INVITATION FOR BID #17PB014

FIRE STATION #613 CONSTRUCTION

ADDENDUM #2

MAY 4, 2017

NOTICE TO ALL BIDDERS AND PLAN HOLDERS

The Solicitation is amended by the following clarifications/changes/additional information. If any provision in this Addendum conflicts with any existing provisions in the Solicitation, this Addendum will control. All other terms, conditions, and provisions of the Solicitation remain in effect as published.

BID SUBMITTAL DEADLINE

The submittal due date and time **remains** 2:00 P.M., LOCAL TIME, MAY 16, 2017 and is **NOT CHANGED BY THIS ADDENDUM**.

1. CHANGES/CLARIFICATIONS

A. SPECIFICATIONS/SCOPE OF WORK/SPECIAL PROVISIONS

1. Specification Section 01 81 13 SUSTAINABLE DESIGN REQUIREMENTS paragraph 1.01.A.3 says that a copy of the LEED Project checklist is attached at the end of the Section. The checklist is not attached. Please provide a copy of the LEED Project checklist.

See Attachment "A" – LEED Scorecard (Project checklist)

2. Site Sign – see "**Attachment "B" – Site Sign**" for specific requirements – The City is requiring one sign at the construction site.

3. The Elev. on page A-6.1.3 and A-6.1.4 seem to have some inconsistencies please clarify the following:

a. Toilet 122 and 125 are the mirror image yet the tile pattern is different is the elev. correct for each of these two rooms? **Follow tile layout per Toilet 125**
b. Toilet 123 and 124 are mirror images and the elev. does not show anything for 124. Is tile pattern for 124 the same as shown for toilet 123? **Yes.**
c. There was no indication of ceramic bull nose or metal trim. Will this be required? **Provide metal trim.**
d. Should the tile go all the way to the ceiling or stop mid-wall? **Stop mid wall**
e. Is grout sealing required? **Yes**
f. Is epoxy grout required? **No**

4. Flagpole, specs call for clear finish, plans call for bronze. Please confirm.
Provide Bronze finish.

5. Delete paragraph 2.02C of specification section 08 80 00.

6. Add (1) "Low Emitting / Fuel Efficient Vehicle" Parking Sign at the southern Staff Parking area, third space from the farthest west (the space just east of the Carpool Parking space).

B. DRAWINGS/PLAN SHEETS

1. Change UR-1 in PLUMBING FIXTURE SCHEDULE on sheet P-7.1 to read as follows:

   UR-1 URINAL FIXTURE: KOHLER K-4904-ET-0 "BARDON", 14" WIDE, EXTENDED SHIELDS, 0.125 GPF, VITREOUS CHINA, WASHOUT URINAL, 3/4" TOP SPUD, WALL HANGER, OUTLET THREADED 2" INSIDE, MEETS ADA REQUIREMENTS. VERIFY MOUNTING HEIGHT WITH ARCHITECTURAL ROOM ELEVATIONS.

   FLUSH VALVE: MOEN 8312-M0125, EXPOSED, PISTON OPERATED, TOP SPUD FLUSH VALVE WITH 0.125 GPF CONSUMPTION. ADA COMPLIANT.

2. In the **Accessory Schedule** on sheet A-5.2, disregard the quantities listed for various items. Provide quantities shown on the plans.

2. INFORMATION

Attachment - **Pre-bid Conference Sign-In Sheet(s).**

3. CONTRACTOR QUESTIONS AND ANSWERS

The following are the Questions and Answers and additional information that were brought up as a result of the **Pre Bid meeting** on April 27, 2017 and as a result of the Questions deadline of May 2, 2017:

Q1 What level of LEED certification is required?

A1 The goal is LEED Silver. The contractor will be required to complete all LEED documentation and submit it to USGBC for evaluation.

Q2 Plan Sheet C5.1 (Utility Plan), Construction Note #74, calls out for a 2" Water Meter per MAG Detail 345-1&2, that MAG detail only covers meters 3" and larger, can this meter be per City of Scottsdale detail #2330?

A2 Yes, City of Scottsdale Detail #2330 is the correct detail to reference. Meter box per MAG 320.

Q3 Plan Sheet C5.1 (Utility Plan), Construction Note #93, calls out for 2-Way Sewer Cleanout, these cleanouts are normally installed per MAG Detail #441 as single cleanouts, can those 4 ea cleanouts be changed to MAG 441?

A3 It is acceptable to provide single cleanouts per MAG 441 for those shown on civil sheets. Any shown on plumbing plans shall remain per plumbing plans.

Q4 Plan Sheet W1 (19 of 24), Construction Notes #33 & #38 reference MAG Detail 391-1, Type A for the valve boxes, the City of Scottsdale typically uses a MAG Detail 391-1, Type C valve box, can these all be changed to the Type C?

A4 Yes, valve boxes shall be MAG Detail 391-1, Type C.

Q5 Plan Sheet W2 (20 of 24), Construction Note #35 calls out for a Restrained Transition Coupling to the west connection to the existing, does the city know the type of the existing pipe? If it is AC Pipe, there is no restraint system above 100psi. Can this item be changed to a standard transition coupling with a thrust block system?

A5 City records show existing 12 inch line as C900 pipe.

Q6 Is low voltage/communication part of the requirements?

A6 No. The City is responsible for all Division 27 Technology cabling and associated equipment. Division 27 Specifications provide requirements for grounding/bonding, pathways, and wall/floor sleeving only.

Q7 Are doors 102A, 104A, 131 to be flush doors as shown per F:1/A-5.3.2 or are they to be FG:1 since the door schedule has glass called out in the Door Schedule on A-5.3.1?

