL while remaining consistent with the existing GP Land Use Element Rural Neighborhoods designation with overall density of 0.73 dwelling units per acre; less than one (1) dwelling unit per acre. The Rural Neighborhoods land use category encourages clustering to preserve desert vegetation, washes and natural features as is proposed with this application. A Character Area plan does not exist for the Property, so that criteria does not apply. See *Figure 9 – GP Conceptual Land Use Map*.



*Figure 9 – GP Conceptual Land Use Map*



*Rural Neighborhoods (as stated in the GP):*

*This category includes areas of relatively large lot single-family neighborhoods. Densities in Rural Neighborhoods are usually one house per one acre (or more) of land. Native desert vegetation predominates many areas and special care is required to preserve the area's open desert character and environmental features. Much of the terrain includes gentle to moderate slopes and rolling ground, intersected by several washes. Grading often requires extra care in areas with moderate slopes. Clustering is encouraged to preserve desert vegetation, washes, and natural features. Some of these areas were developed with one- acre lots under Maricopa County standards prior to annexation by Scottsdale. Equestrian uses and privileges may exist in the flatter areas as many lots are large enough for horses and several existing developments permit horse corrals. South of the C.A.P. Canal, these neighborhoods take on a rural, equestrian character when compared to surrounding areas that have smaller, suburban lots.*



## **GP GOALS AND APPROACHES**

The General Plan describes long-term goals for the City's future and provides guidance to evaluate development within the city. Completed in 1996, the recommendations from the CityShape 2020 process are the basis for planning in Scottsdale today. In context of general land use planning and a character-based general plan, the recommendations consists of the Six Guiding Principles (which are equal, with no priority in the listing) and a three (3) level structure. Level 1 includes City-wide planning. Level 2 is character area planning. Level 3 is neighborhood planning. The Guiding Principles are:

- *Preserve Meaningful Open Space*
- *Enhance Neighborhoods*
- *Seek Sustainability*
- *Support Economic Vitality*
- *Advance Transportation*
- *Value Scottsdale's Unique Lifestyle & Character*

The GP establishes policies, goals and strategies for each of twelve (12) elements. These elements are:

- |                                 |   |
|---------------------------------|---|
| 1. <i>Character and design</i>  | 7. <i>Open space and recreation</i>               |
| 2. <i>Land use</i>              | 8. <i>Preservation and environmental planning</i> |
| 3. <i>Economic vitality</i>     | 9. <i>Cost of development</i>                     |
| 4. <i>Community involvement</i> | 10. <i>Growth areas</i>                           |
| 5. <i>Housing</i>               | 11. <i>Public services and facilities</i>         |
| 6. <i>Neighborhoods</i>         | 12. <i>Community mobility</i>                     |

The proposed development supports the GP goals and approaches as outlined more specifically as follows.

## **GUIDING PRINCIPLES**

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***Preserve Meaningful Open Space: The city of Scottsdale is committed to promoting the acquisition, dedication, and setting aside of open space as a community amenity and in support of the tourism industry in Scottsdale.***

The proposed zoning and conceptual site plan for this Property are consistent with the City's GP Conceptual Land Use Map designation of Rural Neighborhoods (less than 1 du/ac) and is in alignment with the GP's recommendation to "Preserve Meaningful Open Space". The change in zoning will allow the Property to develop in a manner that is responsive to the landform and character of the area.

The dedication of a roadway buffer along the north boundary of the Property will contribute to the aesthetic beauty and experience of the Sonoran Desert. The roadway buffer will be placed in a tract furthering the preservation of the desert experience and rural character and open space along the transportation corridors in this area of the City frequently traveled by those going to the nearby Pinnacle Peak and Tom's Thumb trailheads.

The open desert space character will continue within the neighborhood as threads of desert landscape will be woven between homesites to preserve the natural landscape and provide stormwater conveyance and retention. These open space areas will include native and enhanced native plant species.

This application includes amended development standards. These standards, similar to amended standards approved for other nearby neighborhoods, ensure the preservation of the desert experience within and around the neighborhood. The amended development standards will allow the site to be developed with a cluster of homes on either side of the central open space corridor while preserving approximately

thirty-seven (37) percent of the Property for desert open space character. This conceptual site plan includes over ten (10) acres that will be dedicated as NAOS.

***Enhance Neighborhoods: Scottsdale's residential and commercial neighborhoods are a major defining element of this community. The quality of our experience as a Scottsdale citizen is expressed first and foremost in the individual neighborhoods where we live, work, and play. Scottsdale is committed to maintaining and enhancing our existing and future neighborhoods. Development, revitalization, and redevelopment decisions, including rezoning and infrastructure planning, must meet the needs of our neighborhoods in the context of broader community goals.***

The Developer has been a part of creating several of Scottsdale's great neighborhoods. They support the GP's recommended commitment to the quality of existing neighborhoods and its vision to add quality neighborhoods to the fabric of the City. The Property is surrounded by existing single-family residential development on three (3) sides and undeveloped lots to the south. The development pattern of the proposed site plan (see ***Figure 1 – Illustrated Site Plan***) is in line with the GP's recommendation to maintain and enhance the existing and future neighborhoods.

The proposed neighborhood embraces and will enhance the quality of the rural desert landscape character that is a defining characteristic of this region of the City. A roadway buffer and common area tracts dedicated as NAOS are proposed around the perimeter of the Property while a central native character open space corridor bisects the neighborhood. Together these open spaces will provide corridors for wildlife to migrate through.

The landscape buffer along Happy Valley Road and Alma School Road will provide meaningful open space to existing and future neighborhoods enhancing their experience of the Sonoran Desert. A public path and trail will connect the proposed neighborhood to the city-wide pedestrian network.

The quality of the experience within the proposed neighborhood will be enhanced by a sound mitigation wall along southern boundary of the fifty (50) foot roadway buffer along Happy Valley Road. The sound mitigation wall will shield traffic noise to protect and enhance the quality of life of future residents. A gated entry will provide privacy as the enclave is adjacent to a major thoroughfare with plans for additional City improvements in the form of a traffic circle at the intersection. The design of the wall and landscape elements incorporate forms, materials and colors that complement and enhance the natural desert setting rather than detract from it.

***Value Scottsdale's Unique Lifestyle and Character: Scottsdale offers a superior and desirable Sonoran Desert lifestyle for its citizens and visitors. The preservation of this unique lifestyle and character will be achieved through a respect for our natural and man-made environment, while providing for the needs of our citizens.***

The proposed neighborhood creates an enclave of homes on individual lots surrounded by natural desert landscape character and public trails that connect the neighborhood to the greater network in the area. The proposed zoning would permit the Property to be developed in desirable cul-de-sac clusters of homes influenced by low-profile desert southwest architectural character. Together these elements preserve and enhance the unique lifestyle and character desired for residents and visitors.

The Sonoran Desert will continue to be a major part of the visual experience for citizens and visitors who travel along Happy Valley Road. This is a popular route to the



Pinnacle Peak and Tom's Thumb trailheads. The landscape character will be preserved within a fifty (50) foot roadway buffer located in a common area tract maintained by the homeowner association. A public path and trail along both Happy Valley Road and Alma School Road will add another link to the regional trail system. Proposed City improvement plans for Happy Valley Road include a pedestrian route. These links will allow the new residents the enjoyment of Scottsdale's superior and desirable Sonoran Desert lifestyle.

Roadway lighting, except as may be required by the City, is not anticipated with the development of the Property to maintain the unique nighttime experience of Scottsdale's dark sky and moon rises over the McDowell peaks. A complement to the "dark" experience is the "quiet" experience of the Sonoran Desert. To enhance this unique lifestyle element, a sound mitigation wall will be integrated along Happy Valley Road. The sound mitigation wall will shield the traffic noise to provide quiet within the neighborhood enhancing the quality of life of future residents while seamlessly blending with the native character landscape within the Buffered Roadway corridor.

## **CHARACTER AND DESIGN ELEMENT**

---

***1. Determine the appropriateness of all development in terms of community goals, surrounding area character, and the specific context of the surrounding neighborhood.***

The proposed development shall be in conformance with the community goals as outlined in detail below. The Property is designated Rural Desert on the GP Character Types Map (see *Figure 10 – GP Character Types Map*) and will be developed consistently with that designation. The Property will be developed as an enclave of single-family homes with enclosed private yards surrounded by Sonoran Desert open space. The enclave will provide a rural lifestyle that includes preservation of the desert character. Homes in the enclave will be built in desert appropriate architectural styles built to the ESL standards, and land at the perimeter of the neighborhood will conserve the natural desert environment and provide a natural buffer to the adjacent development. Open space will be placed in common area tracts.

The Property is in Character Area 10 of the GP (see *Figure 11- GP Character Area Map*). While the GP does not provide any detail about the qualities of Character Area 10, it will be developed in a character complementary to the character of existing surrounding development. Homes to the north, east and west of the Property are developed with private walled yards surrounded by natural and re-vegetated desert open spaces. Neighborhoods to the north and east provide similar buffers as proposed herein with a natural landscape character predominate in the area.

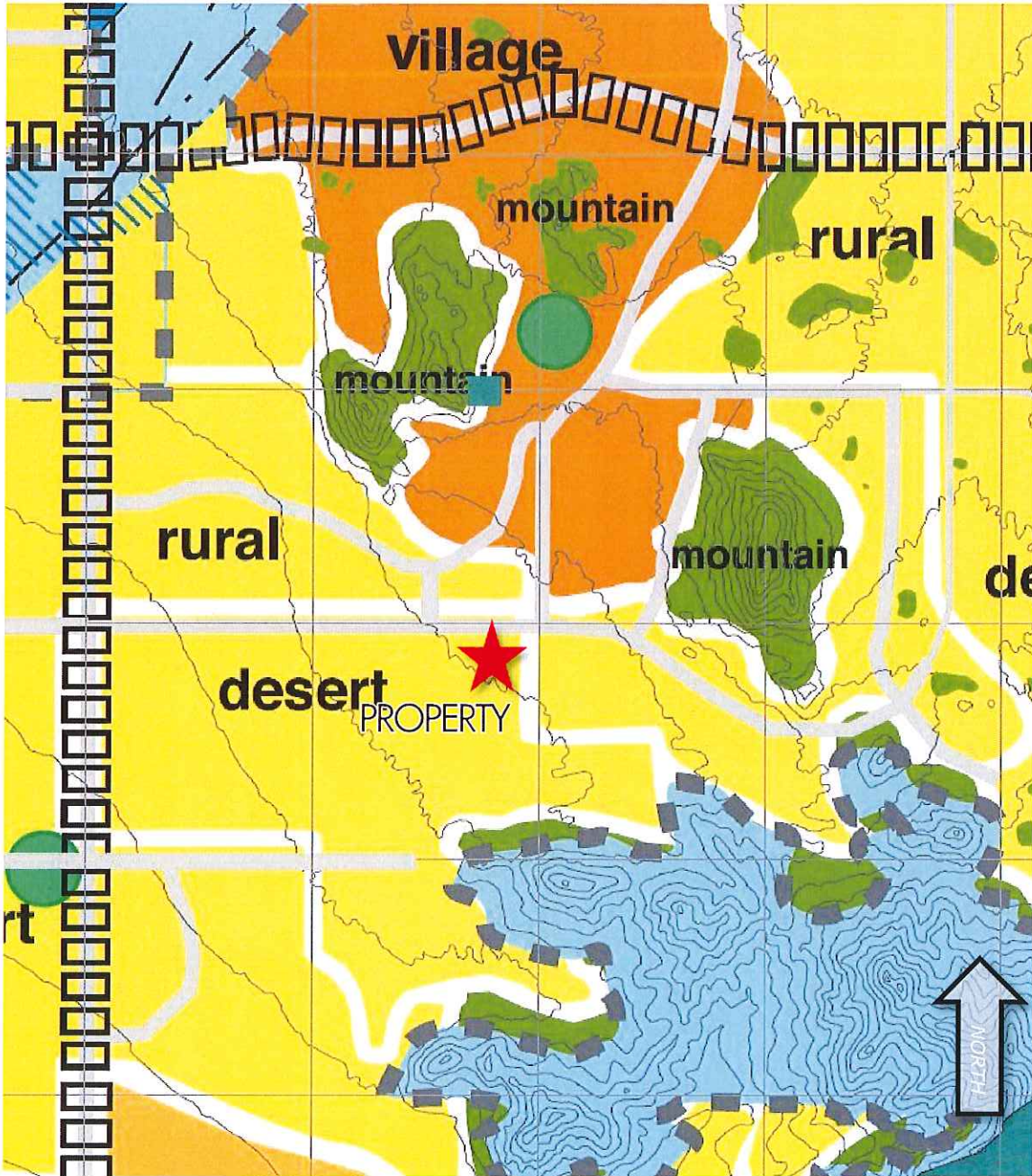
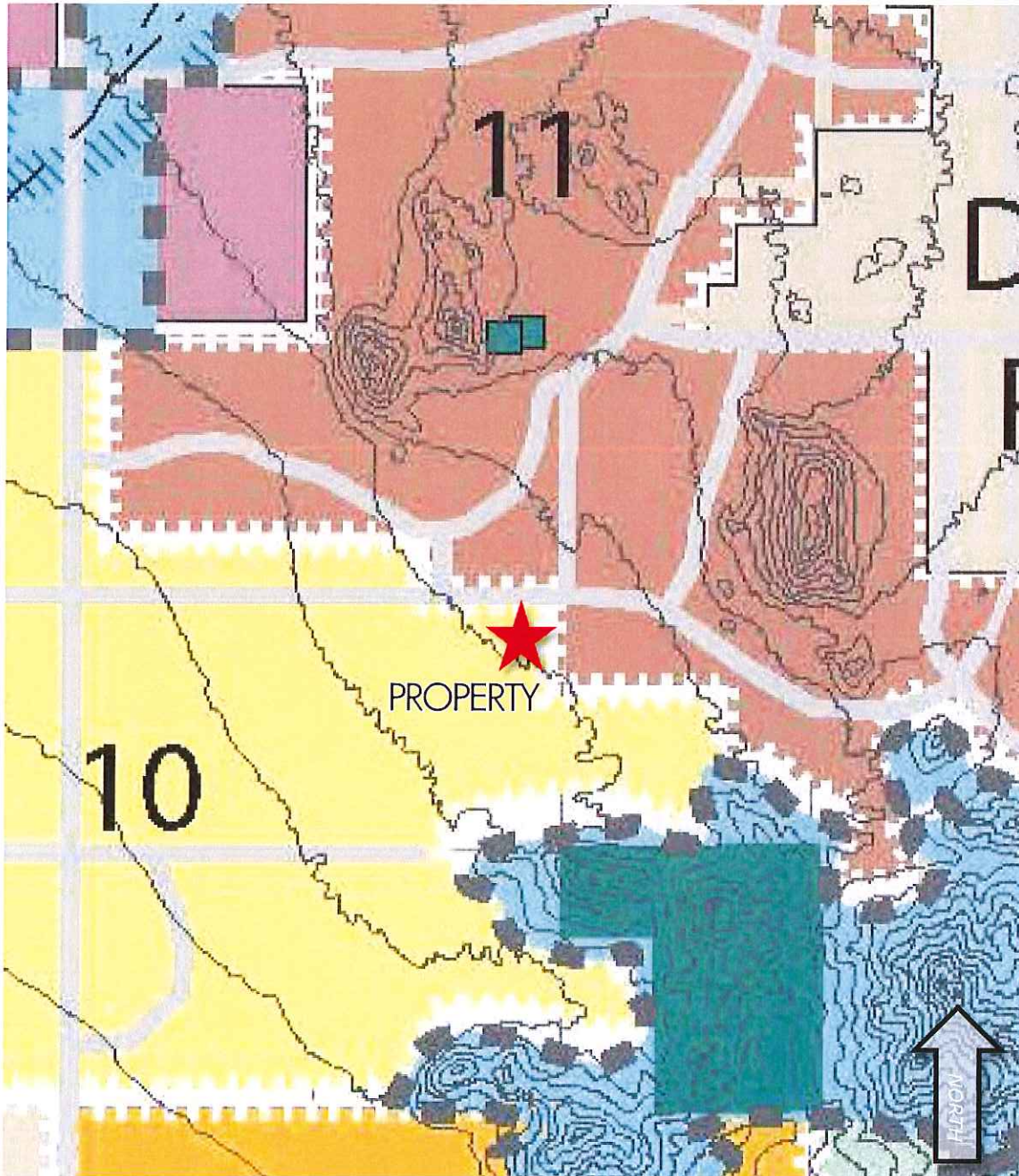


Figure 10 – GP Character Types Map





*Figure 11- GP Character Area Map*

- *Respond to regional and citywide contexts with new and revitalized development in terms of:*
  - *Scottsdale as a southwestern desert community*

The Property's location allows the enclave surrounded by native landscape to complete and enhance the surrounding neighborhood fabric while preserving the desert character Scottsdale is so well known for. Architectural styles and native landscape planting will enforce this perception.

- *Relationships to surrounding land forms, land uses and transportation corridors*

The Property is within the Upper Desert Landform category. A few small arroyos, which are mostly cut-off by development to the north, cross the Property. Upon further evaluation, only one (1) of these carries a flow greater than 50 cfs. Stormwater flows will be managed and directed to the central open space corridor then continue south at the historic outfall location. A significant wash is located near the southeast corner of the Property but is unaffected by the proposed development. Additional right-of-way is provided for future access to the undeveloped lots along the south boundary to avoid wash related structures.

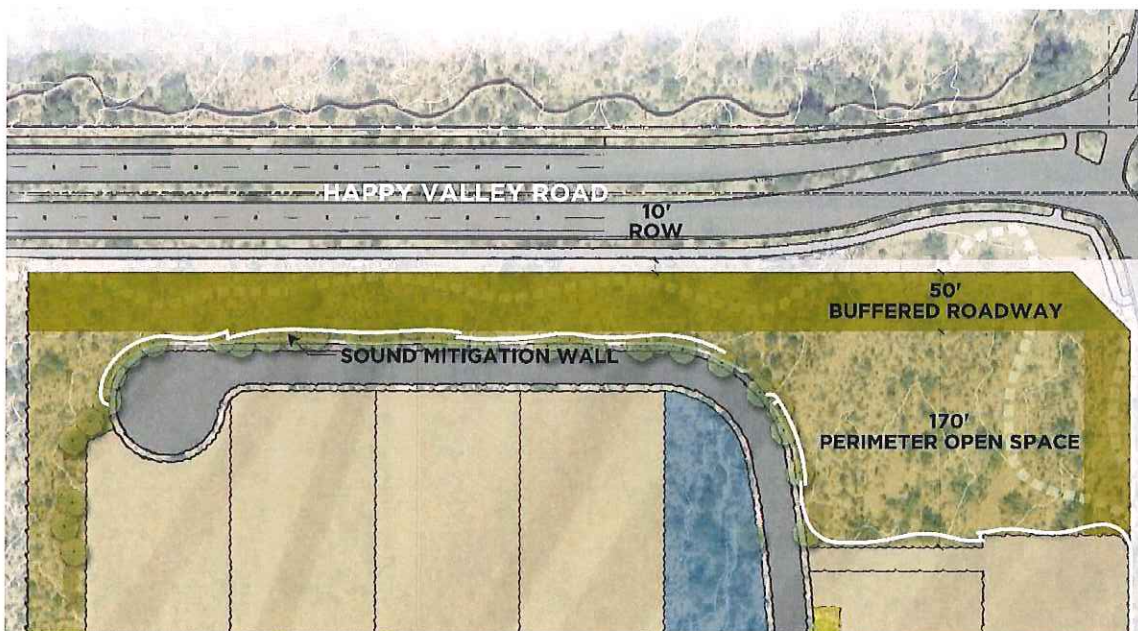
Surrounded by single-family subdivisions, this neighborhood enclave will be developed with the same use and in a similar form with surrounding native character open space as neighboring communities. The open space corridor through the center of the neighborhood further preserves an open desert landscape character prominent in this area of the side. Homes will range in size from 4,000 to 6,000 sf.

A landscape buffer is proposed along Happy Valley Road and Alma School Road. The buffers include a public path as part of the City's road widening and traffic circle improvement plans. An in-lieu payment from the Developer to the City is anticipated for a portion of the improvements. The Developer will add a trail along Happy Valley Road as well as a path and trail along Alma School Road. Access to the neighborhood



will be from Alma School Road. Right-of-way will be dedicated to accommodate the City's proposed traffic circle improvements. Half-street right-of-way dedication is also proposed along the southern boundary of the Property for access to the undeveloped lots.

The Property is an infill site overshadowed by a significant transportation corridor, Happy Valley Road. Traffic along Happy Valley Road, and associated noise from the traffic, work against the goal of providing high-quality, high-end residential neighborhoods. Similar adjacent neighborhoods such as Whitehorse, DC Ranch, and Los Gatos Unit 2 have built sound mitigating walls (some as close as 20-30' from back of curb) to shield the effects of the adjacent transportation corridor. This development proposes to use similar techniques but with wall heights not as great as found in the Pima Road example. See *Figure 12 – Happy Valley Road Buffered Roadway Landscape Corridor*.