A7 Doors 102A & 104A are to be FG:1. Door 131 is to be F:1.

Q8 Is door 102B Supposed to be hollow metal or aluminum?

A8 Door 102B is to be hollow metal.

Q9 Is glass to meet Windborne-Debris-Impact Resistance per 088000: 202.C page 3. The insulating glass schedule 3.08A on page 8 doesn't state any glass to be laminated in order the meet the Resistance requirement.

A9 Delete paragraph 2.02C of specification section 08 80 00.

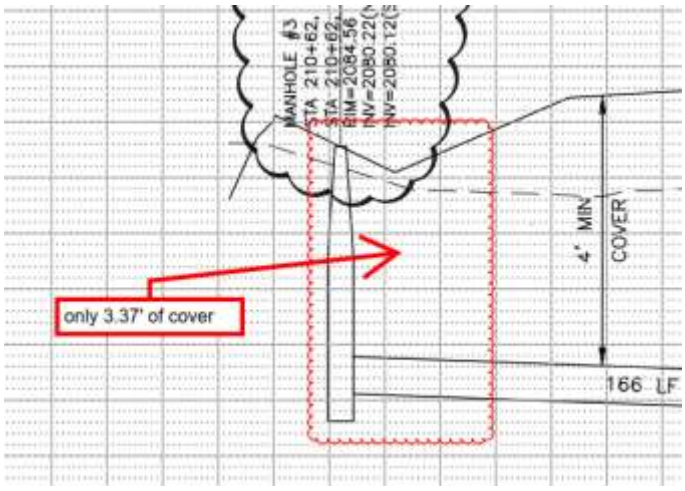
Q10 Per the insulating schedule on 038.A on page 8, all glass is to be tempered but the drawings on A-5.3.4 show tempered glass only in certain locations. Is glass to be tempered per code or is all glass to be tempered?

A10 Provide tempered glass as required by code only.

Q11 We cannot seem to locate sheets 1OF3, 2OF 3, 3OF 3 and A-1.OB. Will these be issued or not used?

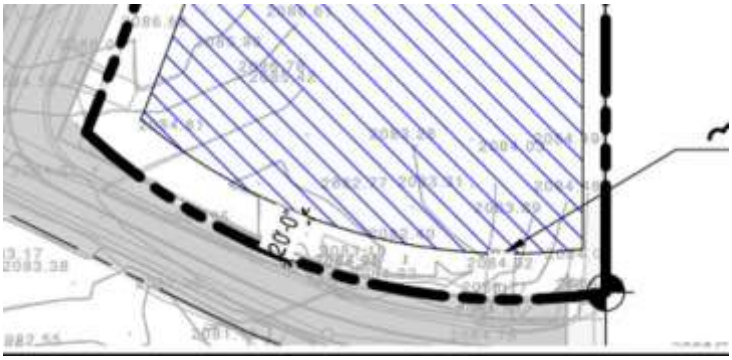
A11 These sheets do not contain any information required for bidding (only permits) – these will **NOT** be issued.

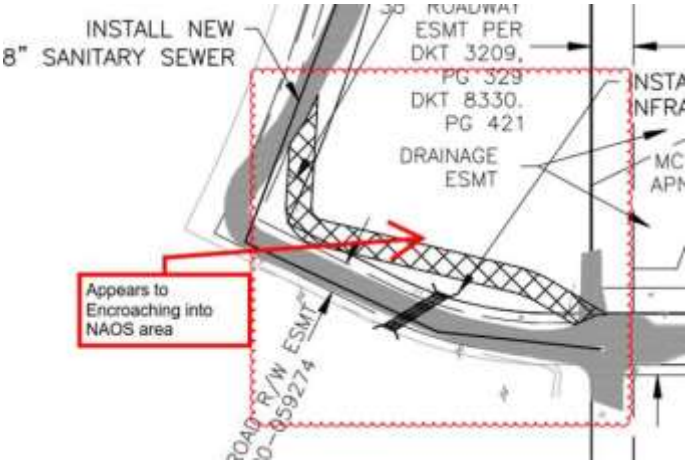
Q12 On sheet 16 of 24 on the sewer plans at station 210+70 the sewer line has less than 4 foot of cover. Has this been approved or will an alternate pipe material be required?



A12 This has been permitted by the City.

Q13 On sheet 21 of 24 the phasing plan shows a temp road on north side of Remuda that will encroach into the NAOS area during construction. Has the Naos area been adjusted or will the road have to be relocated and where can it be placed? This would impact the ability to maintain access.





A13 Disturbed area will need to be restored to natural desert after completion of the roadway work. This is more area than currently shown in the limits of construction.

A13-Cont'd

Additionally, any site disturbance beyond the limits of construction or that enters the NAOS, whether planned or unplanned, will require restoration of the desert. Refer to L-1.4 for topdress and revegetation requirements.

Q14 A-2.4 & A-5.2 - There are no specifications for the air hose reels. Is the owner providing them or the plumbing contractor? If plumbing contractor is to supply, please provide a make and model number.

A14 The specifications for air hose reels are located in 22 15 13-2.09.

Q15 10 11 00 - The specs indicate visual display surfaces, however none are shown on the plans. Please clarify.

A15 Provide (2) 4'x6' white boards, (2) 4'x4' white boards, and (1) 4'x4' tack board for office spaces. Locations will be provided during construction.

Q16 The plans show Stainless Steel Corner Guards (SSCG), however there are no specs for them. Please clarify.