*Figure 12 – Happy Valley Road Buffered Roadway Landscape Corridor*

- *Contributions to city wide linkages of open space and activity zones.*

Per the GP Open Space Map, the Property is connected to the City's open space via a Buffered Roadway (see *Figure 13 – GP Open Space Map*). The proposed development of this Property will add to the city-wide linkages and connected open spaces. This infill site will provide a landscape buffer along both Happy Valley Road and Alma School Road located in a common area tract with a NAOS designation. Both Happy Valley Road and Alma School Road will have a native landscape aesthetic that will include both a path and trail so that future improvements may connect with these segments.

- *Physical scale relating to the human perception at different points of experience.*

The residential, single-family nature of development ensure that the physical scale will relate to the human perception. While homes may be large, their height will be limited by the ESL standards so that their mass remains low to the ground and dominated by the native character landscape. This low to the ground development style along with the landscape buffer along Happy Valley Road will work to preserve the views of the McDowell Mountains and Pinnacle Peak from the perception of pedestrians.

- *Visual impacts (views, lighting, etc.) upon public settings and neighboring properties.*

There are no public settings adjacent to or impacted by the density or height of the proposed development on the Property. Adjacent properties are buffered by open space around the perimeter of the enclave. Lighting within the enclaves will be minimal to protect the dark skies of north Scottsdale.





Figure 13 – GP Open Space Map

- *Enrich the lives of all Scottsdale citizens by promoting safe, attractive, and context compatible development.*

While this will be a gated single-family residential enclave, it will enrich the lives of Scottsdale citizens by promoting attractive native character landscape along perimeter roadways and through the proposed neighborhood. A public path and trail will be provided for safe pedestrian travel separated from Happy Valley Road and Alma School Road. Context compatible buffering, primarily untouched, will be provided along boundaries of the Property. The proposed neighborhood will develop at a density and in a pattern comparable to the surrounding neighborhoods.

- *Encourage projects that are responsive to the natural environment, site conditions, and unique character of each area, while being responsive to people's needs.*

The development pattern surrounding the Property is both grid-like and organic in character. The layout of the proposed development will be similar while relating to the site constraints and existing conditions. The open spaces will be located in visible areas to provide areas for desert planting that is responsive to the unique character of this area of the city; around the perimeter of the Property, along the entry into the neighborhood, and around cul-de-sacs. Almost forty (40) percent of the net Property, over ten (10) acres) will be set aside for open space. This will include perimeter roadway landscape buffers along Happy Valley Road and Alma School Road (6%), perimeter open space buffers in common area tracts (19%), the central open space corridor (9%), and other open space (4%) . Net from the Property will be perimeter rights-of-way including additional right-of-way to accommodate the proposed widening and traffic circle on Happy Valley Road and Alma School Road and the entry / half-street right-of way along the southern boundary of the Property. See **Figure 3 - Constraints**.

To preserve as much of the desert landscape character as possible, roadway and site grading will be carefully orchestrated. The natural environment and stormwater flows that the Property was once linked to has been altered by the surrounding parcels and roadway development. The grading of the site will allow water to continue to flow across the site in a manner similar to its historic patterns even though it has been altered upstream. Grading for infrastructure improvements will be done all at once. Lots will be individually graded as part of the home construction.

The proposed development is not only responsive to the environment, site and character of the area, it is also responsive to people's needs. The gated nature of the enclave will provide the privacy residents desire even in close proximity to a major transportation corridor. The spacious private, enclosed rear yards and generous building footprints will accommodate housing that meets the needs and desires of future residents. Finally, preservation of a landscape corridor will protect the aesthetic beauty of the Sonoran Desert appreciated by the regional traffic on Happy Valley Road while a meandering sound mitigation wall will shield traffic noise allowing future residents the quiet enjoyment of their private yards.

- *Ensure that all development is a part of and contributes to the established or planned character of the area of the proposed location. Character can cross land uses and zoning to include community regions containing a mixture of housing, employment, cultural, educational, commercial, and recreational uses. The overall type of character type that these uses are a part of describes the pattern and intensity of how these uses fit together. The following general character types are found in our community:*

*Rural/Rural Desert Character Types contain relatively low-density and large lot development, including horse privilege neighborhoods and low-density resorts as well as areas with particularly sensitive and unique natural environments. These districts provide a rural lifestyle that includes preservation of the desert character. The identity and natural desert character of this district should be strengthened and maintained by preventing encroachment of nonconforming uses and architectural styles, protecting open spaces and vistas, encouraging conservation of desert vegetation, building low profile structures, discouraging walls, and limiting road access. Special care should be taken to preserve the natural character of the land and natural drainage corridors. Desert vegetation is maintained in either in common open-space areas or on individual lots. The impacts of development on desert preservation should be minimized through clustering, preserving washes, and the use of natural buffers on the perimeter of developments. Site plans for developments on larger vacant tracts should be sensitive to topography, vegetation and natural drainage area.*



***Environmentally Sensitive Lands and Native Desert Character***

***Types:*** *These districts include areas defined by the Environmentally Sensitive Lands Ordinance (ESLO) overlay-zoning district. Most of these rugged areas should ultimately be preserved as natural open space, and all areas will follow the regulations of ESLO. The McDowell Sonoran Preserve is located in these areas.*

*Desert Districts include areas of all character districts with the identifying title "Desert." They include areas with significant environmental amenities or hazards. Special care should be taken to minimize the impacts of development in these districts. Any development in these districts will follow the ESLO guidelines.*

The Property is designated Rural Desert on the GP Character Types Map and will be developed consistently with this designation. The Property will be developed as an enclave of single-family homes with enclosed private yards surrounded by Sonoran Desert open space. The neighborhood will provide a rural lifestyle that preserves of the desert character. Homes will be low profile structures, built in desert appropriate architectural styles to the Environmentally Sensitive Lands ordinance ("ESL") standards, and land at the perimeter of the neighborhood will conserve the natural desert environment and provide a natural buffer to adjacent development. Perimeter open space will be placed in tracts with additional re-vegetated desert open space provided on individual lots. The requested change in zoning will make it easier for the built form to respond to the existing conditions and landforms within the Property.

**2. Review the design of all development proposals to foster quality design that enhances Scottsdale as a unique southwestern desert community. (The City Charter excludes review of detached single family residential)**

The proposed change in zoning will permit the development of the Property as twenty-one (21) single-family homes. The proposed neighborhood fosters quality design with homes that will be clustered around an open space corridor of undisturbed landscape. The neighborhood will be surrounded by common area tracts of natural Sonoran Desert character landscape protected with a NAOS designation. To develop the property in this manner the Developer is requesting a reduction in lot size and setbacks that can be granted as permitted in Scottsdale's PRD ordinance.

- *Continue the development review process. The Development Review Board currently reviews all proposed new and revitalized development, other than single-family residential, in terms of appropriate contextual character, quality of design, and site planning.*

While the DRB does not review single-family residential development, the requested change in zoning designation will allow the Property to develop in a form appropriate to the surrounding context (large single-family homes surrounded by open space). The change will not alter the quality of the design or negatively affect compatible site planning. The proposed development plan complements the contextual character surrounding the Property. The proposed site planning of this neighborhood parcel preserves a landscape corridor along Happy Valley Road and Alma School Road. Sound mitigating walls and landscape along Happy Valley Road will enhance the quality of life in within the neighborhood enclave, resulting in a neighborhood of quality design and in context with the character other nearby subdivisions. To develop

the property in the manner described herein, the Developer is requesting a reduction in lot size and setbacks contemplated in Scottsdale's ESL and PRD ordinances.

- *Recognize that Scottsdale's economic and environmental wellbeing depends a great deal upon the distinctive character and natural attractiveness of the community, which are based in part on good site planning and aesthetics in the design and development review process. These characteristics contribute substantially to the community's potential as a recreational resort area and regional trade center.*

While the proposed gated enclave will not be accessible to the general public, throughout the neighborhood desert open spaces will thread between homes that will be designed with desert appropriate architectural styles. This natural attractiveness will be complemented by the landscape corridors along Happy Valley Road and Alma School Road that will preserve Scottsdale's distinctive Sonoran Desert character. Together, the buffered roadway landscape corridor and low-profile nature of the homes will allow the desert open space to dominate the built environment.

- *Promote development that respects and enhances the unique climate, topography, vegetation and historical context of Scottsdale's Sonoran Desert environment, all of which are considered amenities that help sustain our community and its quality of life.*

The site drops approximately sixty (60) feet from the northeast toward the southwest. A small wash bisects the Property. The land is generally covered in a blanket of lower Bajada, Sonoran Desert landscape. The requested change in zoning will permit development of the site in a character compatible with the unique setting. Individual homesite grading, and low profile architecturally appropriate homes will ensure that development respects the context of the Sonoran Desert environment. Significant native

vegetation on site, in locations that will be disturbed, will be savaged and replanted to further embrace the value of the desert setting.

**4. Encourage “streetscapes” for major roadways that promote the city’s visual quality and character, and blend into the character of the surrounding area.**

- *Streetscape is a term used to describe the combination of individual design elements that give character to the street frontages of the city. Some examples of these elements are landscaping, street furniture, lighting, and sidewalk design. Streetscape design plays a major role in setting a standard of quality and innovation for other design issues.*

Per the GP the only major roadway that is adjacent to the Property is Happy Valley Road (see *Figure 14 – GP Mobility Systems Map*). This is an existing roadway and additional improvements including a traffic circle are currently being contemplated by the City.

The proposed development of the Property will not alter the existing character of Happy Valley Road and in fact, will enhance the corridor with additional landscape material. Along Happy Valley Road the development proposes a natural landscape in the form of a buffered roadway landscape corridor. A public trail will be located along Happy Valley Road as part of the City’s proposed improvements providing a link for future connections to the adjacent properties to the east and west. This open space buffer together with low profile development beyond will preserve the Sonoran Desert character along the roadway. No enhancements to lighting will be provided along Happy Valley Road or Alma School Road except as required at the entrance into the neighborhood enclave. Existing low-lighting levels and dark sky lighting standards will be preserved.



- *Apply the Scenic Corridor designation in circumstances where a substantial landscape buffer is desired to maintain views, the desert character is a vital part of the neighborhood setting, and buffering of roadway impacts is important. This allows for a larger landscaped area that can minimize the impact of highly traveled roads adjacent to neighborhoods.*

The GP Open Space Map (see *Figure 13 – GP Open Space Map*) illustrates Scenic Corridors and Buffered Roadways. A Buffered Roadway is illustrated along Happy Valley Road. The proposed neighborhood will provide a natural desert character landscape corridor, or buffered roadway, along Happy Valley to allow for a larger landscape area to maintain the desert character. The proposed fifty (50) foot roadway buffer is in addition to the ten (10) feet of right-of-way requested to accommodate the Happy Valley Road widening and traffic circle improvements proposed by the City. The roadway buffer will provide meaningful open space to existing and future neighborhoods enhancing their experience of the Sonoran Desert.

- *Establish specific Scenic Corridor guidelines and policies for the design and maintenance of these visually significant roadways.*

The City has established Scenic Corridor Design Guidelines that, as stated in the document, “are policies and should not be construed as ordinance.” The guidelines also specify six (6) designated Scenic Corridors. None of the designated Scenic Corridors are located along the Property. However, Happy Valley Road is illustrated as a Buffered Roadway.

A goal of the design guidelines is, “working to preserve, restore and maintain the natural beauty of the Sonoran Desert within the scenic desert landscape setbacks along the corridors of regional significance.” Happy Valley Road is of regional significance. As such, a fifty (50) foot landscape buffer is proposed to preserve and enhance the roadway experience while also protecting and enhancing the quality of life of future

residents in the neighborhood. The landscape buffer along the road widens to approximately 200 feet near the intersection of Happy Valley Road and Alma School Road. A similar corridor is provided along Alma School Road. The requested expanded right-of-way impacts the Property boundary, however there will be room between the future back of curb and perimeter wall along Lot 1 for native character landscape. This open space buffer together with low profile development beyond will preserve the Sonoran Desert character along the roadway.

To preserve and enhance the roadway experience, a landscape buffer will be located in a common area tract that will include a NAOS designation. Within the buffer the natural character landscape will be revegetated in areas that have been disturbed. The buffer and other common area tracts will be maintained by the homeowner's association. To protect and enhance the quality of life of future residents in the neighborhood a sound mitigation wall is proposed along the south boundary of the roadway buffer. The wall will shield noise from the roadway while also screening views into individual lots.

No enhancements to lighting will be provided along Happy Valley Road or Alma School Road except as required at the entrance into the neighborhood enclave. Existing low-lighting levels and dark sky lighting standards will be preserved.

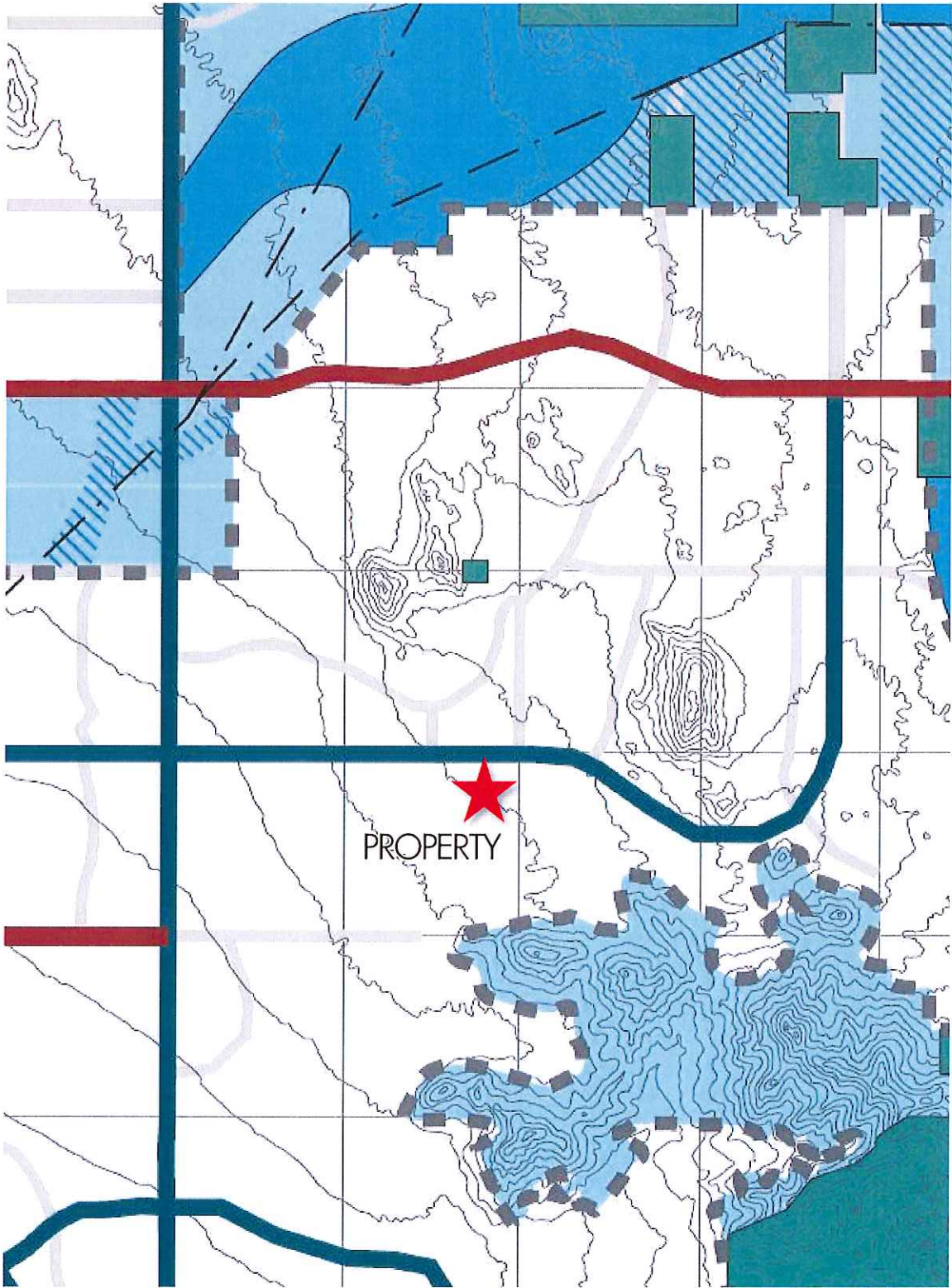


Figure 14 – GP Mobility Systems Map



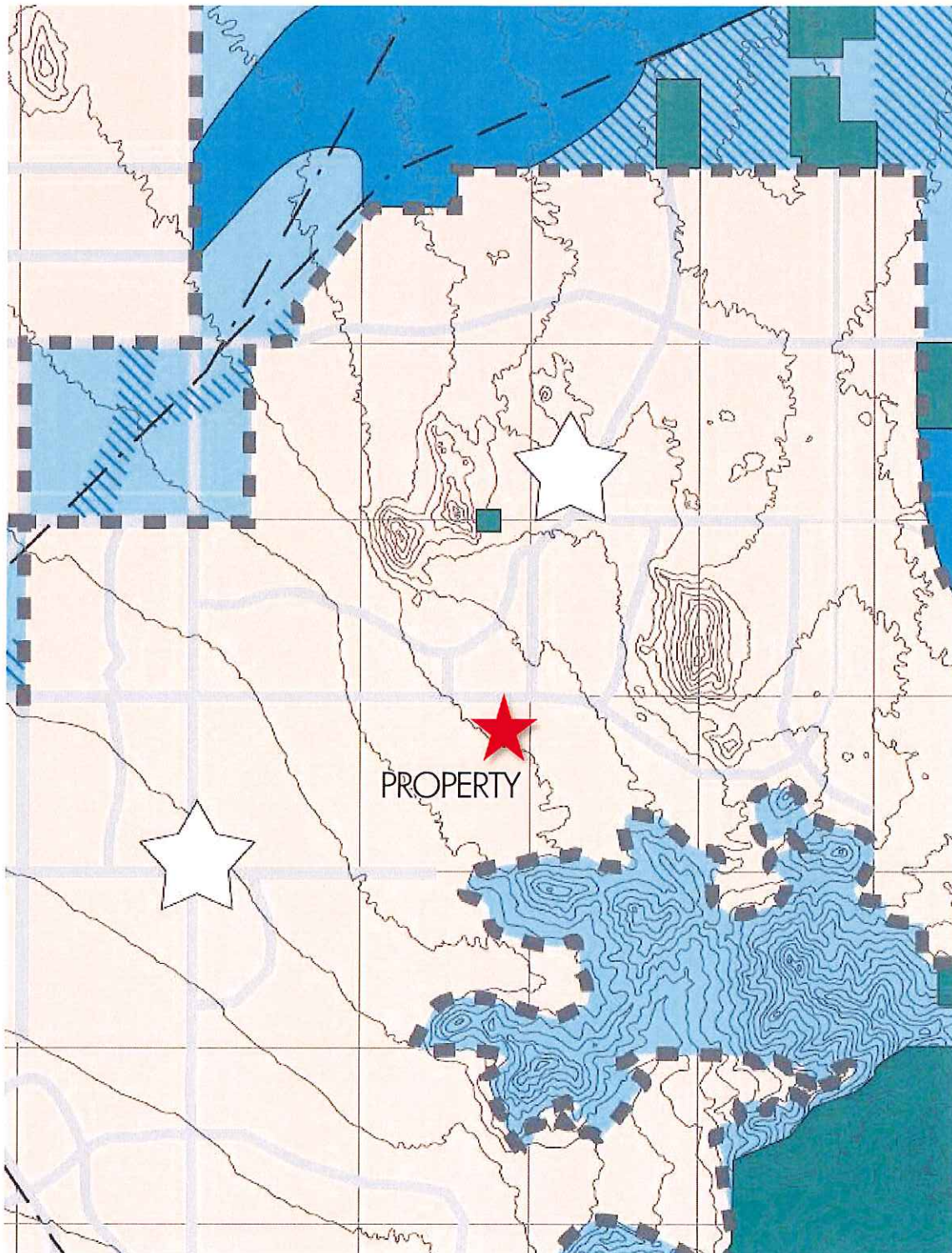
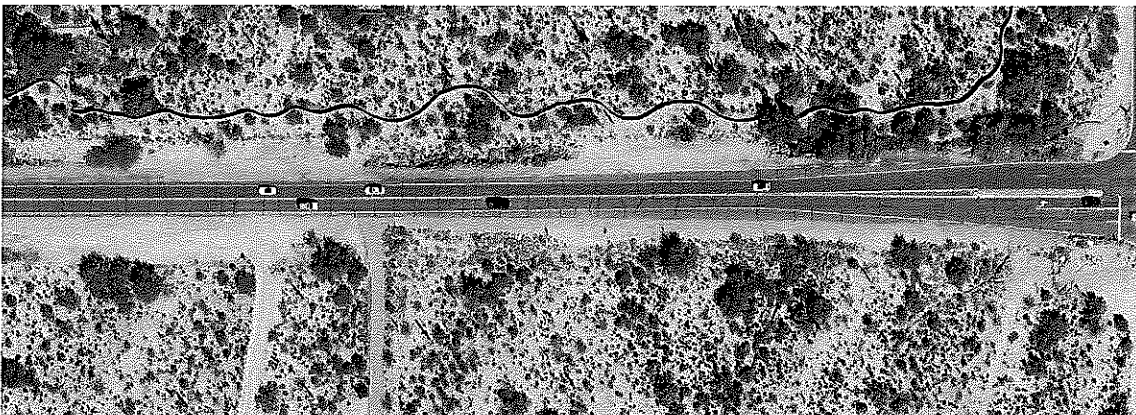


Figure 15 – GP Streetscape Map



- *Ensure compatibility with the natural desert in Natural streetscape areas. Plant selection should be those that are native to the desert and densities of planting areas should be similar to natural conditions.*

Per the GP Streetscape Map, the Property is located in the Natural Streetscape designation (see *Figure 15 – GP Streetscape Map*). Along Happy Valley Road, Alma School Road and throughout the enclave, the streetscape landscape will reflect the natural Sonoran Desert setting. The City's roadway improvements will remain in place, the landscape beyond (within the fifty (50) foot landscape buffer) will either remain in a natural state or be shaped and re-vegetated to a natural Sonoran Desert character landscape. Within the neighborhood enclave, Sonoran Desert character landscape will surround the homesites and line the roadways. Throughout, the landscape will be planted with natural densities and with enhanced densities at the entrance and at focal locations. Many materials will be salvaged from the Property prior to infrastructure improvements and the development of individual homesites. Where proposed, site walls will blend with the landscape to create aesthetic accents in the streetscape.



*Landscape buffer north of the Property along Happy Valley Road*

- *Apply the Scenic Corridor designation in circumstances where a substantial landscape buffer is desired to maintain views, the desert character is a vital part of the neighborhood setting, and buffering of roadway impacts is important. This allows for a larger landscaped area that can minimize the impact of highly traveled roads adjacent to neighborhoods.*

Along Happy Valley Road a fifty (50) foot deep buffered roadway landscape corridor will be provided. Additional open space area will be provided near the traffic circle extending the overall open space to approximately 220' deep. While this includes approximately four (4) percent of the Property (see *Figure 3 - Constraints*), it is perceived as a valuable addition to the greater citywide perception of the desert character. A similar landscape corridor will be provided along Alma School Road. The streetscape landscape will reflect the natural Sonoran Desert setting either remaining in a natural state or shaped, and re-vegetated to a natural Sonoran Desert landscape where disturbed. While this landscape setting helps to minimize the impact of the adjacent roadway, the traffic and noise impacts will need additional mitigation. To accomplish this, sound mitigating walls will be located along the southern boundary of the buffered roadway landscape corridor. These mitigation elements help preserve a quality of life and create a setting receptive for a high-quality neighborhood comparable to the surrounding neighborhoods.

- *Other visually significant roadways include roadways with buffered setbacks, Desert Scenic Roadways (in ESLO districts), and roadways with specific streetscape design themes. Each of these designated roadways have individual design guideline policies.*

Per the GP, Buffered Roadways are usually minor arterials or major collectors and the Desert Scenic Roadways designation applies to the mile and half mile streets in the ESL district which are not scenic corridors. Happy Valley Road is a "mile" street with a Buffered Roadway designation. The proposed plan provides for buffer roadway

landscape corridor along Happy Valley Road and a similar landscape corridor along Alma School Road.

- *Keep street lighting to a minimum in low-density areas, rural areas, and areas near the McDowell Sonoran Preserve, and shield the light fixtures to maintain a dark sky.*

The Property is in a low-density, rural character area. The lighting of the enclave will be minimized, with street lighting only as required at major intersections. The entrance to the enclave may also be enhanced with landscape lighting, neighborhood signage and wall lighting. Within the neighborhood, exterior lighting on individual homes will be minimized and in compliance with the ESL standards.

**6. Recognize the value and visual significance that landscaping has upon the character of the community and maintain standards that result in substantial, mature landscaping that reinforces the character of the city.**

The existing landscape character of the Property is lower Bajada, Sonoran Desert. This natural landscape blankets the site except where it had been removed for the construction of the roadway improvements along Happy Valley Road and Alma School Road. Landscape plans will be submitted with this development proposal that retain the existing valuable desert landscape in many locations and reshape the land and re-vegetate it with patterns, densities and plant species that complement the natural existing landscape. The natural Sonoran Desert landscape character threaded through the neighborhood will maintain the character established in the greater surrounding area.

The use of native desert plants will promote water conservation. Some areas will be shaped and re-vegetated to handle storm water, allowing for the development of the

site while protecting the site from erosion. Throughout the Property, in any areas that will not remain in their undisturbed natural state, the landscape vegetation will be surveyed, tagged, and if possible boxed and salvaged for use on the Property. This mature plant material will be used to re-vegetate areas that have been graded or disturbed to enhance the landscape at entrances and where additional privacy is desired and can be created by greater planting density.

The orchestrated grading, salvage and reuse of mature plant material, and proposed neighborhood design recognizes the value and visual significance that landscaping has upon the character of the community, reinforcing the character of the city.



## **LAND USE ELEMENT**

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### ***3. Encourage the transition of land uses from more intense regional and citywide activity areas to less intense activity areas within local neighborhoods.***

The Property is surrounded single-family detached residential uses. While this proposed residential enclave is adjacent to higher volumes of traffic along Happy Valley Road, it has been designed to be compatible with the less intense surrounding uses.

A mile north of the site, a center of neighborhood activity exists at the intersection of Alma School Road and Dynamite Road. The Property is outside of the typical walking distance to the shopping center, but it is conveniently located and easily accessible by automobile and bicycle.

- ***Ensure that neighborhood edges transition to one another by considering appropriate land uses, development patterns, character elements and access to various mobility networks.***

The major character element of this region of the City, the natural Sonoran Desert, is used to transition between neighborhoods of compatible density and form. The proposed site plan embraces the surrounding landscape and architectural character while integrating with the landforms within the Property. Land at the perimeter of the neighborhood will preserve a natural desert character and provide a buffer to the adjacent residents. A landscape buffer will be provided along the south side of Happy Valley Road complementing that on the north side. Within this buffer will be a meandering public trail that will accompany an eight (8) foot wide public path included with the City's proposed roadway widening and traffic circle improvements.

Similarly, along Alma School Road a combination public path and trail will be provided. These segments, from the proposed neighborhood entry to Happy Valley Road, will link the pedestrian mobility with adjacent properties. These links will eventually allow the new residents the enjoyment of Scottsdale's superior and desirable Sonoran Desert lifestyle by connecting their home to the McDowell Sonoran Preserve and the local neighborhood social/retail centers via the regional path and trail system. The open space feel will continue within the neighborhood as threads of desert landscape will weave between homes and through a central corridor. Along the south boundary a half-street right-of-way will be dedicated. The right-of-way angles northeast at Alma School Road to avoid the wash and related drainage facilities at this location.

The change in zoning will permit homes to be designed at a residential density compatible to the existing surrounding neighborhoods (less than 1 du/ac). There will be no vehicular connections between the proposed and existing neighborhoods except via the greater street system.

- *Guide growth to locations contiguous to existing development to provide city services in a cost effective and efficient manner.*

The Property is surrounded by existing development and City services are already provided to the area.

- *Encourage transitions between different land uses and intensities through the use of gradual land use changes, particularly where natural or manmade buffers are not available.*

The Property to be developed at a density compatible with the surrounding neighborhoods and the GP Conceptual Land Use Map designation of Rural Neighborhoods (less than 1 du/ac). The requested change to zoning will allow development to occur at a density appropriate to the existing site. These proposed

homesites will be surrounded by desert open spaces that will provide a buffer to adjacent neighborhoods.

***5. Develop land use patterns that are compatible with and support a variety of mobility opportunities/choices and service provisions.***

The Property is outside the general walking distance (1/4 mile) from a major neighborhood centers in the area and is in an area of the City generally served by automobile. The proposed change in zoning would permit the Property to develop in at a density consistent with the GP and therefore protect sensitive lands.

- ***Integrate the pattern of land uses and mobility systems in ways that allow for shorter and fewer automobile trips and greater choices for mobility.***

The proposed change in zoning would permit the Property to develop in a pattern consistent with the GP. The Property is located a mile south of a neighborhood commercial center. As such, within close proximity of the site (short automobile trip), much of the daily needs of life can be met. No regular bus or transit service is anticipated in this part of the City as this is a rural area. The requested change in zoning would not change demand for such services.

- ***Encourage non-motorized (pedestrian and bicycle) access/circulation within and to mixed-use centers to reduce reliance on the automobile.***

While the site is beyond the general walking distance (1/4 mile) to a neighborhood commercial center in the area, at one (1) mile, it is within easy cycling distance. A path will be located along both Happy Valley Road and a trail along Alma School

Road will provide segments for future connections to the adjacent properties and regional path and trail network.

- *Provide a balance of live, work, and play land uses and development intensities that enable convenient non-automotive trips (pedestrian and cycling and transit) where environmentally and physically feasible.*

While regular bus or transit service is not anticipated in this rural part of the City, connections from the proposed neighborhood enclave to the neighborhood commercial centers north of the Property are made via Alma School Road. Within the proposed rural character gated enclave pedestrians and cyclists will use the roadway system; at the edges, the neighborhood will be linked to the future regional trail system along Happy Valley and Alma School Road.

- *Ensure Scottsdale's transportation choices respond to the land use patterns and local neighborhood lifestyles.*

As regular bus or transit service is not anticipated in this rural part of the City, the proposed change to zoning, cluster development plan and Rural Neighborhoods Land Use designation is appropriate to the transportation services planned for the area.

- *Provide an interconnected open space system that is accessible to the public, including pedestrian and equestrian links, recreation areas, and drainage ways.*

The proposed development of the Property will include an interconnected open space system. Open space along Happy Valley Road and Alma School Road will benefit the public and will preserve the Sonoran Desert character along the roadways. A trail within an open space tract along the entry drive will connect to a path and trail along Alma School Road. Open space tracts along the southern and western boundary provide a buffer between properties. The perimeter open space buffers connect with



the central open space corridor that bisects the Property preserving a wash corridor. These open spaces are intended to preserve and enhance the landscape character of the region while providing corridors for wildlife.

- ***Encourage that land uses with the highest intensity be located in areas conducive to alternative modes of transportation***

This project is supportive of Scottsdale's goal of locating the highest intensities in areas conducive to alternative modes of transportation. The Property is not located in such an area; regular bus or transit service is not anticipated in this rural part of the City. Therefore, the request to change the zoning, develop a cluster plan consistent with the purpose of ESL and the GP Conceptual Land Use Map designation of Rural Neighborhoods (less than 1 du/ac) by not adding density to areas that are not conducive to alternative modes of transportation supports the City's goal.

***7. Sensitively integrate land uses into the surrounding physical and natural environments, the neighborhood setting, and the neighborhood itself.***

The Property is covered by lower Bajada, Sonoran Desert landscape with a small wash corridor bisecting the Property. The Property is surrounded by single-family residential uses. In order to sensitively integrate into these existing conditions, the Developer is requesting a change in the zoning to permit an enclave of single-family homesites surrounded by native desert character open space and a central open space corridor that will preserve, restore and be replanted to native-like landscape character.

- *Protect sensitive natural features from incompatible development, and maintain the integrity of natural systems.*

A small wash bisects the Property. This wash has been altered upstream from the site, but will remaining largely intact through center of the Property in a common area open space tract. This wash, buffering landscape and landscape corridors along the perimeter roadways will be preserved with a NAOS dedication.

- *Incorporate appropriate land use transitions to help integrate into surrounding neighborhoods.*

Surrounded by single-family detached residential uses, the proposed change in zoning and cluster site plan concept are consistent with the GP Conceptual Land Use Map designation of Rural Neighborhoods (less than 1 du/ac). This rezone will permit development that would more appropriately integrate with the site conditions and the surrounding neighborhoods. While the adjacent lots to the west are larger, with on lot open spaces, the proposed neighborhood enclave includes common area open space that will be dedicated as NAOS for additional protection and therefor the individual lots will be smaller (26,250 sf +).

- *Focus intense land uses along major transportation networks (such as the Pima Freeway and major arterial streets) and in urban centers (such as Downtown and the Airpark). Less intense land uses should be located within more environmentally sensitive lands.*

The proposed change in zoning and cluster site plan concept is consistent with the GP Conceptual Land Use Map designation of Rural Neighborhoods (less than 1 du/ac) and lessens the density of development in areas of the City considers more environmentally sensitive. At the same time, by providing high-end housing, this development will support the more intense land uses located along the major transportation networks in the Scottsdale Airpark/Loop 101 Freeway area.

- *Sensitively integrate neighborhood services, schools, parks, and other civic amenities into the local physical and natural environments by establishing reasonable buffers and preserving the integrity of the natural terrain and open space networks.*

The Property, located one (1) mile south of a neighborhood center, will be developed to support the existing center. The high-quality homes in this neighborhood enclave will add to the commercial viability of the dining, entertainment, grocery and business uses. No additional civic amenities will be specifically provided on the Property for these twenty-one (21) homes.

- *Incorporate open space, mobility, and drainage networks while protecting the area's character and natural systems.*

The natural Sonoran Desert character in the area will be integrated into the development of the Property. A landscape buffer along Happy Valley Road and Alma School Road will preserve the Sonoran Desert character. A proposed NAOS tract through middle of the Property will further protect desert landscape character and maintain corridors for wildlife. Desert landscape will be installed in the front yards of the homes as well to enhance the desert streetscape character.

The neighborhood will be gated with access from Alma School Road (see *Figure 1 – Illustrated Site Plan*). Within the neighborhood, homes will be linked together by a rural roadway. Pedestrians and cyclist will use the neighborhood roadways and connect with the regional system along Happy Valley Road and Alma School Road to make their way to access the nearby trails.

**8. Encourage land uses that create a sense of community among those who work, live, and play within local neighborhoods.**

The proposed development will create a neighborhood with a total of twenty-one (21) homesites. The short cul-de-sac enclaves of homes will make it is easier to know your neighbors. Residents will likely socialize with neighbors from surrounding neighborhoods at the neighborhood center on Alma School Road and Dynamite Boulevard or the AJ's center at Pinnacle Peak and Pima; building community through events and interaction at these two existing neighborhood centers.

- *Develop and reinforce links (i.e. trails, paths, open space, transit, and streets) within and between residential, retail, employment, recreational and other public land uses.*

While transit is not anticipated in this rural area of the City, the proposed development will reinforce the connections between the Property and the nearby neighborhood retail centers as well as the employment core to the south at the Loop 101/Scottsdale Airpark area. Happy Valley Road will be the major link between the proposed enclave and these major centers.

- *Promote development patterns and standards that are consistent with the surrounding uses and reinforce an area's character*

The proposed change in zoning and site plan will permit the development of the site consistent with the GP and surrounding uses reinforcing the character of the area. This will be accomplished by clustering the homesites into private cul-de-sac enclaves surrounded by the Sonoran Desert landscape. Road grading will be minimized. The surrounding open space areas will provide natural character landscape buffers to neighboring lots and subdivisions reinforcing the desert character of the area.



## **ECONOMIC VITALITY ELEMENT**

***3. Encourage and support a diversity of businesses that contribute to Scottsdale's sales and property tax base so that needed infrastructure, physical amenities, services, and the expansion of such services are provided.***

The proposed change to zoning will permit the development of a high-quality, privately gated enclave of homes. The homes will be designed to attract high net worth families, executives and retirees who will likely support the entertainment, dining and grocery businesses of the existing neighborhood commercial centers. Also being ideally suited to executives, the proposed development is positioned to assist with relocating new businesses to the nearby Loop 101/Scottsdale Airpark employment center.

- ***Nurture and support established businesses as well as new businesses.***

The proposed development will create an enclave of homes designed to attract high net worth families, executives and retirees. These homeowners will very likely support the existing entertainment, dining and grocery businesses of the nearby neighborhood commercial centers - AJ's Center at Pinnacle Peak and DC Ranch's Market Street.

- ***Develop existing and attract new high value/low impact businesses.***

The proposed development is designed to be ideally suited to executives (among others) by providing privacy, and exclusivity in a stunning natural desert setting. By providing attractive places for executives to live, these enclaves assist in enticing business owners and c-suite executives to relocate their business to the nearby Loop 101/Scottsdale Airpark employment center.

## **NEIGHBORHOODS ELEMENT**

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### ***4. Preserve and enhance the unique sense of neighborhood found in diverse areas of Scottsdale through neighborhood conservation.***

The proposed change to zoning and site plan will allow the development of the Property in a manner consistent with the character of the surrounding neighborhoods. The privately gated enclave of homes will, through architecture, landscape and streetscape, be comparable to the surrounding neighborhoods, preserving the fabric of the character that has been created in the area. The cul-de-sac enclaves will connect directly to Alma School Road and will not have vehicular access through the existing neighborhoods. As such, the neighborhood will not be an unwelcomed addition to an established neighborhood, but rather a distinct additional neighborhood to the community fabric, preserving the existing sense of neighborhood.

- ***Guide revitalization, redevelopment, and infill (new development in established areas) development to ensure that such development efforts are context-appropriate to the surrounding neighborhoods.***

The requested change in zoning will allow the development of this infill site to be context appropriate to the sensitive landforms and surrounding existing neighborhoods. The proposed development will be at a density compatible with the GP and with surrounding neighborhoods. Desert character open spaces in common area tracts maintained by the HOA along the perimeter of the Property as well as a through the middle of the neighborhood ensure the proposed neighborhood will be developed in a manner appropriate with the greater context of the area.

- *Create, preserve and enhance pedestrian, vehicular, and alternative transportation mode connections and links between the neighborhoods and other neighborhood-supporting land uses throughout the community.*

The proposed development will not provide any additional vehicular links (other than to link the neighborhood to the greater system), but will protect the aesthetic character found along Happy Valley Road and Alma School Road with native character landscape preserved in common area tracts. A public path and trail along both Happy Valley Road and Alma School Road will provide for connections to the adjacent properties.

- *Improve and maintain the current landscape, sign, and design standards throughout the community*

The proposed development is designed to maintain the current landscape, sign and design standards. Along both Happy Valley Road and Alma School Road a landscape buffer will preserve the desert landscape that is a major component that defines the character in this area. At the entry, desert landscaping will be enhanced and include desert appropriate accent walls and lighting.

**5. Promote and encourage context-appropriate new development in established areas of the community.**

The proposed change to zoning and site plan will permit the development of a high-quality privately gated enclave of homes on this infill site. The single-family detached homes will be surrounded by desert open space that will be similar and appropriate in character to the existing surrounding neighborhoods. The proposed development will be at a density compatible with the surrounding neighborhoods and the perimeter landscape buffers will complement the established landscape character.

- *Encourage new development efforts toward existing developed areas in Scottsdale.*

The Property is currently surrounded by existing development, including Happy Valley Road along the north boundary of Alma School Road along the east boundary of the Property. Infrastructure to support the development of the Property is already in place. The development of this infill site fits with the City's goal to encourage new development in existing developed areas of the City.

- *Promote the use of existing infrastructure as an incentive to encourage more infill development within the community.*

Infrastructure to support the development of the Property, as proposed, is already in existence along the Happy Valley Road corridor. Development of the Property will utilize the existing infrastructure and require minor modifications to connect to the system. The proposed development of the Property will include the following modifications to utilize the existing infrastructure:

- *a sewer connection to Alma School Road*
- *a waterline connection to Happy Valley Road and Alma School Road*
- *a public path and trail along both Happy Valley Road and Alma School Road*

- *Promote existing developed areas of the community as opportune economic development infill sites.*

While the Property has little to no potential for commercial development, the proposed gated, high-quality housing enclave will support and encourage additional economic growth in the nearby 101 Loop/Scottsdale Airpark region.



- *Encourage green building and sensitive design techniques and alternatives in conjunction with infill development.*

Both the homes and the neighborhood will be partially designed and developed with "green", sustainable and site sensitive techniques. The proposed development of the Property will include designs to meet ESL standards.

## **OPEN SPACE AND RECREATION ELEMENT**

***1. Protect and improve the quality of Scottsdale's natural and urban environments as defined in the quality and quantity of its open spaces.***

The proposed development of the Property serves to advance Scottsdale's goal of protecting and improving the quality of its natural and urban environments. The design of the gated residential enclave preserves and enhances much of the natural landscape character of the site and salvages the desert vegetation in those areas that must be disturbed to develop the homesites and install infrastructure improvements. Salvaged material will be used to re-vegetate disturbed open space areas and enhance other landscape areas within the Property. Open space will be placed in common area tracts with NAOS dedication. A perimeter landscape buffer along Happy Valley Road and Alma School Road will further protect the natural landscape character established in this area of the City. Through these elements, the proposed development both protects the quantity of open space and enhances its quality.