A16 Provide Surface-Mounted, Metal Corner Guards: Type 304 stainless-steel, with No. 4 finish; minimum 0.0625 inch (1.6 mm) thickness; nominal 1-1/2 by 1-1/2 inches (38 by 38 mm) wing size with 1/8 inch (3 mm) corner radius; fabricated as one piece from formed or extruded metal with formed edges; with 90-degree turn to match wall condition; mounting with flat-head, countersunk screws through factory-drilled mounting holes.

Q17 A-2.6.2 – What size are the M4 mirrors in the gym?

A17 M4 mirrors are to be 3'x6'.

Q18 A-2.6.2, A-5.2, A-6.1.4 - Grab bars call out for more than what is shown on plans, but the interior elevations state "blocking for future grab bars" . Please clarify if all of the grab bars are to be installed in this project, or if there are some that will be installed in the future and not part of this project?

A18 In the **Accessory Schedule** on sheet A-5.2, disregard the quantities listed for various items. Provide quantities shown on the plans. Grab bars may not be installed at accessible showers (at owner's discretion) – provide backing.

Q19 A-2.6.2, A-5.2 - Plans call for 2 shower curtain rods, however there are 4 showers. Please clarify if we need only two or four shower curtain rods.

A19 Provide (1) shower curtain rod for each shower.

Q20 A-2.6.2, A-5.2- Plans call out 4 toilet seat cover dispensers, however there are 5 bath rooms. Please confirm the quantity of dispensers required.

A20 Provide (1) seat cover dispenser for each toilet.

Q21 26 24 12 SES 2.01 G- Documents state that the Switchboard is to have a meter that interfaces with the BAS. There is not a digital power meter on the 1-Line. Is a digital power meter required in the SES to interface with BAS?

A21 Yes. Provide a digital ammeter and voltmeter in the non-utility area of the switchboard. Provide interface to output information from each meter to the BAS for remote analysis through Lonmark/Lontalk (ILC) and/or Bacnet (IBC) controllers and other open and legacy protocol systems/devices.

Q22 26 24 12 SES 2.01 G- Is the Lighting Control to interface with BAS?

A22 No.

Q23 26 24 12 SES 2.01 G- Is the Generator to interface with the BAS?

A23 No.

Q24 A-6.1.3 & A-6.1.4- Toilet 122 and 125 are the mirror image of one another, however the tile pattern is different. Please confirm that the tile patterns are correct?

A24 Follow tile layout per Toilet 125 – mirror this layout for Toilet 122.

Q25 A-6.1.3 & A-6.1.4- Toilet 123 and 124 are mirror images of one another, however the elevations do not show anything for 124. Please provide the elevation for Toilet 124.

A25 Assume Toilet 124 is a mirror image of 123.

Q26 093013- I did not see any mention of ceramic bull nose or metal trim. Please clarify if this is required.

A26 The Basis-of-Design is 6 inch x 12 inch tile. Provide Metal Edge Strips and caps: profile with square visible surface, integrated trapezoid-perforated anchoring leg, and integrated grout joint spacer, with matching inside and outside corners; height to match tile and setting-bed thickness, metallic base, designed specifically for wall applications; stainless steel Type 304 exposed-edge material. Basis-of-Design product: Schluter Systems "Quadec."

Q27 093013- Is grout sealer required?

A27 Provide Grout Sealer: Manufacturer's standard product for sealing grout joints and that does not change color or appearance of grout.

Q28 270000- Does not specify the type of wire (cat6 or cat5e) Plenum or PVC space? Is there a certain manufacturer you would like us to use?

A28 Reference A6 response.

Q29 270000- T.V symbol does not specify if it requires Coax or Data Cabling or both, and what the count of that cable is.

A29 Reference A6 response.

Q30 270000- WAP symbol does not specify the count of data cables per WAP Location. Please specify.

A30 Reference A6 response.

Q31 270000- What is the manufacturer of jacks & faceplates and color preference?

A31 Reference A6 response.

Q32 270000- Did not see a layout of IDF buildout in the drawings. Can you provide us with one or would you like us to recommend on how to build out the IDF?

A32 Reference A6 response. Grounding and bonding requirements are included in the design documents.

Q33 270000- Does not specify on the drawings if we will need to provide copper backbone. If so, what would be the pair count and would it terminate onto a 66 block or 110 block from new IDF to MDF?

A33 Reference A6 response.

Q34 270000- Did not specify on the drawings if we will need to provide fiber backbone. If so, what would be the fiber strand count, Multimode (62.5/125 or 50/125 micron fiber) or Single mode and what type of connectors (LC, SC, ST) from new IDF to Demarc?

A34 Reference A6 response.

Q35 270000- If BackBone is required how many FT should we bid? Did not see on the drawing anything about the backbone.

A35 Reference A6 response.

Q36 Div 5- If an AISC certified steel inspector reviews all of the erection of the steel, does the erector have to be AISC certified?

A36 No.

Q37 The mechanical sheet M6.2 Detail 4 and 5 shows one inch make up water supplied by the plumbers for the chiller piping. But the plumbing drawings do not show any one inch water lines on their prints in this area. Please clarify.

A37 A 3/4" makeup line is acceptable for this application and can be provided off of the adjacent 3/4" line that serves the hose bibb in the yard.

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4. ATTACHMENTS

Attachment A – LEED Scorecard (Project Checklist)
Attachment B - Site Sign
Attachment – Pre-Bid Conference Sign-In Sheets

By signing and submitting a Bid or Proposal, the Bidder/Proposer is acknowledging that they will abide by all Addenda issued prior to the opening of the Bids/Proposals and agreeing that all pricing takes into account all such Addenda.

END OF ADDENDUM #2

Cheryl Champine, CPPB, PSCM
Bid & Contract Specialist
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Scottsdale Fire Station 613

Access ID:	**Arrington Watkins**
Certification Goal:	**Gold**
Project Address:	26380 N Hayden Rd, Scottsdale, AZ 85255
Date Generated:	3-Mar-15
Date Updated:	12-Apr-17

ecological environments

Probable	High Possible	Low Possible	Not Possible	Credit Name		Possible Points	Credit Description	Responsibility									Ready for Design Submittal
								Architect	Landscape	Civil	MEP	LEED Cons	Cx Agent	Contractor	Owner	Other	
	0	0	0	**PROJECT INFORMATION**		**0**											
Y				Form 1	**Minimum Program Requirements**	**Required**	Owner agreement to comply with LEED regulations					X			X		
Y				Form 2	**Project Summary Details**	**Required**	List: Building area, Site Characteristics, Energy and Water Sources, Budget and Historic Project Data. **Note:** Some of this data is transferred to other templates.					X			X		
Y				Form 3	**Occupant and Usage Data**	**Required**	List: Occupancy type, Space Usage, FTE, Total Daily Occupancy **Note:** Some of this data is transferred to other templates.					X			X		**Y**
Y				Form 4	**Schedule and Overview Documents**	**Required**	List Schedule. Upload site plan, floor plans, sections, elevations, photos/renderings, mechanical schedules and plans. Describe MPE systems. Describe project. **Note:** Some of these documents are transferred to other templates.					X			X		
14	0	0	**12**	**SUSTAINABLE SITES**		**26**											
Y				Prereq 1	**Construction Activity Pollution Prevention**	**Required**	Create SQPPP for protection of site during construction			X							N/A
1				Credit 1	**Site Selection**	**1**	Avoid development in inappropriate sites such as; prime farmland, flood plane areas, land identified as habitat for endangered species, within 100 feet of wetlands or 50 feet from bodies of water.			X							**1**
			5	Credit 2	**Development Density and Community Connectivity**	**5**	Construct on previously developed site AND within 1/2 mile radius of residential zone with an average density of 10 units per acre AND	X				X			X		
			1	Credit 3	**Brownfield Redevelopment**	**1**	Brownfields are property which may be polluted or contaminant. Cleaning up and reinvesting in these properties both improves and			X							
			6	Credit 4.1	**Alternative Transportation -** Public Transportation Access	**6**	Building to be located within 1/4 mile of stops for at least 2 routes of public transportation. New stops can be requested from local	X				X					
1				Credit 4.2	**Alternative Transportation -** Bicycle Storage and Changing Rooms	**1**	Install bike racks for 5% of peak occupancy. Add changing room/shower for .05% occupants.	X				X					**1**
3				Credit 4.3	**Alternative Transportation -** Low-Emitting and Fuel-Efficient Vehicles	**3**	Parking spaces for 5% of total parking	X				X					
2				Credit 4.4	**Alternative Transportation -** Parking Capacity	**2**	Parking spaces cannot exceed minimum local zoning requirement AND 5% of spaces for carpools or vanpools.	X				X					
1				Credit 5.1	**Site Development -** Protect or Restore Habitat	**1**	For Greenfield sites (undeveloped) protect site disturbance. For previously developed sites, restore a minimum of 50% of site (excluding building) with native vegetation.	X		X		X					

Probable	High Possible	Low Possible	Not Possible	Credit Name		Possible Points	Credit Description	Responsibility									Ready for Design Submittal
								Architect	Landscape	Civil	MEP	LEED Cons	Cx Agent	Contractor	Owner	Other	
1				Credit 5.2	**Site Development -** Maximize Open Space	**1**	Provide vegetated open space equal to 20% of project's site area. For Urban sites vegetated roofs can contribute to credit.	X		X		X					
1				Credit 6.1	**Stormwater Design -** Quantity Control	**1**	Design site to decrease stormwater runoff by 25% from the two-year, 24 hour design storm. Use: pervious pavement, stormwater harvest for irrigation reuse, green roofs, Bioswales, Retention pond.			X							**1**
1				Credit 6.2	**Stormwater Design -** Quality Control	**1**	Design stormwater management to capture and treat 90% of annual rainfall. Stormwater harvesting for reuse in irrigation and/or buildings, green roofs, bioswales to reduce pollutants from runoff.			X							**1**
1				Credit 7.1	**Heat Island Effect -** Nonroof	**1**	Provide 50% site hardscape in shade or with high reflectivity - over SRI of 29	X		X		X					**1**
1				Credit 7.2	**Heat Island Effect -** Roof	**1**	75% of roof must have SRI of 78 for low slope, and SRI of 29 for steep slope	X				X					
1				Credit 8	**Light Pollution Reduction**	**1**	Interior lighting shall not exit through the windows. Exterior light shall conform to set LEED lighting standards (footcandles & reflectance), depending on site location: Park & Rural area (Dark), Residential (Low), Commercial/High density residential (Medium), Major city centers (High). Signage might need to have goosenecks.				X						
4	4	0	0	**WATER EFFICIENCY**		**10**	**Points**										
Y				Prereq 1	**Water Use Reduction**	**Required**	20% less water then baseline based on EPAct 1992				X						
2	2			Credit 1	**Water Efficient Landscaping**	**2 to 4**	Reduce all potable water (drinkable) for landscaping. Use only plant species that do not need water or use captured rainwater, recycled wastewater and greywater for irrigation.		X								
					Reduce by 50%	2											
					No Potable Water Use or Irrigation	4											
				Credit 2	**Innovative Wastewater Technologies**	2	Reduce potable water for building sewage by 50%				X						
2	2			Credit 3	**Water Use Reduction**	**2 to 4**	Specify high-efficiency fixtures, consider using waterless urinals and/or reusing stormwater, greywater, or an on-site wastewater treatment system for toilet fixtures.				X						
					0 Reduce by 30%	2											
					0 Reduce by 35%	3											
					Reduce by 40%	4											
12	4	5	7	**ENERGY & ATMOSPHERE**		**35**	**Points**										
Y				Prereq 1	**Fundamental Commissioning of Building Energy Systems**	**Required**	CX to commission HVAC, Lighting/ daylight controls, domestic hot water, and renewable energy						X				N/A
Y				Prereq 2	**Minimum Energy Performance**	**Required**	10% improvement over ASHRAE 90.1-2007				X						
Y				Prereq 3	**Fundamental Refrigerant Management**	**Required**	No CFC's.				X						
10	1	1		Credit 1	**Optimize Energy Performance**	**1 to 19**					X						