- ***Provide ample opportunity for people to experience and enjoy the magnificent Sonoran Desert and mountains, balancing access with preservation.***

While the Property is not adjacent to the McDowell Sonoran Preserve, it will provide opportunity for residents and visitors to north Scottsdale to see the desert character. These views will be protected by a fifty (50) foot deep landscape buffer along Happy Valley Road and a similar buffer along Alma School Road. A trail along the entrance to the neighborhood will connect with a path and trail along Alma School Road that will then connect with the path and trail along Happy Valley Road adding segments to the overall City network.

Within the neighborhood, residents and their guests will have ample opportunity to enjoy the magnificent tranquil beauty of the Sonoran Desert. The neighborhood is designed to be porous and allow the desert landscape to weave around the homesites and through the middle of the neighborhood, encouraging water and wildlife to continue to cross the Property, and integrating the desert with daily life.

- *Provide a variety of opportunities for passive and active outdoor recreational activities, such as hiking, horseback riding, mountain biking, rock climbing and wildlife observation.*

The private neighborhood enclave is designed to be porous and allow the desert landscape to weave through and around the neighborhood, encouraging wildlife to continue to cross the Property. In this way residents and their guests will have opportunities for wildlife observation.

- *Provide access areas of sufficient size and with adequate facilities for public use and open space system access.*

While the Property is not at an appropriate location for a major public park or trailhead, the proposed development will provide a link in the City's buffered roadway corridor system. Along the length of Happy Valley Road a fifty (50) foot deep landscape corridor and a similar corridor along Alma School Road will preserve native character landscape in a common area tract with a NAOS dedication.

- *Develop a non-paved public trail system for hiking, mountain biking, and horseback riding and link these trails with other city and regional trails.*

While the Property is not at an appropriate location for a major public park or trailhead, the proposed development will provide path and trail segments along both Happy Valley and Alma School Road that will add to the City's regional network of public paths and trails.

- *Designate viewsheds and consider them when approving development.*

The proposed development will create a protected landscape corridor along Happy Valley Road and Alma School Road that will be preserved in a common area landscape tract. An open space corridor will bisect the Property opening viewsheds toward City lights and Pinnacle Peak.

- *Promote creative residential and commercial development techniques consistent with the Character Plan for an area, to further preserve meaningful and accessible open space.*

The proposed residential development is designed to cluster homesites around a central open space corridor that will preserve meaningful open space within the neighborhood while open space around the perimeter of the Property will be protected within common area tracts. This meaningful open space includes landscape buffers along Happy Valley Road and Alma School Road.

- *Relate the character of open spaces to the uses and character of different areas of the city.*

The Property is designated Rural Desert Character by the GP's Character Type Map (see *Figure 10 – GP Character Types Map*). This character is dominated by desert landscape and structures that complement it by being low masses in desert appropriate architectural styles. The proposed development includes cul-de-sac enclaves of low-profile homes in desert appropriate architectural styles. Sonoran Desert character landscape will provide a buffer to neighboring properties with open space tracts with NOAS easements.



- *Preserve and integrate visual and functional connections between major city open spaces into the design of development projects.*

The proposed development of the Property is designed to preserve and integrate a visual connection of open spaces in and around the Property. Open space corridors surround the perimeter of the Property and connect to the centrally located open space within the neighborhood. The length of the open space corridors provide a foreground that results in a visual link of the adjacent Sonoran Desert character landscape and the nearby mountains.

- *Evaluate open space design with these primary determinants: aesthetics, public safety, maintenance needs, water consumption, drainage considerations, and multi-use and desert preservation.*

Aesthetics: The open space in the proposed development of the Property will be natural desert character. In areas where the natural vegetation of the site will not remain in an undisturbed state, the vegetation will be salvaged for use in open space areas to re-vegetate them to a natural desert condition or to enhance other open space areas. The magnificent Sonoran Desert is inherently very aesthetically pleasing. This natural aesthetic will be complemented by meandering walls of materials that are visually compatible with the native landscape - rich in texture and muted in color.

Public Safety: The open space in the proposed development of the Property will primarily be passive spaces, and generally inaccessible by the public. They will have natural surveillance from adjacent residential properties. A landscape buffer adjacent to the perimeter roadways will be highly visible to the traffic.

Maintenance Needs: Maintenance of the proposed open space will be handled by the homeowners association. Areas where the desert landscape is re-vegetated will be watered by drip irrigation systems until the plants are re-established and no longer need supplemented irrigation. As all open space areas on the Property (except private enclosed yards) will be desert landscapes they will not require heavy or regular

maintenance. Areas where the desert landscape is preserved in its natural condition (undisturbed NAOS) the landscape will be maintained only as permitted in section 6.1100.B of the City of Scottsdale Zoning Ordinance.

Water Consumption: The open space in the proposed development of the Property (except private enclosed yards) will be landscaped with native Sonoran Desert plants which naturally have very low water consumption. Re-vegetated open space areas in private tracts and on individual lots will be watered via drip irrigation systems until the plants re-establish themselves and no longer need artificial irrigation.

Drainage Considerations: Regional drainage skirts the southeast corner of the Property. Additional right-of-way is provided to avoid impacting existing drainage improvements.

Multi-use: The open space in the proposed development of the Property will be passive open space for visual enjoyment, protection of wildlife and to enhance the walking, hiking, and biking experiences along the private roadways.

Desert Preservation: A large percentage of the open space in the proposed development of the Property will be undisturbed native desert open space. The remaining portion of the open space (outside of enclosed private yards) will be re-vegetated desert landscape.

- *Protect the visual quality of open space, unique city characteristics, and community landmarks.*

The visual quality of open space will be protected through the proposed fifty (50) foot deep landscape buffer along Happy Valley Road preserving vistas of the City's landmark McDowell Sonoran Preserve. The depth of the landscape buffer increase to over 200 feet near the proposed traffic circle at the intersection of Happy Valley Road and Alma School Road.

- *Preserve scenic views and vistas of mountains, natural features, and rural landmarks.*

The proposed development of the Property includes significant landscape corridors around the perimeter of the Property that will preserve the foreground of scenic views and vistas of the McDowell Sonoran Preserve and Pinnacle Peak from Happy Valley Road.

- *Protect and use existing native plants, the design themes of character areas within which they are sited, and response to local conditions in landscape designs.*

The design of the proposed gated enclave of homesites preserves much of the site's natural landscape and salvages the desert vegetation in those areas that must be disturbed to create the homes and infrastructure on the Property. This salvaged material will be used to re-vegetate disturbed open space areas and enhance other landscape areas. Open space will be placed in common area tracts and dedicated as NAOS to further protect the open spaces.

The Property is designated Rural Desert Character by the GP's Character Type Map (see *Figure 10 – GP Character Types Map*). This character is dominated by desert landscape; as such all open space (except private enclosed yards) will be natural desert character. The open spaces will be comprised of bands of buffering landscape at the

perimeter of the residential enclaves with desert landscape flowing between the clustered homesites. The use of natural plant materials and open space forms and character similar to the surrounding existing development are both responsive to local conditions.

- *Permanently secure an interconnected open space system to maintain visual and functional linkages between major city open spaces. This system should include significant Scottsdale landmarks, major drainage courses, regional linkages and utility corridors.*

The proposed development of the Property will secure and maintain visual linkages between the open space of the landscape buffer along Happy Valley Road and the McDowell Sonoran Preserve as well as Alma School Road and Pinnacle Peak.

- *Apply a Scenic Corridor designation along major streets to provide for open space and opportunities for trails and paths. This designation should be applied using the following guidelines:*
  - *There is a need for a landscaped buffer between streets and adjacent land uses.*
  - *An enhanced streetscape appearance is desired.*
  - *Views to mountains and natural or man-made features will be enhanced.*

The proposed development of the Property will include a buffered roadway landscape corridor to preserve the Sonoran Desert landscape character. The buffered roadway landscape corridor will be fifty (50) feet deep along Happy Valley Road and extend to approximately 220 feet deep at the intersection of Alma School Road accounting for approximately six (6) percent of the site. A common area tract further south along Alma School Road will provide a similar landscape buffer.

Buffer: A landscape corridor will provide a visual buffer between the heavy volume of traffic on Happy Valley Road and the high-end housing proposed within the neighborhood enclave. This buffer will be enhanced by a sound mitigation wall to shield traffic noise and enhance the quality of life of future residents living in homes near the roadway.

Appearance: The proposed landscape corridor along Happy Valley Road will preserve the existing appearance and character of the area. A similar corridor along Alma School Road will be preserved in a common area tract.

Views to Mountains: The landscape buffer along Happy Valley Road and Alma School Road will preserve the character of views toward the McDowell Sonoran Preserve and Pinnacle Peak. The open space corridor bisecting the neighborhood and low profile style of architecture will open extended viewsheds within the community.

- *Consider Buffered Roadways to provide the streetscape with a unique image that should also reduce the impacts of a major street on adjacent parcels. This type of designation is primarily an aesthetic buffer.*

Per the GP, Buffered Roadways are usually minor arterials or major collectors. The Property is bound by both Happy Valley Road and Alma School Road. The proposed plan includes a buffered roadway in the form of a fifty (50) foot deep corridor along Happy Valley Road that widens to approximately 220 feet at the intersection of Alma School Road.

- *Apply a Desert Scenic Roadway designation along the one mile and a half mile streets within the Environmentally Sensitive Lands Ordinance (ESLO) district that are not classified as scenic Corridors or Buffered Roadways to maintain and enhance open space along roadways in ESL areas*



The Property is bound by both Happy Valley Road and Alma School Road. The proposed plan includes a fifty (50) foot deep landscape buffer to maintain and enhance open space along Happy Valley Road. A similar landscape buffer is preserved in common area tract along Alma School Road.

- *Promote project designs that are responsive to the natural environment, people's needs, site conditions, and indigenous architectural approaches to provide unique character for the city.*

Natural Environment: The proposed project designs are responsive to the natural environment. Historic stormwater flows have been altered upstream by existing development, however the proposed neighborhood is designed to preserve a minor wash within the Property. Grading and retaining walls are design to minimize disturbance and preserve much of the desert landscape in undisturbed areas. In areas that must be disturbed, the desert vegetation will be savaged and used to re-vegetate disturbed open space areas and enhance other landscape areas.

People's Needs: While the Property is not at an appropriate location for a major public park or trailhead, the proposed project designs will be providing a segment in the City's regional buffered roadway system. Along the length of Happy Valley Road the development proposes a fifty (50) foot deep corridor that widens to approximately 220 feet near the intersection Happy Valley Road and Alma School Road.

The private neighborhood enclave is designed to allow the desert landscape to weave through encouraging wildlife to continue to cross the Property. In this way residents and their guest will have opportunities for wildlife observation.

The proposed project will include private outdoor spaces in the form of walled (enclosed, private) yards. These spaces are extensions of the main living space of the home. Where practical, homesites are oriented to capture distant city views. Enclosed private yards may contain non-native landscapes including turf for recreation and social enjoyment, pools and spas.

Site Conditions: The proposed project is adjacent to Happy Valley Road. This is part of the citywide systems per the GP's Mobility Systems Map (see **Figure 14 – GP Mobility Systems Map**) and carries a large volume of traffic. The proposed project includes a fifty (50) deep buffered roadway landscape corridor. A sound mitigation wall along the southern boundary of the corridor is proposed to shield traffic noise and protect the quality of life of future residents so they can enjoy tranquil desert living. The Property is surrounded by single-family residential uses. The proposed neighborhood integrates with the open landscape character established by the surrounding neighborhoods. While they will not be physically connected via mobility links, they are compatible in their development forms. Open space buffers around the perimeter of the Property will aid in the transition between the proposed project and existing homes.

Indigenous Architectural Approaches: The architecture of the proposed project is intended to be appropriate to the desert southwest. Materials will be visually rich while colors are typically muted with bold small accents. Shade will be valued and wall masses will appear thick. Architecture will take its cues from the historic Spanish dry-climate Mediterranean, and historic ranch styles and include contemporary abstractions with climate responsive elements.

- *Continue to work with developers in designing land use plans that respect the topography, view corridors, wildlife corridors, and open space that exists. Where possible, enhance existing viewsheds as areas are developed and redeveloped.*

The land plan is designed to respect topography, view corridors, wildlife corridor and existing open spaces. Open space tracts and landscape corridors are proposed around the perimeter of the neighborhood enclave. The tracts will incorporate native and enhance native plant material that is characteristically found in the open spaces in the region. Within the neighborhood an open space corridor will bisect the Property enhancing viewsheds and preserving a corridor for wildlife.

**2. Manage a comprehensive open space program that is responsive to public need, delivers high quality customer service, and exemplifies the city's commitment to leadership in environmental affairs.**

A key element of the proposed plan is the desert open space around the Property creating a buffer between the existing neighborhoods and the proposed enclave. The proposed open space will be desert landscapes. As desert open space, maintenance costs and techniques are minimized and simplified as recommended by the GP.

Usable, generally passive, public open space is proposed in the form of a fifty (50) foot deep buffered roadway landscape corridor along Happy Valley Road. This public amenity will add another link to the City's regional scenic corridor system.

- *Promote three distinctive types of open spaces through acquisition, dedication, or "set aside":*
  - *Passive natural open spaces that will preserve wildlife habitat and view corridors and sensitive historical/archeological sites, and provide areas for low impact recreational activities, such as hiking, bicycling, mountain and rock climbing, and horseback riding.*
  - *A system of contiguous open spaces, accessible from Scottsdale neighborhoods, that connect the desert, mountains, washes, and canal system.*
  - *Park space and facilities for active recreational activities, such as softball, tennis, basketball, volleyball, swimming, and equestrian pursuits.*

Passive Natural Open Spaces: Almost all open space in the proposed development of the Property will be passive natural desert open spaces. Only private enclosed yards associated with each homesite will be permitted to be active, non-native landscapes.

Contiguous Open Spaces: The proposed development will have desert open space weaving through the neighborhood. These belts of desert landscaping, including the landscape corridors along Happy Valley Road and Alma School Road, will connect to the greater City buffered roadway corridor system.

Park Space and Facilities: While the Property is not at an appropriate location for a major public park or trailhead, the proposed development will provide a fifty (50) foot deep buffered roadway landscape corridor along Happy Valley Road and a similar landscape corridor along Alma School Road adding a link in the City's scenic corridor system.

## **PRESERVATION AND ENVIRONMENTAL PLANNING ELEMENT**

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### ***3. Achieve a sustainable balance between the conservation, use and development of Scottsdale's natural resources.***

The proposed development of the Property works to achieve a sustainable balance in the use and conservation of Scottsdale's natural resources through low water use, low maintenance landscape. The proposed plan includes large areas of desert character open space. These passive open spaces are naturally low water use landscapes requiring only simple maintenance techniques and no application of chemical fertilizer. The proposed plan will preserve the wash corridor through the middle of the Property.

### ***9. Protect and conserve native plants as a significant natural and visual resource.***

The proposed project plans preserve much of the natural landscape on the site in undisturbed areas and salvages the desert vegetation in those areas that must be disturbed to create the homesites and install infrastructure on the site. This salvaged material will be used to re-vegetate disturbed open space areas and enhance other landscape areas. Open spaces will be placed in common area tracts and dedicated as NAOS to further protect and conserve the native plants and visual resources.



## **COMMUNITY MOBILITY ELEMENT**

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### ***7. Maintain Scottsdale's high aesthetic values and environmental standards in the city's transportation system.***

A landscape buffer along both Happy Valley Road and Alma School Road will be provided as part of the development of the Property. The buffers will include undisturbed native areas as well as reshaped and re-vegetated desert areas.

### ***9. Protect neighborhoods from negative impacts of regional and citywide networks.***

- *Provide neighborhood systems that safely move people, connect neighborhoods to citywide and regional networks, while discouraging citywide and regional cut-through automobile traffic.*

The proposed development is designed as a private gated neighborhood with cul-de-sac enclaves of homesites. The enclaves connect to the gated entrance drive; the only point of contact with the citywide transportation system on Alma School Road. This design discourages cut-through automobile traffic while providing safe connections to the regional roadway network.

- *Protect the livability of local neighborhoods from citywide and regional network influences by developing measures to reduce noise levels, and discourage high volume traffic and speeds within local neighborhoods. These measures may include different "traffic calming" designs and features.*

To protect the livability of the proposed residential enclaves from the noise and high-volume traffic on Happy Valley Road, the proposed project includes mitigation elements. A fifty (50) foot deep landscape buffer is proposed along the entire length of Happy Valley Road. A sound mitigating wall is proposed along the southern boundary of the buffer to protect and enhance the quality of life of future residents.

- *Preserve reasonable emergency access through neighborhoods, balancing the potential for neighborhood street restriction (traffic calming, street narrowing, speed humps, etc.) with emergency accessibility.*

The proposed development of the Property is designed as a privately gated enclave of twenty-one (21) homes. The clusters of homesites around cul-de-sacs include a singular point of connection to the citywide system with reasonable emergency access. The short roadway segments and cul-de-sac enclaves naturally slow traffic without the need for street restrictions to calm traffic.

- *Minimize traffic speeds, volumes and through-traffic by appropriate street planning and design.*

Happy Valley Road and Alma School Road are already planned, designed and installed. The City is developing plans to widen Happy Valley Road and install a traffic circle at the intersection of Happy Valley Road and Alma School Road. Within the proposed neighborhood, streets to access individual homesites are designed with a rural character incorporating short winding segments and cul-de-sacs to minimize traffic speeds. A neighborhood limited to twenty-one (21) homesites ensures that traffic volume on the neighborhood streets will be minimized. Finally, through-traffic is not only minimized, but eliminated by the use of vehicular gates at the entrance to the neighborhood.

- *Provide open space and buffering in design to protect neighborhoods*

The proposed plan provides open space and buffering to protect and preserve the character of the established surrounding subdivisions and properties. A fifty (50) foot deep landscape buffer is proposed along Happy Valley Road. Walls along the southern boundary of the buffer will mitigate traffic noise on Happy Valley Road from future homes and private yards near the roadway. A similar landscape buffer will be provided along Alma School Road to protect the character of this and the surrounding neighborhoods.

***10. Encourage a diversity of links between neighborhood systems and with citywide and regional systems.***

In addition to the vehicular link to the citywide transportation system, the proposed development includes a segment in the City's scenic corridor system along Happy Valley Road.

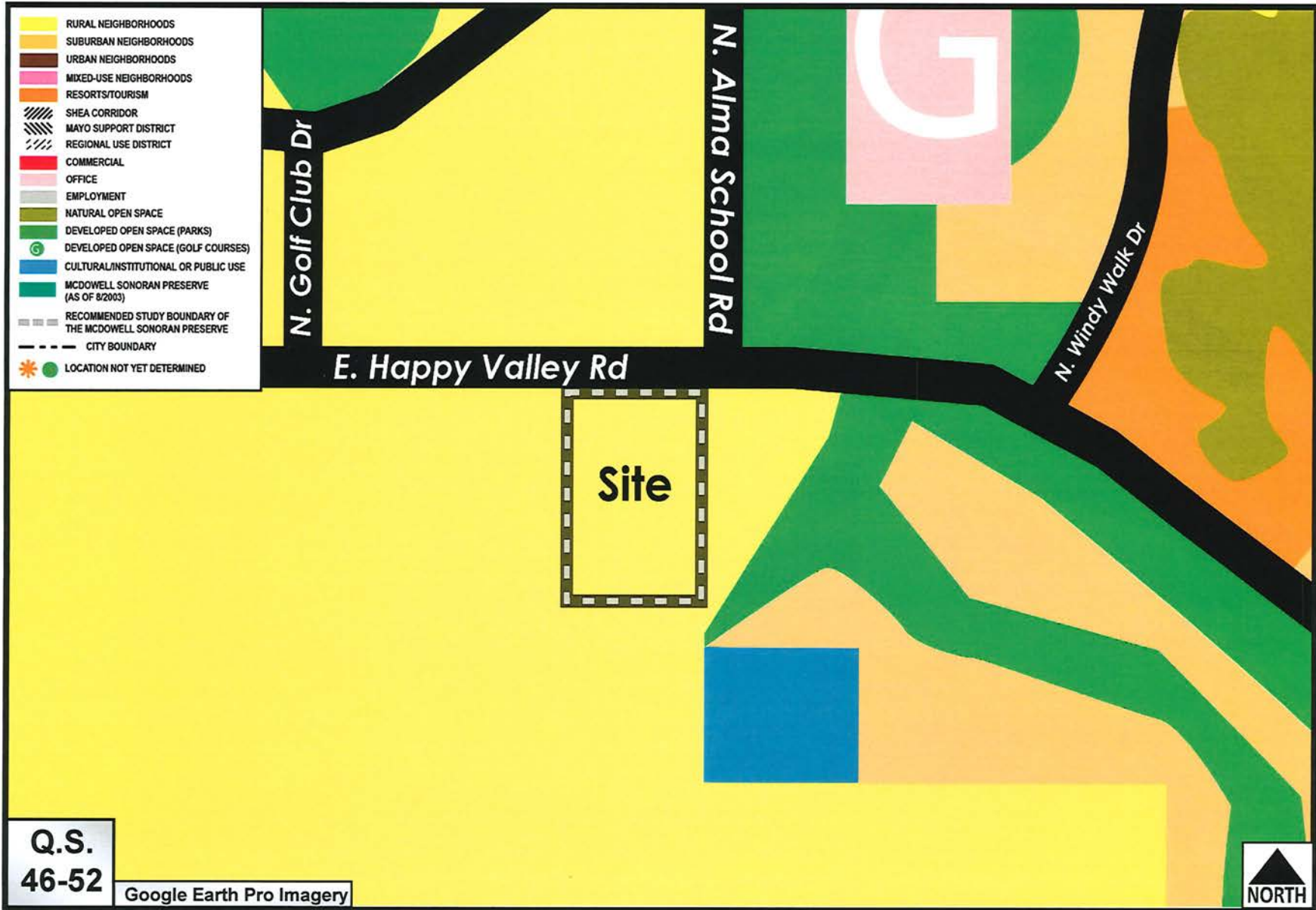
## **CONCLUSION**

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A change in zoning from R1-190 to R1-43-PRD ESL with amended development standards will allow the development of the Property in a manner harmonious with the adjacent neighborhoods and that enhances the Sonoran Desert landscape character preserved in this area of the City.