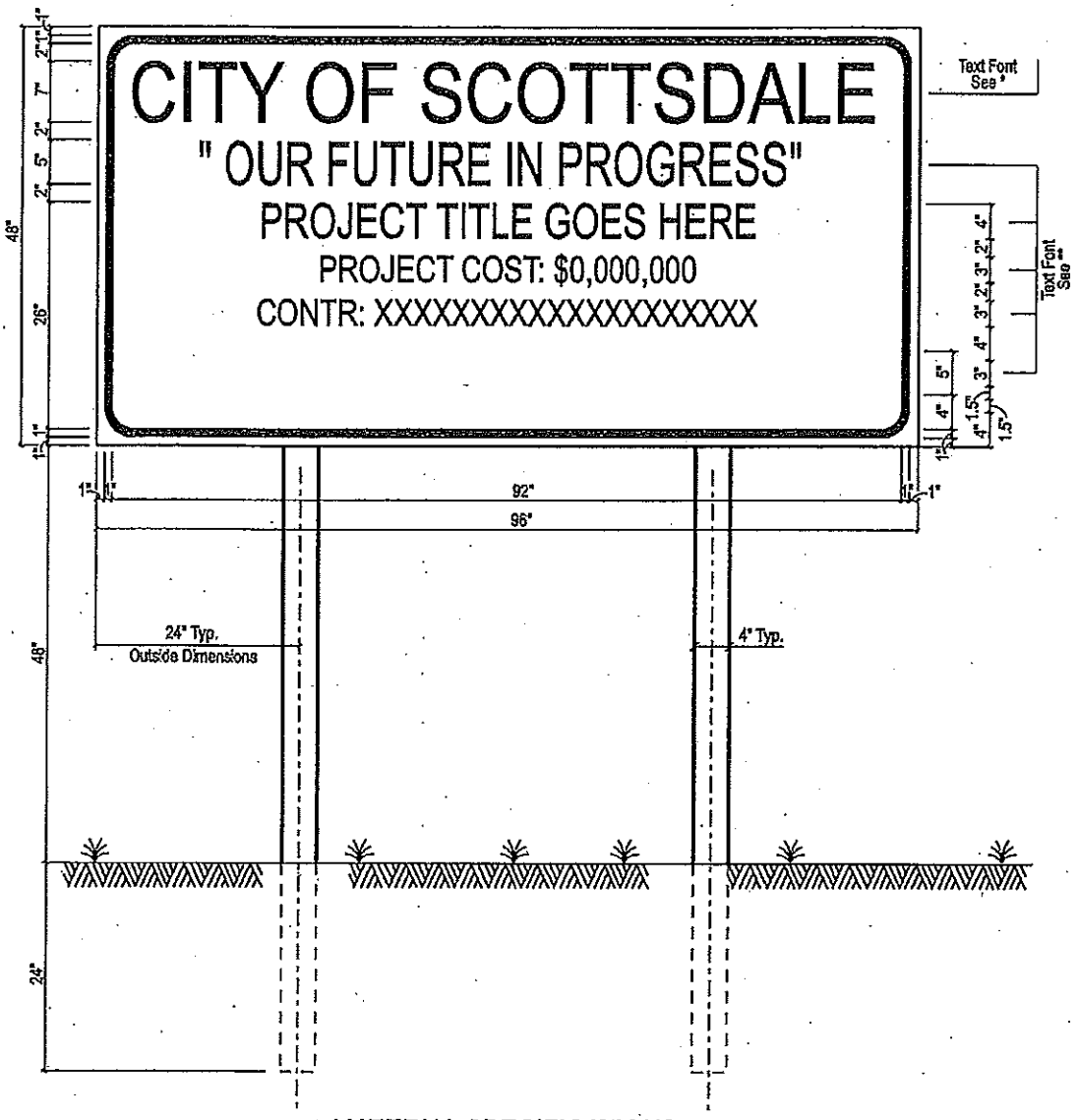
Probable	High Possible	Low Possible	Not Possible	Credit Name			Possible Points	Credit Description	Responsibility									Ready for Design Submittal
									Architect	Landscape	Civil	MEP	LEED Cons	Cx Agent	Contractor	Owner	Other	
						Improve by 12% for New Buildings or 8% for Existing Building Renovations	1											
						Improve by 14% for New Buildings or 10% for Existing Building Renovations	2											
						Improve by 16% for New Buildings or 12% for Existing Building Renovations	3											
						Improve by 18% for New Buildings or 14% for Existing Building Renovations	4											
						Improve by 20% for New Buildings or 16% for Existing Building Renovations	5											
						Improve by 22% for New Buildings or 18% for Existing Building Renovations	6											
						Improve by 24% for New Buildings or 20% for Existing Building Renovations	7											
						Improve by 26% for New Buildings or 22% for Existing Building Renovations	8											
						Improve by 28% for New Buildings or 24% for Existing Building Renovations	9											
						Improve by 30% for New Buildings or 26% for Existing Building Renovations	10											
						Improve by 32% for New Buildings or 28% for Existing Building Renovations	11											
						Improve by 34% for New Buildings or 30% for Existing Building Renovations	12											
						Improve by 36% for New Buildings or 32% for Existing Building Renovations	13											
						Improve by 38% for New Buildings or 34% for Existing Building Renovations	14											
						Improve by 40% for New Buildings or 36% for Existing Building Renovations	15											
						Improve by 42% for New Buildings or 38% for Existing Building Renovations	16											
						Improve by 44% for New Buildings or 40% for Existing Building Renovations	17											
						Improve by 46% for New Buildings or 42% for Existing Building Renovations	18											
						Improve by 48%+ for New Buildings or 44%+ for Existing Building Renovations	19											
			7	Credit 2	**On-Site Renewable Energy**		**1 to 7**					X						
						1% Renewable Energy	1											
						3% Renewable Energy	2											
						5% Renewable Energy	3											
						7% Renewable Energy	4											
						9% Renewable Energy	5											
						11% Renewable Energy	6											
						13% Renewable Energy	7											
2				Credit 3	**Enhanced Commissioning**		**2**	Independent of design and construction teams, involved in design and post construction						X				N/A
		2		Credit 4	**Enhanced Refrigerant Management**		**2**	All refrigerants of the building must be under 100 Qtotal				X						
	3			Credit 5	**Measurement and Verification**		**3**	write M&V plan following the IPMVP Volume III option B or D				X						N/A
		2		Credit 6	**Green Power**		**2**	Purchase a minimum of 35% of electricity from "Green-e" (non-pollution energy - Solar, wind, geothermal, biomass or small hydro power) accredited local utility company for 2 years.								X		N/A
5	2	0	**7**	**MATERIALS & RESOURCES**			**14**	**Points**										
Y				Prereq 1	**Storage and Collection of Recyclables**		**Required**	175 sq ft minimum for building 15,001 to 50,000 sq ft	X				X					
			3	Credit 1.1	**Building Reuse** - Maintain Existing Walls, Floors and Roof		**1 to 3**	Maintain the existing building structure	X									N/A
						Reuse 55%	1											
						Reuse 75%	2											
						Reuse 95%	3											
			1	Credit 1.2	**Building Reuse -** Maintain Interior Nonstructural Elements		**1**	Maintain existing non-structural elements	X									

Probable	High Possible	Low Possible	Not Possible	Credit Name	Possible Points	Credit Description	Responsibility									Ready for Design Submittal
							Architect	Landscape	Civil	MEP	LEED Cons	Cx Agent	Contractor	Owner	Other	
2				Credit 2 **Construction Waste Management**	**1 to 2**	Develop and implement a construction waste management plan.							X			N/A
				50% Recycled or Salvaged	1											
				75% Recycled or Salvaged	2											
			2	Credit 3 **Materials Reuse**	**1 to 2**	Use salvaged, refurbished or reused materials to the sum of 5% or 10% of the total value							X			N/A
				Reuse 5%	1											
				Reuse 10%	2											
1	1			Credit 4 **Recycled Content**	**1 to 2**	Use materials with recycled content							X			N/A
				10% of Content	1											
				20% of Content	2											
1	1			Credit 5 **Regional Materials**	**1 to 2**	Use materials that are BOTH extracted and manufactured with 500 miles of the project site							X			N/A
				10% of Materials	1											
				20% of Materials	2											
			1	Credit 6 **Rapidly Renewable Materials**	**1**	2.5% material							X			N/A
1				Credit 7 **Certified Wood**	**1**	50% of new wood must be FSC certified. Submit FSC certificates, final invoices with itemized list that includes cost and FSC %							X			N/A
10	2	0	**3**	**INDOOR ENVIRONMENTAL QUALITY**	**15**	**Points**										
Y				Prereq 1 **Minimum Indoor Air Quality Performance**	**Required**	Comply with ASHRAE 62.1-2007				X						Y
Y				Prereq 2 **Environmental Tobacco Smoke (ETS) Control**	**Required**	Prohibit smoking in the building and only allow outside smoking in certain areas								X		Y
			1	Credit 1 **Outdoor Air Delivery Monitoring**	**1**	Monitor and alarm air flow and CO2				X						N/A
			1	Credit 2 **Increased Ventilation**	**1**	Increase breathing zone outdoor air ventilation rates to all occupied spacex by at least 30% above ASHRAE				X						N/A
1				Credit 3.1 **Construction Indoor Air Quality Management Plan -** During Construction	**1**	Develop and implement an IAQ management plan for construction and preoccupancy that meets or exceeds SMACNA. Protect absorptive materials. Replace air filters with MERV 8							X			N/A
1				Credit 3.2 **Construction Indoor Air Quality Management Plan -** Before Occupancy	**1**	Develop an IAQ management plan and implement after all finishes installed and building has been completely cleaned. Provide flush-out of 14,000 cubic per sq ft or conduct air testing.							X			N/A
1				Credit 4.1 **Low-Emitting Materials -** Adhesives and Sealants	**1**	Follow SCAQMD guidelines							X			N/A
1				Credit 4.2 **Low-Emitting Materials -** Paints and Coatings	**1**	Follow SCAQMD guidelines or Green Seal standards							X			N/A
1				Credit 4.3 **Low-Emitting Materials -** Flooring Systems	**1**	Must comply with Carpet and Rug Institute green label plus or SCAQMD							X			N/A
1				Credit 4.4 **Low-Emitting Materials -** Composite Wood and Agrifiber Products	**1**	No urea formaldehyde							X			N/A
1				Credit 5 **Indoor Chemical and Pollutant Source Control**	**1**	Permanently install 10' walk off mats. Negative pressure in spaces with hazardous gases or chemicals. MERV 13 filters in regularly occupied spaces.	X			X			X			
1				Credit 6.1 **Controllability of Systems -** Lighting	**1**	Provide individual lighting controls for 90% of building occupants. Provide lighting controls for all shared occupany spaces				X						