This clustered development request aligns with the intent of the ESL district and supports the General Plan Goals and Approaches as specifically outlined above. We respectfully request approval of the requested change to the zoning designation to permit development of the Property consistent with the proposed concept.

The proposed development plan is consistent with the Rural Neighborhoods designation and allowed density. The proposed change in zoning designation will permit the development of the Property in a manner that is complementary with the surrounding neighborhoods. It is ideal for infill residential development with proximity to existing infrastructure, community oriented retail and the Loop 101 employment core executives seek. It is a development plan for a site with environmentally sensitive land that will be protected with easements and tracts.



Q.S.  
46-52

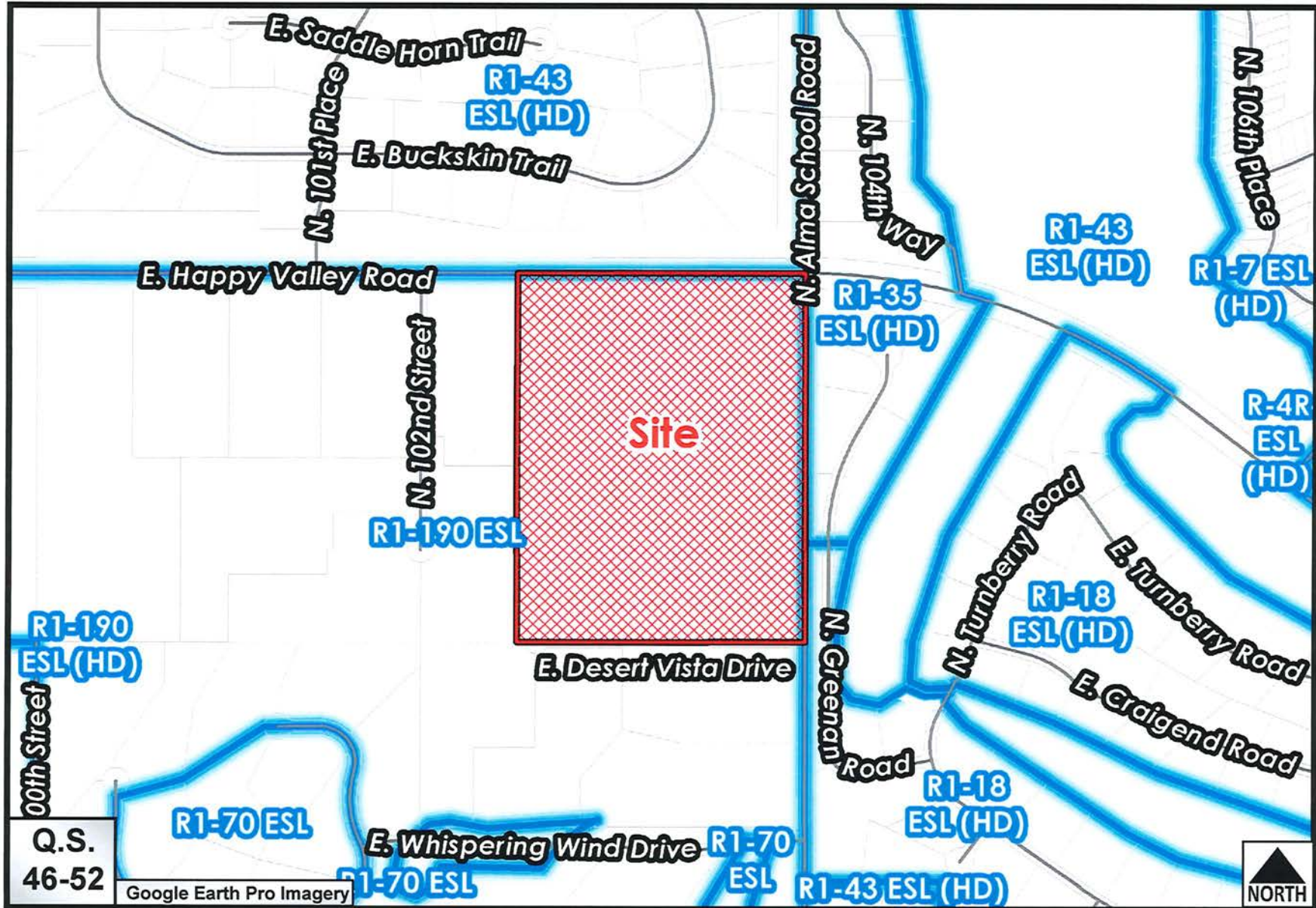
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General Plan(Land Use)

13-ZN-2019

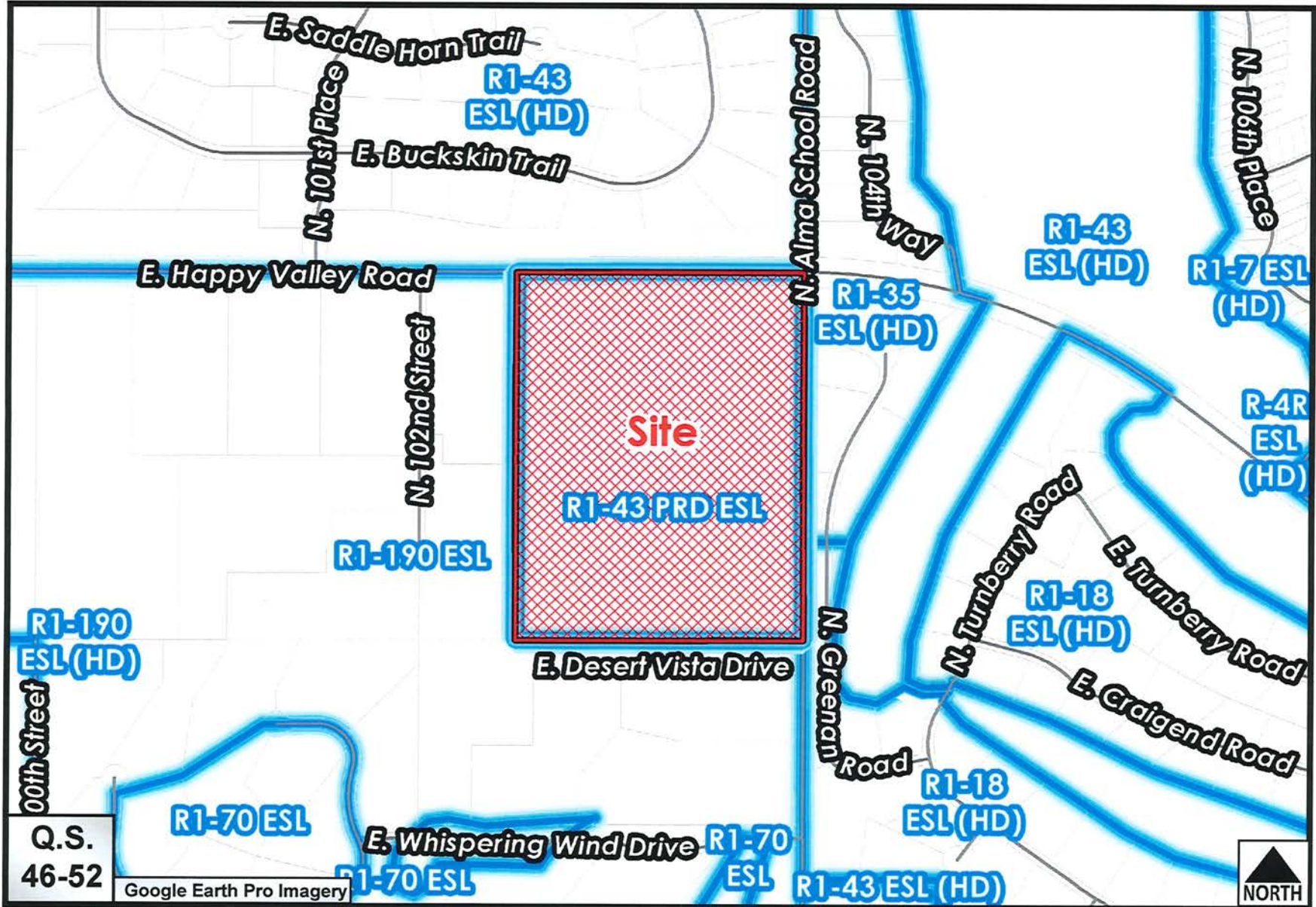




Existing Zoning

13-ZN-2019





Proposed Zoning

13-ZN-2019

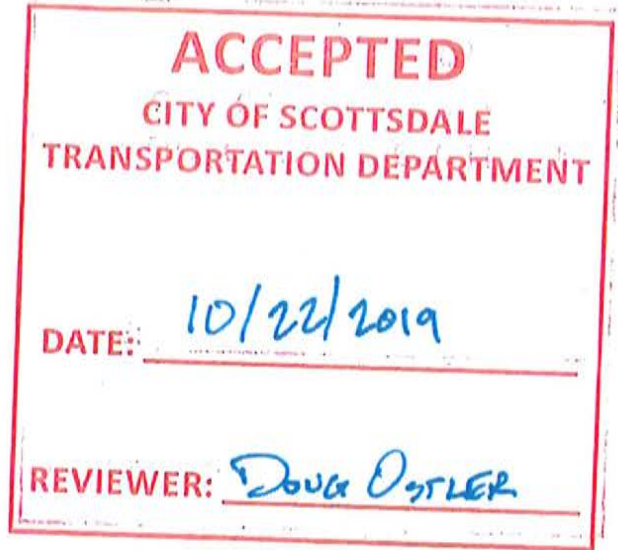
Q.S.  
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Google Earth Pro Imagery



October 8, 2019

Mr. Thomas Kirk  
Camelot Homes, Inc.  
6607 N. Scottsdale Rd., Suite H-100  
Scottsdale, Az 85250



Re: Traffic Impact Statement Single Family Residential Community – SWC Alma School Road and Happy Valley Road, Scottsdale, Arizona

Dear Mr. Kirk:

This letter outlines our findings regarding the trip generation of the 28.6-acre± site located on the southwest corner of the intersection of Alma School Road and Happy Valley Road in Scottsdale, Arizona. The development plan for the site consists of 21 single-family detached houses. Access to the site is proposed to be provided by a single full access driveway located approximately 560 feet south of Happy Valley Road on the west side of Alma School Road. A copy of the proposed site plan is attached.

The City of Scottsdale has a Capital Improvement Plan (CIP) in place that is anticipated to improve Happy Valley Road and the portion of Alma School Road that is north of the proposed site driveway. Roadway improvements to Happy Valley Road are anticipated to include a raised median. This development is anticipated to provide curb and gutter improvements based on the City of Scottsdale standard collector street cross section from the CIP project limits, just north of the proposed driveway, to the south parcel boundary along the project frontage.

The existing zoning is R1-190. Under the existing zoning, it is anticipated that the site could consist of six dwelling units per the City of Scottsdale Code of Ordinances Table 6.1081.A.

The trip generation rates published by the *Institute of Transportation Engineers' (ITE) Trip Generation Manual, 10th Edition* were used for the trip generation characteristics of the development. The trip generation characteristics of the proposed site are summarized in **Table 1**.

**Table 1 – Proposed Site Trip Generation**

Land Use	ITE Code	Qty	Units	Daily Total	AM Peak			PM Peak		
					In	Out	Total	In	Out	Total
Single-Family Detached Housing	210	21	DU	200	4	12	16	13	8	21

Under the proposed development plan, the site would be expected to generate 200 daily trips, of which 16 trips would occur in the AM peak hour and 21 trips would occur in the PM peak hour.

The proposed development is not expected to significantly impact traffic conditions and planned improvements to Happy Valley Road are expected to have capacity to accommodate the future traffic.

**ATTACHMENT 8**



If you have any further questions, please feel free to contact me at (602) 944-5500.

Very truly yours,

KIMLEY-HORN AND ASSOCIATES, INC.



Charles R. Wright, P.E.



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# Happy Valley 18 SWC Happy Valley Rd. & Alma School Rd. Citizen and Neighborhood Involvement Plan and Report 13-ZN-2019 / 134-PA-2019

## Plan

Our preliminary plan is to do neighborhood outreach in order to get initial feedback on our proposed plan. To achieve this, we have hired Technical Solutions to meet with neighbors and help gauge their thoughts on our project.

Following the research conducted by Technical Solutions, we will hold a neighborhood meeting for all property owners within 750' of the subject site and anyone on the City of Scottsdale's Interested Parties List. We plan to notify neighbors and others for the meeting by a mail invitation via first class mail. The meeting will be held at an existing Camelot community which reflects both the product and lot size proposed for this project. This will allow those attending to see first-hand the quality and scope of our homes.

## Report

Preliminary neighborhood outreach was conducted in late May and early June by representatives from Technical Solutions. The Technical Solutions team reached out to existing property owners by going door to door in the surrounding Glen Moor at Troon Village, Eagles Glen, and the Oasis by Stellar Retreat neighborhoods, approximately 800 feet surrounding the proposed development site, to show neighbors the development proposal (using the same project exhibits included in Exhibit A below). Neighbors had questions about home sizes and heights. Those questions were answered by the Technical Solutions team. A number of neighbors signed support letters. Several property owners who do not reside on their property near the site were contacted by phone to make sure they were aware of the proposal. In total approximately 80 homes were contacted.

On May 22, 2019 the applicant met with Mr. Fred Wagner who lives at 10205 E. Happy Valley Rd., directly west of proposed site to review the proposed site plan and get feedback on the proposed development. Mr. Wagner was interested to know if we would be building a screen wall around the development and whether our development would increase the intensity of the

Between August 26 and October 3, we exchanged several calls and emails and meet with the buyer of a 5 acre parcel located on the southeast boundary of to the subject site. The buyer was seeking information on our proposed development to understand the development impacts on the parcel they were buyer. This buyer is supportive our proposed development and intends to write a letter of support.

On October 4 we received a call from an individual who works in the area who was interested in getting information about the timing of our development and the product offering we were planning.

On November 11, 2019 the applicant met with Mr. Fred Wagner who lives at 10205 E. Happy Valley Rd., directly west of the proposed site, to review and update him on the revised site plan. Mr. Wagner was supportive of the revised site plan and simply asked that we continue to keep him updated.

On January 22, 2020 the applicant had a phone call with Rick Peagler who owns a parcel of land to the southwest of the project (10205 E Desert Vista Drive). Rick's main questions revolved around Desert Vista Drive. He wanted to confirm that we were intending to install 8" water and sewer lines in the road. I confirmed that we were and let him know that if he would like to tie into those lines in the future, he would likely be on the hook for some amount of payback. He understood and was happy that we would be installing the lines. He just asked to let him know what the future payback amount will be once we have more information.

No further calls or inquiries have been received since January 22, 2020.



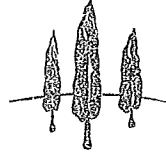
wash flow that cuts the northwest corner our the proposed site onto his property. I explained other than a sound/screen wall along Happy Valley and typical individual yard fencing, no perimeter theme wall was planned for the site. With regard to drainage, we relayed that we would not be allowed to increase the flow volume of the existing wash. Mr. Wagner requested that we screen the western edge of the proposed site for a portion of his lot boundary with native plant material to limit the visibility of homes from his property.

On June 7, 2019 we sent letters to 86 property owners within 750' of the subject property plus 70 additional letters to the City of Scottsdale's Interested Parties list inviting them to an open house meeting on June 25, 2019 from 6-7pm. The open house meeting was held at Camelot's White Horse community, 8865 E. Via Del Sol, Scottsdale, AZ 85255. A total of 8 people attended the open house meeting however only 7 are reflected on the sign-in sheet for the meeting. The 8<sup>th</sup> individual was a member of the media and chose not to sign in. In a one-on-one format we visited with those that attended and answered their individual questions. We fielded a variety of questions, the most common of which included 1) information on the housing product proposed for the site, including product square footage, lot size and expected pricing, 2) expected timing for start of development and build out, 3) building heights, 4) project entrance location, and 5) comments about the proposed widening of Happy Valley Rd and the related round-about improvements planned. The meeting lasted about 1 hour. A copy of the meeting invitation, address lists, sign-in sheet and presentation materials are attached as Exhibit A.

Between June 9 and June 26 we have received 3 phone calls and 1 email from area neighbors in response to the meeting invitation. Two of these inquiries came from 2 neighbors who live directly north of the proposed site interested in understanding the impact of the proposed development on their city light views to the south and southwest. A separate meeting was held on June 24th to personally meet with these two individuals to review an engineering line of sight study to explain how the topography and maximum building height limits will appear in relationship to their homes. The remaining two inquiries (1 phone call and 1 email) were interested in the proposed product, pricing and lot size.

In mid-July the City mailed out a "Heads Up Postcard" to property owners within ¼ mile of the subject site notifying them of our rezoning application. In response to this postcard the City received two emails from individuals who were not supportive of the proposed rezoning.

Between July 30 and August 2 we followed up with the 2 neighbors who live directly north of the proposed site to get their feedback after installing 2 story poles, one depicting the height of an 8' wall at the 50' back of the ROW line and one 24' tall depicting the maximum building height from natural grade 170' back of the ROW line. One of the neighbors was fine with what he saw and the other asked if there was any way we could lower the building height for the lots along Happy Valley. We agreed to limit those lots to contemporary elevations only, which have a building height of 18' or less.



## CAMELOT HOMES

Aspire Higher™

June 7, 2019

Dear Neighbor,

Camelot Homes would like to invite you to an open house meeting to discuss a proposed rezoning of a 30 acre parcel located at the southwest corner of Happy Valley Rd. and Alma School. The open house will be held from 6pm to 7pm on June 25th at the model of our newest community called White Horse, located approximately 1 mile south of Pinnacle Peak Rd. on the east side of Pima Rd. The address to the model is 8865 E. Via Del Sol, Scottsdale, AZ. We chose this location for the meeting because the product being built at White Horse will be the same product offered at this site.

Camelot plans to rezone the property from R1-190 to R1-43 ESL PRD. The General Plan designation for the property is Rural Residential which allows for <1 unit/acre. This proposed development would not require a change to the General Plan. The case number associated with our rezoning request is 134-PA-2019. The City planner assigned to this case is Meredith Tessier. Her email is [Mtessier@ScottsdaleAz.Gov](mailto:Mtessier@ScottsdaleAz.Gov) and her phone number is 480-312-4211.

Camelot plans to develop a gated neighborhood consisting of 22 lots as shown on the enclosed site plan. The entrance to the community would come off of Happy Valley Rd. There will be no access to our project from Alma School Rd. A site plan for the proposed development and an exhibit showing the General Plan designation for the area are enclosed with this letter.

For those of you who are not familiar with Camelot Homes, we're a local, family-owned company. Three generations of the Hancock family have been building luxury home communities in Arizona for over 50 years. We take pride in every home we build and our many award-winning communities are a testament to our dedication and commitment to excellence. We encourage you to check out our website at [www.camelothomes.com](http://www.camelothomes.com) or visit our Facebook page at [www.facebook.com/CamelotHomesAZ](http://www.facebook.com/CamelotHomesAZ) to see more about who we are and to view some of the beautiful homes we build.