Probable	High Possible	Low Possible	Not Possible	Credit Name			Possible Points	Credit Description	Responsibility									Ready for Design Submittal
									Architect	Landscape	Civil	MEP	LEED Cons	Cx Agent	Contractor	Owner	Other	
			1	Credit 6.2	**Controllability of Systems -** Thermal Comfort		**1**	provide individual controls for 50% of building occupants (operable windows can count). Provide comfort system controls for all shared spaces				X						
1				Credit 7.1	**Thermal Comfort -** Design		**1**	Design HVAC and building envelope to meet ASHRAE 55-2004				X						
	1			Credit 7.2	**Thermal Comfort -** Verification		**1**	conduct a thermal confort survey to building occupants. Develop plan for corrective action if 20% are unsatisfied. Provide permanent system.								X		
	1			Credit 8.1	**Daylight and Views -** Daylight		**1**	75% of regularly occupied spaces comply via simulation, calculation or daylight testing	X				X					
1				Credit 8.2	**Daylight and Views -** Views		**1**	90% of regularly occupied spaces have view from eye height of 42" to view between 30" and 90"	X				X					
3	2	0	**0**	**INNOVATION IN DESIGN**			**6**	**Points**										
2	2			Credit 1	**Innovation in Design**		**1 to 5**											
						Education	1											
						Green Cleaning	1											
						Exemplary Performance - Protect or Restore Habtat	1	75% of site excluding building footprint, or 30% of site including building footprint, whichever is greater										
						Exemplary Performance - Maximize Open Space	1	double the amount of open space required										
						Exemplary Performance	1											
1				Credit 2	**LEED® Accredited Professional**		**1**						X					N/A
2	1	1	**0**	**REGIONAL PRIORITY**			**6**	**Points**										
2	1	1		Credit 1	**Regional Priority**		**1 to 4**											
					1	Heat Island Effect - Non-Roof	1											
					1	Water Use Reduction	1	Threshold - 30%										
						On-Site Renewable Energy	1	Threshold - 3 points										
					1	Alternative Transportation - Parking Capacity	1											
						Development Density and Community Connectivity	1											
					1	Water Efficient Landscaping	1	Threshold - 4 points										
50	15	6	**29**	**PROJECT TOTALS (Certification Estimates)**			**112**	**Points**										

Certified: 40-49 points Silver: 50-59 points Gold: 60-79 points Platinum: 80+ points

5



MATERIAL SPECIFICATIONS

VINYL SHEETING

1. Background sheeting shall be Engineer Grade, Blue 3M #2275 or equal.
2. All legend and borders with the exception of "Our Future in Progress" shall be Engineer Grade, White 3M #2290 or equal.
3. The legend, "Our Future in Progress", shall be Engineer Grade, Yellow 3M #2271 or equal.

SIGN SUBSTRATE

1. Vinyl sheeting shall be applied to 3/4 inch A.B.X. plywood on the smooth finished side.
2. All edges and the backside of the plywood shall be painted with two coats of Navajo White acrylic enamel exterior paint.

SIGN SUPPORTS

1. Two sign posts shall be used. Posts shall be 4 inch by 4 inch pressure treated white wood painted with 2 coats of Navajo White acrylic enamel exterior paint prior to installation.

* Text Font - Helvetica medium series "B"
** Text Font - Helvetica medium series "C"

March 11, 2008

DATE: 4/27/2017 **ATTENDANCE REGISTER** **TIME:** 1:30 P.M.

SOLICITATION # & TITLE: FIRE STATION #613 CONSTRUCTION

PRE BID: ☒ **BID OPENING:** ☐

INDIVIDUAL NAME & EMAIL	COMPANY NAME & ADDRESS	PHONE/FAX NUMBER
Connor Patterson Email: CPatterson@Pacepacific.com	Pace Pacific 3731 E University Dr Phoenix AZ 85034	Phone: 480-406-3110 Fax:-
Bill RIERA Email: BillR@MACO-INC.com.	MACO CONSTRUCTION. 14201 N 87TH ST. B-121 SCOTTS. AZ 85260	Phone: 602-908-0966 Fax:-480-404-9714
RUSTY WEST Email: EDWARD.WEST@GANDYDANCER.NET	GANDYDANCER CONST. 8099 E LONE MT. RD SCOT. 85266	Phone: 602-432-1386 Fax:-
DAVE STEELFOX Email: DSTEELFOX@KNIPP CONTRACTING.COM	KNIPP CONTRACTING	Phone: 702 906 9268 Fax:-
RON SLUSHER SR Email: RDSLUSHER.SR.ELECTRIC@GMAIL	RD SLUSHER SR. ELECTRIC	Phone: 480-593-2638 C. Fax:-
JEFF DALTON Email: JEFF.DALTON@SDB.COM	SDB INC. 810 W 1ST ST. TEMPE, AZ	Phone: 480 967 5810 Fax:-
SHAYNE LOVATO SLOVATO@ Email: DANSONBLDG.COM	DANSON 2624 N. LONE CACTUS PHX. AZ 85027	Phone: 602 997 0777 Fax:-
Jennifer Slocum Email: JSlocum@marc-taylor.com	MARC TAYLOR INC.	Phone: 602-797-8032 Fax:- —
Rick Zgpernick Email: rzgpernick@caliente construction.com	Caliente 4FT W. Vaugn Street Tempe AZ	Phone: 602-421-0097 Fax:-
ROBERT CZECH Email: RCZECH@INSIGHTAI.COM	INSIGHT AUTOMATION INT 16410 N. 91ST STREET SCOTTSDALE, AZ. 85260	Phone: 480-816-1900 Fax:- 480-816-4788

DATE: 4/27/2017 **ATTENDANCE REGISTER** **TIME:** 1:30 P.M.