We look forward to meeting you on June 25th and sharing our proposed development plans for this site. We value your input. If you're unable to attend this meeting, we'd be happy to arrange a separate meeting with you. Please free to email me at [tomk@camelothomes.com](mailto:tomk@camelothomes.com) or call 480-367-4316 if you have any questions or would like to arrange an alternate meeting time.

Sincerely,

Thomas Kirk  
Chief Operating Officer

6607 North Scottsdale Rd., Suite H-100, Scottsdale, AZ 85250  
ph: 480.367.4300 fx: 480.367.4350

[www.camelothomes.com](http://www.camelothomes.com)

13-ZN-2019

10/01/2019



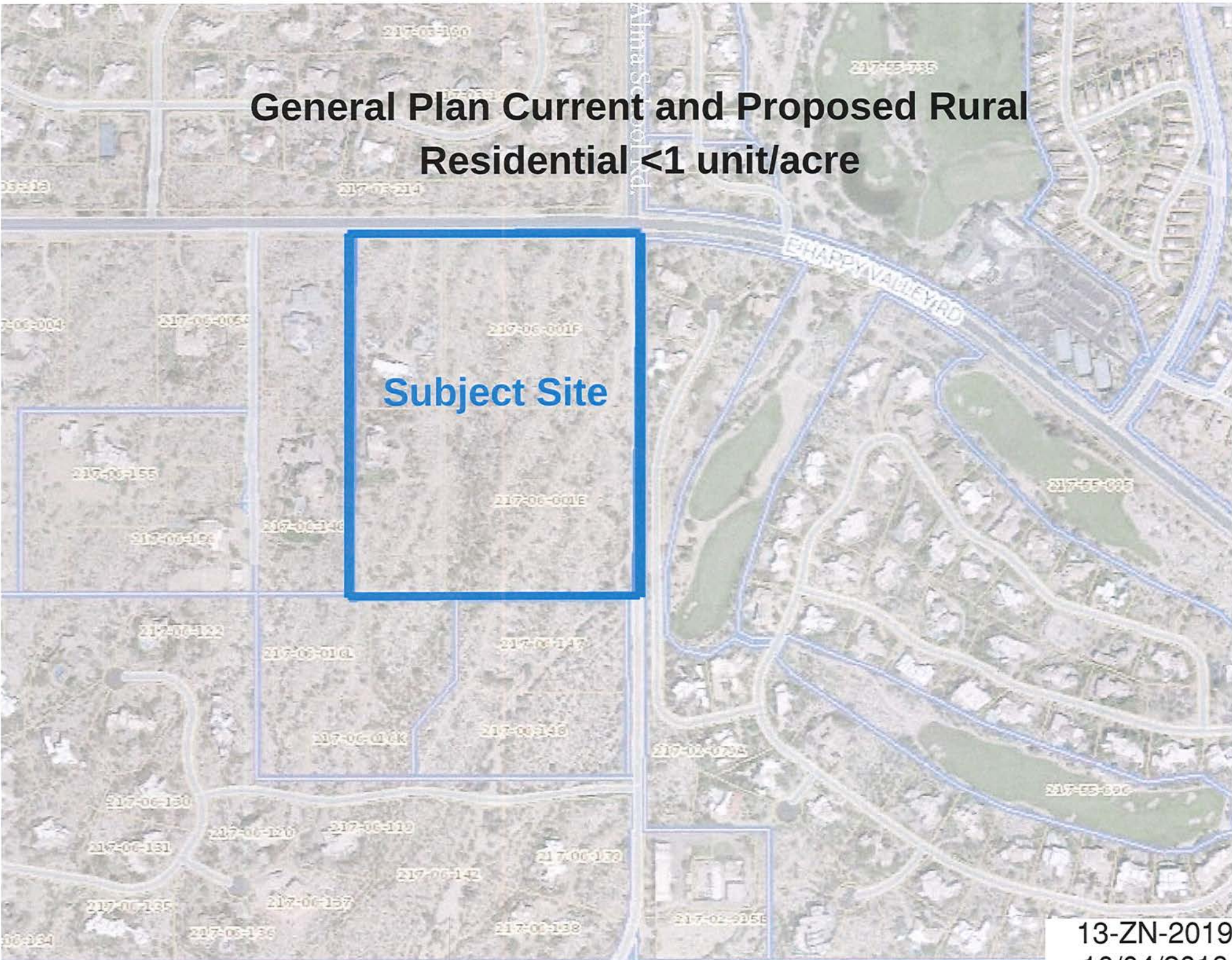


SWC of Happy Valley & Alma School Road  
 Conceptual Site Plan  
 GAMELOT HOMES  
 Scottsdale, AZ

**Kimley Horn**  
 Scale: Approx.  
 0' 80' 160' 320'  
 North  
 Date: 05/06/19  
 Drawn By: KN



# General Plan Current and Proposed Rural Residential <1 unit/acre



**Subject Site**

Parcel Number	Owner	Property Address	MAIL_ADDR1	MAIL_CITY	MAIL_STATE	MAIL_ZIP
217-02-076	ARROYO FERNANDO/CAMPANA SUSAN L	10801 E HAPPY VALLEY RD 44 SCOTTSDALE 85255	10801 E HAPPY VALLEY RD UNIT 44	SCOTTSDALE	AZ	85255
217-02-077	BATZLI BRIAN H/JEANNE	10801 E HAPPY VALLEY RD 45 SCOTTSDALE 85255	100 SANDY HOOK RD	CHANHASSEN	MN	55317
217-02-079A	EMERSON CARTER W/SUZANNE D TR	10801 E HAPPY VALLEY RD 47 SCOTTSDALE 85255	10801 E HAPPY VALLEY RD47	SCOTTSDALE	AZ	85255
217-02-080	ELIZABETH MCNALLY FAMILY TRUST	10801 E HAPPY VALLEY RD 48 SCOTTSDALE 85255	10801 E HAPPY VALLEY RD UNIT 48	SCOTTSDALE	AZ	85255
217-02-100	GORDON JUDITH	10801 E HAPPY VALLEY RD 68 SCOTTSDALE 85255	10801 E HAPPY VALLEY RD 68	SCOTTSDALE	AZ	85225
217-02-101	JACKSON PETER/CAROLYN TR	10801 E HAPPY VALLEY RD 69 SCOTTSDALE 85255	10801 E HAPPY VALLEY RD NO 69	SCOTTSDALE	AZ	85255
217-02-102	SMITH CRAIG M/FONTANA-SMITH LINDA	10801 E HAPPY VALLEY RD 70 SCOTTSDALE 85255	10801 E HAPPY VALLEY RD GLEN MOOR NO 70	SCOTTSDALE	AZ	85255
217-02-103	HART GARY/JUDITH TR	10801 E HAPPY VALLEY RD 71 SCOTTSDALE 85255	10801 E HAPPY VALLEY RD UNIT 71	SCOTTSDALE	AZ	85255
217-02-120	LA FAMILIA FINANCIAL LIMITED PARTNERSHIP	10801 E HAPPY VALLEY RD 88 SCOTTSDALE 85255	1772 E BOSTON ST SUITE 101	GILBERT	AZ	85295
217-02-121	JON C WALKER TRUST	10801 E HAPPY VALLEY RD 89 SCOTTSDALE 85255	7171 N HILLSIDE DR	PARADISE VALLEY	AZ	85253
217-02-122	BENSON THOMAS L/BELL JANET L	10801 E HAPPY VALLEY RD 90 SCOTTSDALE 85255	10801 E HAPPY VALLEY RD UNIT 90	SCOTTSDALE	AZ	85255
217-02-123	BOWMAN JOHN E/R DIANNE TR	10801 E HAPPY VALLEY RD 91 SCOTTSDALE 85255	10801 E HAPPY VALLEY RD UNIT 28	SCOTTSDALE	AZ	85255
217-02-124	WILLIAMS DAVID/LOUANN MARY	10801 E HAPPY VALLEY RD 92 SCOTTSDALE 85255	10801 E HAPPY VALLEY RD UNIT 92	SCOTTSDALE	AZ	85255
217-02-133	WILLIAM AND MAXEEN LP	10801 E HAPPY VALLEY RD 101 SCOTTSDALE 85255	1090 LAURELWOOD	CARMEL	IN	46032
217-02-134	ROUSSO IRVING L	10801 E HAPPY VALLEY RD 102 SCOTTSDALE 85255	860 UNITED NATIONS PLAZA	NEW YORK	NY	11968
217-02-135	RAYMOND DIANE	10801 E HAPPY VALLEY RD 103 SCOTTSDALE 85255	10801 E HAPPY VALLEY RD NO 103	SCOTTSDALE	AZ	85255
217-02-136	HAMILTON GEORGE T/MERKOURI ANASTASIA	10801 E HAPPY VALLEY RD 104 SCOTTSDALE 85255	5432 E WOODRIDGE DR	SCOTTSDALE	AZ	85254
217-02-137	ELKINS LIVING TRUST	10801 E HAPPY VALLEY RD 105 SCOTTSDALE 85255	7501 SPRUCE CREEK LN	FRISCO	TX	75034
217-02-138	DAUPHINAIS GEORGE W/PATRICIA B TR	10801 E HAPPY VALLEY RD 106 SCOTTSDALE 85255	10801 E HAPPY VALLEY RD 106	SCOTTSDALE	AZ	85255
217-02-139	EARLE RALPH H/GLENDA S TR	10801 E HAPPY VALLEY RD 107 SCOTTSDALE 85255	10801 E HAPPY VALLEY RD UNIT 107	SCOTTSDALE	AZ	85255
217-02-142	GLENN MOOR ASSOC	10801 E HAPPY VALLEY RD SCOTTSDALE 85255	9000 E PIMA CTR PKWY 300	SCOTTSDALE	AZ	85258
217-02-143	GLENN MOOR ASSOC	10801 E HAPPY VALLEY RD SCOTTSDALE 85255	9000 E PIMA CTR PKWY 300	SCOTTSDALE	AZ	85258
217-02-144	GLENN MOOR ASSOC	10801 W HAPPY VALLEY RD SCOTTSDALE 85255	9000 E PIMA CTR PKWY 300	SCOTTSDALE	AZ	85258
217-02-714	CATHEY FAMILY 1995 TRUST	25191 N 104TH WY SCOTTSDALE 85255	25191 N 104TH WY	SCOTTSDALE	AZ	85255
217-02-715	FALEWITCH JOHN R	25147 N 104TH WY SCOTTSDALE 85255	12012 LONGSHORE AVE	PAPILLON	NE	68046
217-02-716	MILLIKEN TERRANCE P/KRISTIN J	25103 N 104TH WY SCOTTSDALE 85255	10271 CREEKWOOD CT	DAVISBURG	MI	48350
217-02-721	CBDM LLC	25102 N 104TH WY SCOTTSDALE 85255	459 E MARIGOLD LN	TEMPE	AZ	85281
217-02-722	ALBARRACIN EDWARD T	25146 N 104TH WY SCOTTSDALE 85255	25146 N 104TH WY	SCOTTSDALE	AZ	85255
217-02-723	ROGERS RANDALL C/JUDY M	25190 N 104TH WY SCOTTSDALE 85255	7681 E CAMPO BELLO DR	SCOTTSDALE	AZ	85255
217-02-724	NIKKHAHMANESH FAMILY TRUST	25234 N 104TH WY SCOTTSDALE 85255	25234 N 104TH WY	SCOTTSDALE	AZ	85255
217-02-725A	TROON FAIRWAYS HOMEOWNERS ASSOCIATION		16441 N 91ST ST NO 104	SCOTTSDALE	AZ	85260
217-02-921	MEYER STUART M/SANDRA M	25059 N 104TH WY SCOTTSDALE 85255	25059 N 104TH WY	SCOTTSDALE	AZ	85255
217-02-922	TROON FAIRWAYS HOMEOWNERS ASSOCIATION	25008 N 104TH WY SCOTTSDALE 85255	16441 N 91ST ST NO 104	SCOTTSDALE	AZ	85260
217-02-923	MATTERA SALVATORE J/JOANNE	25014 N 104TH WY SCOTTSDALE 85255	13265 N 104TH PL	SCOTTSDALE	AZ	85260
217-02-924	RICHARD AND NANCY ZIRKELBACH TRUST	25058 N 104TH WY SCOTTSDALE 85255	1008 MILLER RANCH RD	DRIGGS	ID	83422
217-02-925	TROON FAIRWAYS HOMEOWNERS ASSOCIATION		16441 N 91ST ST NO 104	SCOTTSDALE	AZ	85260
217-03-158	MERCER R CLINT	10323 E BUCKSKIN TR SCOTTSDALE 85255	10323 E BUCKSKIN TRL	SCOTTSDALE	AZ	85255
217-03-159	KALENDER HOWARD/SHERRI	10291 E BUCKSKIN TR SCOTTSDALE 85255	10291 E BUCKSKIN TRL	SCOTTSDALE	AZ	85255
217-03-160	MEYER JUDITH WILK/FREDERICK F	10231 E BUCKSKIN TR SCOTTSDALE 85255	48W749 IMMELMAN LN	HAMPSHIRE	IL	60140
217-03-161	ECKROAT FAMILY TRUST	10211 E BUCKSKIN TR SCOTTSDALE 85255	10211 E BUCKSKIN TRL	SCOTTSDALE	AZ	85255
217-03-162	JOHN AND LOI CLARK FAMILY TRUST	10193 E BUCKSKIN TR SCOTTSDALE 85255	10193 E BUCKSKIN TRL	SCOTTSDALE	AZ	85255
217-03-163	J BRADNER SMITH REVOCABLE TRUST	10153 E BUCKSKIN TR SCOTTSDALE 85255	1819 HUNTER LN	MENDOTA HEIGHTS	MN	55118
217-03-190	MORRISON WILLIAM T/CHRISTINE C	10261 E SADDLE HORN TR SCOTTSDALE 85255	10261 E SADDLE HORN TR	SCOTTSDALE	AZ	85255
217-03-191	CABELL DURY D/DEBRA A	10231 E SADDLE HORN TR SCOTTSDALE 85255	10231 E SADDLE HORN TRL	SCOTTSDALE	AZ	85255
217-03-192	LYNCH FAMILY REVOCABLE TRUST	10211 E SADDLE HORN TR SCOTTSDALE 85255	10211 E SADDLE HORN TRL	SCOTTSDALE	AZ	85255
217-03-193	MACDERMOTT RICHARD/KAREN	10171 E SADDLE HORN TR SCOTTSDALE 85255	3 NORRIS COULEE LOOP	FOOTHILLS	AB	T155A3
217-03-194	SMALL J ROBERT/ABBIE B	10150 E BUCKSKIN TR SCOTTSDALE 85255	446 LOCUST POINT RD	LOCUST	NJ	7760
217-03-195	BAUMSTARK C MICHAEL/EMMERT MELODY A	10190 E BUCKSKIN TR SCOTTSDALE 85255	10190 E BUCKSKIN TR	SCOTTSDALE	AZ	85255
217-03-196	JEANETTE TREAT GOODSTEIN LIVING TRUST	10220 E BUCKSKIN TR SCOTTSDALE 85255	10220 E BUCKSKIN TRL	SCOTTSDALE	AZ	85255
217-03-197	MOROMISATO DAVID/AWAZU LAURA S	10280 E BUCKSKIN TR SCOTTSDALE 85255	10280 E BUCKSKIN TRL	SCOTTSDALE	AZ	85255
217-03-198	KELLY GEORGE MICHAEL	10326 E BUCKSKIN TR SCOTTSDALE 85255	2629 GREENLEAF BLVD	ELHART	IN	46514
217-03-199	JILBERT WILLIAM G/ LYNN L TR	10346 E BUCKSKIN TR SCOTTSDALE 85255	10346 E BUCKSKIN TRL	SCOTTSDALE	AZ	85255
217-03-210	TAZELAAR HENRY D/PEGGY J TR	10353 E BUCKSKIN TR SCOTTSDALE 85255	10353 E BUCKSKIN TRL	SCOTTSDALE	AZ	85255
217-03-211	FRANZESE ELIZABETH	10343 E BUCKSKIN TR SCOTTSDALE 85255	10343 E BUCKSKIN TRL	SCOTTSDALE	AZ	85255



217-03-212	LITCHFIELD BIRD SHIRLEY A TR	10333 E BUCKSKIN TR SCOTTSDALE 85255	10333 E BUCKSKIN TRAIL	SCOTTSDALE	AZ	85255
217-03-213	EAGLES GLEN ASSOCIATION		450N DOBSON RD STE 201	MESA	AZ	85201
217-03-214	EAGLES GLEN ASSOCIATION		450 N DOBSON RD STE 201	MESA	AZ	85201
217-03-217	EAGLES GLEN ASSOCIATION		450 N DOBSON RD STE 201	MESA	AZ	85201
217-03-218	EAGLES GLEN ASSOCIATION		450 N DOBSON RD STE 201	MESA	AZ	85201
217-03-219	EAGLES GLEN ASSOCIATION		450 N DOBSON RD STE 201	MESA	AZ	85201
217-03-222	EAGLES GLEN ASSOCIATION		450 N DOBSON RD STE 201	MESA	AZ	85201
217-03-226	EAGLES GLEN ASSOCIATION		450 N DOBSON RD STE 201	MESA	AZ	85201
217-06-005A	HERCHEN HANS R	10155 E HAPPY VALLEY RD SCOTTSDALE 85255	23233 N PIMA RD PMB 133	SCOTTSDALE	AZ	85255
217-06-005B	KRAMER JAMES W/KELLY L	10101 E HAPPY VALLEY RD SCOTTSDALE 85255	10641 E SKINNER DR	SCOTTSDALE	AZ	85262
217-06-016K	PRATT HEWITT L	10281 E DESERT VISTA DR SCOTTSDALE 85255	395 OCEAN AVE 3-N	BROOKLYN	NY	11226
217-06-016L	PEAGLER RICHARD F/CATHERINE PRATT TR	10205 E DESERT VISTA DR SCOTTSDALE 85255	9825 N 51ST PL	PARADISE VALLEY	AZ	85253
217-06-119	RICHARD F WILSON TRUST/PATRICIA L WILSON TRUST	10267 E WHISPERING WIND DR SCOTTSDALE 85255	10267 E WHISPERING WIND DR	SCOTTSDALE	AZ	85255
217-06-121	FORSTER FAMILY TRUST	10196 E WHISPERING WIND DR SCOTTSDALE 85255	10196 E WHISPERING WIND DR	SCOTTSDALE	AZ	85255
217-06-122	DAM LIVING TRUST	10160 E WHISPERING WIND DR SCOTTSDALE 85255	10160 E WHISPERING WIND DR	SCOTTSDALE	AZ	85255
217-06-123	GEHRE CHARLES ERNIE	10124 E WHISPERING WIND DR SCOTTSDALE 85255	9022 SLATER NE	KIRKLAND	WA	98033
217-06-129	GRIEB DAVID C/RUEDIGER-GRIEB SONJA	10159 E WHISPERING WIND DR SCOTTSDALE 85255	10159 E WHISPERING WIND DR	SCOTTSDALE	AZ	85255
217-06-130	SIM CRAIG	10195 E WHISPERING WIND DR SCOTTSDALE 85255	10195 E WHISPERING WIND DR	SCOTTSDALE	AZ	85255
217-06-139	OLSON MICHAEL L/JEAN E TR	10375 E WHISPERING WIND DR SCOTTSDALE 85255	10375 E WHISPERING WIND DR	SCOTTSDALE	AZ	85255
217-06-140	LADERA VISTA HOMEOWNERS ASSOC		10123 E WHISPERING WIND DR	SCOTTSDALE	AZ	85255
217-06-141	LADERA VISTA HOMEOWNERS ASSOC		10123 E WHISPERING WIND DR	SCOTTSDALE	AZ	85255
217-06-142	LADERA VISTA HOMEOWNERS ASSOC	10303 E WHISPERING WIND DR SCOTTSDALE 85255	10123 E WHISPERING WIND DR	SCOTTSDALE	AZ	85255
217-06-144	LADERA VISTA HOMEOWNERS ASSOC		10123 E WHISPERING WIND DR	SCOTTSDALE	AZ	85255
217-06-145	HAPPY VALLEY ROAD LLC	10205 E HAPPY VALLEY RD SCOTTSDALE 85255	9020 CHAMBERS CREEK RD	TACOMA	WA	95457
217-06-146	PANTELLERIA SRL	10201 E HAPPY VALLEY RD SCOTTSDALE 85255	PO BOX 366 8711 E PINNACLE PEAK RD	SCOTTSDALE	AZ	85255
217-06-147	WIEBE LARRY/MARTHA	10355 E DESERT VISTA DR 1A SCOTTSDALE 85255	1-380 RIVERSIDE RD	ABBOTSFORD	BC	V2S7M4
217-06-148	PRATT JENNIFER H	24570 N ALMA SCHOOL RD 1B SCOTTSDALE 85255	253 ORTEGA ST	SAN FRANCISCO	CA	94122
217-06-155	CAROLYN FABRICI FAMILY TRUST	10195 E HAPPY VALLEY RD SCOTTSDALE 85255	PO BOX 27166	SCOTTSDALE	AZ	85255
217-06-156	ADRIAN SCOTT LOEWE PER RESIDENCE TRUST/ETAL	10193 E HAPPY VALLEY RD SCOTTSDALE 85255	10193 E HAPPY VALLEY RD	SCOTTSDALE	AZ	85255
217-55-694	TROON GOLF AND COUNTRY CLUB INC ETAL		25000 N WINDY WALK DR	SCOTTSDALE	AZ	85255
217-55-696	TROON GOLF AND COUNTRY CLUB INC ETAL	10801 E HAPPY VALLEY RD SCOTTSDALE 85255	25000 N WINDY WALK DR	SCOTTSDALE	AZ	85255
217-55-735	TROON GOLF AND COUNTRY CLUB INC ETAL	25000 N WINDY WALK DR SCOTTSDALE 85255	25000 N WINDY WALK DR	SCOTTSDALE	AZ	85255

Owner	Company	Address	City	State	Zip
APPLICANT					
OWNER					
Ali Fakh	City of Scottsdale Planning Commission	8280 E. Gelding Drive, Suite 101	Scottsdale	AZ	85260
Annette Petrillo		1169 E. Clovefield Street	Gilbert	AZ	85298
Audry Villaverde	Withey Morris, PLC	2525 E. Arizona Biltmore Circle; Suite A-2	Phoenix	AZ	85016
Bob Griffith		7127 E. Rancho Vista Dr. #4002	Scottsdale	AZ	85251
Caroline Bissell		7231 E Cactus Wren Road	Scottsdale	AZ	85250
Carla		3420 N. 78th Street	Scottsdale	AZ	85251
Chris Schaffner		7346 E. Sunnyside Dr.	Scottsdale	AZ	85260
Christian C. Serena	City of Scottsdale Planning Commission	6929 North Hayden Road, Ste. C4194	Scottsdale	AZ	85250
Community Development Director	Town of Paradise Valley	6401 E Lincoln Drive	Paradise Valley	AZ	85253
Constance Laub		10305 E. Via Linda 103 Ste 345	Scottsdale	AZ	85258
Dan Sommer		12005 N 84th Street	Scottsdale	AZ	85260
David G. Gulino		5235 N. Woodmere Fairway	Scottsdale	AZ	85250
Solange Whitehead	City of Scottsdale City Council	3939 N. Drinkwater Blvd.	Scottsdale	AZ	85251
Director	Arizona Department of Water Resources	1110 W. Washington Street STE 310	Phoenix	AZ	85007
Dr. Sonnie Kirtley	COGS	8507 East Highland Avenue	Scottsdale	AZ	85251
Ed Toschik, President		7657 E Mariposa Grande Dr	Scottsdale	AZ	85255
Edwin Bull	Burch & Cracchiolo PA	P.O. Box 16882	Phoenix	AZ	85011
Eric Gold		25499 N. 104th Way	Scottsdale	AZ	85255
Guy Phillips		7131 E. Cholla St.	Scottsdale	AZ	85254
Guy Phillips	City of Scottsdale City Council	3939 N. Drinkwater Blvd.	Scottsdale	AZ	85251
Howard Myers		6631 E Horned Owl Trail	Scottsdale	AZ	85266
Jim Funk	Gainey Ranch Community Association	7720 Gainey Ranch Road	Scottsdale	AZ	85258
Jim Haxby		7336 E. Sunnyside Dr.	Scottsdale	AZ	85260
Jim Lane, Mayor	City of Scottsdale	7666 E. El Rancho Drive	Scottsdale	AZ	85260
John Berry/Michele Hammond	Berry Riddell, LLC	6750 E Camelback Rd, Ste 100	Scottsdale	AZ	85251
John Washington		3518 N. Chambers Court	Scottsdale	AZ	85251
Kathy Littlefield	City of Scottsdale City Council	3939 N. Drinkwater Blvd.	Scottsdale	AZ	85251
Kevin D. Bollinger	City of Scottsdale Planning Commission	8031 E. Sutton Drive	Scottsdale	AZ	85260
Kirste Kowalsky	Withey Morris, PLC	2525 E. Arizona Biltmore Circle, Suite A-2	Phoenix	AZ	85016
Larry S. Kush	City of Scottsdale Planning Commission	7127 E. Rancho Vista Dr. #1001	Scottsdale	AZ	85251
Leon Spiro		7814 E Oberlin Way	Scottsdale	AZ	85266
Linda Milhaven	City of Scottsdale City Council	3939 N. Drinkwater Blvd.	Scottsdale	AZ	85251
Linda Whitehead		9681 E Chuckwagon Lane	Scottsdale	AZ	85262
Lori Haye		P.O. Box 426	Cave Creek	AZ	85327
Marc Levey		10402 E Raintree Dr	Scottsdale	AZ	85255
Maricopa County Superintendent of Schools		4041 N. Central Avenue Suite 1200	Phoenix	AZ	85012
Michael Leary	Commercial Land Development Consulting	10278 East Hillery Drive	Scottsdale	AZ	85255

Mike McNeal, Supervisor	AT&T	1231 W. University Drive	Mesa	AZ	85201
Mike Ratzken		8725 E. Palo Verde Dr	Scottsdale	AZ	85250
Patti Badenoch		5027 N. 71st Pl	Scottsdale	AZ	85253
Paul Alessio - Chair	City of Scottsdale Planning Commission	7527 E. Tailspin Lane	Scottsdale	AZ	85255
Planning & Development Department	Maricopa County Planning & Development	501 N. 44th Street, Suite 200	Phoenix	AZ	85008
Planning & Development Director	City of Phoenix	200 West Washington Street, 2nd Floor	Phoenix	AZ	85003
Planning & Engineering Section Manager	Arizona State Land Department	1616 W. Adams Street	Phoenix	AZ	85007
Planning and Zoning	Town of Carefree	8 Sundial Circle P.O. Box 740	Carefree	AZ	85377
Planning Department	Town of Cave Creek	37622 N Cave Creek Road	Cave Creek	AZ	85331
Planning Department	SRP-MIC	10005 E Osborn Road	Scottsdale	AZ	85256
Prescott Smith	City of Scottsdale Planning Commission	4350 E. Camelback Rd., Suite G-200	Phoenix	AZ	85018
Project Management	Arizona Department of Transportation	205 S. 17th Avenue MD 6012E	Phoenix	AZ	85007
Randall P. Brown	Spring Creek Development	7144 E. Stetson Dr. #425	Scottsdale	AZ	85251
Marissa Moore, AICP	Town of Fountain Hills	16705 E. Avenue of the Fountains	Fountain Hills	AZ	85268
Sherry Wagner/Right-of-Way Technician, SR.	Mail Station PAB348	P.O. Box 52025	Phoenix	AZ	85072
Steve Tyrrell		7753 E. Catalina Drive	Scottsdale	AZ	85251
Superintendent	Cave Creek Unified School District	P.O. Box 426	Cave Creek	AZ	85327
Superintendent	Scottsdale Unified School District	8500 E. Jackrabbit Rd	Scottsdale	AZ	85250
Suzanne Klapp	City of Scottsdale City Council	3939 N. Drinkwater Blvd.	Scottsdale	AZ	85251
Vickie Falen		10520 N 117th Pl	Scottsdale	AZ	85259
Virginia Korte	City of Scottsdale City Council	3939 N. Drinkwater Blvd.	Scottsdale	AZ	85251
W.J. Jim Lane - Mayor	City of Scottsdale City Council	3939 N. Drinkwater Blvd.	Scottsdale	AZ	85251
Wade Tinant		4614 E. Running Deer Trail	Cave Creek	AZ	85331
	Granite Reef Neighborhood Resource Center	1700 N Granite Reef Road	Scottsdale	AZ	85257
	Gammage & Burnham, PLC	2 N. Central Avenue, 15th Floor	Phoenix	AZ	85004
	Southwest Gas Corporation	2200 N. Central Avenue Ste 101	Phoenix	AZ	85004
		2525 E. Arizona Biltmore Circle; Suite A-			
	Withey Morris, PLC	212	Phoenix	AZ	85016
	Paradise Valley Unified School District	15002 N. 32nd Street	Phoenix	AZ	85032
	Earl, Curley & Lagarde, P.C.	3101 N. Central Avenue, Ste. 1000	Phoenix	AZ	85012
	Arizona Commerce Authority	333 N. Central Avenue, Suite 1900	Phoenix	AZ	85004
Betty Janik		18490 N. 97th Way	Scottsdale	AZ	85255
Maggie Keasler		7127 E. 6th Ave.	Scottsdale	AZ	85251
Renee J. Higgs	City of Scottsdale Planning Commission	15192 N. 104th Way	Scottsdale	AZ	85255



Neighborhood Meeting - Happy Valley and Alma School  
June 25, 2019

Name	Address	Email	Phone
→ colt Love	10193 E. Happy Valley M	sloene@blwm.com 10193m.com	602-614-5969
David: LouAnn Williams	10801 E Happy Valley Rd.	louann.williams08@gmail.com	480-708-8603
George OERIDGER	15251 N. 104 <sup>th</sup> PL.	gjeridger1@cox.net	602 527-2959
Loi Clark + John	10193 E. Buckskin Tr 1	loijohn@aol.com	901-240-4938

Neighborhood Meeting - Happy Valley and Alma School  
June 25, 2019

Name	Address	Email	Phone
James Lynch		jlynch1960@gmail.com	707 364-1555







## Tessier, Meredith

**From:** Tessier, Meredith  
**Sent:** Thursday, June 20, 2019 3:34 PM  
**To:** howardkalender@gmail.com  
**Cc:** Perone, Steve  
**Subject:** FW: 134-PA-2019 Happy Valley 18

Howard:

Thank you for contacting the Current Planning Department regarding the applicants pre-application request-134-PA-2019. In response to how the building height is measured in the Environmentally Sensitive Lands, please refer to the below Figure 6.1070.D. (Zoning Ordinance Section 6.1070). The applicant has not made their formal application to the city, however, once we receive their submittal a postcard will be mailed to parcels within 750 feet of the site and plans can be viewed on the development case information sheet:

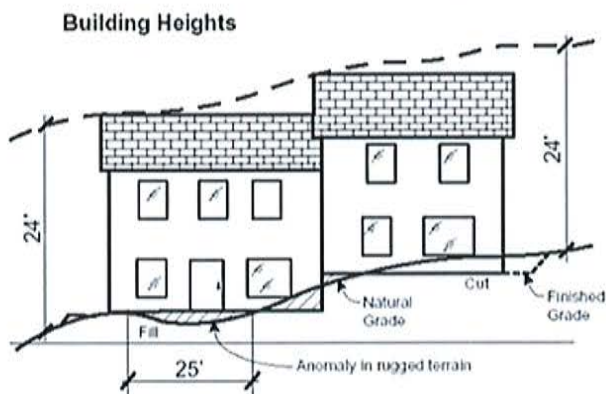
<https://eservices.scottsdaleaz.gov/bldgresources/Cases>

A hearing has not been scheduled for this case, however, if you wish to submit comments to be included in the case action report, please e-mail me. Once a hearing date is determined, the meeting is open to the public with the option to speak or submit written comments.

### B. Building heights.

1. The maximum building height is that prescribed by the underlying district except as modified by the following:
  - a. The maximum building height in the ESL shall be established by a plane measured vertically above the existing natural terrain elevation prior to grading; as the natural grade rises, the maximum height will rise accordingly. Small areas of rugged terrain inconsistent with this plane will not increase or reduce building height. Small areas are those features with a maximum width of twenty-five (25) feet.
  - b. The maximum building height for all buildings in single-family residential (R1) districts including the Foothills Overlay, shall be twenty-four (24) feet unless exempted pursuant to [Section 6.1022](#).

Figure 6.1070.D.



Thank you,

## Tessier, Meredith

---

**From:** Clint Mercer <clintmercer@hotmail.com>  
**Sent:** Tuesday, June 25, 2019 12:49 PM  
**To:** Tessier, Meredith  
**Subject:** Re: Zoning Request 134-PA-2019

**⚠ EXTERNAL Email with links or attachments. Please use caution!**

This is very helpful. Thanks for handling.

Get [Outlook for iOS](#)

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**From:** Tessier, Meredith <MTessier@ScottsdaleAz.Gov>  
**Sent:** Tuesday, June 25, 2019 12:37:06 PM  
**To:** Clint Mercer  
**Cc:** Perone, Steve  
**Subject:** RE: Zoning Request 134-PA-2019

Clint,

With the applicant's request for a zoning district map amendment, there will be two public hearings with the dates posted on various resources:

1. The existing White Sign on-site (Early Notification of Project Under Consideration) will revise to a red sign with Planning Commission and City Council hearing dates;
2. The City of Scottsdale Case information sheet will be created and updated with hearing dates located on the following link:  
<https://nam04.safelinks.protection.outlook.com/?url=https%3A%2F%2Fservices.scottsdaleaz.gov%2Fbldgresources%2FCases&data=02%7C01%7C%7Cd5c3d7694d484291af3008d6f9a48411%7C84df9e7fe9f640afb435aaaaaaaaaaaa%7C1%7C0%7C636970882312094564&sdata=xwirsnp4pr45CGjxdHuoU5vyuQs4kTxTMjc05jHz3bY%3D&reserved=0>
3. An 8th page add will be published in newspapers;
4. The hearing agendas will be posted on-line on the Planning Commission and City Council home page.

To view current and future Planning Commission hearing agendas or if you wish to submit comments, please click on the following link:

<https://nam04.safelinks.protection.outlook.com/?url=https%3A%2F%2Fwww.scottsdaleaz.gov%2Fboards%2Fplanning-commission&data=02%7C01%7C%7Cd5c3d7694d484291af3008d6f9a48411%7C84df9e7fe9f640afb435aaaaaaaaaaaa%7C1%7C0%7C636970882312094564&sdata=zbuQM1QmkMUR2GFdZVmUPwdyLdWM1kljzDDNljR1o1U%3D&reserved=0>.

To view current and future City Council hearing agendas

<https://nam04.safelinks.protection.outlook.com/?url=https%3A%2F%2Fwww.scottsdaleaz.gov%2Fcouncil%2Fmeeting-information%2Fagendas-minutes&data=02%7C01%7C%7Cd5c3d7694d484291af3008d6f9a48411%7C84df9e7fe9f640afb435aaaaaaaaaaaa%7C1%7C0%7C636970882312094564&sdata=WYh1%2Fdtt%2FQ1iFyAeDO%2BF23d6vnEmFM%2FT6ZJVbGKBpbs%3D&reserved=0>




I hope this information is helpful, please note that the applicant is hosting their open house this evening from 6-7 pm located at the White Horse Model-8865 E. Via Del Sol Dr., Scottsdale, Arizona.

Thank you,

Meredith Tessier, Senior Planner  
Planning & Development Services

-----Original Message-----

From: Clint Mercer <clintmercer@hotmail.com>  
Sent: Friday, June 21, 2019 4:46 PM  
To: Tessier, Meredith <MTessier@ScottsdaleAz.Gov>  
Subject: Re: Zoning Request 134-PA-2019

 EXTERNAL Email with links or attachments. Please use caution!

Thank you for the response. How do I found out the actual hearing date. Is it posted on the lot or do I have to monitor some web site.

Sent from my iPad

> On Jun 21, 2019, at 2:29 PM, Tessier, Meredith <MTessier@scottsdaleaz.gov> wrote:

>

> Clint:

>

> Thank you for contacting the City of Scottsdale Current Planning Department regarding the applicants pre-application (134-PA-2019). The following e-mail will be included in the case file and applicable reports. Currently, a hearing has not been scheduled for this case as the applicant is in the preliminary steps of conducting community outreach which is required prior to filing their formal application. Once a hearing date is determined, the meeting is open to the public with the option to speak or submit written comments.

>

>

> Thank you,

>

> Meredith Tessier, Senior Planner  
> Planning & Development Services

>


>

>

> -----Original Message-----

> From: Clint Mercer <clintmercer@hotmail.com>  
> Sent: Thursday, June 20, 2019 8:53 AM  
> To: Tessier, Meredith <MTessier@ScottsdaleAz.Gov>  
> Subject: Zoning Request 134-PA-2019

>

>  EXTERNAL Email with links or attachments. Please use caution!

>

> I am writing you about the proposed rezoning of the 30 acre parcel on the SE corner of Happy Valley and Alma School Road. The new housing development is 22 homes which will have the proposed entrance off of happy Valley Road. I am

directly across from this Project on happy valley Road at 10323 E Buckskin trail. I have great views of the city lights and the desert landscape. Of course this is the main reason I purchased this home.

>

> I spoke with Thomas Kirk about this project. I told him I was very concern about this project blocking my views. He did indicated that this was a valid concern and would get back to me. He has not response since our conversation two weeks ago. On their project on Pima Road they constructed a 10 foot wall for a sound barrier. This type of wall would destroy the value of my home and block my fantastic views.

>

> I would appreciate any efforts on your part to seriously block the proposed rezoning request. If you would like to discuss, please call my cell phone 949-939-8879.

> E-mail : [clintmercerc@hotmail.com](mailto:clintmercerc@hotmail.com)

>

> Thanks for your time.

>

> Sent from my iPad

## Tessier, Meredith

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**From:** Tessier, Meredith  
**Sent:** Friday, July 26, 2019 11:04 AM  
**To:** sfojo27@gmail.com  
**Cc:** Perone, Steve  
**Subject:** FW: Case 13-ZN-2019

Susan-

Thank you for contacting the Current Planning Department regarding the applicants case submittal, 13-ZN-2019. Your comments will be included in the case action report and file. A Planning Commission hearing is not schedule yet, however, you can review the case and hearing information by clicking on the following links:

<https://eservices.scottsdaleaz.gov/bldgresources/Cases/Details/50098>


<https://www.scottsdaleaz.gov/boards/planning-commission>

Thank you,

Meredith Tessier, Senior Planner  
Planning & Development Services

-----Original Message-----

**From:** Susan Fort Johnson <sfojo27@gmail.com>  
**Sent:** Tuesday, July 23, 2019 9:11 AM  
**To:** Projectinput <Projectinput@Scottsdaleaz.gov>  
**Subject:** Case 13-ZN-2019

 EXTERNAL Email with links or attachments. Please use caution!

Please please please stop developing in north Scottsdale! That's why we purchased our here, to be away from the crowds, traffic, noise and lights!! All these developers are destroying north Scottsdale. It's always about money. Please just stop. Please just stop!

Sent from my iPhone

## Tessier, Meredith

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**From:** Tessier, Meredith  
**Sent:** Friday, July 26, 2019 11:26 AM  
**To:** scottryan2929@gmail.com  
**Cc:** Perone, Steve  
**Subject:** RE: Case 13-ZN-2019

Scott-

Thank you for contacting the Current Planning Department regarding the applicants case submittal, 13-ZN-2019. Your comments will be included in the case action report and file. A Planning Commission hearing has not been scheduled yet, however, you can review the case and hearing information by clicking on the following links:

<https://eservices.scottsdaleaz.gov/bldgresources/Cases/Details/50098>

<https://www.scottsdaleaz.gov/boards/planning-commission>

Thank you,

Meredith Tessier, Senior Planner  
Planning & Development Services

**From:** [scottryan2929@gmail.com](mailto:scottryan2929@gmail.com) <[scottryan2929@gmail.com](mailto:scottryan2929@gmail.com)>  
**Sent:** Friday, July 26, 2019 6:37 AM  
**To:** Perone, Steve <[SPerone@Scottsdaleaz.gov](mailto:SPerone@Scottsdaleaz.gov)>  
**Subject:** Case 13-ZN-2019

**⚠ EXTERNAL Email with links or attachments. Please use caution!**



Attention Planning Dept. The proposed project is inappropriate for the location and if public opinion is to be considered mine would be squarely against this project. I currently own two pieces of property ( one is 1.9 acres, one 3.3) within 1/2 mile of this site and 1 acre or smaller parcels with 22 homes on 30 acres is not why I bought them. It was very clear with the current zoning and development that this type of density would be limited to North of Happy Valley and East of Alma School. -- sent by SCOTT RYAN (case# 13-ZN-2019)



## Tessier, Meredith

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**From:** scruediger@yahoo.com  
**Sent:** Friday, July 26, 2019 4:40 PM  
**To:** Perone, Steve  
**Subject:** 13-ZN-2019 (Zoning proposal Happy Valley and Alma School)

**⚠ EXTERNAL Email with links or attachments. Please use caution!**



To Whom It May Concern, We are residents of Ladera Vista, the community that is located just South of the proposed zoning on Happy Valley and Alma School Road. We were shocked to hear that the current proposal is regarding 1 acre lot parcels. We built our home in 2005 and have truly enjoyed the peace and quiet and desert wildlife that we have in our community and wish to prevail it. Please let me know where we can voice our concerns regarding this development and the impact it will have. -- sent by Sonja Grieb (case# 13-ZN-2019)



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**From:** [Planning Commission](#)  
**To:** [Planning Commission](#)  
**Subject:** Planning Commission Public Comment (response #123)  
**Date:** Friday, August 02, 2019 4:31:01 PM

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## Planning Commission Public Comment (response #123)

### Survey Information

Site:	ScottsdaleAZ.gov
Page Title:	Planning Commission Public Comment
URL:	<a href="https://www.scottsdaleaz.gov/boards/planning-commission/public-comment">https://www.scottsdaleaz.gov/boards/planning-commission/public-comment</a>
Submission Time/Date:	8/2/2019 4:30:50 PM

### Survey Response

<b>AGENDA ITEM</b>	
What agenda item are you commenting on?	13-ZN-2019
<b>COMMENT</b>	
Comment:	<p>We oppose the change in zoning from R1-190 to R1-43-RRD ESL. We believe that changing the number of lots from 5 to 22 using the proposed cluster zoning is not in character with the surrounding neighborhoods. It will NOT enhance and embrace the quality of the rural desert landscape character in this area. Also, the effect of the large washes on this property has been serious misrepresented. The water drainage and flow to the south are significantly more than the represented. We live in Ladera Vista, the subdivision directly south of this proposed development. Whispering Wind Dr. routinely floods during rainstorms. We have to remove the sand and debris several times a year. Putting 22 home sites on this property is simply too many when the wash is considered. Water flow and velocity will be substantially increased! We firmly believe that the number of home sites should be significantly reduced. 10-12 sites would be more appropriate. Using the stated 20 acres for houses would make each lot approximately 2 acres. This is more in line</p>

with the neighborhood standards for properties south of Happy Valley, between Pima and Alma School, currently zoned R1-190. It would also give more space between the home sites to deal with the serious wash problems on this property. We respectfully request that the planning engineers re-inspect this property in regard to the stated water flow values. Sincerely Bob and Rosie Tutag

Comments are limited to 8,000 characters and may be cut and pasted from another source.