SOLICITATION # & TITLE: FIRE STATION #613 CONSTRUCTION

PRE BID: ☒ **BID OPENING:** ☐

INDIVIDUAL NAME & EMAIL	COMPANY NAME & ADDRESS	PHONE/FAX NUMBER
Joseph Mayer Email: jmayer@danakepner.com	Dana Kepner Co. 2401 S. Ash Ave Phoenix, AZ 85009	Phone: 602-255-0434 Fax:- 602-254-6121
AJ ALVAREZ Email: AJC SUNEAGLECORPORATION.COM	SUN EAGLE CORPORATION 461. N DEAN DR CHANDLER, AZ 85226	Phone: 602.757.4052 Fax:- 480.940.060
MICHAEL GEORGOPAPADAKOS Email: michael@strattonbuilders.com	STRATTOM BUILDERS 2918 S. ALMA SCHOOL RD MESA, AZ 85210	Phone: 480-222-0665 Fax:- 480-892-5226
MATT GORMAN Email: MGORMAN@AWARCH.COM	ARRINGTON WATKINS ARCHITECTS	Phone: 602-279.4373 Fax:-
Michael Foged Email: estimating@dlwithers.com	DL Withers Construction 3220 E Hordur Dr Phx, AZ 85034	Phone: 602-438-9500 Fax:- 602-453-0191
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STEVEN TETREAULT Email: STEVE.TETREAULT@TAYLORMETAL.COM	TMP 2402 W. BINNER CHANDLER, AZ 85224	Phone: 602 206 2796 Fax:-
Wes Morrill Email: WSmorrill@OSMAZ.com	Out door Systems management LLC 16624 N. 32nd Street Phx AZ 85032	Phone: 602 629 7521 Fax:- 623-748-8844
Dennis Mahan Email: dennis.mahan@sonorancrest.com	Sonoran Crest Construction 2125 E 5th St. Suite 108 Tempe, AZ 85281	Phone: 480-899-3240 Fax:-

DATE: 4/27/2017 **ATTENDANCE REGISTER** **TIME: 1:30 P.M.**

SOLICITATION # & TITLE: FIRE STATION #613 CONSTRUCTION

PRE BID: ☒ **BID OPENING**: ☐

INDIVIDUAL NAME & EMAIL	COMPANY NAME & ADDRESS	PHONE/FAX NUMBER
DANIEL GRIFFIN Email: DGRIFFIN@HWARCH.COM	ARRINGTON WATKINS ARCHITECTS	Phone: 602-279-4373 Fax:-
MARK LORENZEN Email: MARK@LORCONSTRUCTION.COM	LOR CONST	Phone: 480.507.1954 Fax:- 480.507.0869
Bob Smith Email: bobs@gconinc.com	GCON, INC G.C.	Phone: 623 777 0505 Fax:- 623 581. 3302
Stan Showalter S.showalter@tsgconstructors.com Email:	TSG Constructors, LLC GC	Phone: 623 742 0161 Fax:- 623 742 0320
EGGART VANDERWATT. TVanderwatt@KHAPP. Email: CONTRACTING.COM.	KHAPP CONTRACTING.	Phone: 602-752-0568 Fax:-
Mark Borodkin Email: mborodkin@edensonbldg.com		Phone: 607-279-8852 Fax:-
ANTHONY HAVERKAMP Email: ahaverkamp@fci1.com	FCI CONSTRUCTORS	Phone: 623-772-9400 Fax:-
Joshua Buckalew Email: JBuckalew@INSIGHTAI.COM	INSIGHT Automation Internationa	Phone: 480-823-7007 Fax:-
Mike Oherst Email: Moherst@DNGLLC.com	DNG	Phone: 480-376-3576 Fax:-
Brandon Goshow Email: bgoshow@		Phone: 623-680-2667 Fax:-

meadeconstructioninc.com

Sign-in Sheet
Fire Station 613
Pre-Bid meeting
Thursday, April 27, 2017

Name	Company	Email
BOBBY MUSSELMAN	PATH CONSTRUCTION SOUTHWEST	BMUSSELMAN@PATHCC.COM
Mike Logan	Dibble Engineering	Mike.logan@dibblecorp.com
Brian Johnson	Low Mountain Const	bjohnson@lowmountain.com
Dan Jodarski	Jag Construction LLC	noel@jagconllc.com
Kevin Vaughan Brubaker	Scottsdale Public Art	Kevinv@scottsdalearts.org
Kelly Dickerman	Vertical Build	Kellyd@vertical-build.com
Josh Rygg	Flynn Companies	josh.rygg@flynncompanies.com
ARUNABHO GHOSH	WILLMENG CONST.	AGHOSH@WILLMENG.COM (WANTS COPIES OF SIGN UP SHEETS)
KEITH SABIA	WILLMENG CONST	KSABIA@WILLMENG.COM