**PLEASE PROVIDE YOUR NAME:**

First & Last Name: Robert Tutag

**AND ONE OR MORE OF THE FOLLOWING ITEMS:**

Email: [rtutag@aol.com](mailto:rtutag@aol.com)

Phone: (970) 390-9330

Address: 10067 E Santa Catalina Dr, Scottsdale 85255

Example: 3939 N. Drinkwater Blvd, Scottsdale 85251



## Tessier, Meredith

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**From:** Tessier, Meredith  
**Sent:** Monday, September 30, 2019 4:56 PM  
**To:** jditullio@tbl-law.com  
**Subject:** RE: 13-zn-2019

John-

A hearing for this case has not been scheduled. To view latest information on this case, please click on the following link:

<https://eservices.scottsdaleaz.gov/bldgresources/Cases/Details/50098>. Once a hearing is determined, the link will be updated with the staff report and hearing date.

Thank you,

Meredith Tessier, Senior Planner  
Planning & Development Services

**From:** jditullio@tbl-law.com <jditullio@tbl-law.com>  
**Sent:** Monday, September 30, 2019 11:17 AM  
**To:** Tessier, Meredith <MTessier@ScottsdaleAz.Gov>  
**Subject:** 13-zn-2019

**⚠ External Email: Please use caution if opening links or attachments!**



Hello Ms. Tessier. Is there a P&Z Commission hearing scheduled for this case (13-ZN-2019)? Could I get a copy of the Staff report? 480-483-9600 or [jditullio@tbl-law.com](mailto:jditullio@tbl-law.com) -- sent by John DiTullio, Esq. (case# 13-ZN-2019)



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**Tessier, Meredith**

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**Subject:** FW: 13-ZN-2019

**From:** [fhessler@fahadvisor.com](mailto:fhessler@fahadvisor.com) <[fhessler@fahadvisor.com](mailto:fhessler@fahadvisor.com)>  
**Sent:** Thursday, December 05, 2019 9:52 AM  
**To:** Ruenger, Jeffrey <[JRuenger@scottsdaleaz.gov](mailto:JRuenger@scottsdaleaz.gov)>  
**Subject:** 13-ZN-2019

**⚠ External Email: Please use caution if opening links or attachments!**



I am the President of the Ladera Vista HOA, a small community of 19 homes located just south of this property. Our community is deeply concerned with the impact that this proposed development may have on the water flow in the washes that run through the property and ultimately flow to our community. We already have a problem with water from the washes that run over our main entry street, Whispering Wind, leaving rocks, dirt, etc. that we have to have removed with power equipment. -- sent by Frederick A Hessler (case# 13-ZN-2019)



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**From:** [Tessier, Meredith](#)  
**To:** [Castro, Lorraine](#); [Acevedo, Alex](#)  
**Subject:** FW: Happy Valley 18 notes for City of Scottsdale meeting 12.18.19 13-ZN-2019  
**Date:** Tuesday, January 14, 2020 2:54:24 PM

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For our records.

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**From:** Rick Peagler <[ford@arizonaland.com](mailto:ford@arizonaland.com)>  
**Sent:** Thursday, January 09, 2020 3:52 PM  
**To:** Tessier, Meredith <[MTessier@ScottsdaleAz.Gov](mailto:MTessier@ScottsdaleAz.Gov)>  
**Cc:** Rick Peagler <[ford@arizonaland.com](mailto:ford@arizonaland.com)>; Catherine Peagler <[catpeagler@q.com](mailto:catpeagler@q.com)>  
**Subject:** RE: Happy Valley 18 notes for City of Scottsdale meeting 12.18.19 13-ZN-2019

**⚠ External Email: Please use caution if opening links or attachments!**

Thanks very much Meredith and please thank those involved in proving the their explanations. We need a clarification regarding the answers to #'s 7 & 8. Who should I speak with and what is the extension #?

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**From:** Tessier, Meredith <[MTessier@ScottsdaleAz.Gov](mailto:MTessier@ScottsdaleAz.Gov)>  
**Sent:** Thursday, January 9, 2020 3:15 PM  
**To:** Rick Peagler <[ford@arizonaland.com](mailto:ford@arizonaland.com)>  
**Subject:** FW: Happy Valley 18 notes for City of Scottsdale meeting 12.18.19 13-ZN-2019

Richard-

As promised, below are comments to your questions. Please let me know if you have any additional questions.

1. Will the Desert Vista Drive 20' ½ street be required to be paved by Camelot Homes during the course of construction? If the construction of the ½ street is not required at the time of development, will they have to provide financial assurance that their half will be paid for by them if mandated by the city?

Response:

Our standard practice is not to require developers to construct streets that do not have existing houses on them. If pavement is not used it deteriorates quickly. Also, paved streets with no houses in areas like this tend to become attractive nuisances, such as staging for off-road vehicles. If the Peaglers are planning to construct a house in the near future they should make a request for street improvements to Camelot and City staff.

2. If Camelot Homes is not required to pay for ½ of Desert Vista Drive’s construction at the time of their development, will the Pratts be obligated to pay to construct their ½ of the road should they decide to access their land via Desert Vista easement?

Response:

Yes, if Desert Vista is not paved as part of the Camelot development, each individual property owner will be responsible to provide the minimum street improvements to allow emergency and service vehicles to access their houses at the time that they construct. For single family home development that does not require asphalt paving.

3. Will the 20’ ½ Street dedication be to the city of Scottsdale and will it be accessible by Pratt family members without stipulation? The narrative states: “To avoid a wash corridor crossing under Alma School Rd., a portion of this right- of- way is angled across the property to allow access to the adjacent properties...” Pg. 6 What requirements will the Pratts have to adhere to in order to utilize the easement?

Response:

Per their preliminary plat, they are dedicating Right-of-way to the city. The dedication will be as public right-of-way which is accessible to all residents and property owners. Public right-of-way is owned by the City of Scottsdale, not Camelot Homes.

-

4. “Half street right of way (will be) dedicated along the south boundary of the property to accommodate “public access” to the undeveloped land to the south in addition to a portion of this right- of- way that is angled across the property to allow access that avoids the wash and related drainage facilities.” Pg. 10

-

5. Will the developer be required to remove and box significant plants and trees within the entire length of the north 20’ Desert Vista Drive right-of-way per the plant survey at the time of development? If not, why?

Response:

Native Plant Application and permit will be required in the event there are improvements within the north 20 feet of Desert Vista Drive. To view Native Plant Information, please click on the following link:



6. Will the ½ street dedication include a PUE? (if so, how wide and where will it be positioned?)

**Response:** The dedication of ROW will allow for utility construction within ROW boundaries.

7. The proposed Plat indicates that an existing 8' utility easement, potentially available for the extension of utility services to the Pratt property, is to be abandoned. This would be extremely detrimental to the use and enjoyment of the Pratt property and is unacceptable without mitigation to replace the easement and reconnect the Pratt property to an alternate easement that will provide for the extension of utility services to their land. Do the Pratts have rights to utilize the easement as it exists now? Is the easement a dedicated easement for the use of the Pratts? What entity controls the easement and can it be abandoned without the approval of those land owners benefiting from it?

**Response:** Camelot Homes should be extending water and sewer in Desert Vista Drive along their frontage per city code requirements. All utility owners that have an interest in PUE will need to agree to have it released. No, adjacent property owners' approval is not a requirement of release of easement.

8. The Pratt family has no objection to the abandonment of the existing 8' utility easement per the proposed plat with the stipulation that the approval stipulate that a PUE easement for the Pratt's benefit be provided between lots 7 & 8. The easement would connect to the north boundary of APN 217-06-016K. The utility easement would be encompassed within the area identified as open space on the proposed plat. The easement will connect to all available utilities installed to service lots 7 & 8 and be available to be utilized for the extension of those utility services to the adjoining Pratt property APN 217-06-016K.

**Response:**

Water and sewer is to be provided along Desert Vista by this developer. The Desert

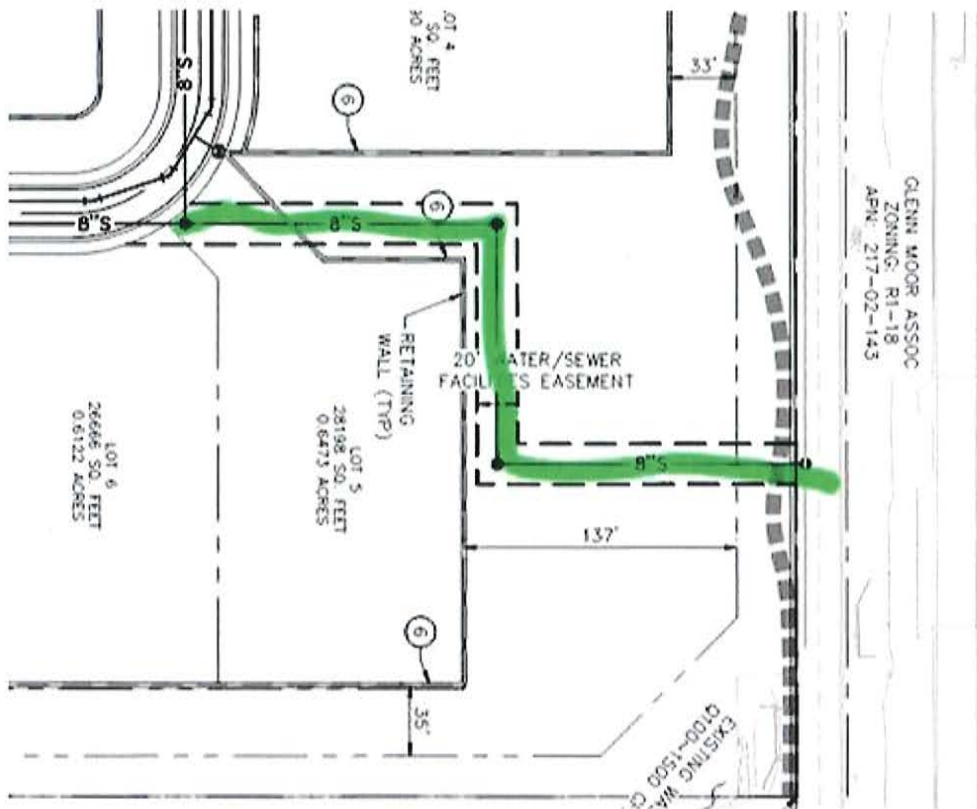


Vista Right-of-way will also provide other utility providers the means of providing services to parcels along Desert Vista.

9. Where is the current sewer connection located as referred to on pg.11? "Around the perimeter of the property are common area open space tracts that will include primarily undisturbed NAOS with the exceptions being revegetated areas disturbed prior to 1990 and (a sewer connection at the southern boundary of the property)".

Response:

Existing sewer is within Alma School as show in the aerial below. The developer is proposing a sewer connection on Alma School Road near the southeast corner of the development as shown in the figure below:





10. Will any of the interior streets require culverts below them or will runoff flow across them? “The grading of the site will allow water to flow across the site in a manner similar to its historic patterns even though it has been altered upstream” (pg 39 Figure 4 Wash Corridors)

Response:

Please contact Stormwater staff, Richard Anderson 480-312-2729

11. Are any washes being re-routed?

Response:

Please contact Stormwater staff, Richard Anderson 480-312-2729

12. Will all exterior lighting within the proposed development be mandated as “down directed lighting”?

Response:

At this time, the applicant is not proposed common area lighting. Exterior lighting for Single-family Residential is reviewed with the residential permit. To view the single-family lighting requirements, please click on the following link:

[https://library.municode.com/az/scottsdale/codes/code\\_of\\_ordinances?nodeId=VOLII\\_APXBBAZOO\\_ARTVIIGEP\\_S7.600OULI](https://library.municode.com/az/scottsdale/codes/code_of_ordinances?nodeId=VOLII_APXBBAZOO_ARTVIIGEP_S7.600OULI)

13. What is Camelot Homes price point for the home values?

Response:

Please contact Camelot Homes for this information

14. Where will the “future” trail system along Alma school road be located and what will it be comprised of? Pg 57. Is a map available?

Response:

The developer has been asked to construct an 8-foot wide multi-use trail (non-paved) along the North Alma School Road and East Happy Valley Road frontages. The developer will be submitting plans to staff for review and will be viewable on the Case Information Sheet.

15. What are down drains? They are cited on the contour plat and effect the lots bordering the Pratt family’s land.



Response:

Please contact Stormwater staff, Richard Anderson 480-312-2729

16. What input has been received from the adjoining neighborhood residents?

Response:

To view that case file and neighborhood input, please submit a records request to the Planning and Development Services by clicking on the following link:

<https://www.scottsdaleaz.gov/planning-development/records>

Thank you,

Meredith Tessier, Senior Planner  
Planning & Development Services

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**From:** Rick Peagler <[ford@arizonaland.com](mailto:ford@arizonaland.com)>

**Sent:** Wednesday, December 18, 2019 1:12 PM

**To:** Tessier, Meredith <[MTessier@ScottsdaleAz.Gov](mailto:MTessier@ScottsdaleAz.Gov)>

**Cc:** Rick Peagler <[ford@arizonaland.com](mailto:ford@arizonaland.com)>; Catherine Peagler <[catpeagler@q.com](mailto:catpeagler@q.com)>

**Subject:** Happy Valley 18 notes for City of Scottsdale meeting 12.18.19

**⚠ External Email: Please use caution if opening links or attachments!**

Meredith.

Thanks again for taking time to meet with us today. Please forward the attached notes to the city's various departments responsible for the answers to the questions that we were unable to ascertain today. Most important among them are the status of the 20' easement/ 8' waterline easement that appears on the tentative plat and the questions pertaining to Desert Vista Drive. Catherine and I will be available to discuss the questions in person should the various department representatives wish. Thanks again for your help.



Richard Peagler  
480.221.1954

## Tessier, Meredith

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**From:** Tessier, Meredith  
**Sent:** Monday, March 30, 2020 4:11 PM  
**To:** tucker889@aol.com  
**Cc:** Acevedo, Alex  
**Subject:** Happy Valley 18 13-ZN-2019

Lisa-

As promised in our call today, please click on the following link to view the applicant submittal items for case (s); 13-ZN-2019 and 2-PP-2020:

**Case 13-ZN-2019:**

<https://eservices.scottsdaleaz.gov/bldgresources/Cases/Details/50098>

To submit comments to the Planning Commission, please click on the following link:

<https://www.scottsdaleaz.gov/boards/planning-commission>

**Case 2-PP-2020:**

<https://eservices.scottsdaleaz.gov/bldgresources/Cases/Details/50823>

Also, per your request, please click on the following link for any Code Enforcement questions:

<https://www.scottsdaleaz.gov/codes/code-enforcement>

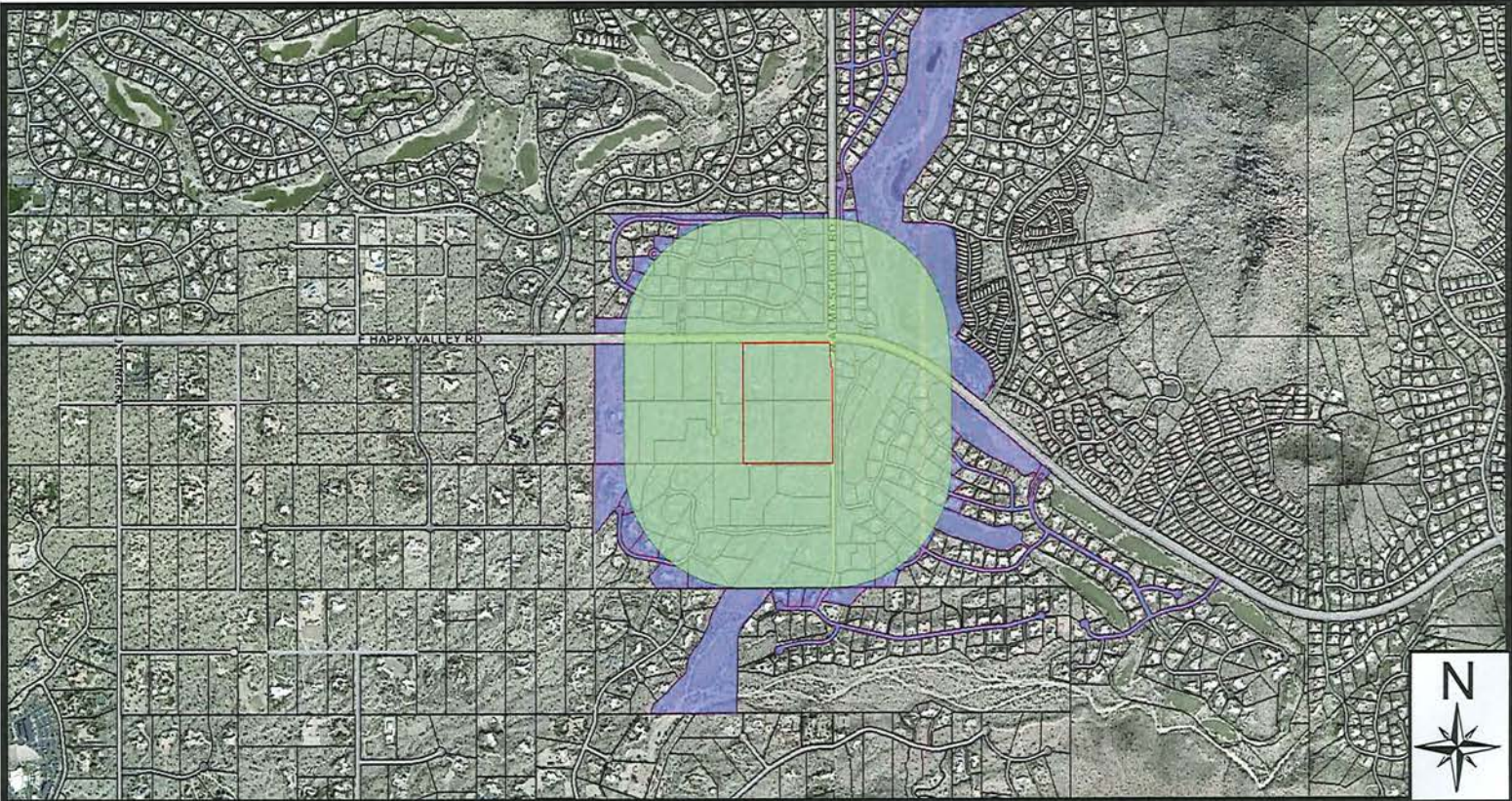
Please contact me if you have any additional questions.

Thank you,

Meredith Tessier, Senior Planner  
Planning & Development Services  
480-312-4211

# City Notifications – Mailing List Selection Map

ATTACHMENT 11




**Additional Notifications:**

- Interested Parties List
- Adjacent HOA's
- P&Z E-Newsletter
- Facebook
- Twitter
- Nextdoor.com
- City Website-Projects in the hearing process

Pulled Labels  
July 9, 2019

**Map Legend:**

-  Site Boundary
-  Properties within 1,320-foot

Postcards: 221

**13-ZN-2019**